

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered - Reconsideration of ID 20549, item #2

| | |
|---|---|
| Appeal ID: 21915 | Project Address: 6712 N Montana Ave |
| Hearing Date: 9/25/19 | Appellant Name: Brian Cavanaugh |
| Case No.: B-010 | Appellant Phone: 5032086515 |
| Appeal Type: Building | Plans Examiner/Inspector: Gail Knoll |
| Project Type: commercial | Stories: 3 Occupancy: R-2 Construction Type: V-B |
| Building/Business Name: The Eleven | Fire Sprinklers: Yes - Throughout |
| Appeal Involves: Reconsideration of appeal | LUR or Permit Application No.: 19-130221-CO |
| Plan Submitted Option: pdf [File 1] | Proposed use: Multi-family housing |

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1020.1, 1022.4

Requires

1020.1 - Exits shall comply with Sections 1020 through 1026 and the applicable requirements of Sections 1003 through 1013. An exit shall not be used for any purpose that interferes with the function as a means of egress. Once a given level of exit protection is achieved, such level of protection shall not be reduced until arrival at the exit discharge.

1022.4 - Openings. Interior exit stairway and ramp opening protectives shall be in accordance with the requirements of Section 716.

Openings in interior exit stairways and ramps other than unprotected exterior openings shall be limited to those necessary for exit access to the enclosure from normally occupied spaces and egress from the enclosure.

Proposed Design

ORIGINAL TEXT

The proposed new building is a three story type VB wood structure. The building is served by a single interior exit stair with the exit discharge at the main building entrance via a covered entry porch. The ground floor of the building includes a lobby, mail alcove, and access to a bike room and Fire/Plumbing Room. The frames/doors to both the Bike Room and Fire/Plumbing Room are 1-hr rated hollow metal frames/doors. In addition, both rooms are separated from the exit system by a 1-hr Fire Barrier Wall. Given the location of these spaces and the simple and clear path of egress these conditions will not interfere with the means of egress.

RECONSIDERATION TEXT

The proposed design of the egress system has been revised to fully enclose the interior exit stair with a 1-hr Fire Barrier (per 1022.2), which leads to an exit passageway (per 1022.1) and then exit discharge. The exit discharge condition was approved in code appeal 20549. In addition to the exit

access openings associated with the dwelling units a single 1-hr rated exit access opening associated with the mail and bike storage is provided.

Reason for alternative ORIGINAL TEXT

The proposed alternative is required to allow for clear and efficient planning and design this modest three story housing project. The design of the means of egress is clear and simple providing a direct access to the exit discharge and will be equal to that required by the code.

RECONSIDERATION TEXT

The revised egress system design provides a condition that is clear and direct, and that does not interfere with the function as a means of egress, thus providing a condition that is equal to that required by code.

in addition, the mail area and bike storage are a part of the normal day-to-day function and occupancy of the building, and meet the code definition of "Occupiable Space". Thus, the single 1-hr rated exit access opening into the enclosure of the Interior Exit Stair provides a condition equal to the requirements of 1022.4 and does not interfere with the function as a means of egress.

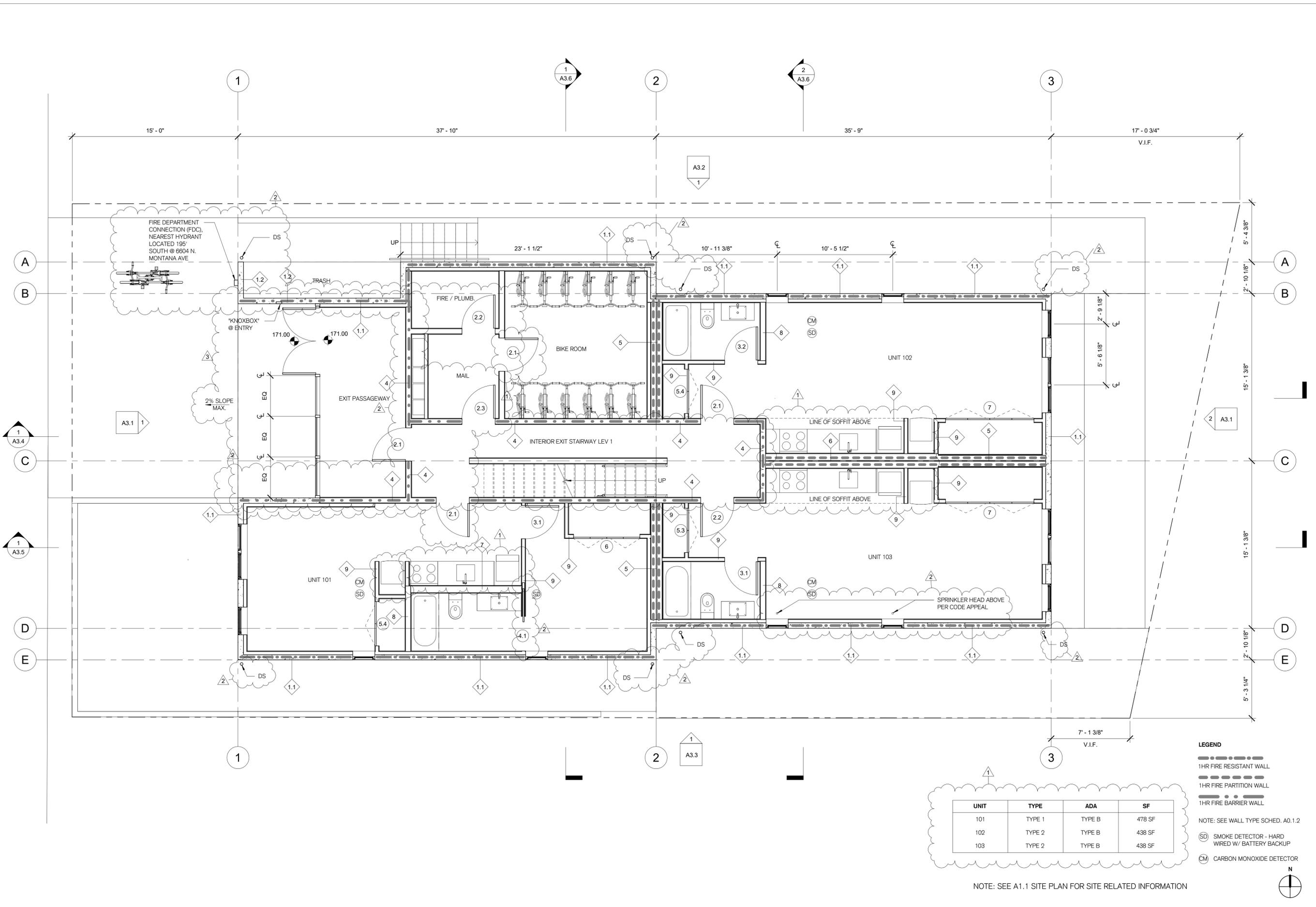
APPEAL DECISION

Interior exit stair enclosure with opening to spaces not normally occupied: Granted provided the mailroom door is listed for minimum 90 minute fire rating.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



| UNIT | TYPE | ADA | SF |
|------|--------|--------|--------|
| 101 | TYPE 1 | TYPE B | 478 SF |
| 102 | TYPE 2 | TYPE B | 438 SF |
| 103 | TYPE 2 | TYPE B | 438 SF |

- LEGEND**
- 1HR FIRE RESISTANT WALL
 - 1HR FIRE PARTITION WALL
 - 1HR FIRE BARRIER WALL
 - (SD) SMOKE DETECTOR - HARD WIRED W/ BATTERY BACKUP
 - (CM) CARBON MONOXIDE DETECTOR
- NOTE: SEE WALL TYPE SCHED. A0.1.2

NOTE: SEE A1.1 SITE PLAN FOR SITE RELATED INFORMATION



THE ELEVEN
6710 N MONTANA AVE
PORTLAND, OREGON 97217

OWNER INFORMATION
D. MONTANA D. LLC
3315 CEDAR CT., LAKE OSWEGO, OR 97034

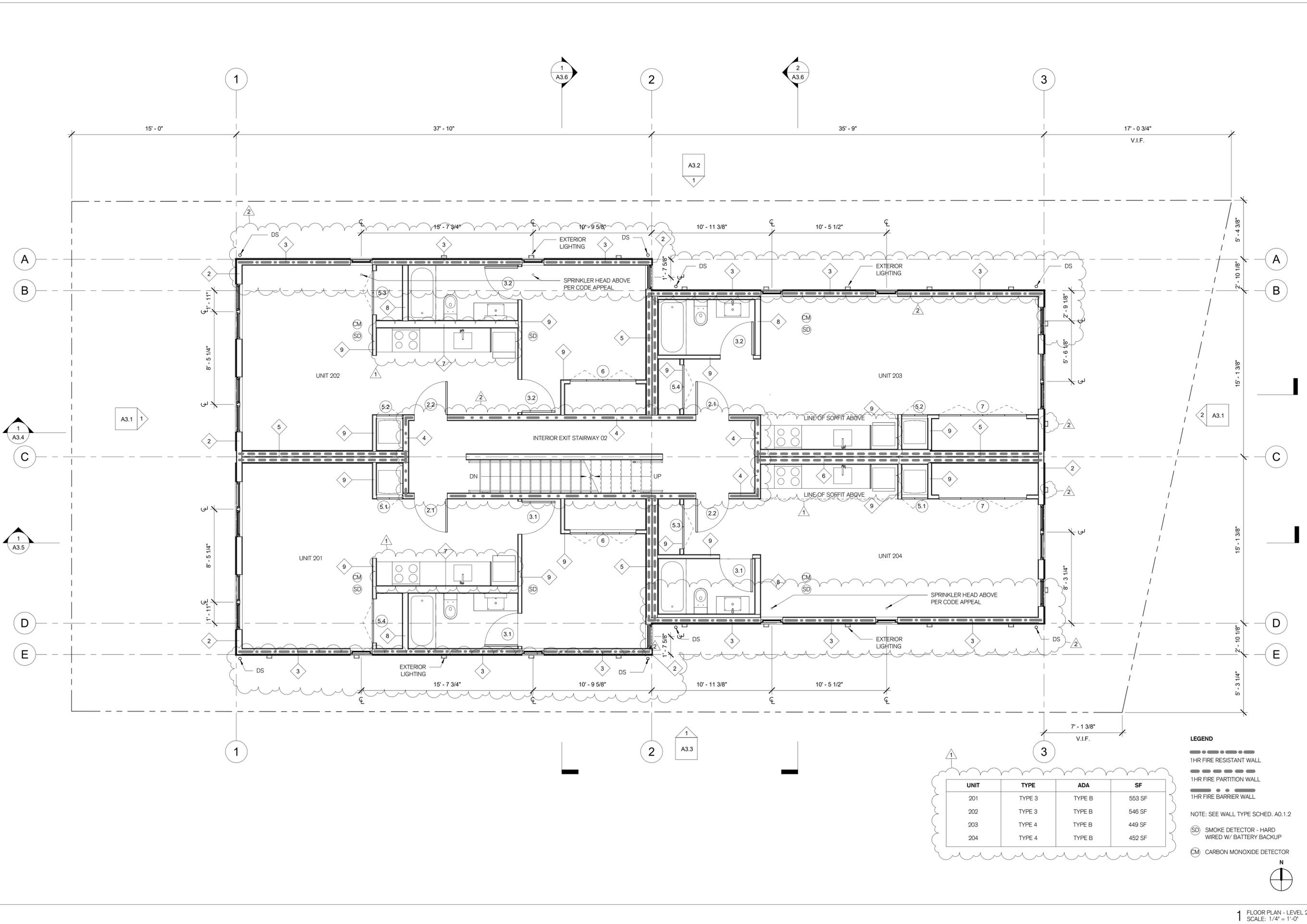
| REVISIONS | DATE | DESCRIPTION |
|-----------|----------|-----------------|
| NO. 1 | 04/05/19 | ASI 1 - 100% CD |
| 2 | 04/26/19 | PERMIT REV |
| 3 | 08/07/19 | PERMIT REV |

DRAWN BY: BC/JW
DESIGNED BY: ABC
APPROVED BY: BC
PROJECT NO: 201703
SCALE: 1/4" = 1'-0"
DATE: 02/28/19

CONSTRUCTION DOCUMENTS
FLOOR PLANS

A2.1

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| UNIT | TYPE | ADA | SF |
|------|--------|--------|--------|
| 201 | TYPE 3 | TYPE B | 553 SF |
| 202 | TYPE 3 | TYPE B | 546 SF |
| 203 | TYPE 4 | TYPE B | 449 SF |
| 204 | TYPE 4 | TYPE B | 452 SF |

- LEGEND**
- 1HR FIRE RESISTANT WALL
 - 1HR FIRE PARTITION WALL
 - 1HR FIRE BARRIER WALL
 - (SD) SMOKE DETECTOR - HARD WIRED W/ BATTERY BACKUP
 - (CM) CARBON MONOXIDE DETECTOR
- NOTE: SEE WALL TYPE SCHED. A0.1.2

THE ELEVEN
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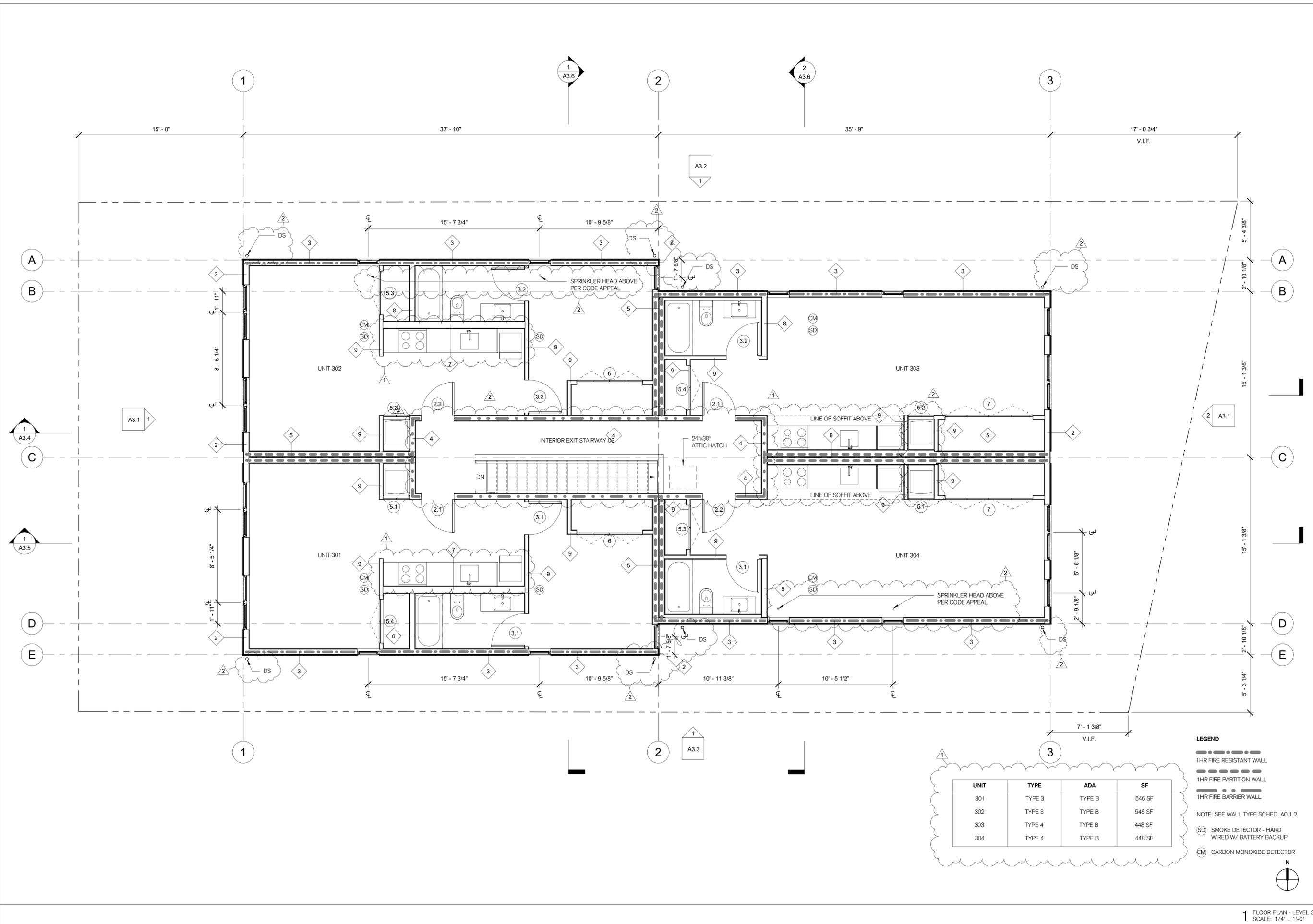
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1 FLOOR PLAN - LEVEL 2
SCALE: 1/4" = 1'-0"



| UNIT | TYPE | ADA | SF |
|------|--------|--------|--------|
| 301 | TYPE 3 | TYPE B | 546 SF |
| 302 | TYPE 3 | TYPE B | 546 SF |
| 303 | TYPE 4 | TYPE B | 448 SF |
| 304 | TYPE 4 | TYPE B | 448 SF |

- LEGEND**
- 1HR FIRE RESISTANT WALL
 - 1HR FIRE PARTITION WALL
 - 1HR FIRE BARRIER WALL
 - NOTE: SEE WALL TYPE SCHED. A0.1.2
 - (SD) SMOKE DETECTOR - HARD WIRED W/ BATTERY BACKUP
 - (CM) CARBON MONOXIDE DETECTOR



1 FLOOR PLAN - LEVEL 3
SCALE: 1/4" = 1'-0"

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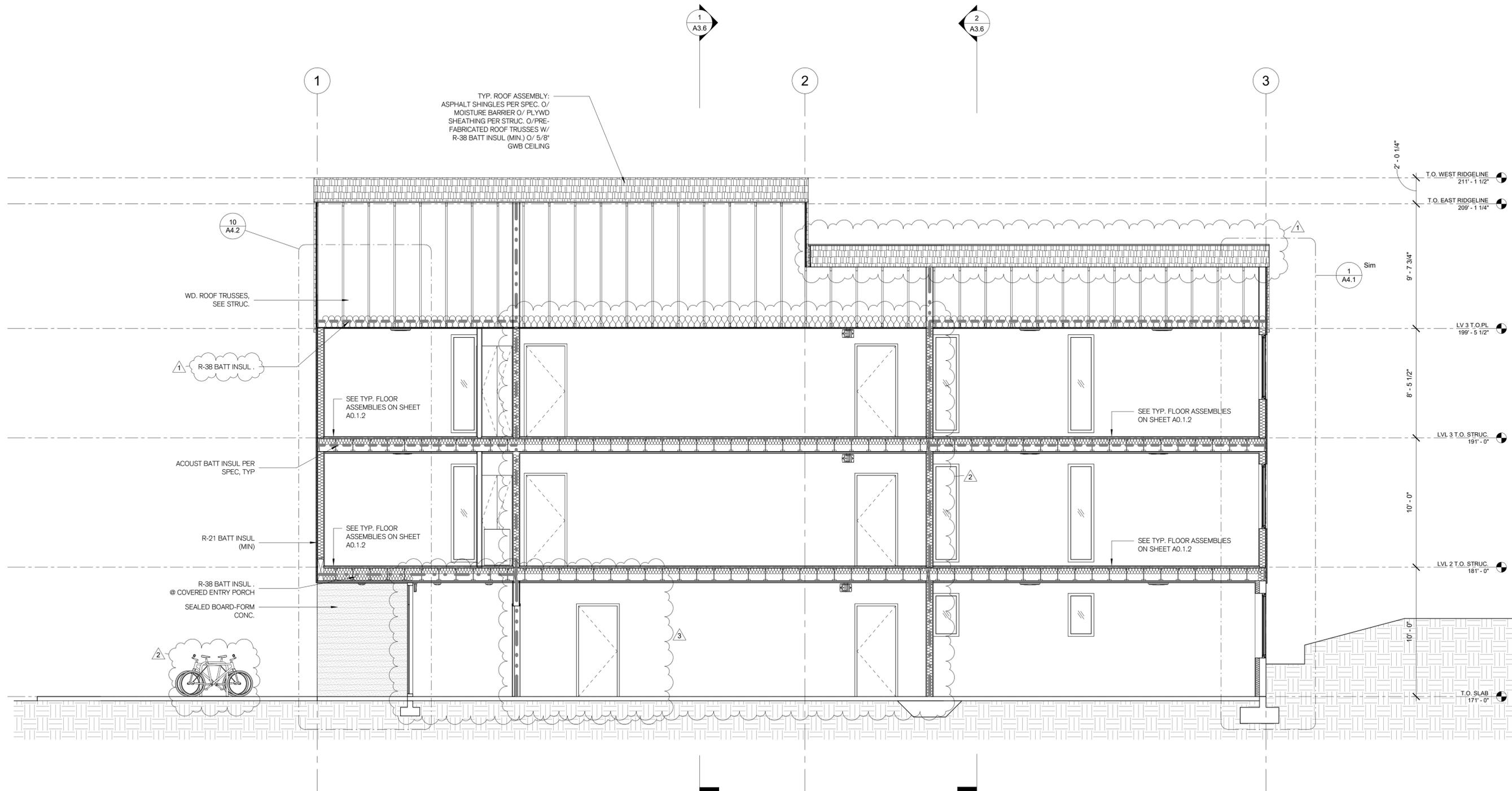
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LEGEND

| | |
|-------|-----------------------|
| ----- | 1-HR FIRE BARRIER |
| ----- | 1-HR EXTERIOR WALL |
| ----- | 1HR FIRE BARRIER WALL |

1 E-W SECTION @ ENTRY
SCALE: 1/4" = 1'-0"

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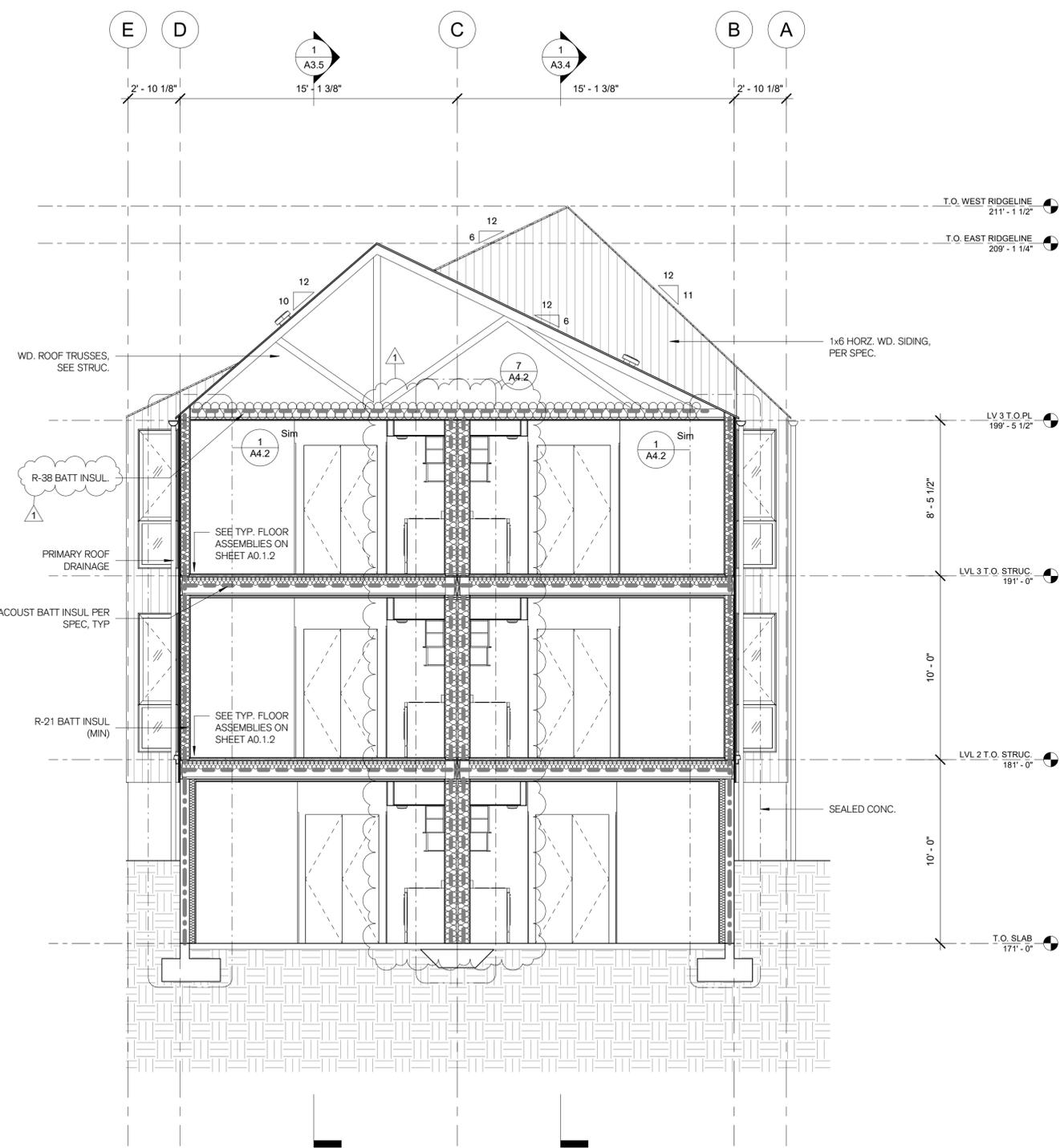
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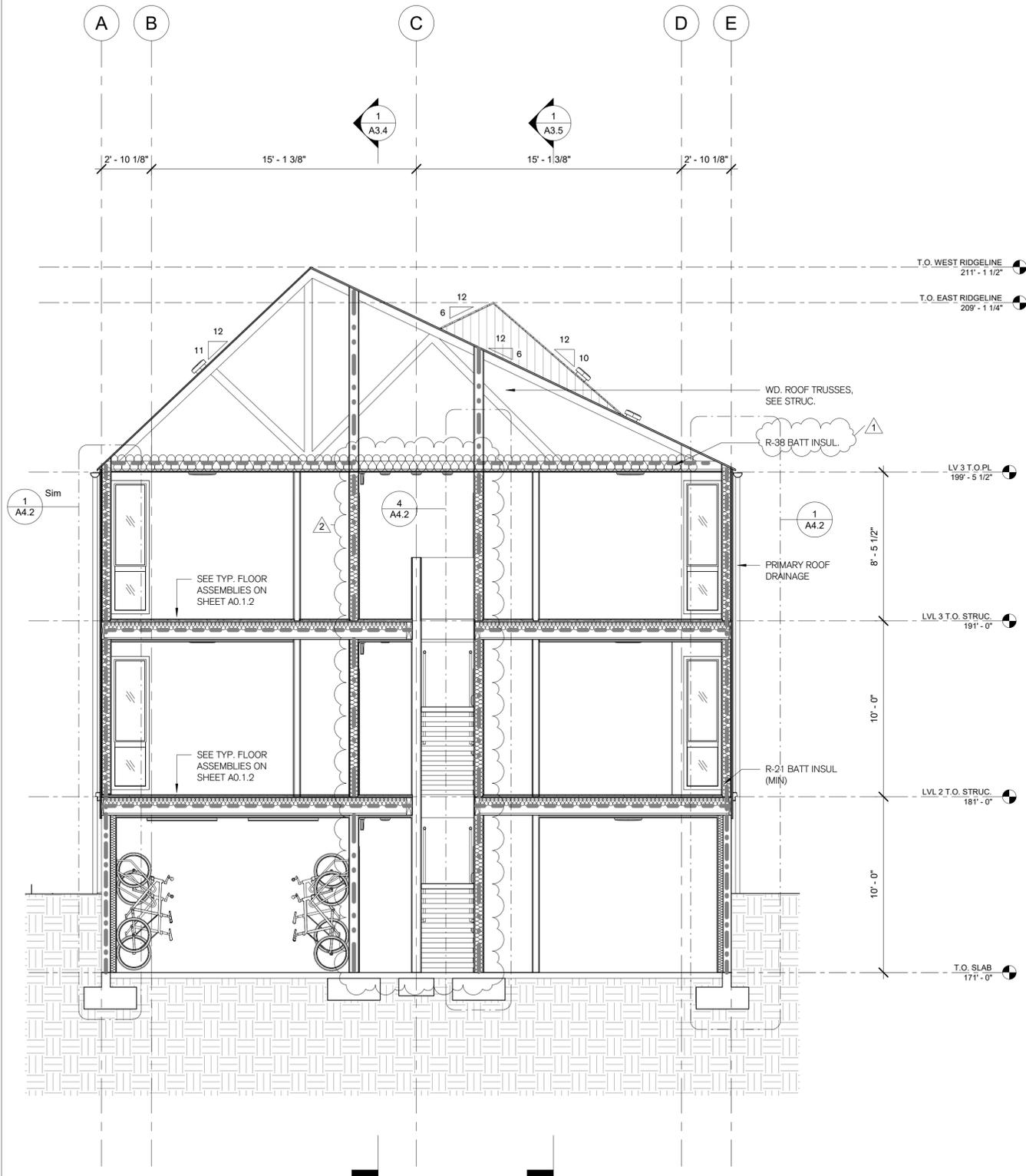
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2 N-S SECTION 2
SCALE: 1/4" = 1'-0"



1 N-S SECTION
SCALE: 1/4" = 1'-0"

LEGEND

| | |
|--|------------------------|
| | 1-HR FIRE BARRIER |
| | 1-HR EXTERIOR WALL |
| | 1-HR FIRE BARRIER WALL |

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