

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 22147	Project Address: 204 NE 58th Ave
Hearing Date: 11/20/19	Appellant Name: Nicolas Haralambides
Case No.: B-011	Appellant Phone: 5104210450
Appeal Type: Building	Plans Examiner/Inspector: Robert Keal
Project Type: residential	Stories: 2+ Occupancy: R-2 Construction Type: Type V (Wood)
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: Residential

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	ORSC R302.3
Requires	Second Kitchen for family use. Addition to home is not an ADU.
Proposed Design	Second Kitchen to be constructed in the Basement (with a new Building Permit) with access to the main level of the house and with multiple egress routes, for family use and in-laws. New water, sewer connections to be tied into existing home services per current building code requirements.
Reason for alternative	Future needs of mine as a 75-year-old, to reside with my son's family. The second kitchen is needed for cooking needs that exceed the limitations of the existing kitchen. Alterations to the basement will use energy-efficient appliances, LED lighting, and will meet all fire code requirements. Alteration will improve accessibility.

APPEAL DECISION

Second kitchen in single family residence for family use: Granted provided a 2nd kitchen covenant is recorded with Multnomah County and provided the 1st floor door at the top of the basement stairs and basement door D on the submitted plans are removed.

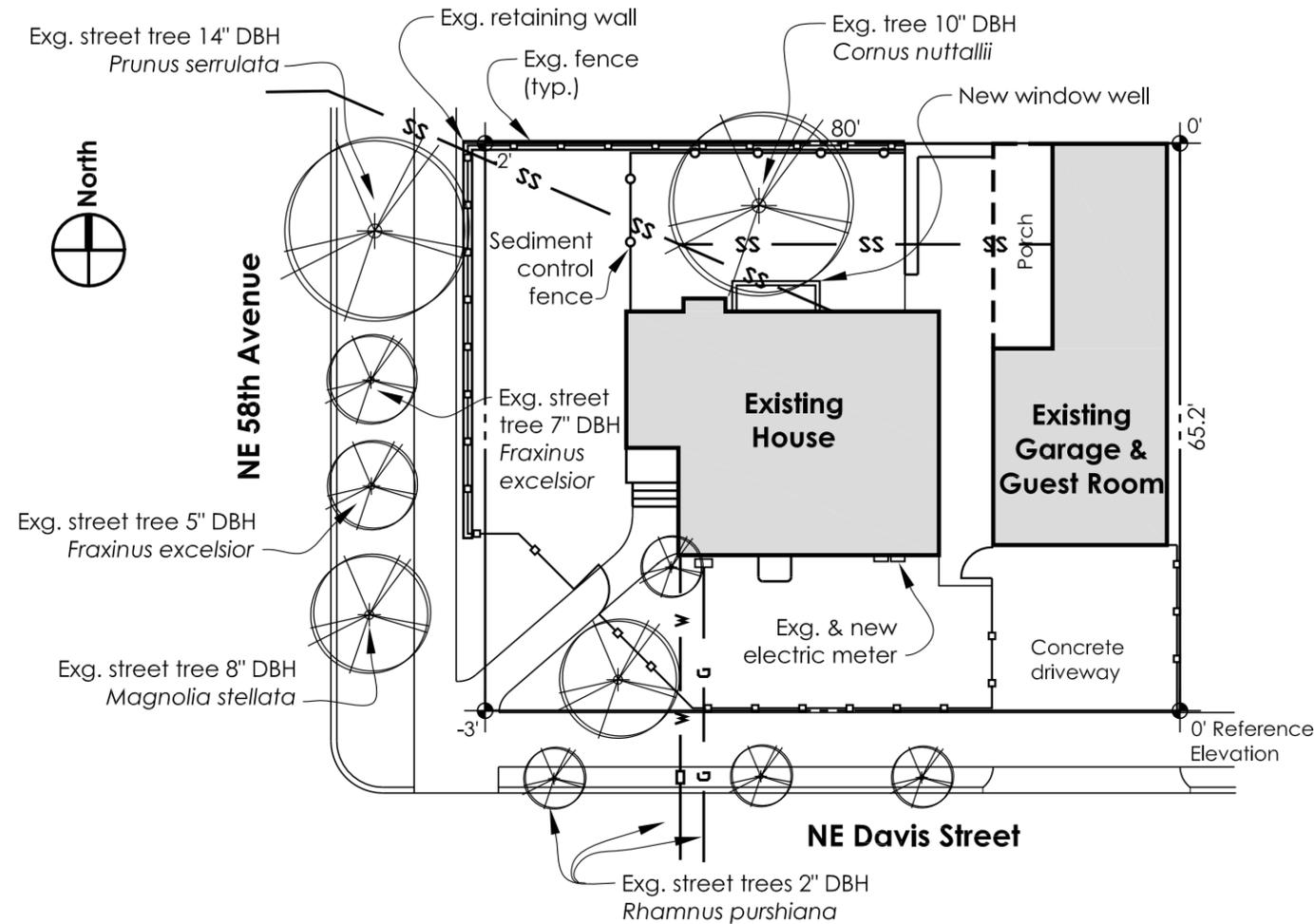
For questions regarding the 2nd kitchen covenant appellant may contact Nancy Thorington at (503-823-7023).

For other questions appellant may contact John Butler (503 823-7339).

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

Site Plan Scale: 1" = 20'



Project Directory:

CLIENT: Nicolas Haralambides
 127 Bell Avenue
 Piedmont, CA 94611
 Phone: 510-548-4159
 Email: nicolas44h@gmail.com

ARCHITECT: Studio Eccos Architecture LLC
 Brinton Riggs
 Phone: 503-701-4494
 Email: brint@studioeccos.com

Drawing Index:

- A1.0 Cover & Site Plan
- A1.1 Existing Plans
- A1.2 Existing Plans
- A2.1 Floor Plan
- A4.1 Schedules
- A6.X Details

Site & Building Information:

Lot area	5,216 sf
Impervious coverage	
Hardscape areas (less porches & eaves)	946 sf
Exg. building area (incl. porches, eaves & exg. garage)	1,889 sf
Total	2,835 sf

Tax Account # R031200120
 Property ID 1N2E31DA -06000
 Zoning R2

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Haralambides Basement Renovation

204 NE 58th Avenue
 Portland, OR 97213

issue: _____ date: _____
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Cover/Site

A1.0

Abbreviations:

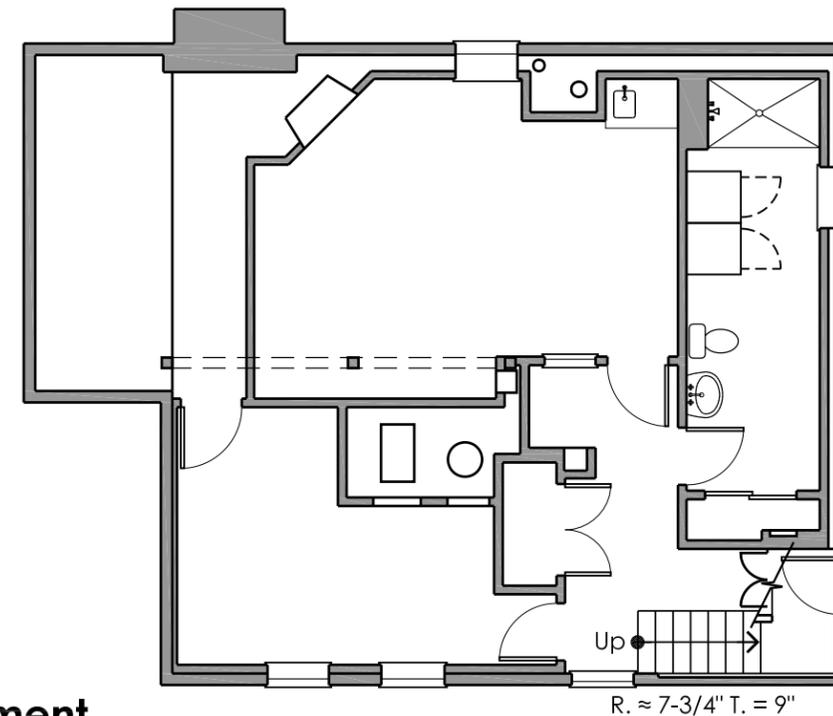
- AFF = above finish floor
- Alt. = alternating
- ASF = above subfloor
- Blkg. = blocking
- B.O. = bottom of
- Cont. = continuous
- Dn = down
- Dim. = dimension
- EPS = expanded polystyrene
- Exg. = existing
- Ext. = exterior
- E.S. = equal spacing
- E.W. = each way
- FOF = face of finish
- GWB = gypsum wall board
- Galv. = galvanized
- Ins. = insulation
- NIC = not in contract - labor and material by others

- Nom. = nominal
- NTS = not to scale
- O.C. = on center
- OPCI = owner provided contractor installed
- PT = preservative treated
- RL = rough lumber
- RF = rough framing
- SAM = self adhering membrane
- Shtg. = sheathing
- SS = stainless steel
- Sym. = symmetrical
- T.O. = top of
- Typ. = typical
- UNO = unless noted otherwise
- VIF = verify in field
- WRB = weather resistive barrier
- XPS = extruded polystyrene

Symbols:

-  Exhaust fan
-  Smoke detector
-  Carbon monoxide/smoke detector combo
-  Door & window tag
See schedule
-  Floor, wall, & ceiling assembly types - see A6.0

1 Existing Floor Plans
A1.1 Scale: 1/8" = 1'-0"



Basement



**Haralambides
Basement
Renovation**

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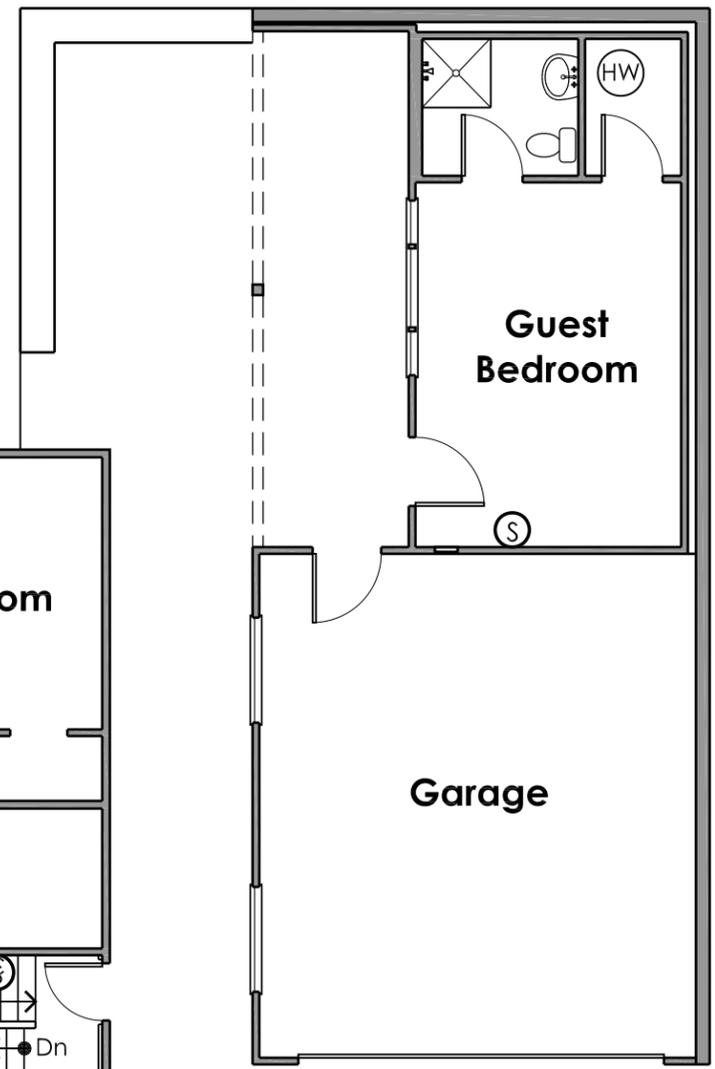
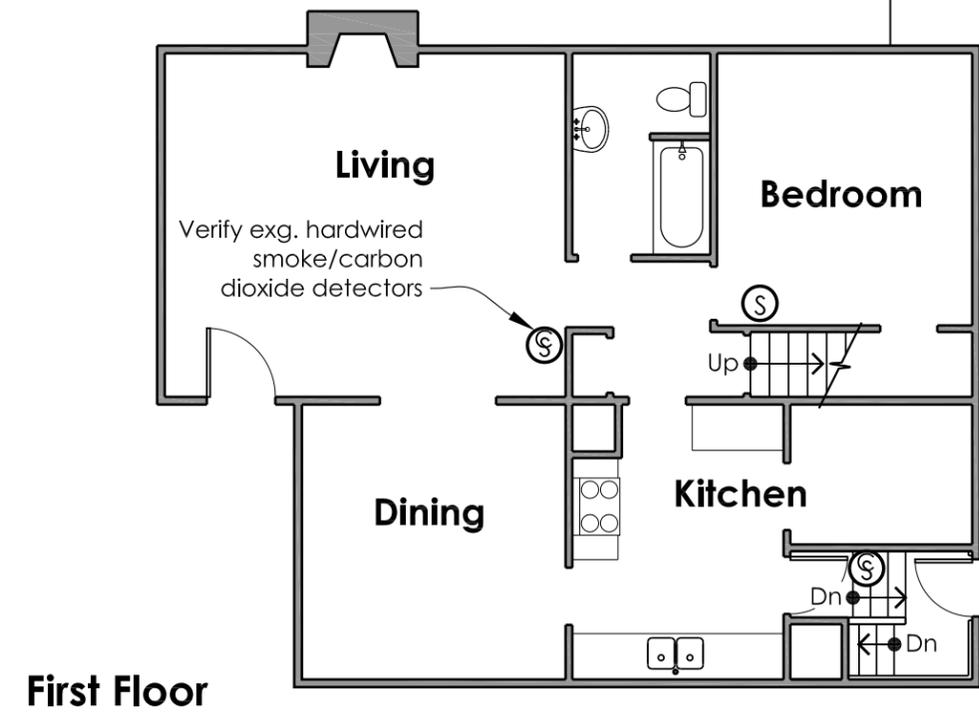
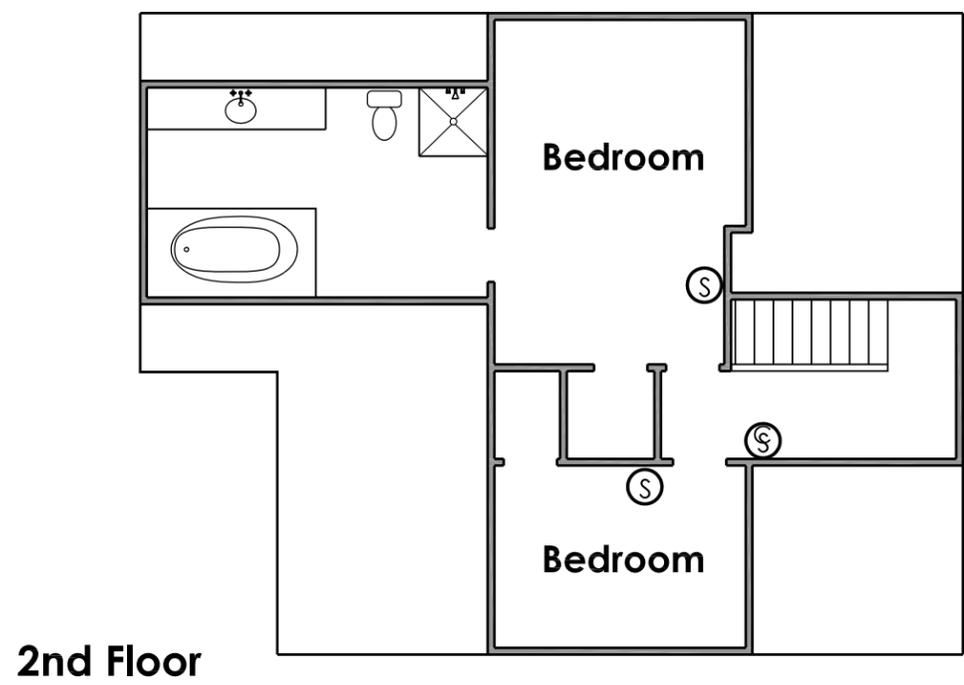
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Existing &
Symbols

A1.1



1 Existing Floor Plans
A1.2 Scale: 1/8" = 1'-0"



**Haralambides
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Existing Floor
Plans

A1.2



**Haralambides
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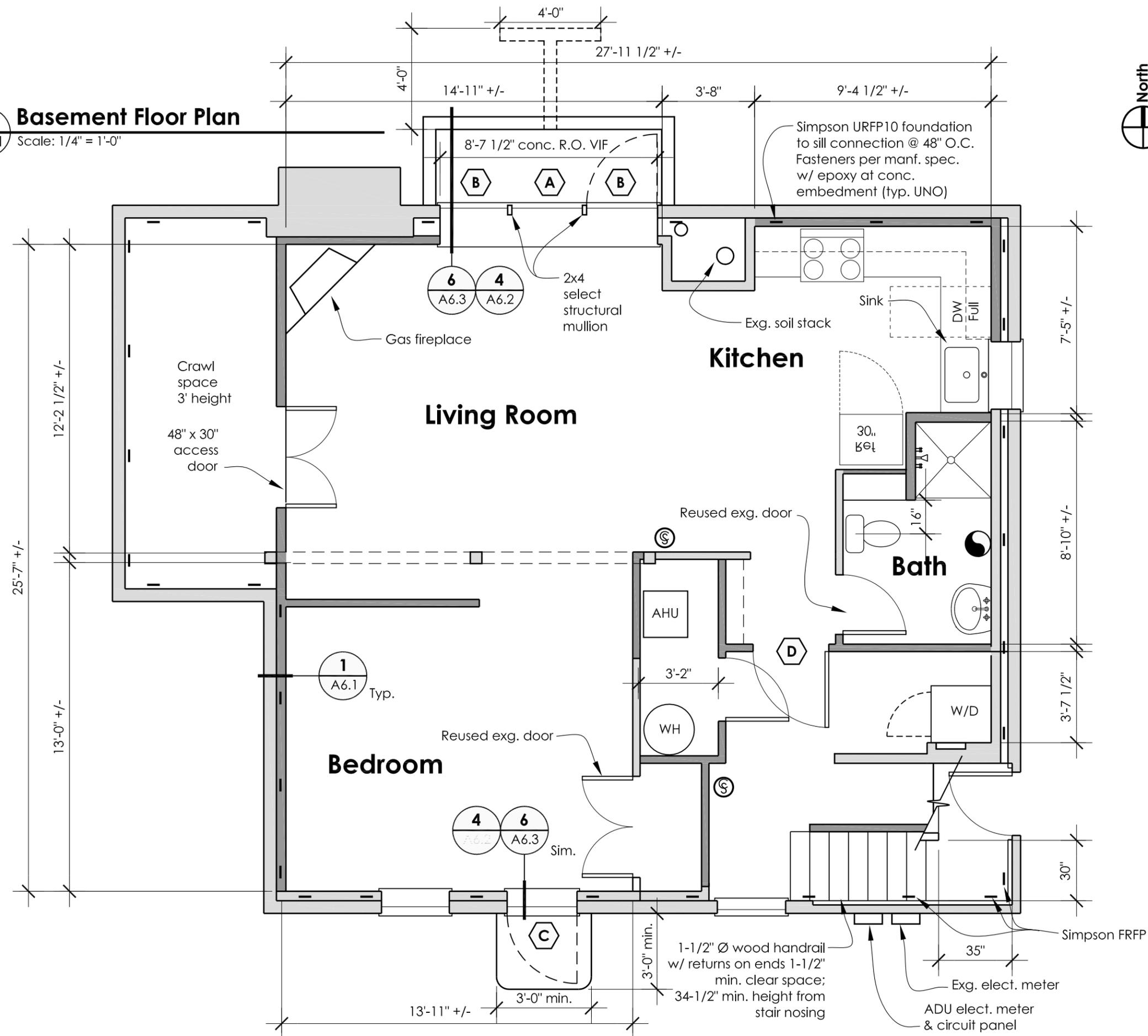
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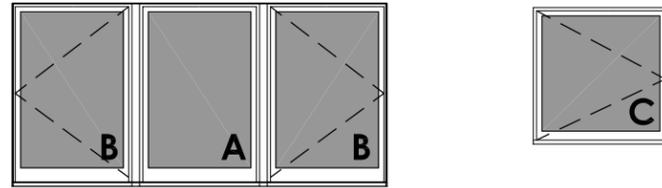
Basement
Floor Plan

A2.1

1 Basement Floor Plan

A2.1 Scale: 1/4" = 1'-0"





#	Qty	Type	Manuf.	Series	R. O. W x H Unit W x H***	R.O. Header Height ASF	Vert/Hrz Mull Width	Ext. Color	Muntins /Grids	Glazing	Jamb Ext.	Hardware Finish	Notes
A	1	CM	Vinyl	-	2'-8" x 4'-0"		N/A	White	NA	low-e	NA	White	-
B	2	CM	Vinyl	-	2'-8" x 4'-0"		N/A	White	NA	low-e	NA	White	Egress opening - 5 s.f. min
C	1	CM	Vinyl	-	3'-0" x 3'-0"		N/A	White	NA	low-e	NA	White	Egress opening - 5 s.f. min
D	1	Solid core	Flush face	Birch veneer	2/6 x 6/8		N/A	Clr. poly	NA	NA	NA	-	1-hr fire rated door w/ smoke seal & self-closing hardware; Dead bolt lock



ACT = active panel
ASF = above sub-floor
AWN = awning
CM = casement
Dbl. = double unit
DH = double hung
FR = French

FX = fixed
N/A = not applicable
PAS = passive panel
PICT = picture
PKT = pocket door
OS = outswing

OPR = operable/opening
SDL = simulated divided lite
SKYL = skylight
SLD = sliding
SH = single hung
Tpl. = triple unit
WD PRM = wood primed

NOTES:

1. Verify all window R.O. sizes.
2. Verify all window unit quantities.
3. Nickel satin finish hardware on all doors.
4. Extended lip strike plates to accommodate 1x door casings.
5. Spring type wall mounted door bumpers at all doors.

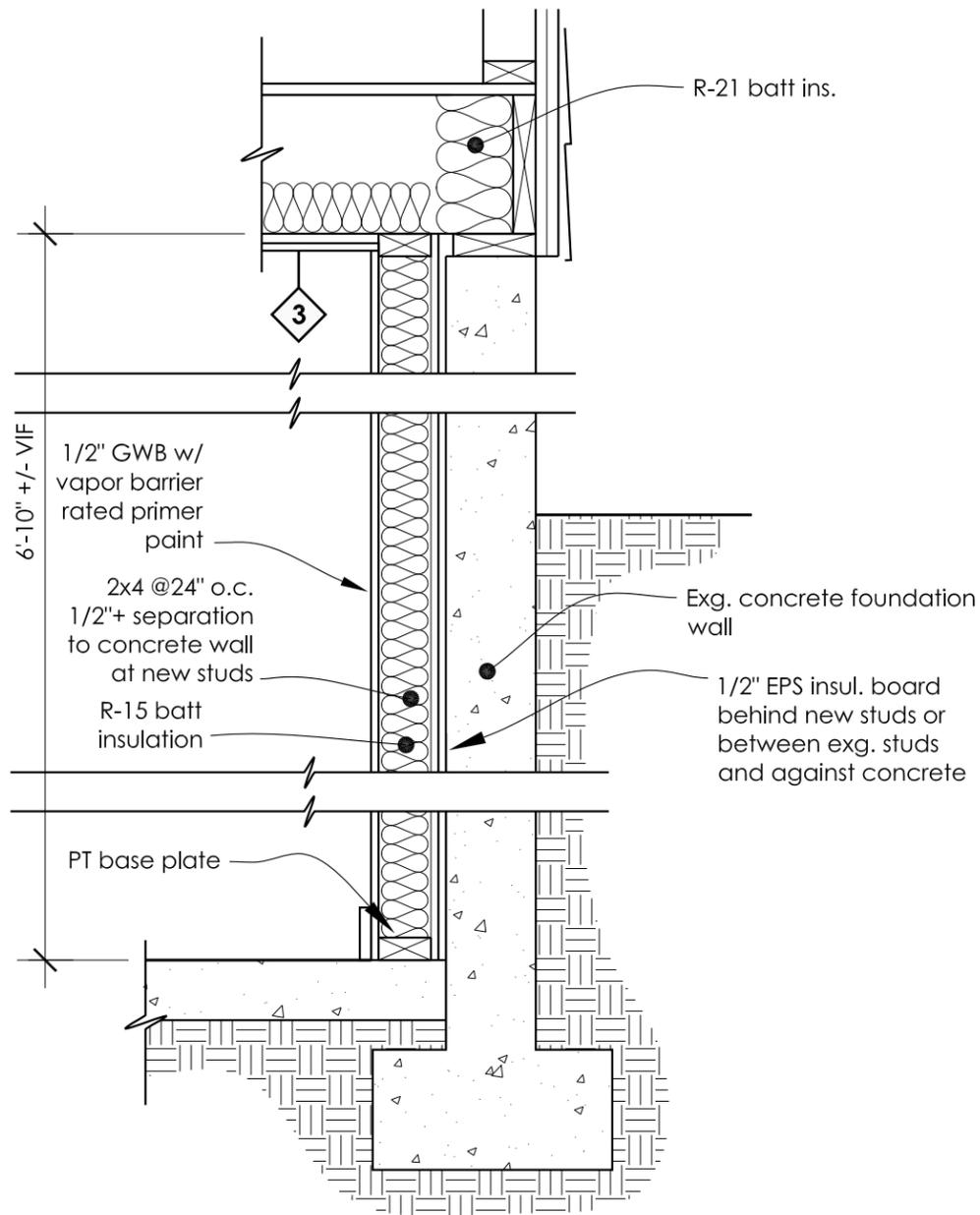
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Schedules

A4.1



1 Typical Exterior Wall Details
A6.1 Scale: 1" = 1'-0"

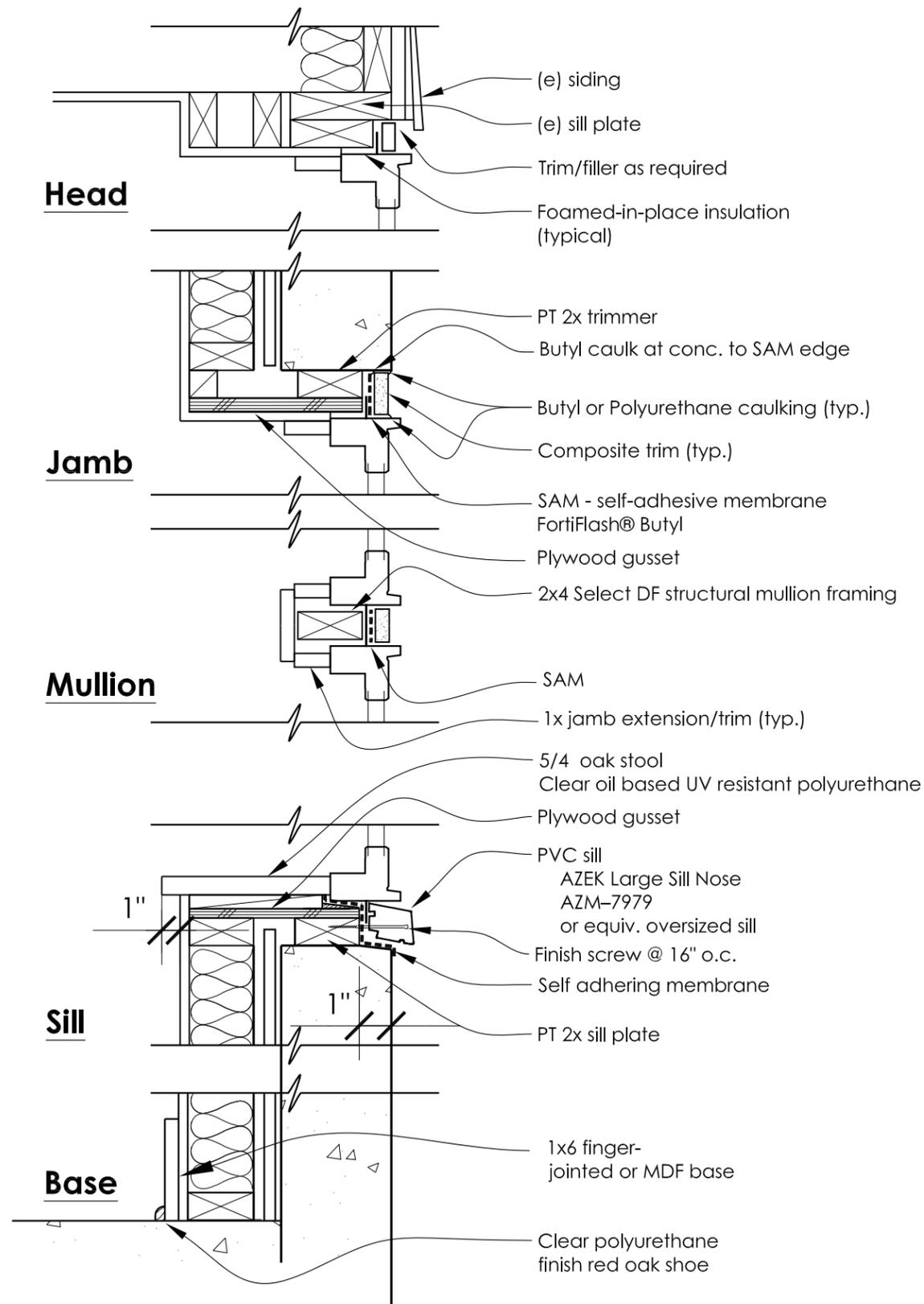
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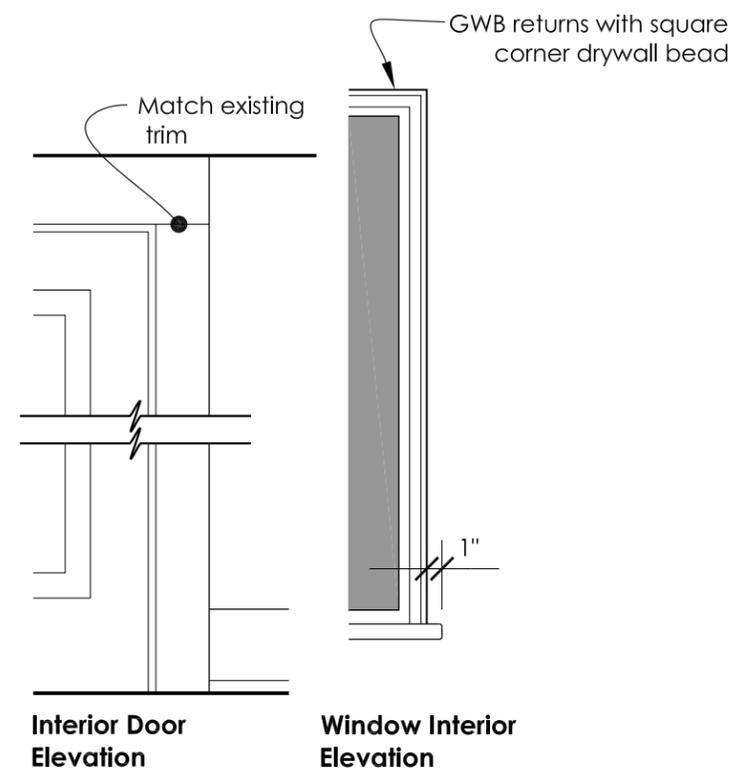
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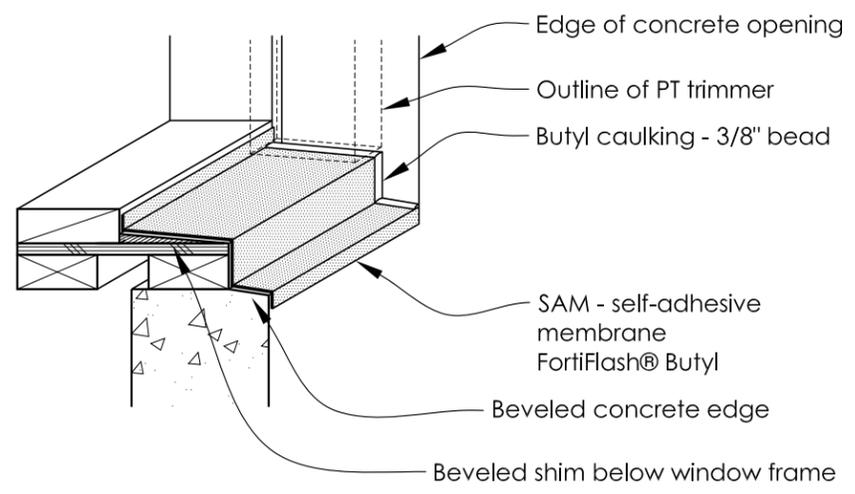
A6.1



4 Typical Window & Base Details
 A6.2 SCALE: 1-1/2" = 1'-0"



2 Typical Trim & Window Finish Details
 A6.2 Scale: 1" = 1'-0"



3 Window Flashing Detail
 A6.2 SCALE: 1-1/2" = 1'-0"

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Details

A6.2



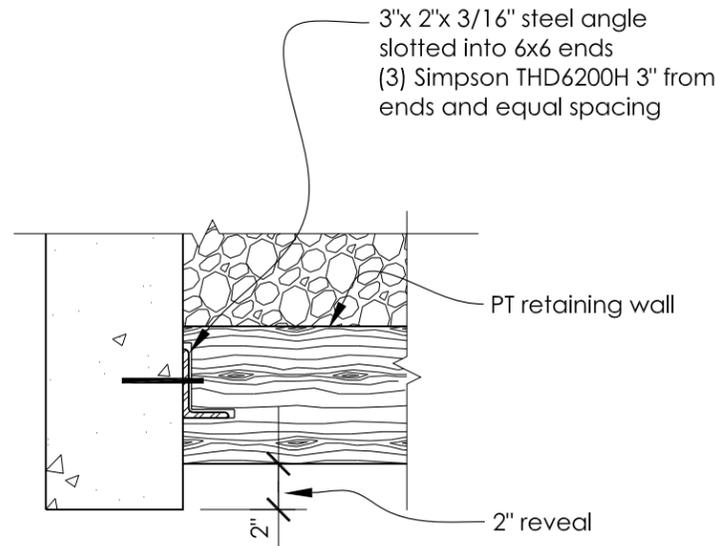
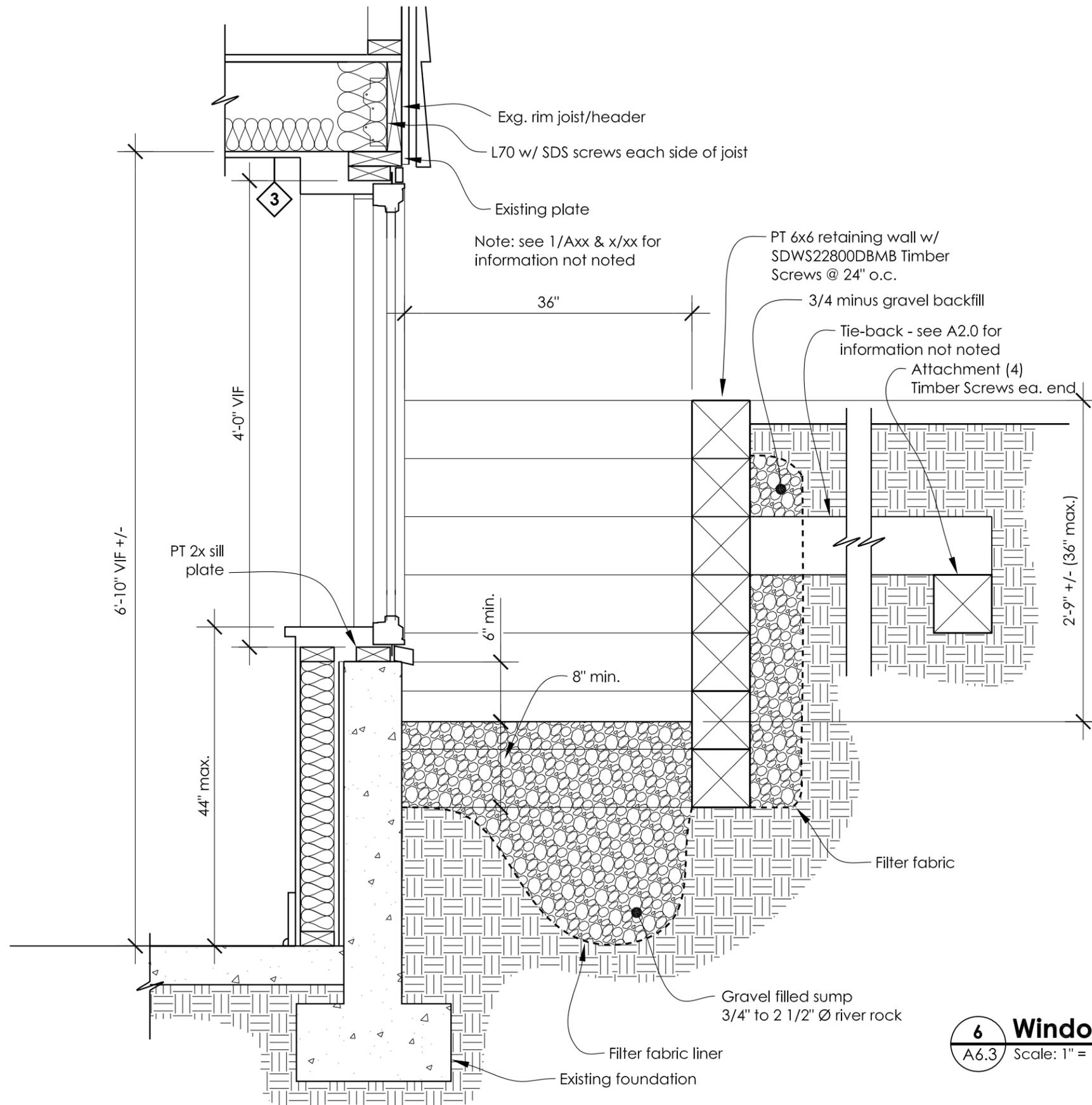
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Details

A6.3



**Window Well to House
Plan Detail**

5
A6.3 SCALE: 1-1/2" = 1'-0"

6 Window Details
A6.3 Scale: 1" = 1'-0"