

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 22143

Project Address: 1229 SW Grover St

Hearing Date: 11/20/19

Appellant Name: Robert Hayden

Case No.: B-010

Appellant Phone: 5036801087

Appeal Type: Building

Plans Examiner/Inspector: Don Graves-Highsmith

Project Type: commercial

Stories: 2 **Occupancy:** R-2 **Construction Type:** V-B

Building/Business Name: Hill Terrace Apts

Fire Sprinklers: No

Appeal Involves: other: Replacement of existing stair

LUR or Permit Application No.: 19-227215-HS (Complaint)

Plan Submitted Option: pdf [File 1] [File 2]

Proposed use: R2 - Apartments

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1012.6 Handrail Extensions

Requires Code requires handrail extensions at the top and bottom of stairs.

Proposed Design Please see attached photos of existing stair.

The concrete tread and steel stringer design is failing. A complaint has been filed regarding the condition of the stairs.

Due to space restrictions, we propose to replace the failing stairs with the original (existing design) which has one handrail on the inside of the stair assembly and no extensions.

Reason for alternative Please see attached proposed plans and photos.

The existing stair configuration (building built in 1967) precludes the extension of hand rails due to the location of an apartment door on the first floor and an existing wall on the second floor.

Handrail extensions would block the door on the first floor and dangerously reduce the egress path on the second floor and/or landing.

Adding a second rail on the other (outer) side of the stair would significantly reduce the egress width on the stairs.

APPEAL DECISION

1a. Reconstruction of existing stairs with omission of 2nd handrail: Denied. Proposal does not provide equivalent Life Safety protection.

1b. Reconstruction of existing stairs with omission of handrail extensions: Granted provided extensions

are provided to the extent possible where space allows.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

1229 S.W. GROVER ST., PORTLAND, OR 97239



2850 SW CEDAR HILLS BLVD. SUITE 106
BEAVERTON, OREGON 97005-1354
CONTACT: CHRISTOPHER NESTLERODE
PHONE: 503-341-6801 EM. CHRIS@PDSLCCNW.COM

DESCRIPTION OF WORK:

LEGALIZE EXISTING STAIRS.

CONTRACTOR:

KOPP CONSTRUCTION INC.
P.O. BOX 775
FOREST GROVE, OR 97116
PHONE 503.357.8810
CCB #: 76090
CONTACT: BILLY PHILLIP
EM: billyphilpot@yahoo.com

GENERAL NOTES:

- VERIFY ALL DIMENSIONS AND CONDITIONS, CONTACT DESIGNER IF THEY VARY FROM THESE DRAWINGS.
- ALL DECK FRAMING MEMBERS TO BE PRESSURE TREATED (P.T.), U.N.O.
- FRAMING CONNECTORS SHALL HAVE ALL THE NAIL HOLES FILLED AS SPECIFIED BY THE MANUFACTURER, U.N.O.
- ALL NEW AND REPLACED COMPONENTS OF THE BUILDING ENVELOPE SHALL BE INSTALLED WITH PROPER DRAINAGE AND FLASHING PER MANUFACTURERS CURRENT WRITTEN INSTRUCTIONS AND DETAILS AS REQUIRED BY ORSC SECTION R703.
- ALL WELDS TO BE MADE USING E70xx ELECTRODES.
- ALL WELDS TO BE DONE BY 'AWS' CERTIFIED WELDER ACCORDING TO PREQUALIFIED WELDING PROCEDURES.
- STEEL CHANNELS, PLATES & ANGLES SHALL BE ASTM A36.
- SPECIAL INSPECTION REQUIRED FOR VERIFICATION OF STEEL MEMBERS & WELDS.

DRAWINGS:

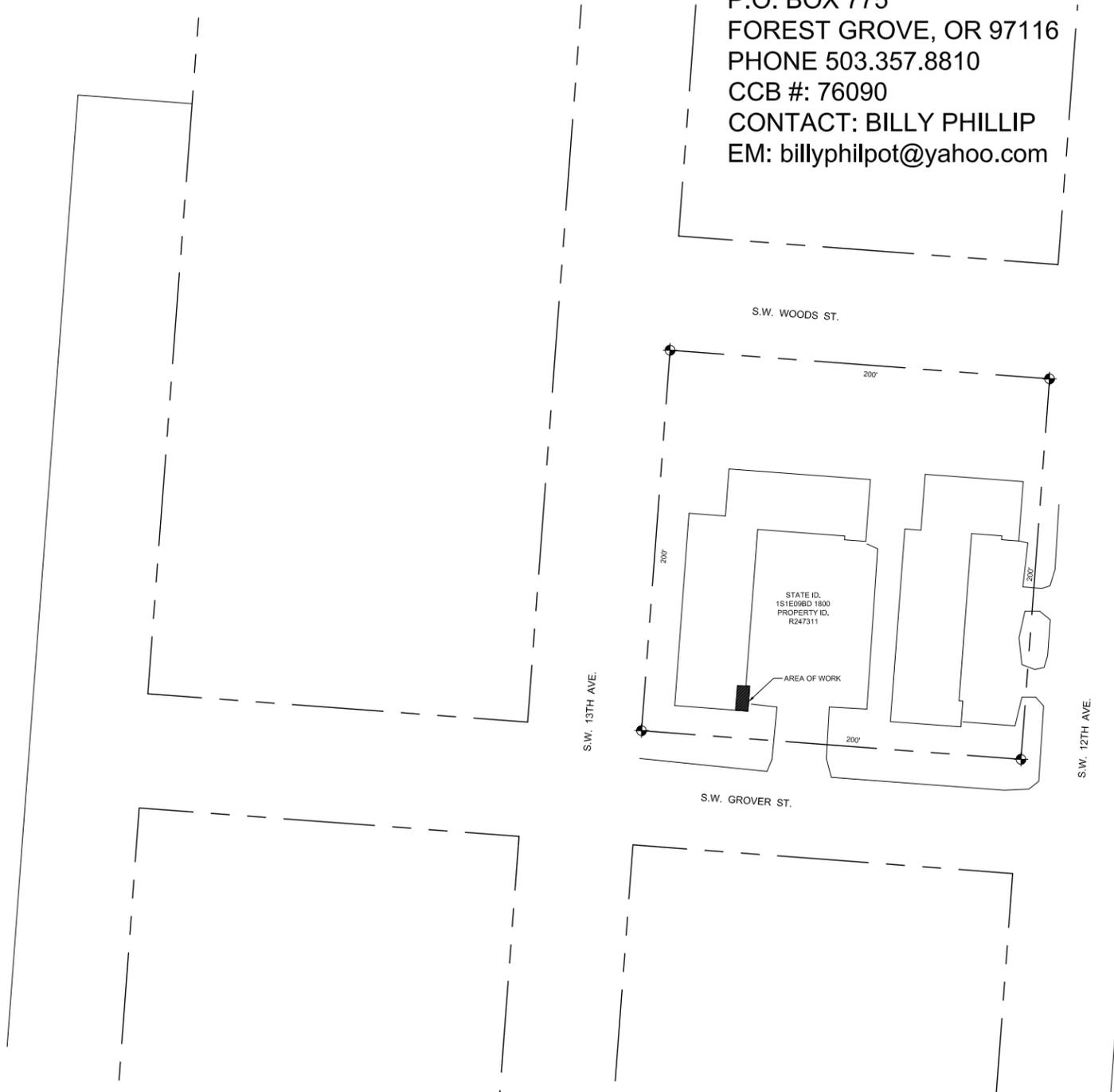
- A0 - TITLE SHEET
- A1 - DEMO. / FLOOR PLANS
- A2 - STAIR SECTIONS
- A3 - DETAILS
- A4 - STAIR RAILING ELEVATIONS

BUILDING CODE:

2014 OREGON STRUCTURAL SPECIALTY CODE

CHAPTER 10-
1009.7.2 EXEPTION #6 - SEE SECTION 3404.1 FOR THE REPLACEMENT OF EXISTING STAIRWAYS.

CHAPTER 34-
3404.1 EXCEPTION #1 - AN EXISTING STAIRWAY SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION 1009 WHERE THE EXISTING SPACE AND CONSTRUCTION DOES NOT ALLOW A REDUCTION IN PITCH OR SLOPE.



1
A0
SITE PLAN
SCALE: 1/4"=1'-0"



STAIR LEGALIZATION
1229 S.W. GROVER ST., PORTLAND, OR 97239

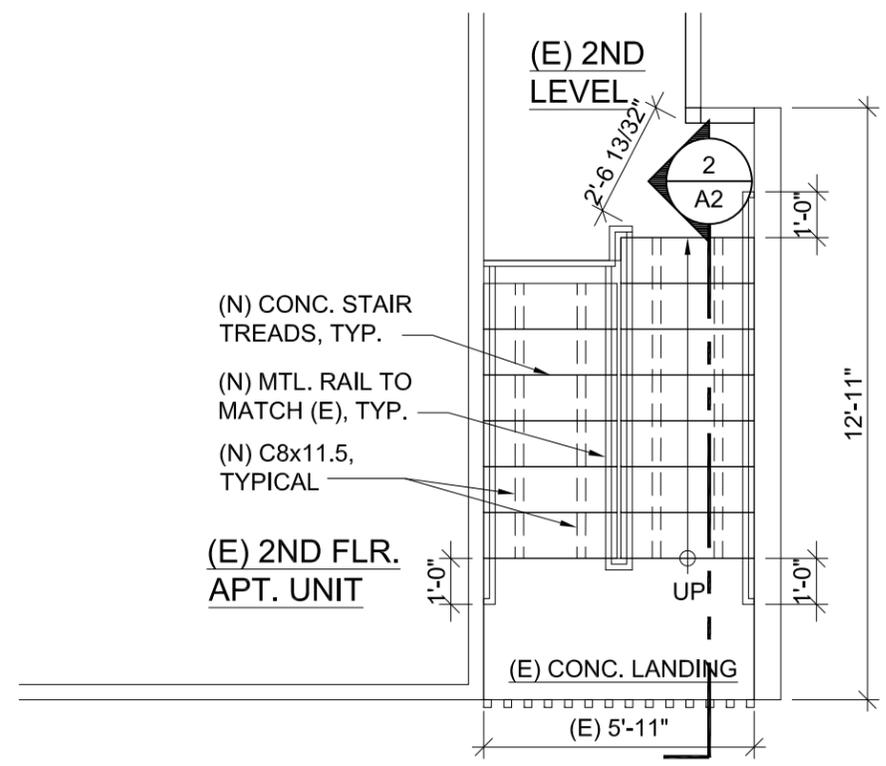
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DRAWN BY: MJ
JOB #: 1909117
SHEET:

TITLE SHEET

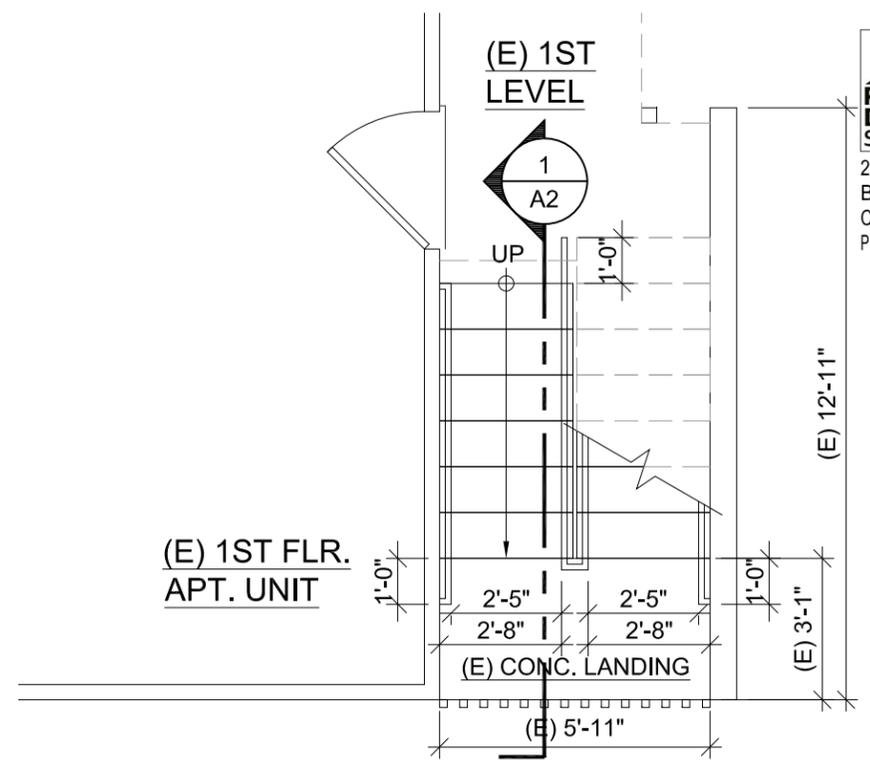
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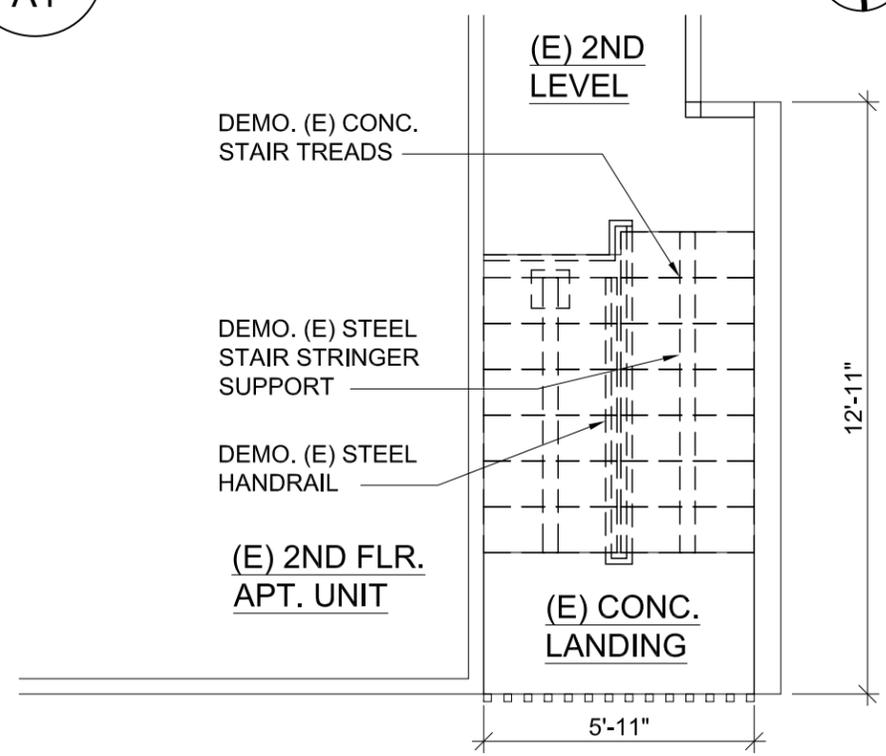
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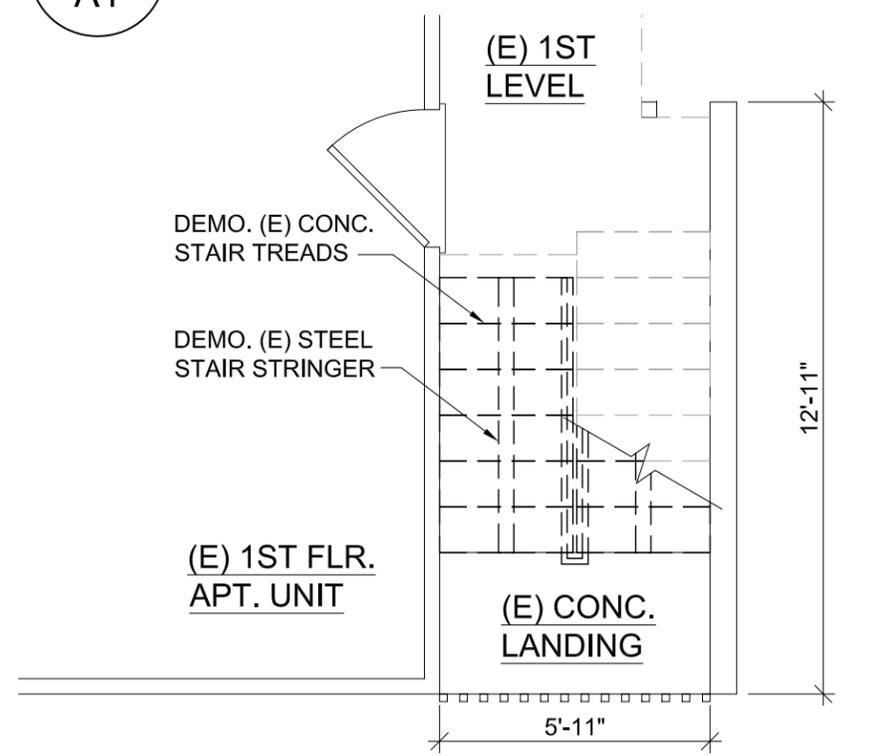
4 **2ND FLR PLAN** NORTH
 A1 SCALE: 1/4"=1'-0"



3 **1ST FLR PLAN** NORTH
 A1 SCALE: 1/4"=1'-0"



2 **2ND FLR DEMO PLAN** NORTH
 A1 SCALE: 1/4"=1'-0"



1 **1ST FLR DEMO PLAN** NORTH
 A1 SCALE: 1/4"=1'-0"

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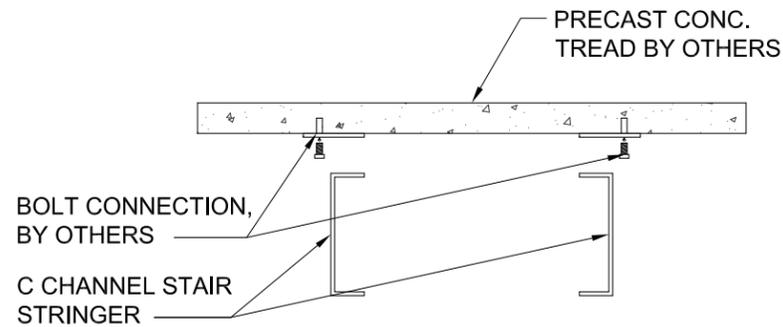
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DEMOLITION & FLOOR PLANS

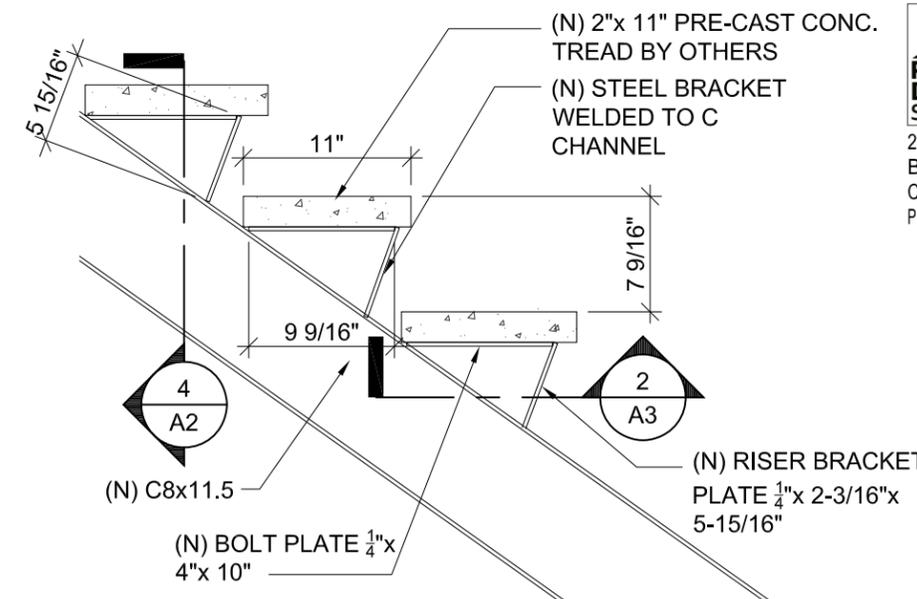
A1



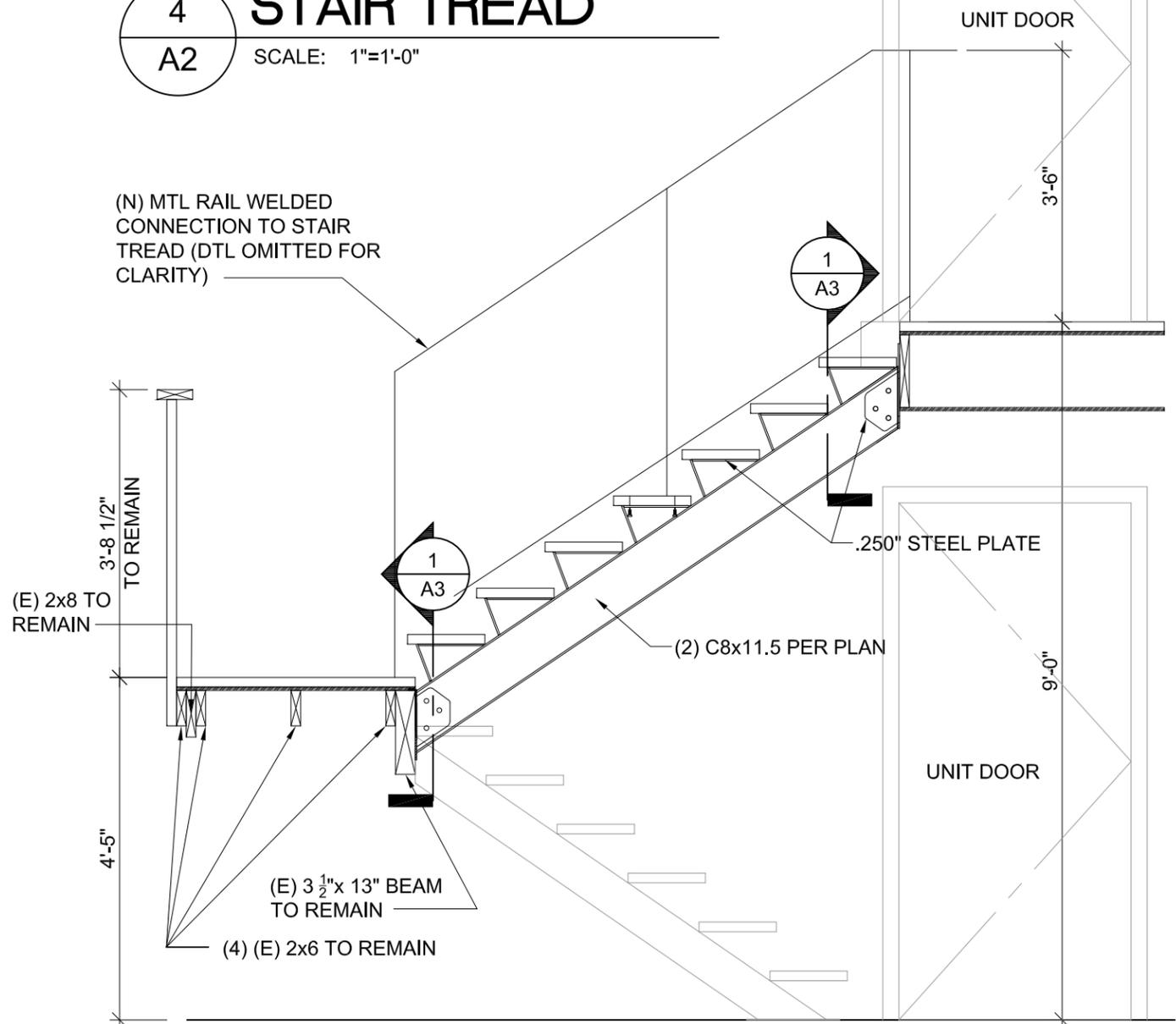
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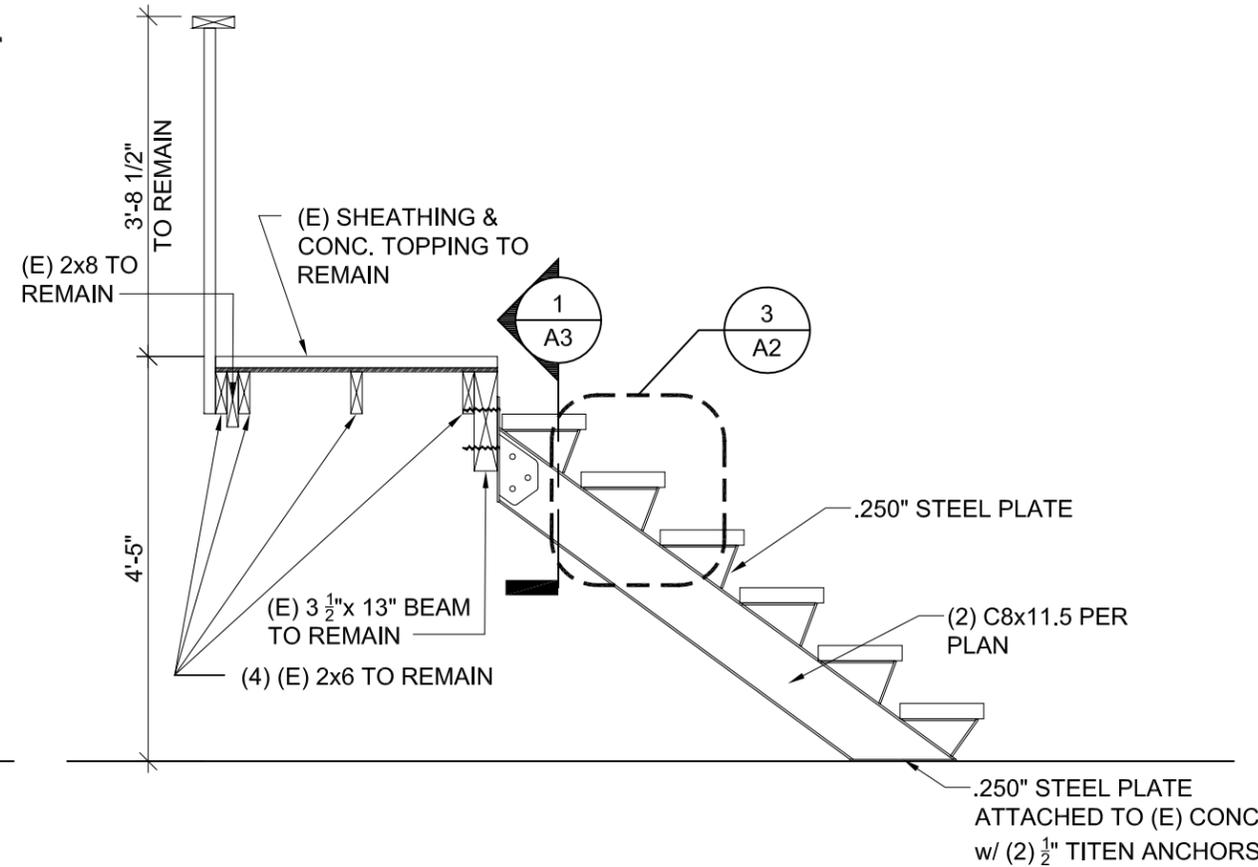
4 STAIR TREAD
 A2 SCALE: 1"=1'-0"



3 STAIR DETAIL
 A2 SCALE: 1"=1'-0"



2 2ND FLR STAIR SECTION
 A2 SCALE: 1/2"=1'-0"



1 1ST FLR STAIR SECTION
 A2 SCALE: 1/2"=1'-0"

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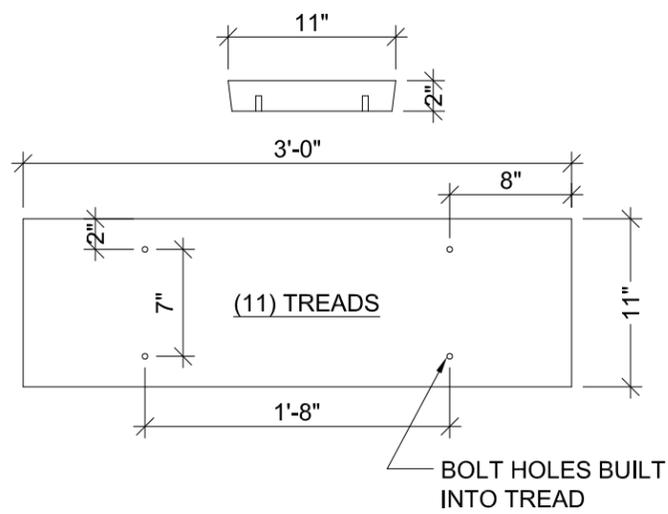
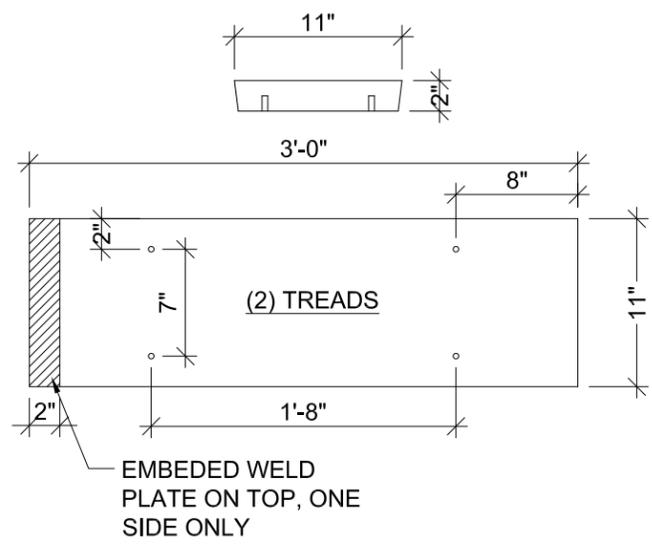
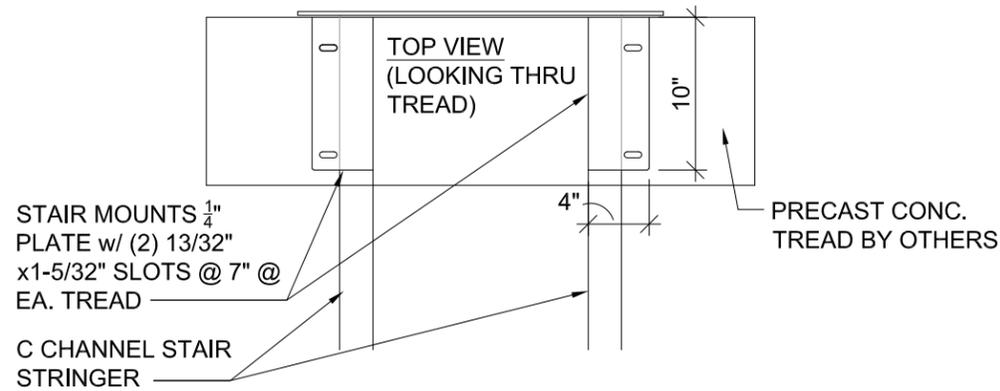
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STAIR SECTIONS

A2



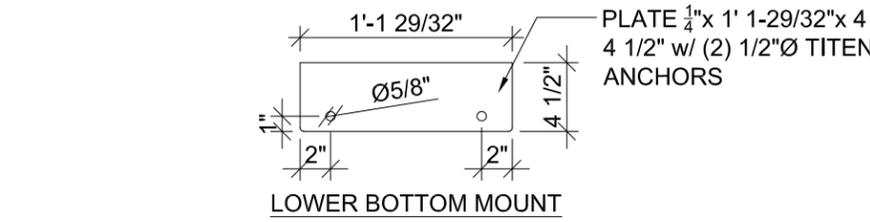
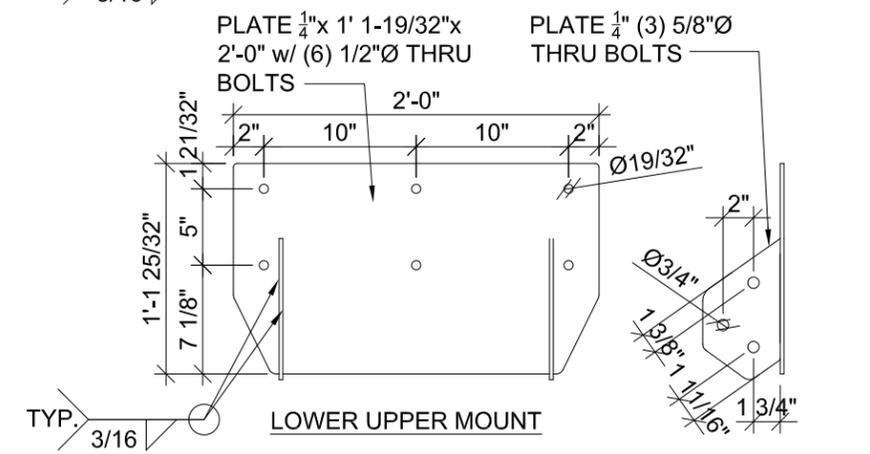
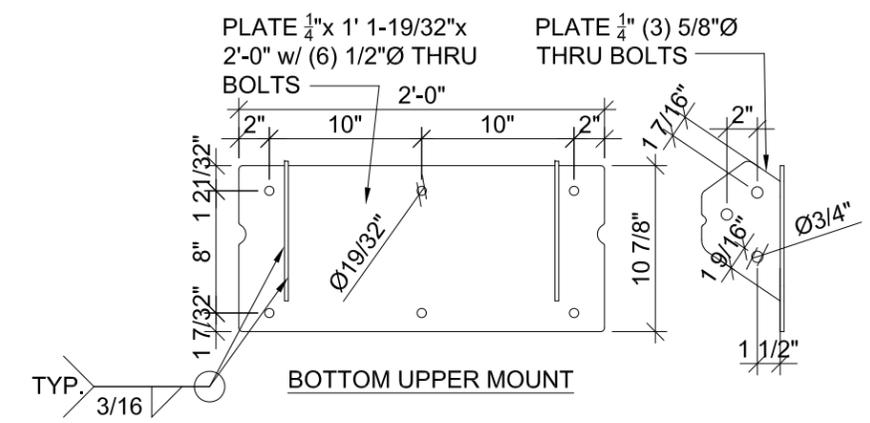
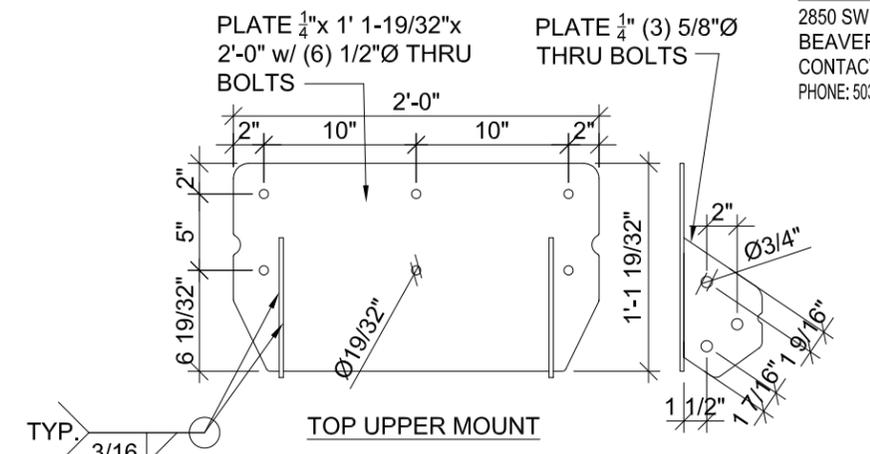
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PRECAST CONCRETE STAIR TREADS

2
A3

SCALE: 1"=1'-0"



1
A3

STAIR STRINGER CONN

SCALE: 1"=1'-0"

STAIR LEGALIZATION
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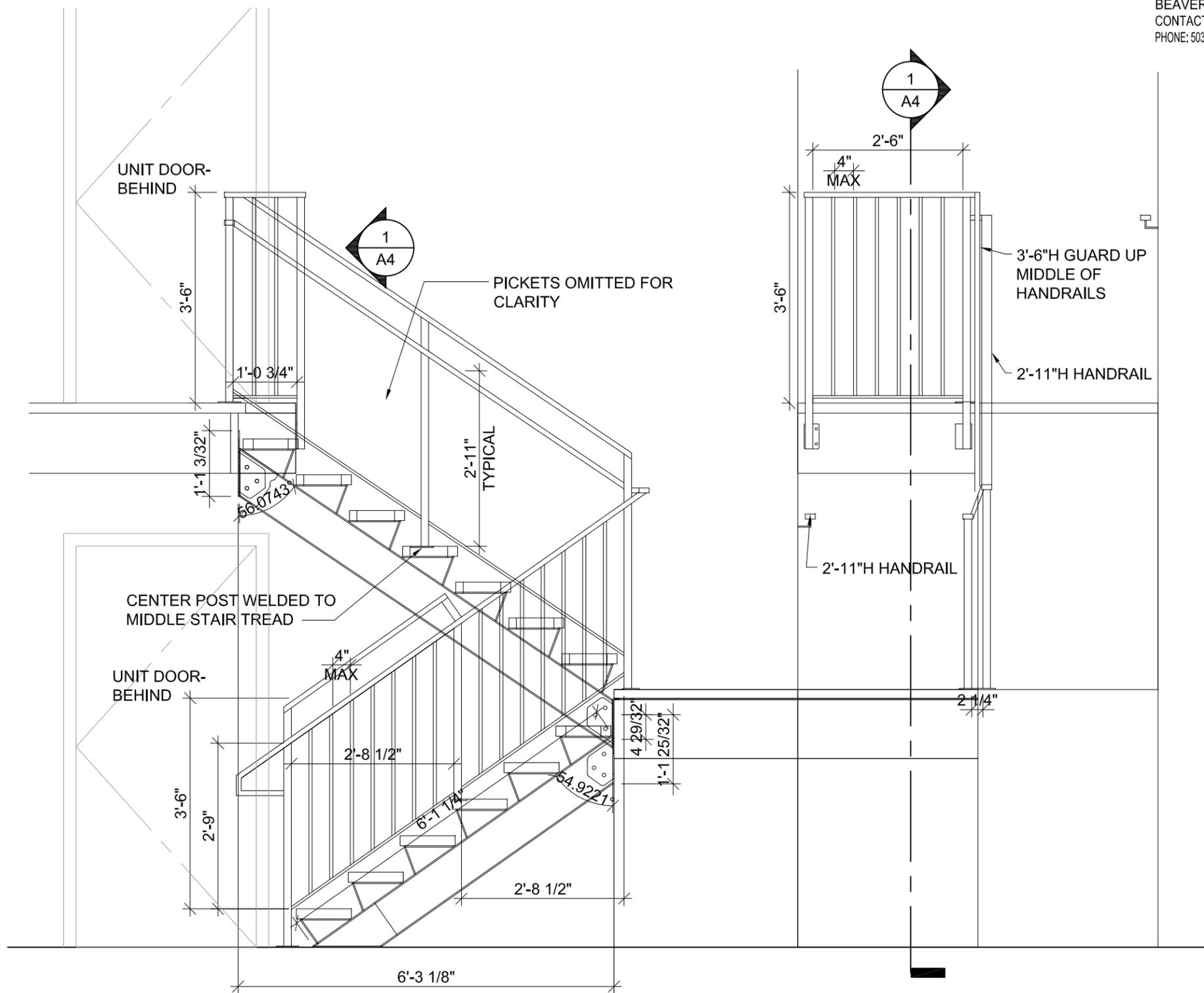
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DETAILS

A3



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STAIR RAILING ELEVATIONS

1
A4

STAIR RAILING ELEVATIONS

SCALE: 1/2"=1'-0"

A4

1229 SW Grover ST Apartments



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