

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Hold for Additional Information

Appeal ID: 20746	Project Address: 12 SE 14th Ave
Hearing Date: 8/21/19	Appellant Name: Kendra Shippy
Case No.: B-002	Appellant Phone: 503-931-8915
Appeal Type: Building	Plans Examiner/Inspector: Gail Knoll
Project Type: commercial	Stories: 2 Occupancy: B Construction Type: V-B
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure, occ Change from S to B	LUR or Permit Application No.: 19-124624-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Office

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	Table 705.8, Table 716.6, Table 602
Requires	Degree of opening protection for fire separation distances of 3 to less than 5 feet shall be "unprotected, sprinklered (UP, S) with an allowable area of 15% or protected (P) with an allowable area of 15%". Exterior walls that are constructed of a 1HR fire rated assembly are required to have openings of 3/4HR fire rated assembly marked with OH-45 or W-60. Walls less than 5 feet from the property line and in a B occupancy must be constructed of at least a 1HR fire rated assembly.
Proposed Design	The design proposes new openings at the (E) 2HR concrete wall on the North facade of the basement level in a building that is not equipped with an automatic sprinkler system. The north wall at the basement level is constructed of a full height 6" thick concrete and furred with 2x4 wood studs. The basement is proposed to be a B occupancy and the wall is required to be at least a 1HR rated assembly per table 602. The total square feet of proposed openings is 127SF , or 12%, of the wall area at the North facade of the basement level. These new windows are proposed to be "protected" with a 3/4 hour rated assembly with glazing marked with either OH-45 or W-60 30 per table 716.6, Fire Window Assembly Fire Protection Ratings.
Reason for alternative	Proposal provides the required assemblies for separation distances per the OSSC 2014 code sections mentioned above. Daylight is important to the quality of the indoor environment at this lower level. The area of openings added to the North wall is less than 2% of the total North facade area. The north neighboring building at this facade has no openings and is constructed of CMU from grade to the roof. The open area between the two buildings is not used for exiting because there are no entrances into either building along these facades. It is also not a direct path of exiting.

APPEAL DECISION

Allowable area of openings 4 feet from property line: Hold for additional information.
Appellant may contact John Butler (503 823-7339) with questions.

DRAWING INDEX

DRAWINGS

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A2	MAIN 4 BASEMENT FLOOR PLANS (AREA OF WORK)
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A6	MAIN 4 BASEMENT PLANS
ID1	BASEMENT FLOOR PLAN SCHEDULES
ID2	BASEMENT REFLECTED CEILING PLAN BASEMENT FLOORING PLAN LIGHTING & FLOORING SCHEDULES FIRST FLR. (N) OFFICE PLAN
ID3	BASEMENT INTERIOR ELEVATIONS
ID4	BASEMENT INTERIOR DETAILS
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S41	STRUCTURAL DETAILS

WALL LEGEND

=====	EXISTING WALL TO REMAIN
=====	EXISTING WALL TO BE REMOVED
=====	NEW STUD WALL - SEE SECTION A2, ID4 FOR REQUIREMENTS
=====	EXIST. CONC. FND. WALL, 1" FURRING SPACE, 2x4 STUDS @ 24" O.C., R-15c1 BELOW GRADE, R-21 ABOVE GRADE BATT INSUL., 3" GYP. WALL BD.

BUILDING ENVELOPE REQUIREMENTS

TABLE 502.1

ROOFS:	R-20
ATTICS:	R-30

WALLS ABOVE GRADE MASS:	R-13c1
WOOD FRAMED / OTHER:	R-21

WALLS BELOW GRADE WALLS:	R-15c1
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FLOORS MASS:	R-12.5c1
JOIST/FRAMING	R-30

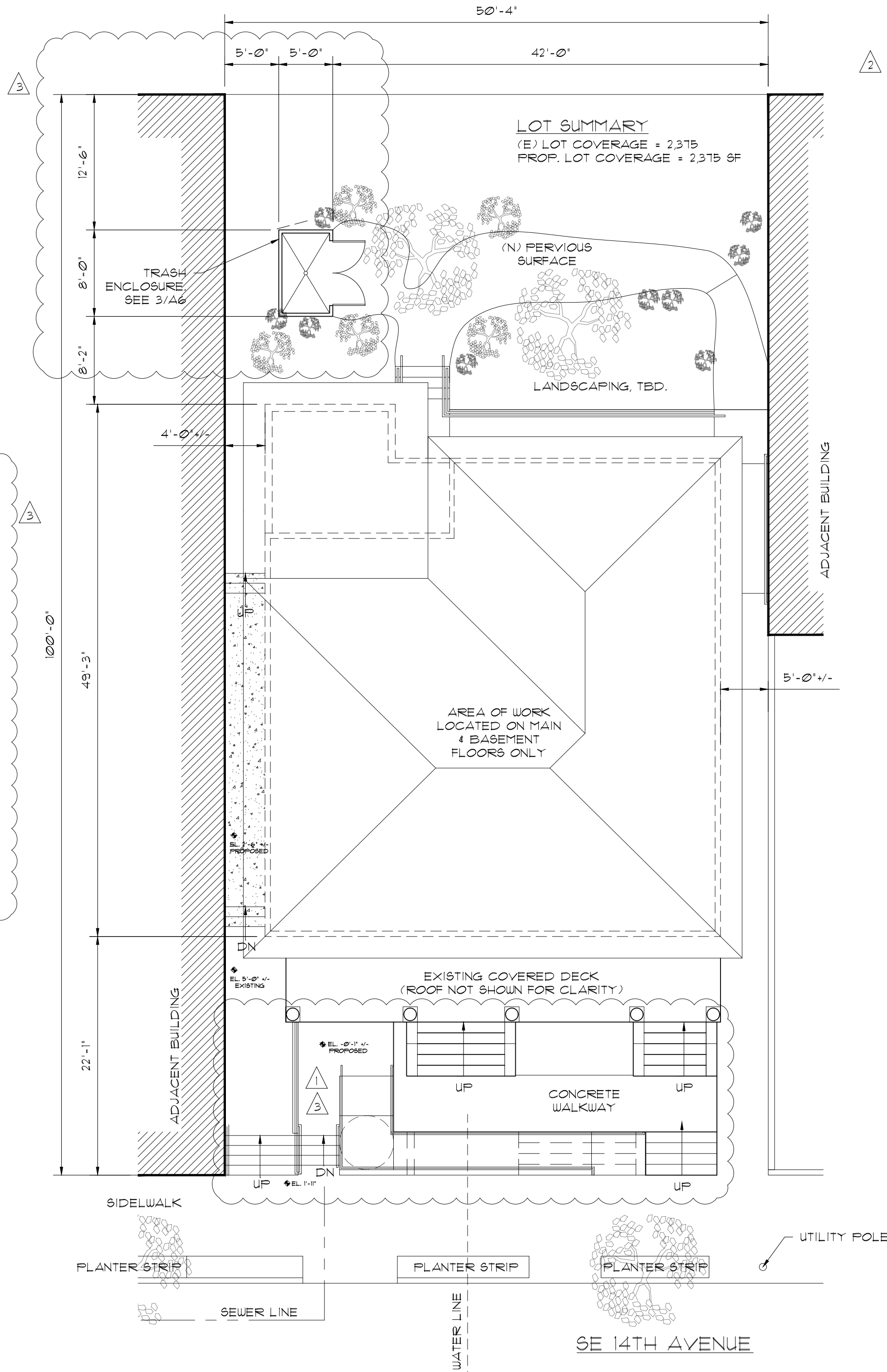
SLAB-ON-GRADE FLOORS UNHEATED SLABS:	R-10 FOR 24" BELOW
HEATED SLABS:	R-15 FOR 24" BELOW

OPAQUE DOORS SWINGING:	U-0.10
ROLL-UP / SLIDING:	U-0.50

TABLE 503

FIXED, OPERABLE, AND DOORS W/GREATER THAN 50% GLAZING: 0.35

ENTRANCE DOOR: 0.80
SKYLIGHTS: 0.60



1 SITE PLAN
A1

ACCESSIBLE UPGRADE SUMMARY

PROJECT VALUATION = \$100,000
\$100,000 x 25% = \$25,000 ACCESSIBLE UPGRADE BUDGET.

- MODIFY ALL DOOR HARDWARE AT MAIN LEVEL TO BE ADA COMPLIANT.
- ADA EXIST. MAIN FLOOR TOILET ROOM FOR ACCESSIBILITY \$2,000.00 OR 2% OF PROJECT.
- INSTALL DRINKING FOUNTAINS AT MAIN 4 2ND FLOORS.
- REMODEL KITCHENETTES AT MAIN 4 2ND FLOORS.
- INSTALL NEW ACCESSIBLE RAMP AT FRONT PROPERTY LINE.

ESTIMATED VALUATION OF ADA UPGRADES: \$25,000.

**ACCESSIBLE RAMP TO MAIN FLOOR INSTALLED PER PERMIT 18-247123-CO

GENERAL STAIR NOTES

- MAXIMUM RISER HEIGHT = 7"
- MINIMUM TREAD LENGTH = 11"
- MAX. VARIATION BTWN ANY TWO STEPS IN STAIR = 3/8"
- HANDRAILS @ 36" ABOVE NOSING EA. SIDE - EXTEND 12" ABOVE TOP RISER AND 23" BEYOND BOTTOM RISER (1/4X2" STEEL TOP RAIL)
- MIN. CLR. BTWN. HANDRAIL AND WALL/GUARDRAIL = 1 1/2"
- GUARDRAILS NOT REQ'D AS NO CHANGES IN GRADE GREATER THAN 30". USE (3") PIPE RAIL AROUND LOWERED PATIO TO MATCH EXIST. PER ELEV'S.

PLUMBING SYSTEMS, CHAPTER 29					
OCCUPANCY	USE	WATER CLOSET		LAVATORIES	
		MALE	FEMALE	MALE	FEMALE
B	OFFICE	1 PER 25 (1ST 50), 1 PER 50 REMAINDER		1 PER 40 (1ST 80), 1 PER 80 REMAINDER	
		2		2	
		2		2	
		3		3	

GENERAL RAMP NOTES

- MAX. SLOPE = 1:12
- MAX. RISE W/OUT A LANDING = 60"
- HANDRAILS @ 36" ABOVE RAMP SURFACE - EXTEND 12" PAST TOP OF RAMP AND 23" BEYOND BOT. OF RAMP (MAINTAIN 36" HEIGHT AFF.) (1 1/2" O.D. PIPE)
- MIN. CLR. BTWN. HANDRAIL AND WALL/GUARDRAIL = 1 1/2"
- GUARDRAIL @ 42" ABOVE LANDING AND 36" MIN. ABOVE SLOPED RAMPED - MAX. OPENING BTWN. RAILS @ 4" DIA. SPHERE

BUILDING INFORMATION

BUILDING ADDRESS:	12 SE 14TH AVENUE
PROPERTY ID:	R100105
STATE ID:	NE35DC 1900
BASE ZONE:	CM2dm (MU-U) - COMMERCIAL MIXED USE 2
OVERLAY ZONES:	DESIGN, CENTERS MAIN STREET
COMP PLAN OVERLAY:	MIXED USE - URBAN CENTER
PROPOSED/EXISTING ZONING USE:	MEDICAL OFFICE
SITE AREA:	5,000 SF
LANDSCAPE AREA REQ'D:	TBD
ASSOCIATED BUSINESS:	--
YEAR BUILT:	1908
OWNER:	HAMSTER PROPERTIES LLC 921 SE 1TH AVE PORTLAND, OR 97214

PROJECT SCOPE SUMMARY

SCOPE OF PROJECT: MODIFY (E) RESTROOM AT FIRST FLOOR TO MEET ACCESSIBLE REQ'S. MODIFY OFFICE TO CREATE ONE ADDITIONAL OFFICE. CHANGE BASEMENT OCCUPANCY FROM S TO B FOR OFFICE USE. INSTALL WINDOWS & LOWER GRADE ON NORTH FACADE. INSTALL (N) ENTRY DOOR AT WEST FACADE TO BASEMENT OFFICE. REMOVE REAR INTERIOR STAIR TO BASEMENT. CREATE (N) ACCESSIBLE RESTROOM AT BASEMENT. MODIFY KITCHENETTES ON 1ST & 2ND FLOOR AND DOOR HARDWARE ON 1ST FLOOR TO BE ACCESSIBLE. INSTALL NEW DRINKING FOUNTAINS AT 1ST & 2ND FLOORS. INSTALL NEW ACCESSIBLE RAMP AT WEST PROPERTY LINE.

PERMITS REQUIRED FROM THE BUREAU OF DEVELOPMENT SERVICES:
1. BUILDING

SEPARATE PERMITS REQUIRED FROM THE BUREAU OF DEVELOPMENT SERVICES:

- MECHANICAL
- ELECTRICAL
- PLUMBING

BUILDING CODE SUMMARY

INFORMATION SHOWN ON THIS DRAWING IS BASED ON THE 2004 EDITION. ANY INFORMATION NOT PROVIDED OR CLEARLY IDENTIFIED SHALL MEET OR EXCEED CURRENT CODE.

BUILDING CODE APPEAL: TO ALLOW CEILING HEIGHT UNDER 7'-6" AT BASEMENT LEVEL AND PROTRUSIONS UNDER 6'-8" HEAD HEIGHT. GRANTED PER APPEAL # 20205.

BUILDING SIZE:

BASEMENT:	1,342 SF	- B (PROPOSED)
FIRST FLOOR:	1,925 SF	- B
SECOND FLOOR:	1,955 SF	- B
TOTAL	5,222 SF	

CONSTRUCTION TYPE PER 2004 CHAPTER 6:

TYPE VB - NON SPRINKLED

BUILDING ALLOWABLE HEIGHTS & AREAS PER 2004 TABLE 502

HEIGHTS ALLOWED FOR B: 2 STORIES, 40'-0"
EXISTING HEIGHTS: 2 STORIES + 1 BELOW GRADE PLANE (35'-4")

AREA ALLOWED PER STORY (B OCCUPANCY): 9,000 SF
LARGEST FLOOR AREA IN BLDG. (B OCCUPANCY): 1,955 SF

REQUIRED FIRE RESISTIVE RATINGS PER TABLE 601: VB CONSTRUCTION

STRUCTURAL FRAME:	0 HRS
EXTERIOR BEARING WALLS:	0 HRS
INTERIOR BEARING WALLS:	0 HRS
EXTERIOR NON BEARING WALLS:	0 HRS
INTERIOR NON BEARING WALLS:	0 HRS
FLOOR CONSTRUCTION:	0 HRS
ROOF CONSTRUCTION:	0 HRS

FIRE RESISTIVE RATINGS FOR EXTERIOR WALLS PER TABLE 602:

WALL	DISTANCE TO PROP. LINE	REQ'D FIRE RATING
NORTH	4'-0" +/-	1 HR
WEST	22'-1"	0 HR
SOUTH	3'-8" +/-	1 HRS (NOT WITHIN SCOPE OF WORK)
EAST	28'-8" +/-	0 HRS

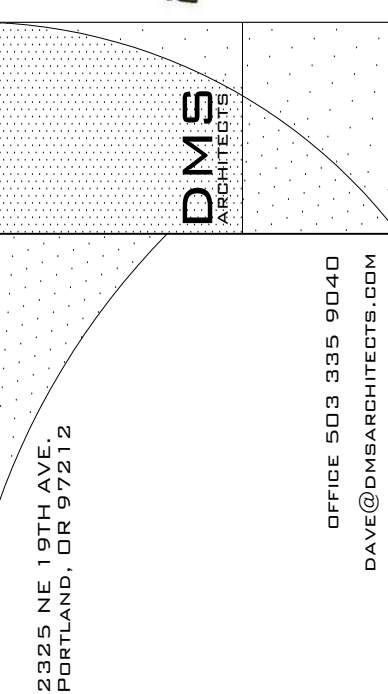
EXISTING AND PROPOSED OCCUPANT LOADS

LOCATION	2004 OCCUPANCY	PROPOSED OCCUPANCY
BASEMENT:	S 1,342 SF 100 = 13 OCC.	B OFFICE 932 SF 100 = 9 OCC.
		B WAITING, BREAKRM, STORAGE 322 SF 15 = 21 OCC.
		B 90 SF 300 = 1 OCC.
FIRST FLOOR:	B 2,075 SF 100 = 20 OCC.	B OFFICE 1,925 SF 100 = 19 OCC.
SECOND FLOOR:	B 1,955 SF 100 = 19 OCC.	B OFFICE 1,955 SF 100 = 20 OCC.
TOTAL:	5,167 SF 50 OCC.	5,222 SF 70 OCC.

12 NE 14TH AVE SEISMIC UPGRADE CALCULATIONS (Based on 5,222sf building area)									
FLOOR	OCCUPANCY	ROOM	AREA	OCCUPANT LOAD	PROPOSED OCCUPANCY	ROOM	AREA	PROPOSED OCCUPANT LOAD	HAZARD LEVEL % CHANGE
BASEMENT	S	UNFINISHED BASEMENT	1,342 SF	5	B	01 - 06	932 SF (GROSS)	9	17
				B	WAITING, BREAKRM, STORAGE	322 SF (NET)	3	6	
				S		90 SF	1	0	
BASEMENT TOTALS:			1,342 SF	5			1,342 SF	14	1,342/5,222 = 23%
FIRST	B	OFFICES 101-102	1,676 SF (GROSS)	16	B	OFFICES 101-102	1,676 SF (GROSS)	16	NONE
FIRST	B	RAMP	302 SF	3	B	VESTIBULE	33 SF	1	-5%
FIRST FLOOR TOTALS:			1,978	21			182	1	2%
					1,831 SF	18	-3%		
SECOND	B	OFFICES 201-205	1,676 SF	19	B	OFFICES 201-205	1,676 SF	19	NONE
				B	206 (ADDITION)	186	1	186/5,222 = 3%	
				1,676 SF	19			20	3%
THIRD	NONE - S	NO CHANGES TO THIRD FLOOR							
TOTAL BUILDING HAZARD CHANGE	26%								

2 BASEMENT FLOOR PLAN
A1

1/8" = 1'-0"



14TH STREET OFFICES
12 SE 14TH AVE
PORTLAND, OREGON 97214

SHEET CONTENT
BUILDING INFO.
GENERAL INFO.
CODE SUMMARY
SITE PLAN

JOB No. 000016
DRAWN | CHECKED
DMS, KLS | DMS

DATE 5.25.19

REVISIONS
1. 5.5.19
2. 5.25.19
3. 8.14.19

SHEET A1 of 6

- EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED
NEW STUD WALL - SEE SECTION A2, ID4 FOR REQUIREMENTS
EXIST. CONC. FND. WALL, 1" FURRING SPACE, 2x4 STUDS @ 24" O.C., R-15c1 BATT INSUL., R-21 ABOVE GRADE BATT INSUL., 8" GYP. WALL BD.

NE OFFICE VESTIBULE RAMP AND STAIRS PER PREVIOUS PERMIT 18-24TT23-CO

ADA DOOR HARDWARE: PUSH SWITCH 4.5"X4.5" 30 DEGREES AUTOMATIC OPENING HOLD OPEN TIME 30 SEC. OUTSWING BRACKET PUSH ARM CLOSER

11" DEEP TREADS W/ MAX. 1" RISERS W/ HANDRAIL EA. SIDE - TYP @ ALL NEW STEPS - SEE GENERAL STAIR NOTES ON A1 FOR DETAILED INFO.

REMOVE EXIST. SIDEWALK - LOWER GRADE 2'-3" AND INSTALL NEW WALK FROM REAR TO FRONT OF BLDG - SHOWN HATCHED

(N) CATCH BASIN & DRAIN CONNECTED TO FLO-WEILL

CLG. UNDER STAIRS AT 1'-1" AFF.
PER ANSI 4042.3.2 PROVIDE DOOR CLOSER & LATCH

BUILT IN AT PORTION OF CLG. SLOPING UNDER STAIRS ABOVE
WALL UNDER STAIRS APPROX. 5'-6" TALL - PROVIDE 22"X30" ACCESS HATCH TO AREA UNDER STAIRS

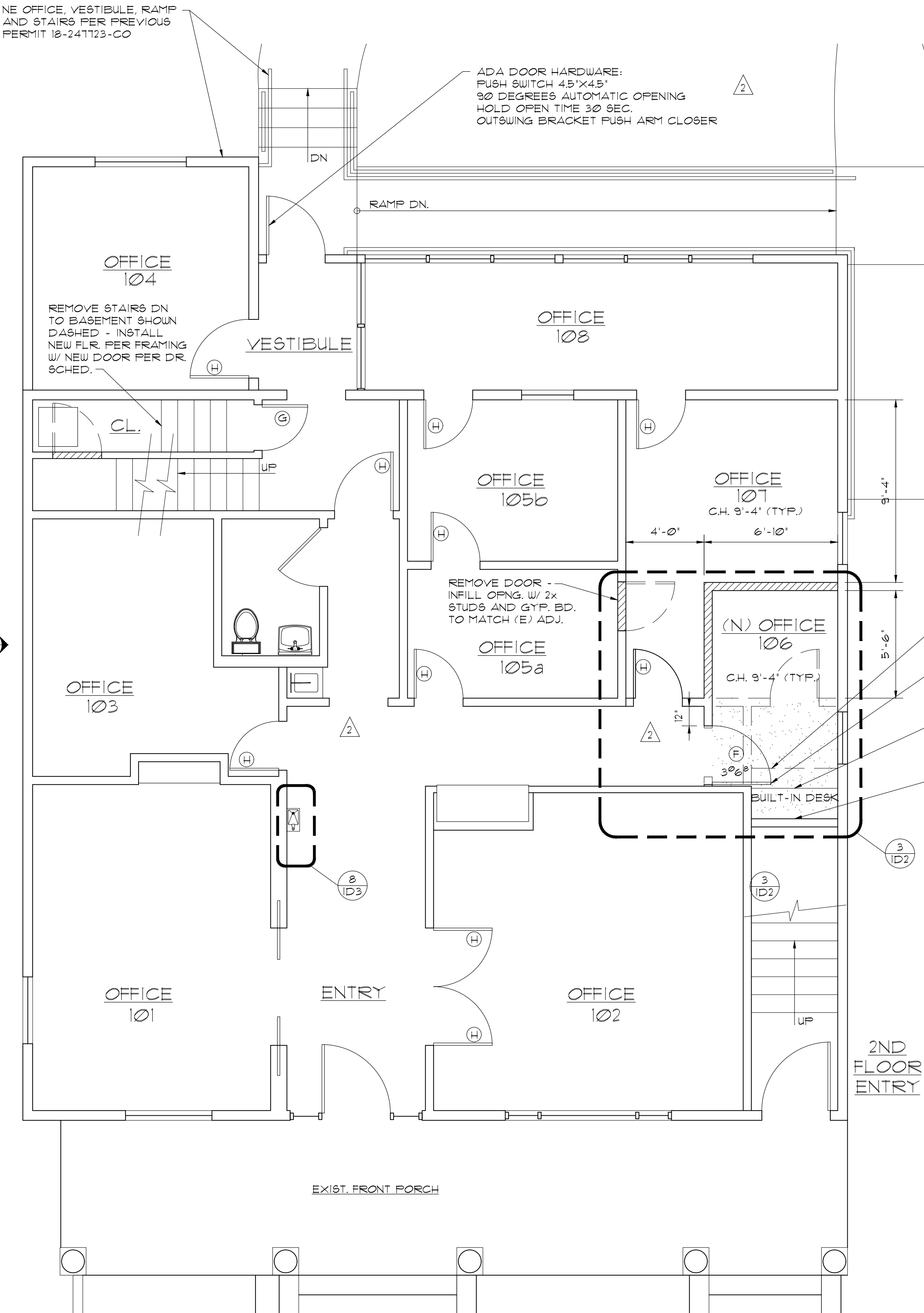
(N) WALK AND STAIRS AT NORTH SIDE OF BLDG - REMOVE EXIST. STEPS AND RAILS SHOWN DASHED - SEE A3 AND A4 FOR ADD. INFO.

INSTALL LINEAR STRIP DRAIN IN FRONT OF NEW DOOR - DRAIN TO FLO-WEILL STYLE INFILTRATION PLANTER 10' AWAY FROM BLDG. APPROX. AS SHOWN

(N) RECYCLED CONCRETE PATIO AT LOWER LEVEL GRADE - SLOPE 1:50 TO LINEAR STRIP DRAIN

(N) FLO-WEILL CONNECTED TO (N) LINEAR STRIP DRAIN & CATCH BASIN & DRAIN AT N. SIDE WALKWAY

ADJACENT BUILDING

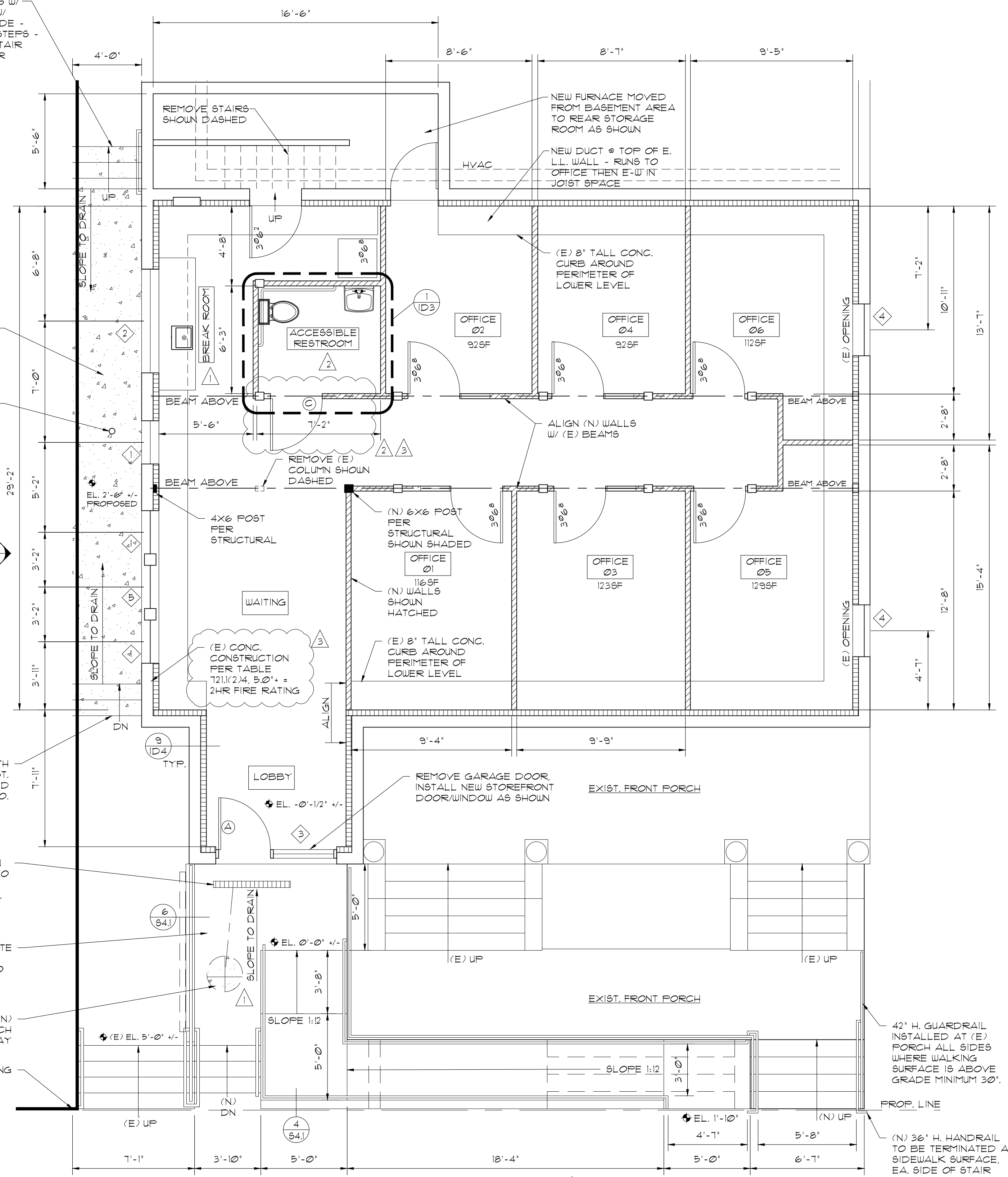


1 MAIN FLOOR PLAN

SCOPE OF WORK MAIN FLOOR LIMITED TO CREATING NEW OFFICE, MODIFYING EXISTING W.C. FOR ACCESSIBILITY AND REMOVING STAIRS TO LOWER LEVEL, INFILL FLOOR AT REMOVED STAIRS FOR CLOSET, INSTALL DRINKING FOUNTAIN, MODIFY DOOR HARDWARE, MODIFY KITCHENETTE.

***ALL DOORS TO HAVE NEW ADA HARDWARE, HARDWARE GROUP 2 SHOWN ON THE HARDWARE SCHEDULE ID1

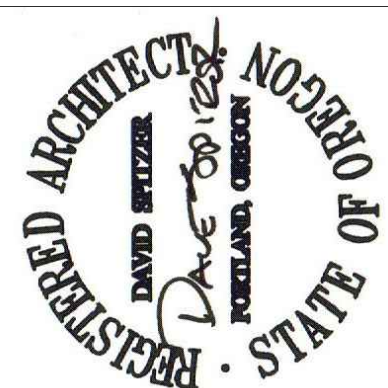
1/4" = 1'-0"



2 BASEMENT FLOOR PLAN

SCOPE OF WORK LOWER LEVEL: WORK INCLUDES MODIFYING EXISTING BASEMENT AREA FOR NEW OFFICES. THIS INCLUDES ADDING AN ACCESSIBLE TOILET ROOM, FURRING ALL EXTERIOR WALLS, CREATING NEW INTERIOR WALLS, ADDING WINDOWS AT NORTH ELEVATION, REMOVING DRIVEWAY AND GARAGE DOOR, INSTALL NEW ACCESSIBLE RAMP, ENTRY DOOR AND LOWER PATIO AT REMOVED DRIVEWAY AREA. SCOPE ALSO INCLUDES LOWERING GRADE AT NORTH OF BUILDING TO ALLOW DAYLIGHT WINDOWS ALONG NORTH WALL.

1/4" = 1'-0"



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SHEET CONTENT
MAIN LEVEL FLOOR PLAN
LOWER LEVEL FLOOR PLAN

JOB No.

000016

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DMS,KLS | DMS

DATE

5.25.19

REVISIONS

1 5.5.19

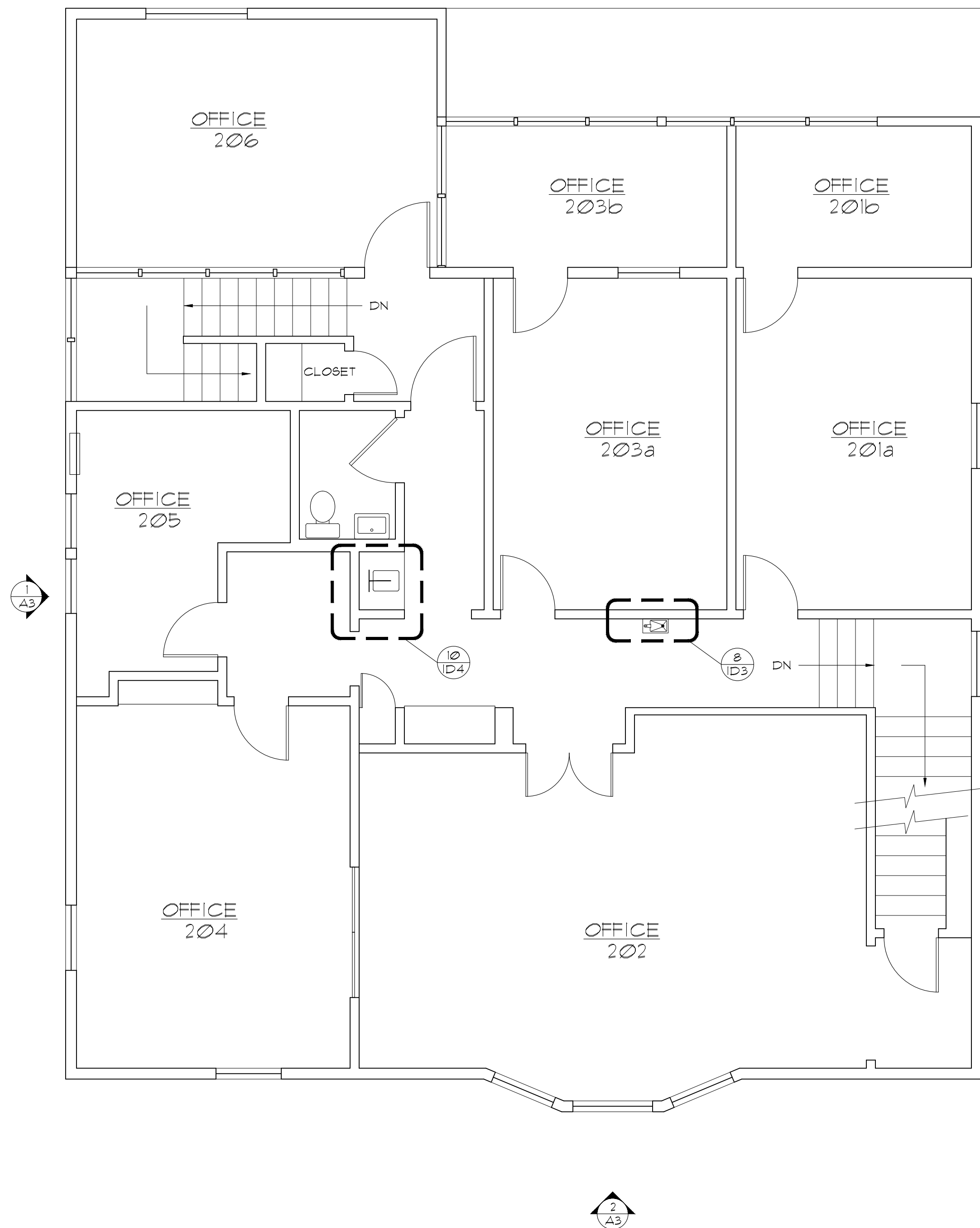
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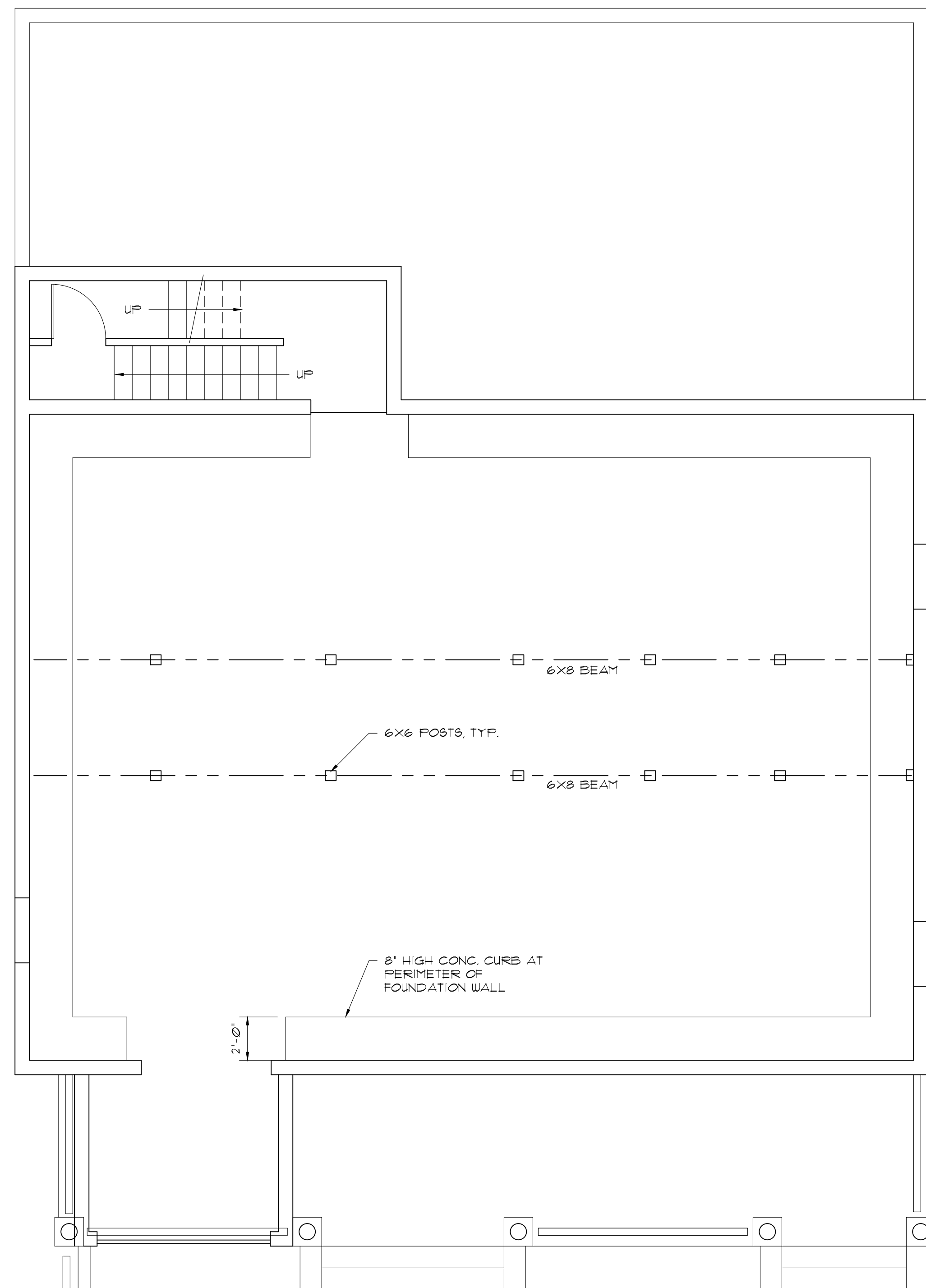
SHEET

A2 of 6

- ===== EXISTING WALL TO REMAIN
===== EXISTING WALL TO BE REMOVED
===== NEW STUD WALL - SEE SECTION A2, ID4 FOR REQUIREMENTS
EXIST. CONC. FND. WALL, 1" FURRING SPACE, 2x4 STUDS @ 24" O.C., R-15ci BATT INSUL., R-21 ABOVE GRADE BATT INSUL., 3/8" GYP. WALL BD.



1 SECOND FLOOR PLAN
A2.2 SCOPE OF WORK SECOND FLOOR LIMITED TO MODIFYING EXISTING KITCHENETTE
1/4" = 1'-0"



2 EXISTING BASEMENT FLOOR PLAN
A2.2 1/4" = 1'-0"



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SHEET CONTENT
SECOND LEVEL FLOOR PLAN

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SHEET

A2.2 of 6

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SHEET CONTENT
EXTERIOR ELEVATION
CROSS SECTION
ROOF FRAMING PLAN

JOB No.
000016

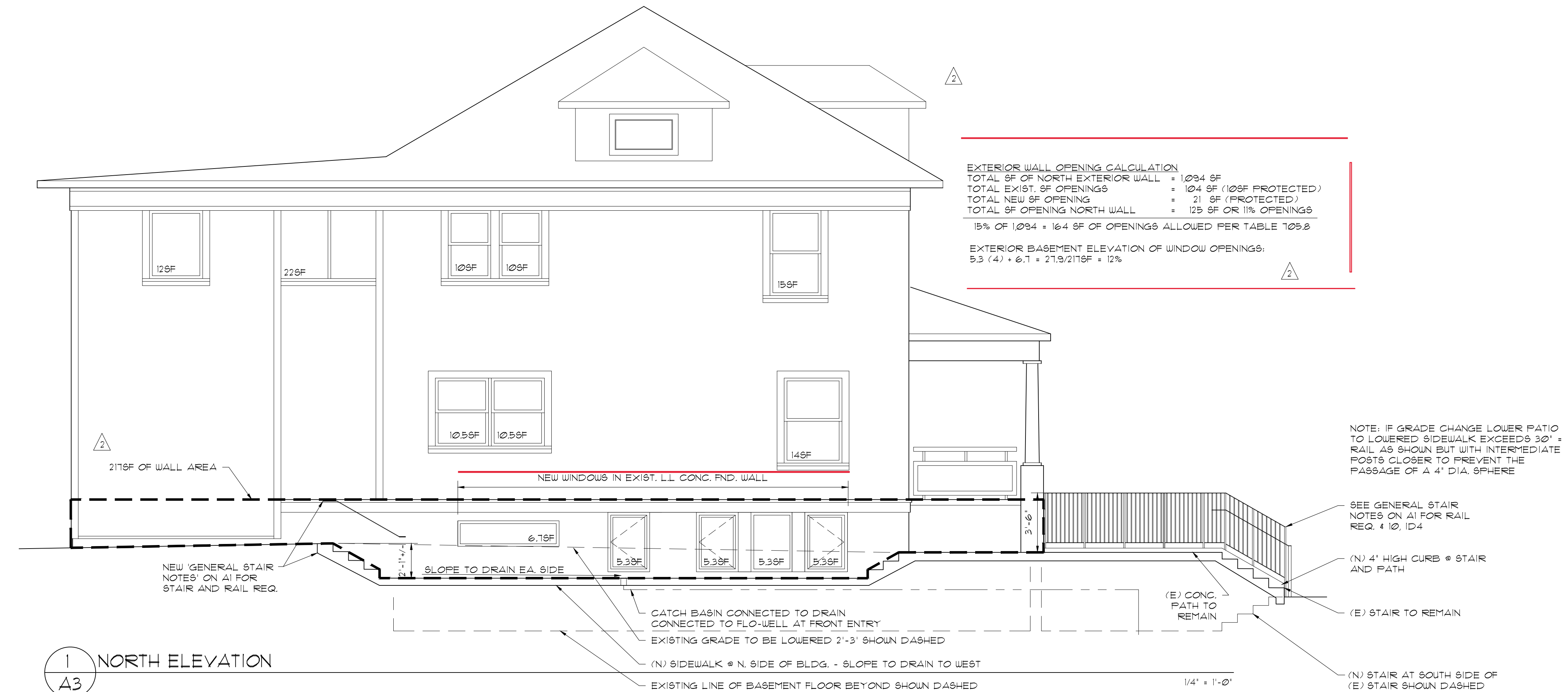
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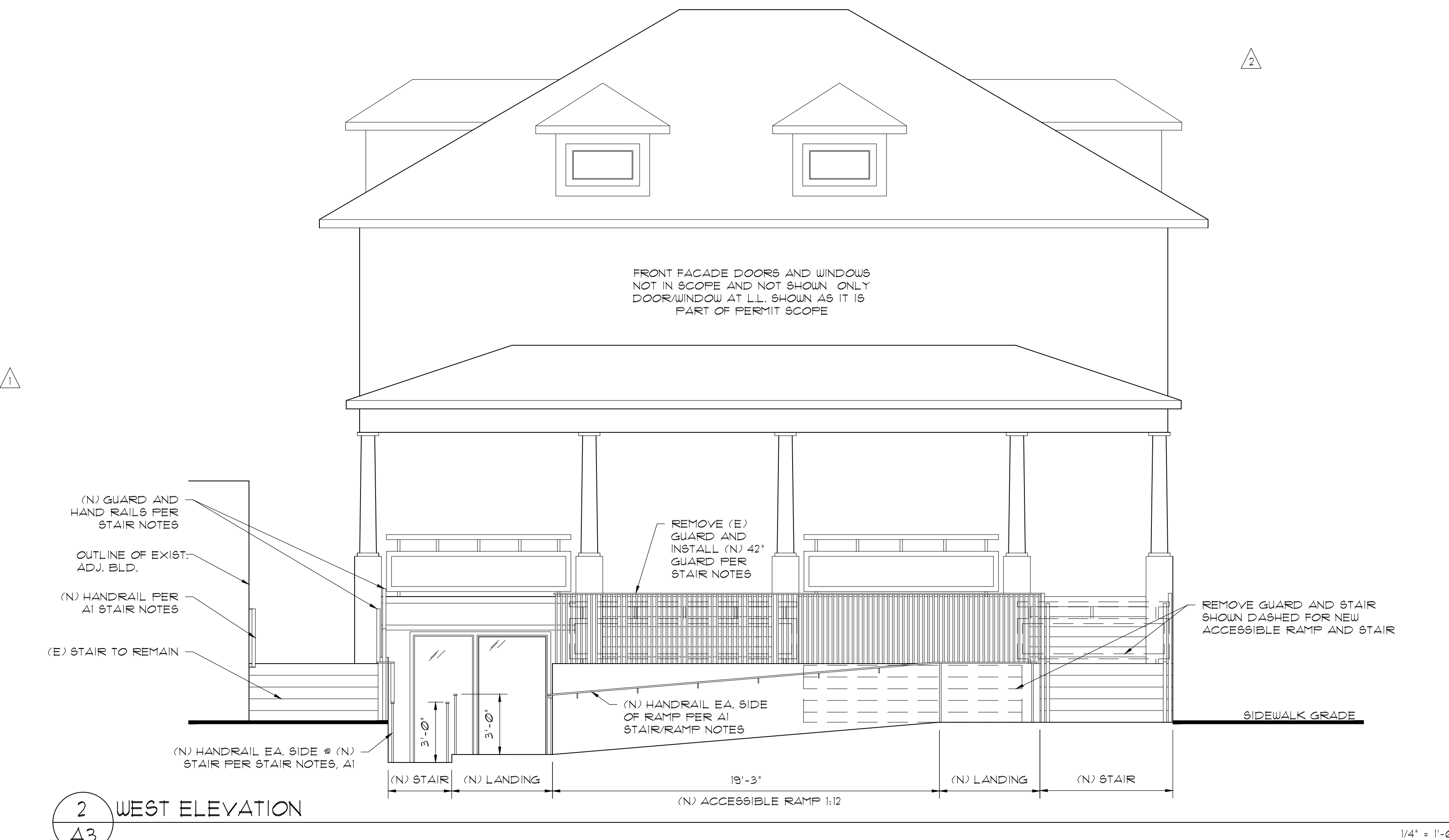
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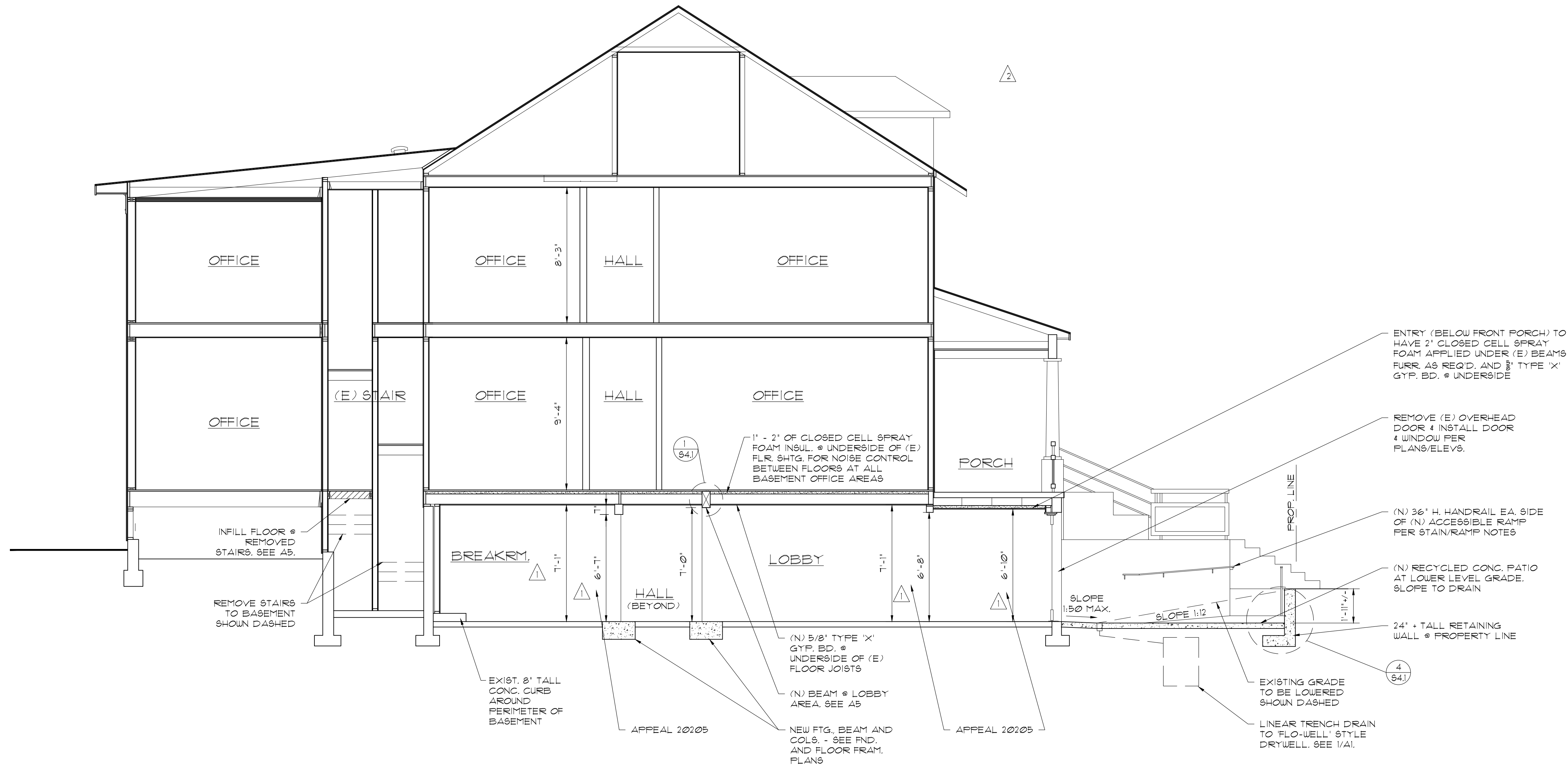
A3 OF 6



1 NORTH ELEVATION
A3



2 WEST ELEVATION
A3



1 CROSS SECTION
A4

1/4" = 1'-0"



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SHEET CONTENT
BUILDING SECTION

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SHEET
A4 of 6

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SHEET CONTENT
MAIN LEVEL FRAMIN PLAN
BASEMENT FRAMING PLAN

JOB No.

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DATE

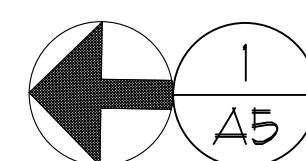
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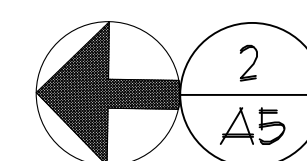
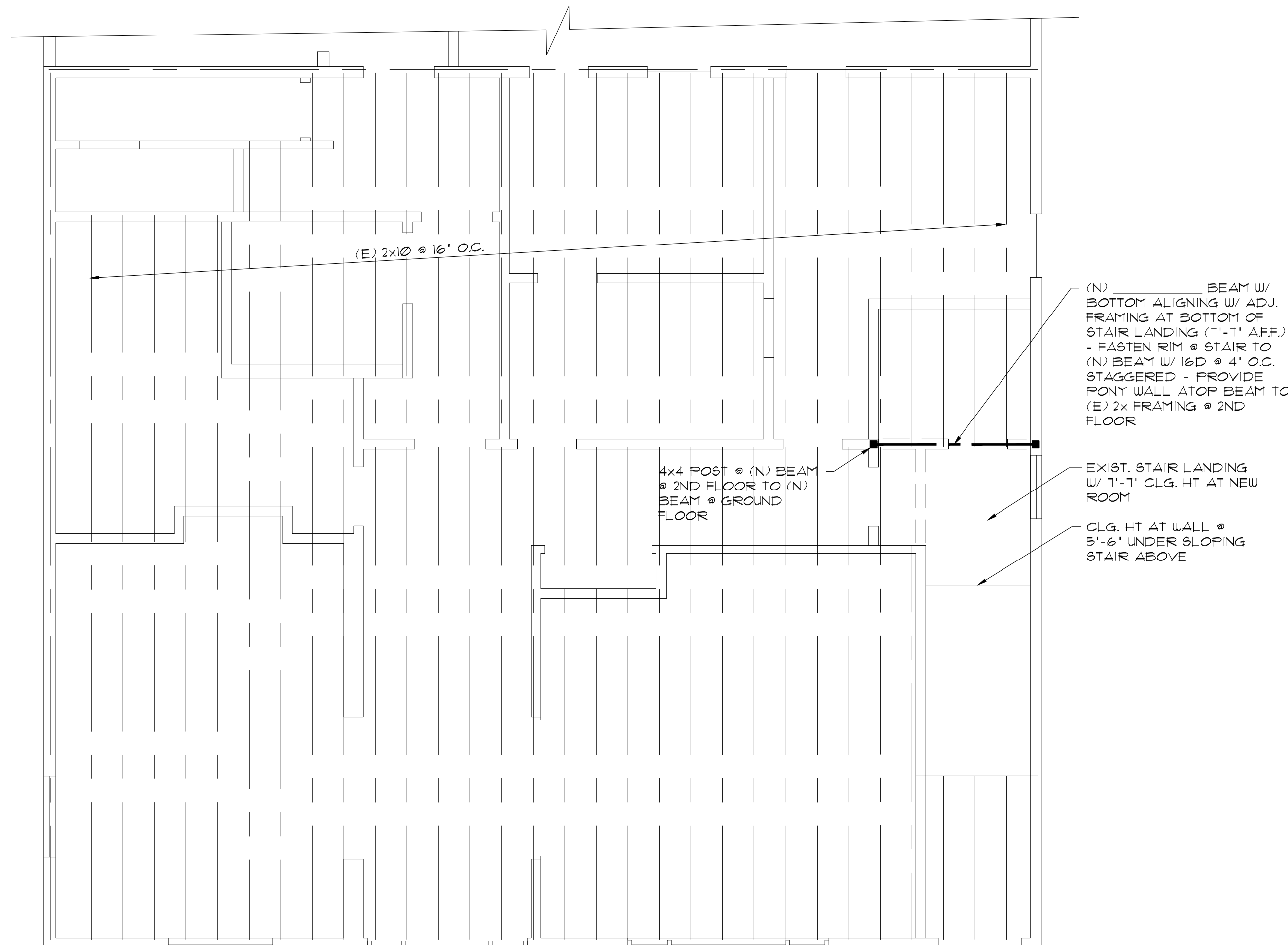
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A5 of 6



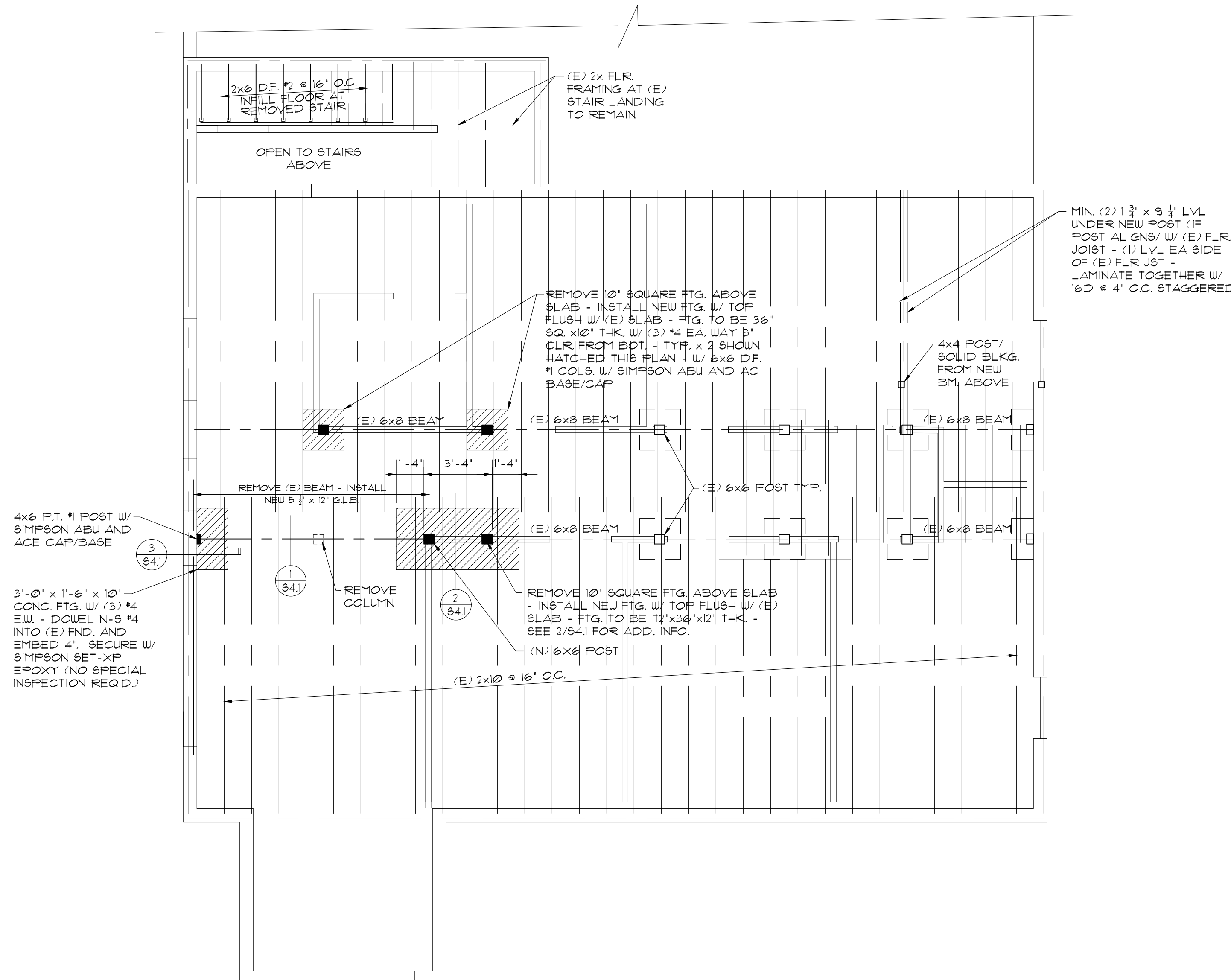
1 MAIN LEVEL FRAMING PLAN

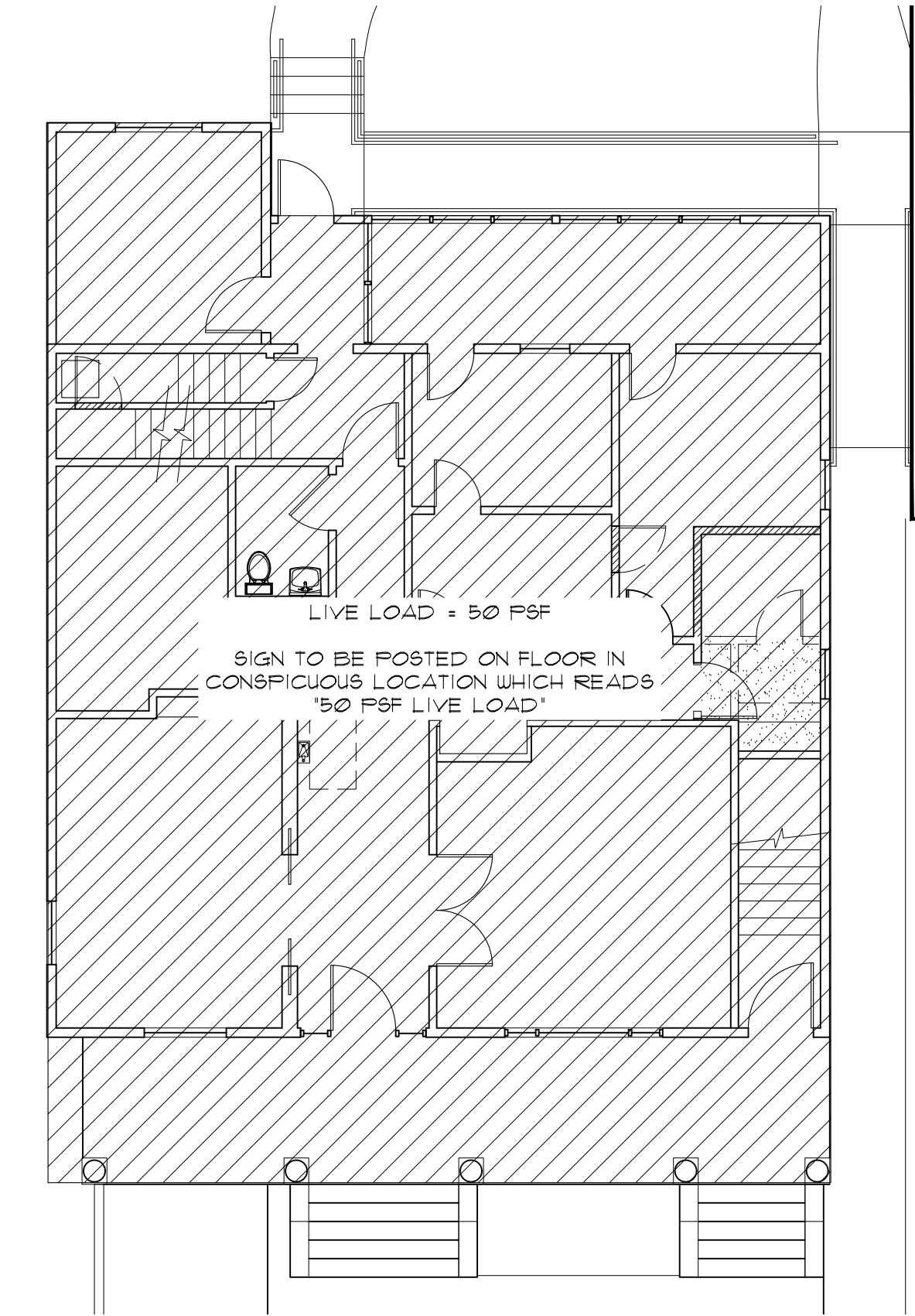
1/4" = 1'-0"



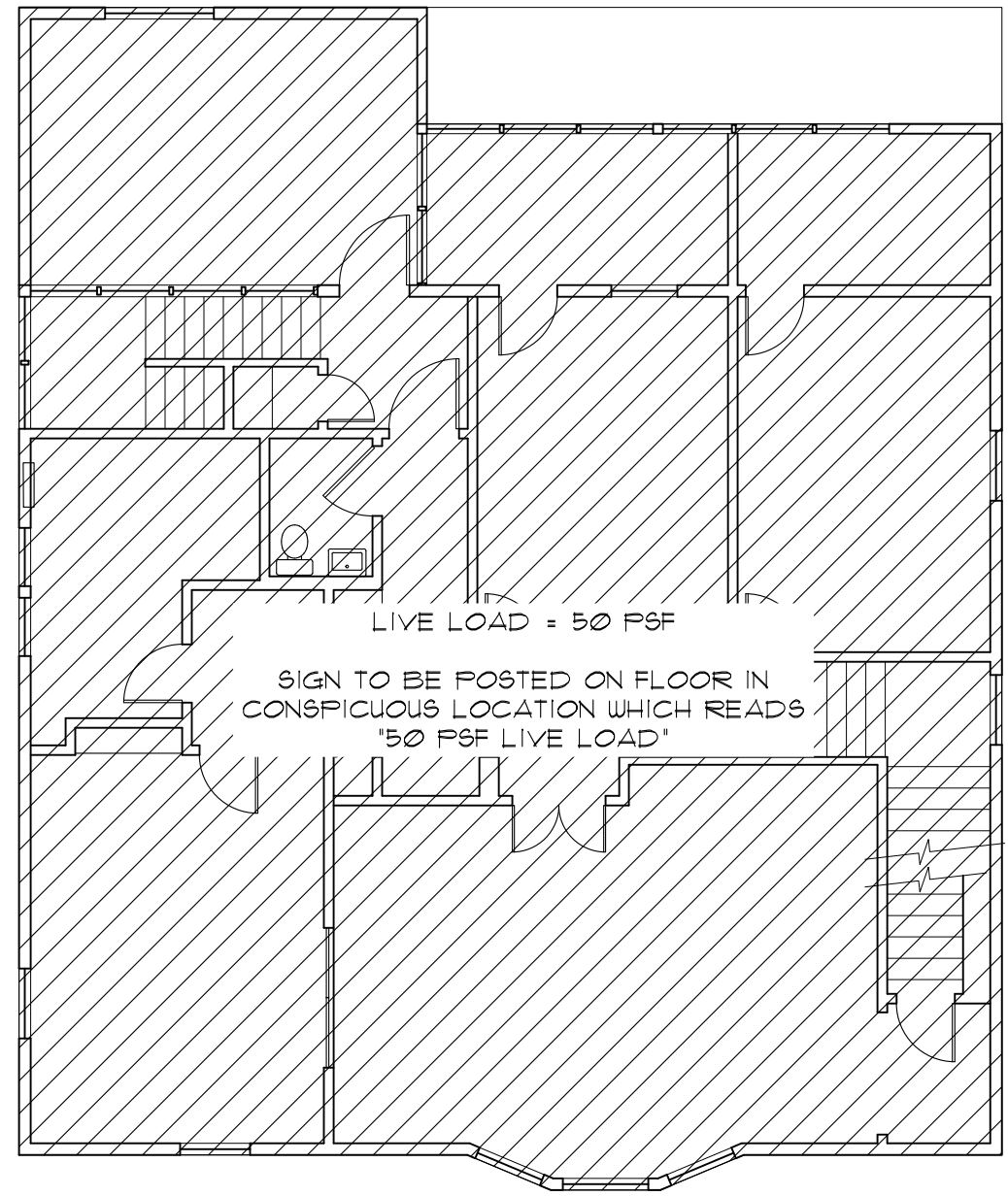
2 LOWER LEVEL FRAMING PLAN

1/4" = 1'-0"

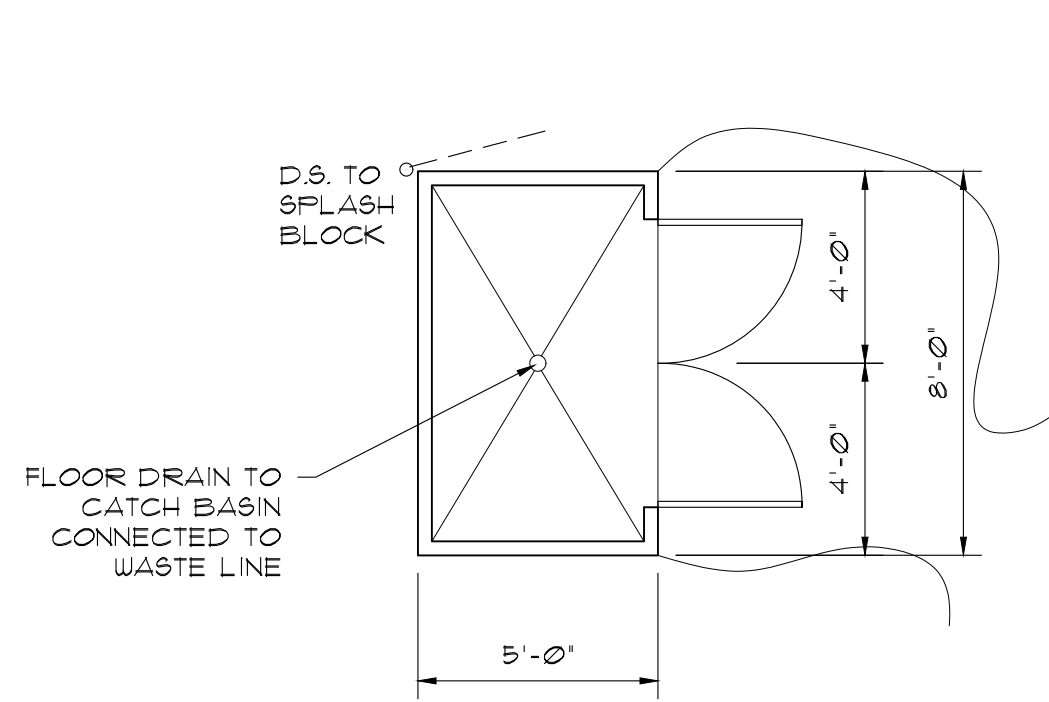




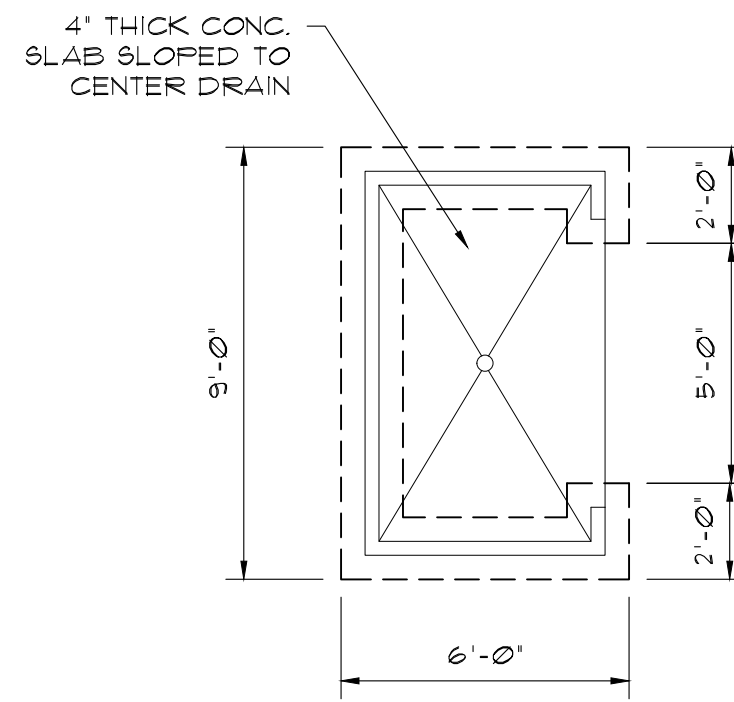
1 MAIN FLOOR PLAN
1/8" = 1'-0"



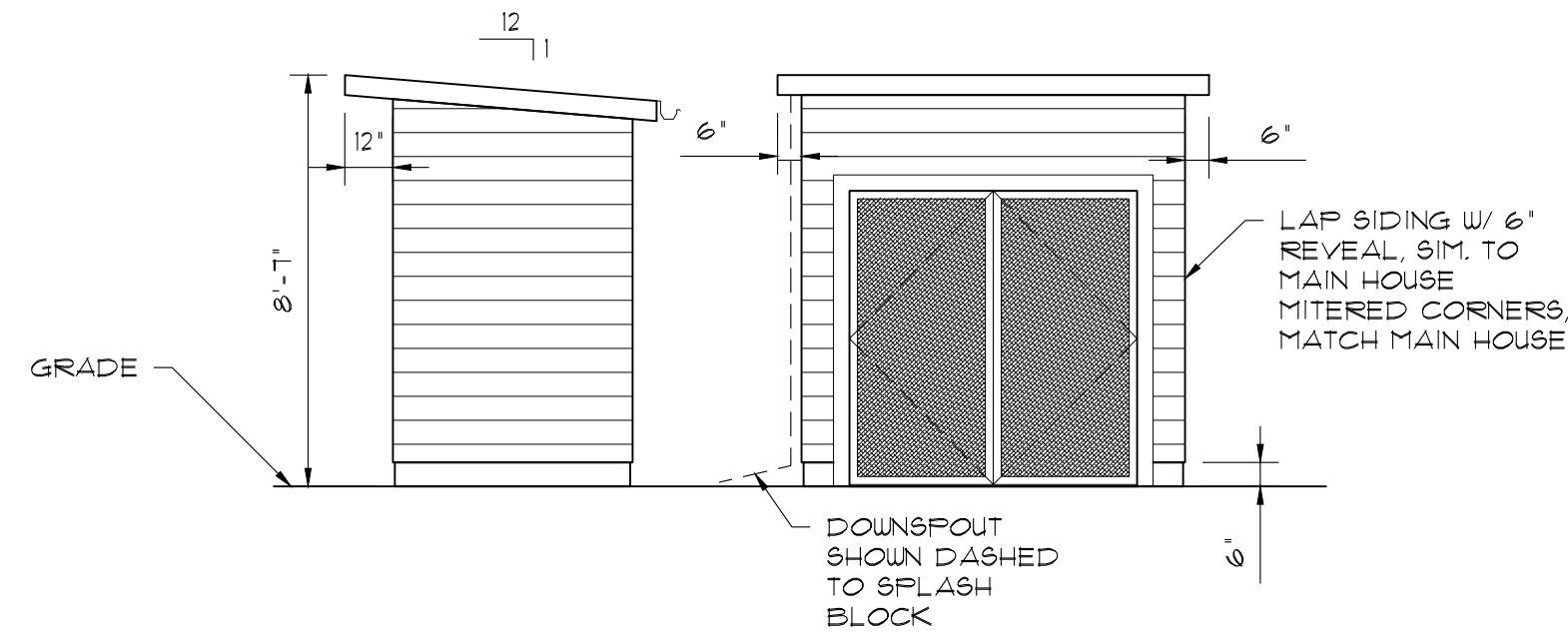
2 BASEMENT FLOOR PLAN
1/8" = 1'-0"



3 TRASH ENCLOSURE
1/4" = 1'-0"



4 TRASH ENCLOSURE FOUNDATION PLAN
1/4" = 1'-0"



5 TRASH ENCLOSURE ELEVATIONS
1/4" = 1'-0"



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SHEET CONTENT
MAIN LEVEL PLAN
BASEMENT PLAN
TRASH ENCLOSURE

JOB No.
000016

DRAWN
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DATE
5.5.19

REVISIONS

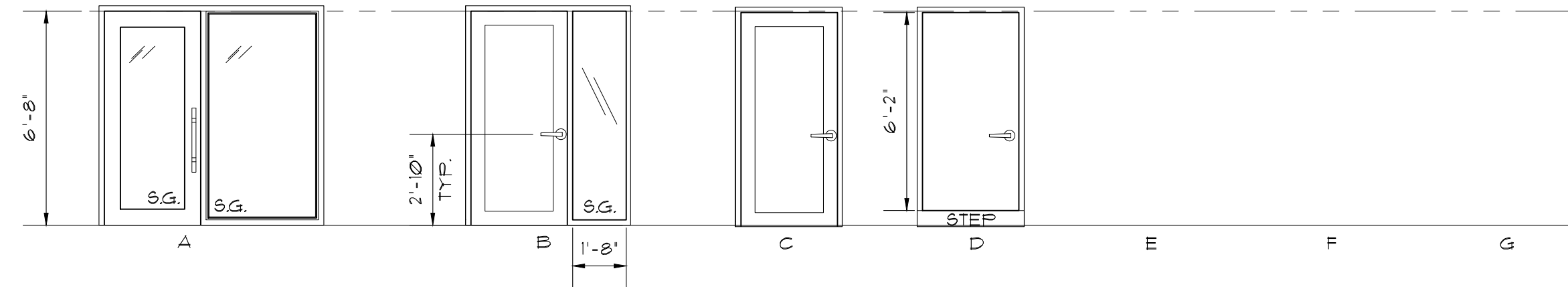
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SHEET

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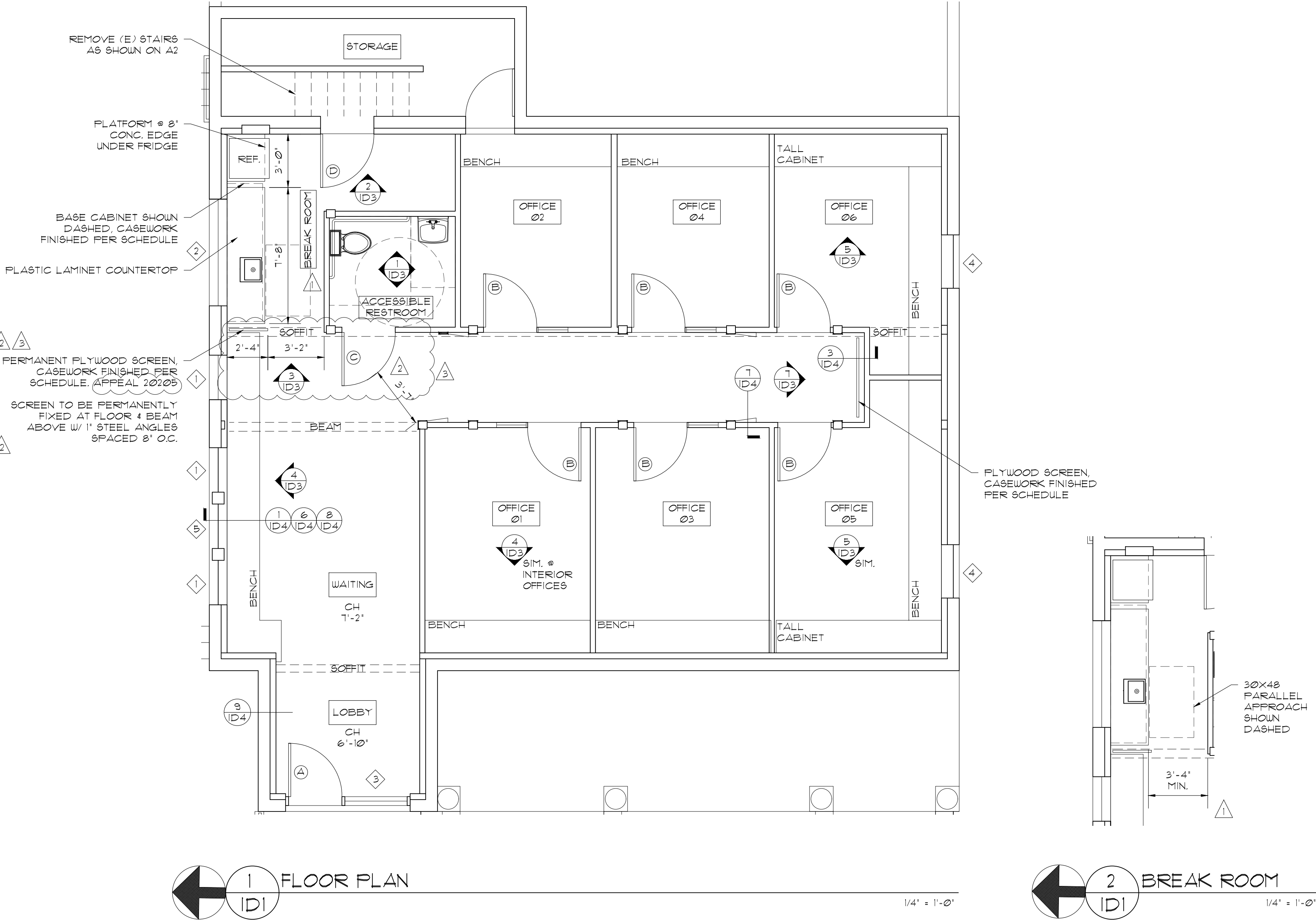
DOOR SCHEDULE							
LOCATION	SYMBOL	SIZE	PROFILE	MANUFACTURER	PRODUCT	MATERIAL	HARDWARE
BASEMENT, LOBBY ENTRANCE	(A)	3'-0" X 7'-0"	A	STOREFRONT	SINGLE DOOR W/SIDELITE FULL HEIGHT	METAL/GLAZED, TEMPERED	1
BASEMENT, OFFICE	(B)	3'-0" X 6'-8"	B	SIMPSON	8020 W/ FULL HEIGHT SIDELITE	WOOD	2
BASEMENT, RESTRM.	(C)	3'-0" X 6'-8"	B	SIMPSON	8020	WOOD	3
BASEMENT, STOR.	(D)	3'-0" X 6'-2"	B	SIMPSON	TBD, SOLID CORE	WOOD	4
FIRST FLR, RESTRM.	(E)	3'-0" X 6'-8"	TBD	TBD	8020	WOOD	3
FIRST FLR OFFICE	(F)	3'-0" X 6'-8"	TBD	TBD	TBD	WOOD	2
FIRST FLR CLOSET	(G)	2'-4" X 6'-8"	TBD	TBD	TBD	WOOD	4
EXISTING MAIN FLR DOORS	(H)	EXISTING DOOR	-	-	-	-	2

DOOR PROFILES



HARDWARE SCHEDULE							
HARDWARE GROUP	LOCATION	QTY.	TYPE	FINISH	MODEL	MANUFACTURER	BACKSET
1	EXTERIOR ENTRY	1	DOOR FULL	AGED BRONZE	TBD	TBD	0'-2 3/8'
		1	ENTRY LOCKSET	AGED BRONZE	TBD	TBD	
		1	THRESHOLD	AGED BRONZE	TBD	TBD	
		1	FRAME WEATHERSTIPPING		TBD	TBD	
		3	HINGES	AGED BRONZE	TBD	TBD	
2	INTERIOR OFFICE	1	ENTRANCE LOCKSET	AGED BRONZE	L 17, 643 e	SCHLAGE	0'-2 3/8'
		1	DOOR STOP	AGED BRONZE		SCHLAGE	
		3	HINGES	AGED BRONZE		SCHLAGE	
		1	FRAME GASKETING			SCHLAGE	
3	RESTROOM	1	PRIVACY W/ COIN TURN OUTSIDE	AGED BRONZE	L9044	SCHLAGE	0'-2 3/8'
		1	COIN TURN	AGED BRONZE	L203-124	SCHLAGE	
		1	ADA INSIDE TURN	AGED BRONZE	09-503 X L903-363	SCHLAGE	
		1	ESCUTCHEON	AGED BRONZE	COINTURN	SCHLAGE	
		3	HINGES	AGED BRONZE	TBD	TBD	
4	CLOSET/STOR.	1	ENTRANCE PASSAGE SET	AGED BRONZE	TBD	TBD	TBD
		1	DOOR STOP	AGED BRONZE	TBD	TBD	
		3	HINGES	AGED BRONZE	TBD	TBD	

PLUMBING FIXTURE SCHEDULE						
LOCATION	MANUFACTURER	PRODUCT	PRODUCT NUMBER	FINISH	DIMENSIONS	NOTES
ACCESSIBLE RESTROOM	BOBRICK	RECESSED TOILET TISSUE DISPENSER	B-6997	STAINLESS STEEL	12-5/16" X 6-1/8"	ROUGH IN: 11-3/4" X 5-1/4" X 3-3/8" MIN. DEPTH
ACCESSIBLE RESTROOM	BOBRICK	SOAP DISPENSER	818615	STAINLESS STEEL	7" X 6-1/8" X 3-5/16"	WALL MOUNTED
ACCESSIBLE RESTROOM	KOHLER	TOILET	HIGHCLIFF, K-96051-SS L-0	WHITE	16-5/8" X 26-1/8" X 14-5/8"	ADA, 16 GPF FLUSH RANGE, ELONGATED BOWL
ACCESSIBLE RESTROOM	BOBRICK	SINK	GREENWICH, K-20232-0	WHITE	20-3/4" X 18-1/4"	ADA, 3 HOLE
ACCESSIBLE RESTROOM	BOBRICK	FAUCET	TRITON BOWE, K-400720	STAINLESS STEEL	4" HOLE WIDTH	ADA, 3 HOLE
ACCESSIBLE RESTROOM	BOBRICK	MIRROR	B-165 1836	STAINLESS STEEL	18"X36"	CENTER ON SINK
ACCESSIBLE RESTROOM	BOBRICK	GRAB BAR	SEE PLANS	STAINLESS STEEL	SEE I, ID3	
ACCESSIBLE RESTROOM	BOBRICK	VERTICAL GRAB BAR	SEE PLANS	STAINLESS STEEL	SEE I, ID3	
ACCESSIBLE RESTROOM	BOBRICK	HAND DRYER	B-7188	STAINLESS STEEL	3.9" X 13.8" X 10.2"	LOCATE ON DOOR WALL
BREAK ROOM	KOHLER	SINK	IRON/TONES, K-6504-0	WHITE	17" X 8-1/4" X 18-3/4"	UNDER-MOUNT, SINGLE BOWL
BREAK ROOM	KOHLER	FAUCET	K-7505	POLISHED CHROME	8" REACH, 11-38" HEIGHT	ADA, SINGLE HOLE
MAIN & 2ND FLOORS	TBD	DRINKING FOUNTAIN	TBD	TBD	TBD	ADA, 5" SPOUT REACH



WINDOW SCHEDULE						
LOCATION	SYMBOL	SIZE	MANUFACTURER	MATERIAL	NOTES	FINISH
BASEMENT, LOBBY	(1)	2'-3" X 3'-6"	TBD	TBD	AWNING, TEMPERED	BLACK
BASEMENT, BREAK ROOM	(2)	6'-0" X 1'-6"	TBD	TBD	FIXED, HDR @ 6'-8"	BLACK
BASEMENT, SIDELITE	(3)	3'-8" X 1'-0" +/-	TBD	TBD	FIXED, TEMPERED	BLACK
BASEMENT, OFFICE	(4)	EXISTING OPENING	TBD	TBD	AWNING, TEMPERED	BLACK
BASEMENT, OFFICE	(5)	2'-3" X 3'-2"	TBD	TBD	FIXED, TEMPERED	BLACK

INTERIOR WALL & CASEWORK FINISH SCHEDULE														
LOCATION	MANUFACTURER	WALL COLOR	WALL FINISH	WALL BASE TRIM COLOR	WALL BASE TRIM FINISH	WALL BOARD FINISH LEVEL	CEILING COLOR	CEILING FINISH	WINDOW TRIM COLOR	WINDOW TRIM FINISH	CASEWORK MATERIAL	CASEWORK COLOR / FINISH	DOOR & DOOR TRIM COLOR	DOOR & DOOR TRIM FINISH
LOBBY - NORTH, WEST, SOUTH WALLS	BENJAMIN MOORE	SWEET SPRING, 1500	MATTE	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	SWEET SPRING, 1500	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	ALDER	SAMAN, 10 - WHOLE WHEAT, MATTE	SUPER WHITE, FM 1	SATIN
MAIN AREAS	BENJAMIN MOORE	COTTON BALLS, OC-122	MATTE	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	COTTON BALLS, OC-122	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	ALDER	SAMAN, 10 - WHOLE WHEAT, MATTE	SUPER WHITE, FM 1	SATIN
OFFICES	BENJAMIN MOORE	COTTON BALLS, OC-122	MATTE	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	COTTON BALLS, OC-122	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	ALDER	SAMAN, 10 - WHOLE WHEAT, MATTE	SUPER WHITE, FM 1	SATIN
ACCESSIBLE RESTROOM	BENJAMIN MOORE	SWEET SPRING, 1500	EGGSHELL	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	SWEET SPRING, 1500	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	N/A	N/A	SUPER WHITE, FM 1	SATIN
STORAGE	BENJAMIN MOORE	COTTON BALLS, OC-122	MATTE	SUPER WHITE, FM 1	N/A	4	COTTON BALLS, OC-122	MATTE	N/A	N/A	N/A	N/A	SUPER WHITE, FM 1	SATIN
BREAK ROOM	BENJAMIN MOORE	COTTON BALLS, OC-122	MATTE	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	COTTON BALLS, OC-122	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	ALDER	SAMAN, 10 - WHOLE WHEAT, MATTE	SUPER WHITE, FM 1	SATIN

* PROVIDE DESIGNER WITH SAMPLES PRIOR TO BEGINNING WORK

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SHEET CONTENT

BASEMENT FLOOR PLAN SCHEDULES

JOB No. 000016

DRAWN KLS CHECKED DMS

DATE 5.25.19

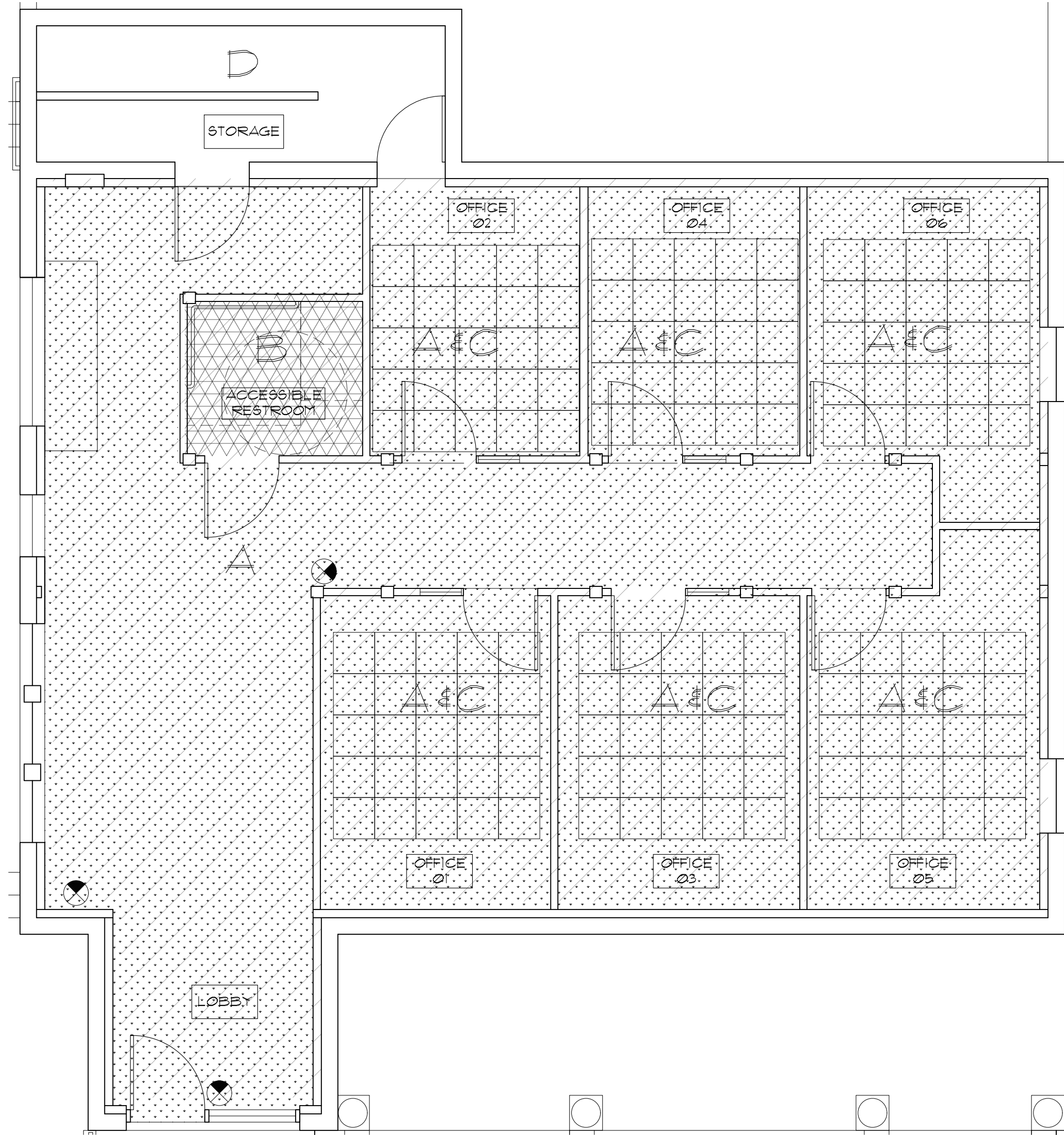
REVISIONS

1 5.5.19

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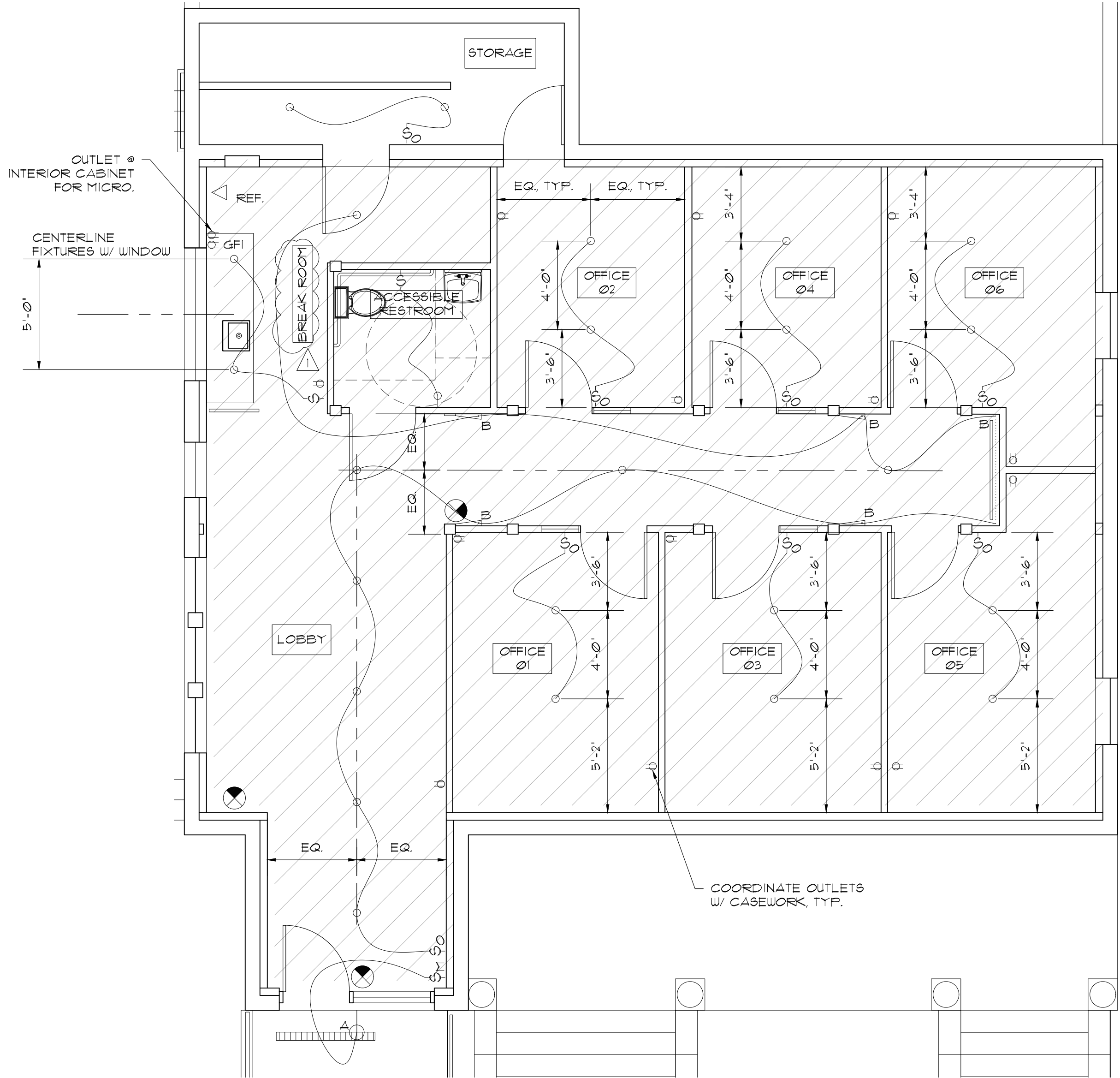
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SHEET ID1



1 FLOORING MATERIAL PLAN
ID2

1/8" = 1'-0"



2 REFLECTED CEILING PLAN
ID2

1/8" = 1'-0"

SUBJECT TO
CHANGE.
COORDINATE W/
INTERIOR
DESIGNER

LIGHTING SCHEDULE							
SYMBOL	FIXTURE	MANUFACTURER	PRODUCT	LAMP	LUMEN	WATTS	NOTES
O	RECESSED CAN	LITHONIA LIGHTING	UF6 6" LED MODULE	LED	180	15W * 20 LAMPS = 300 WATTS	DETAIL/SHEET
Q	SCONCE					15W	DETAIL/SHEET
B	TAPE			LED	800	15W	DETAIL/SHEET
AQ	EXTERIOR SCONCE	WAC LIGHTING	WU504110	LED	1235	15W	3000K

345 WATTS TOTAL

ELECTRICAL SCHEDULE			
SYMBOL	TYPE	HEIGHT ON WALL OR CABINET	NOTES
DO	DUPLEX OUTLET	1'-0"	COORDINATE W/ CASEWORK / APPLIANCE
DGFI	GFI DUPLEX OUTLET	3'-6"	
Δ	120 VOLT	1'-0"	REFRIGERATOR
SO	OCCUPANCY SENSOR SWITCH	36" AFF	
SM	MOTION SENSOR SWITCH	36" AFF	

FLOORING SCHEDULE					
LOCATION	SYMBOL	MANUFACTURER	PRODUCT	COLOR	QTY.
MAIN AREAS, OFFICES	A	FORBO	LINOLEUM	3136, CONCRETE, GREEN SUMMER	TBD
ACCESSIBLE RESTROOM	B	DALTILE	1" SQUARE TILE MOSAIC	DISS. WHITE, 1/16" GROUT, RAVEN	55 SF
OFFICES	C	FLOR	CARPET TILE	TBD	TBD
STORAGE	D	EXISTING	CONCRETE	EPOXY PAINT	TBD

NOTES

ALL RECESSED CANS AT CEILING LOCATIONS W/2X8 ROOF FRAMING TO HAVE MAXIMUM 4" CLEARANCE AND MINIMUM 4" INSULATION ABOVE.

ALL OFFICES TO HAVE NO LESS THAN 2 DUPLEX OUTLETS AND 2 DUPLEX DATA PORTS.

ALL NEW SWITCHES TO HAVE OCCUPANCY SENSORS.

DISCUSS ALL CEILING FIXTURES WITH ARCHITECT/DESIGNER BEFORE INSTALLATION.

PER OEE5C SECTION 505 - THE FOLLOWING LIGHTING CONTROLS, AT A MINIMUM, SHALL BE USED:

505.222 - INSTALL AN OCCUPANT SENSOR THAT WILL TURN OFF LIGHTING WITHIN 30 MINUTES OF AN OCCUPANT LEAVING A SPACE AT ALL NEWLY CREATED ROOMS - THIS INCLUDES ALL NEW TOILET ROOMS, BREAK/OFFICE ROOM, MECH. ROOM, WALK-IN COOLER AND DISH WASH AREAS.

1,425 SF OF OFFICE AREA TO RECEIVE NEW LIGHTING PER 2010 OREGON ENERGY EFFICIENCY SPECIALTY CODE - TABLE 505.5.2.2 - OFFICE IS ALLOWED UP TO .91 WATTS/SF

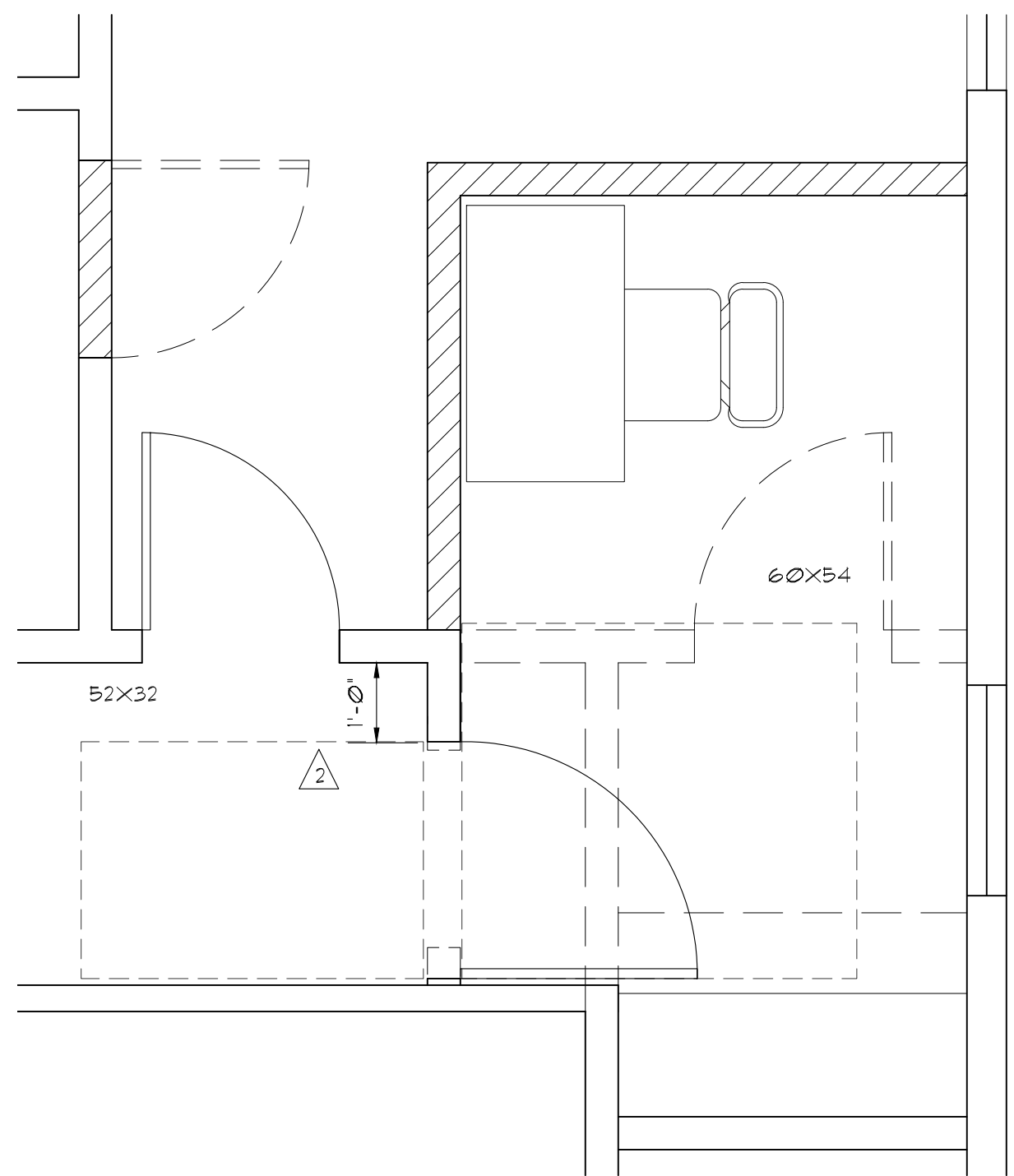
1,425SF x .91 = 1,296.75 WATTS ALLOWED - 345 WATTS PROPOSED

ALL THRESHOLDS SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR, AND RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 50%.

ALL ALTERNATIVE SELECTIONS TO BE APPROVED BY INTERIOR DESIGNER, ARCHITECT, AND OWNER BEFORE PURCHASING AND INSTALLING.

CONSULT WITH DESIGNER PRIOR TO PURCHASING ALL MATERIALS.

PROVIDE DESIGNER/ARCHITECT WITH TESTS OF ALL PAINTS AND STAINS PRIOR TO WORK.



3 FIRST FLOOR (N) OFFICE PLAN
ID2

1/8" = 1'-0"



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SHEET CONTENT
FLOORING MATERIAL PLAN
REFLECTED CLG. PLAN
LIGHTING SCHEDULE
FLOORING SCHEDULE
FIRST FLR. (N) OFFICE PLAN

JOB No.

000016

DRAWN

KLS

CHECKED

DMS

DATE

5.5.19

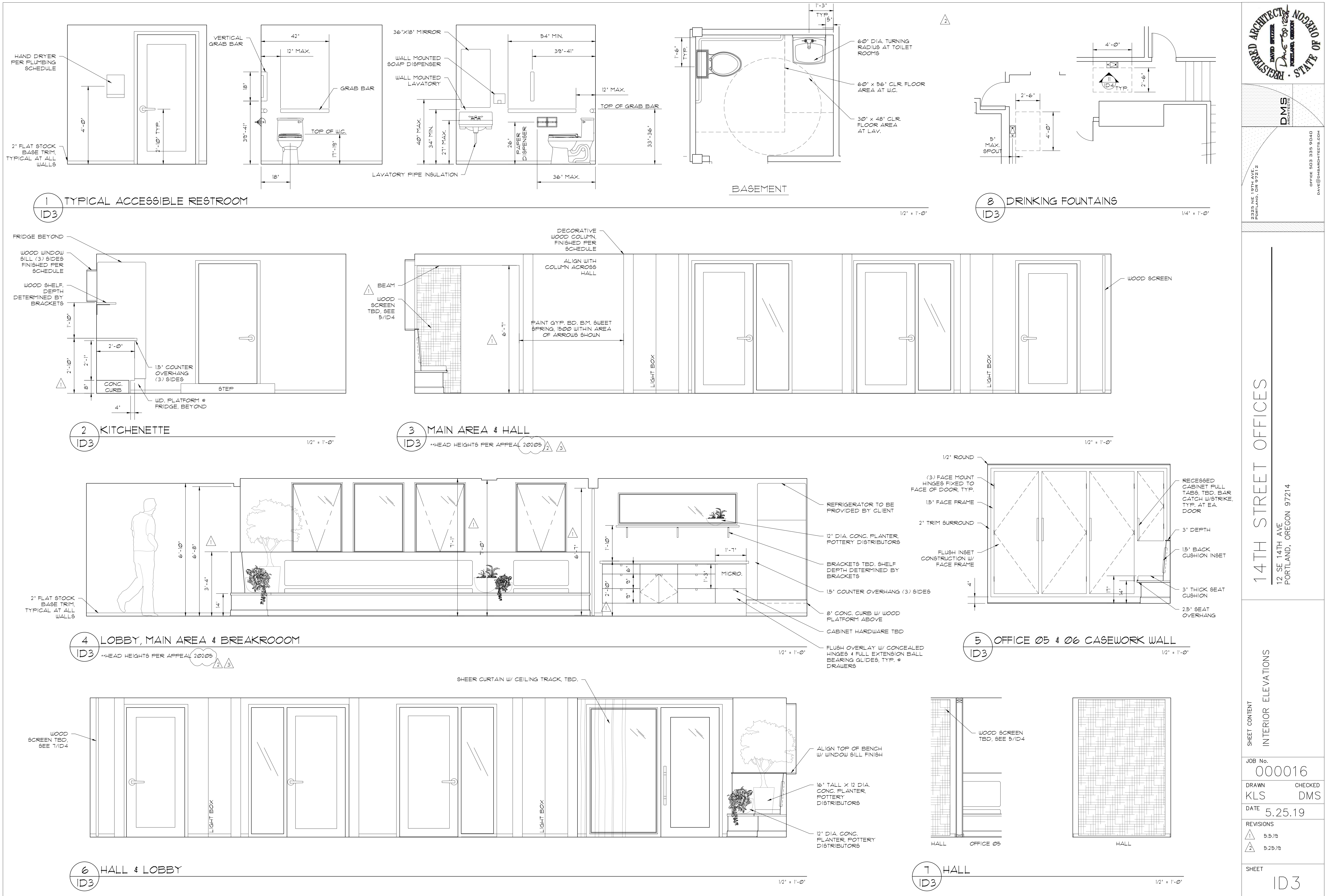
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Δ 5.5.19

Δ 5.25.19

SHEET

ID2



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SHEET CONTENT
INTERIOR ELEVATIONS

JOB No.
000016

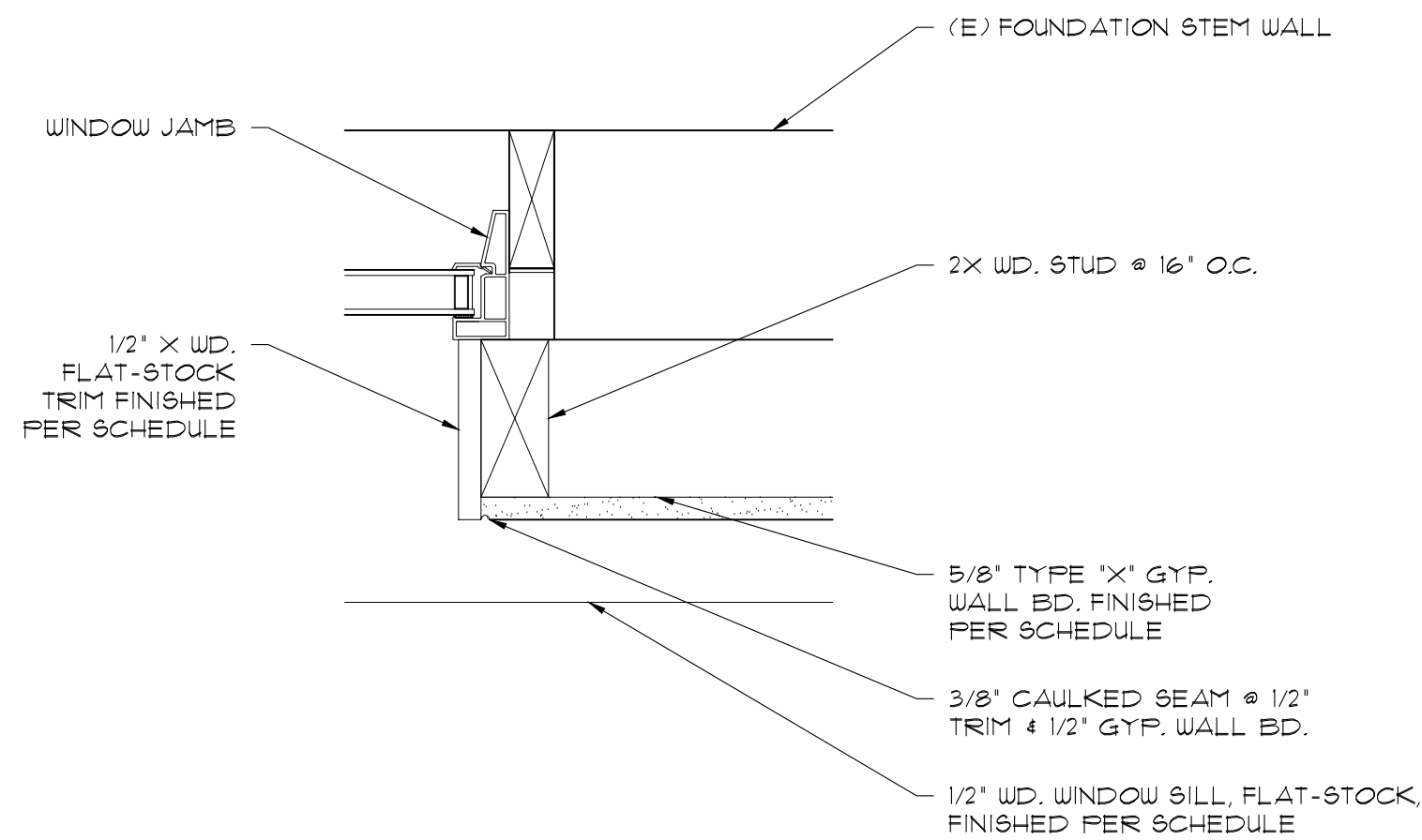
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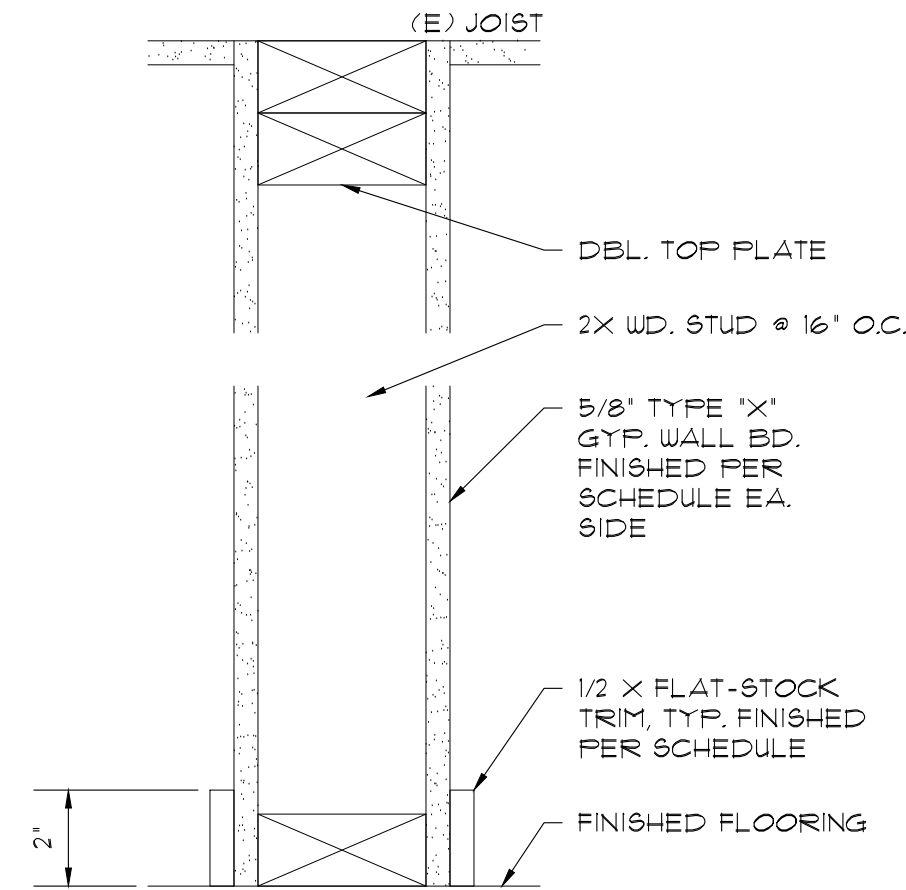
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REVISIONS
5.5.19
5.25.19

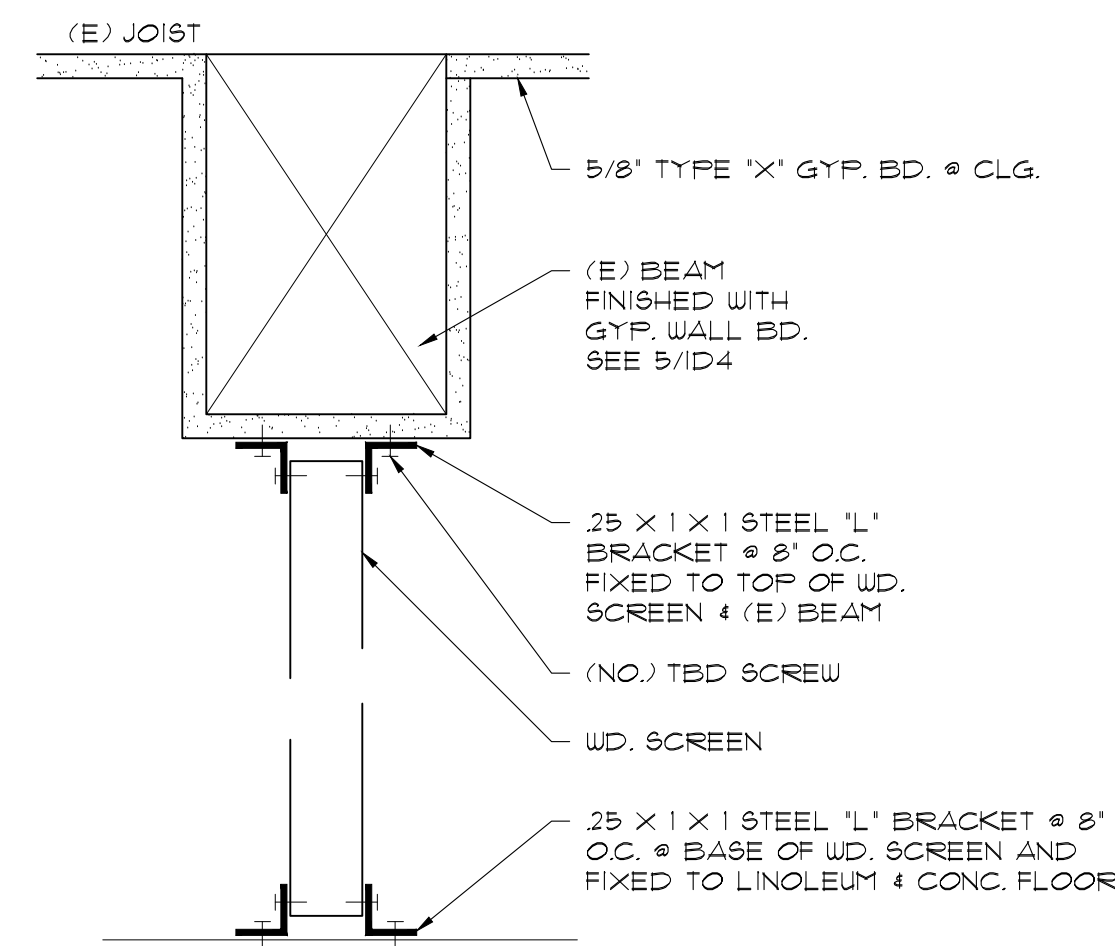
SHEET
ID3



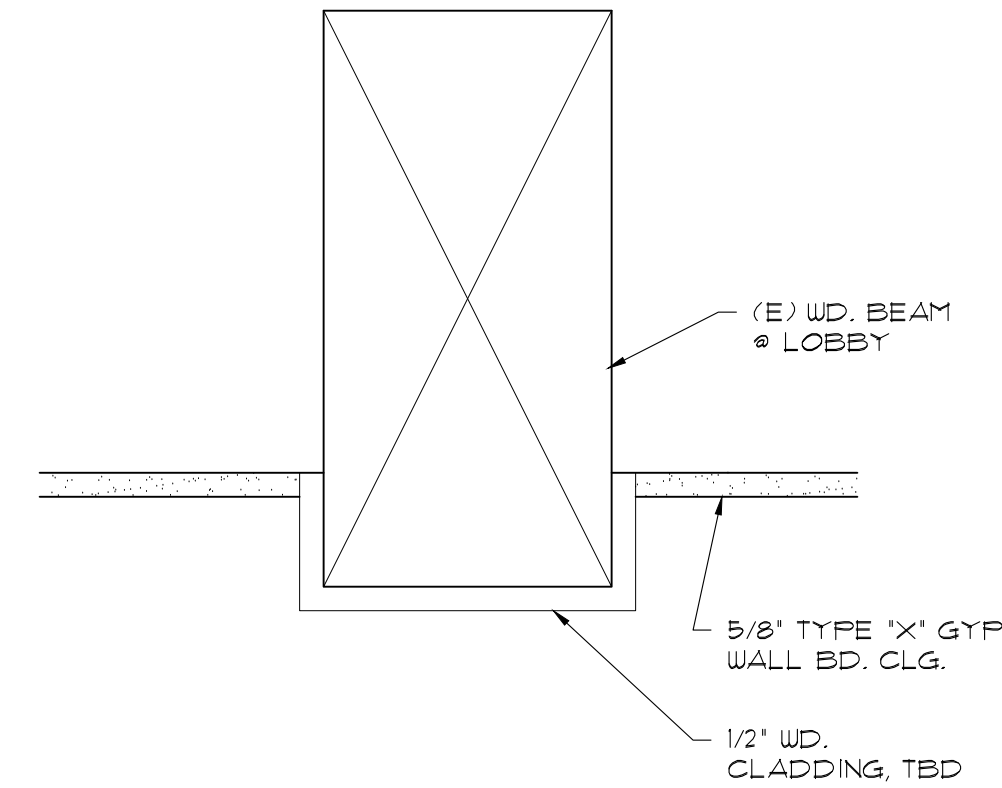
1 PLAN @ WINDOW SILL & BENCH
ID4 3' = 1'-0'



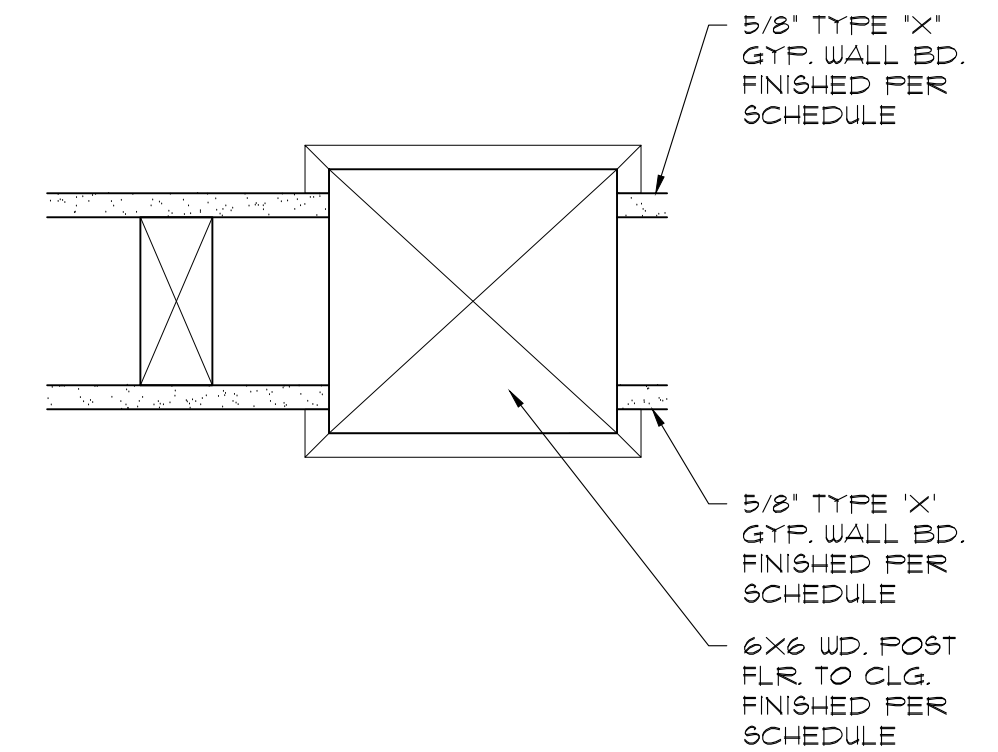
2 (N) WALL, TYP.
ID4 3' = 1'-0'



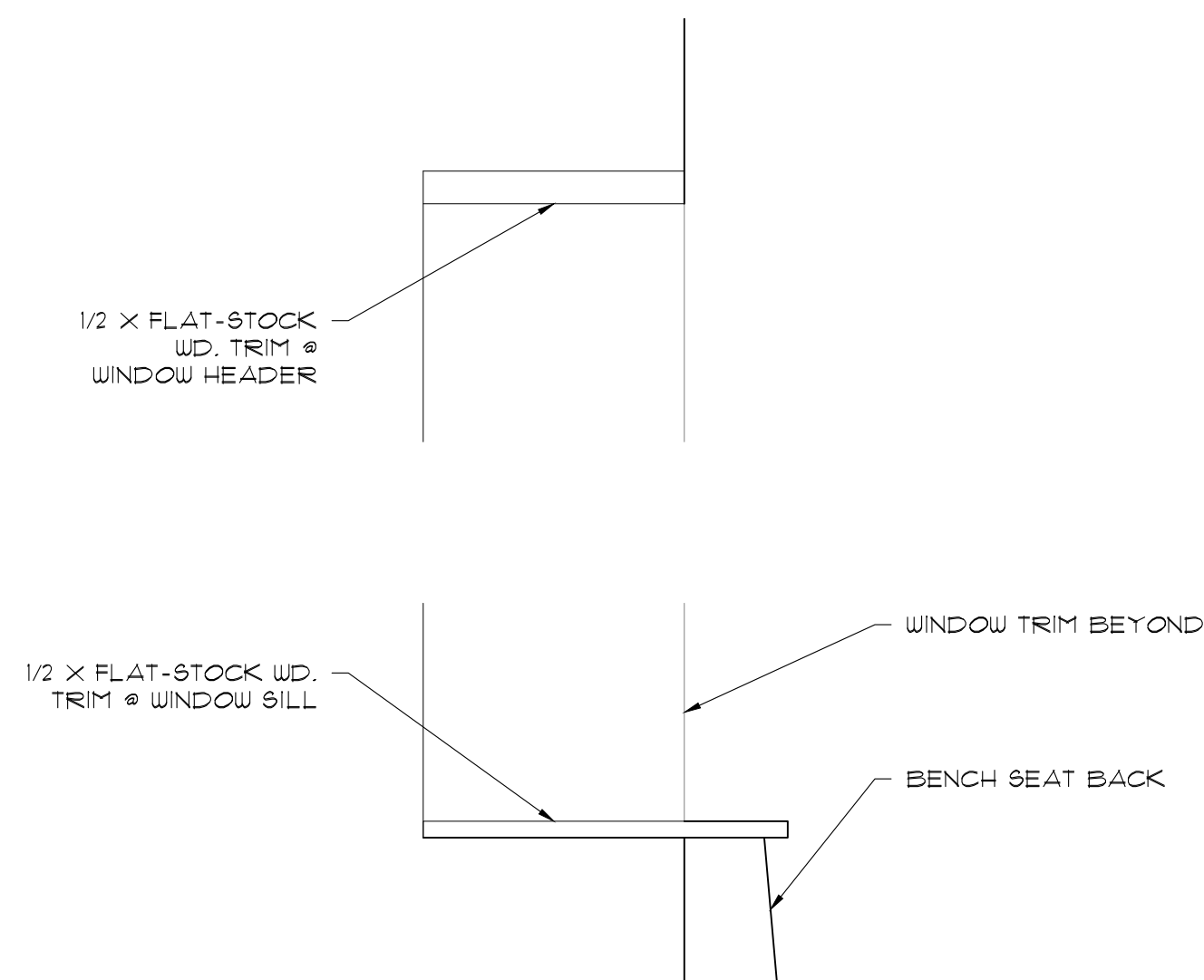
3 WOOD SCREEN @ BEAM
ID4 3' = 1'-0'



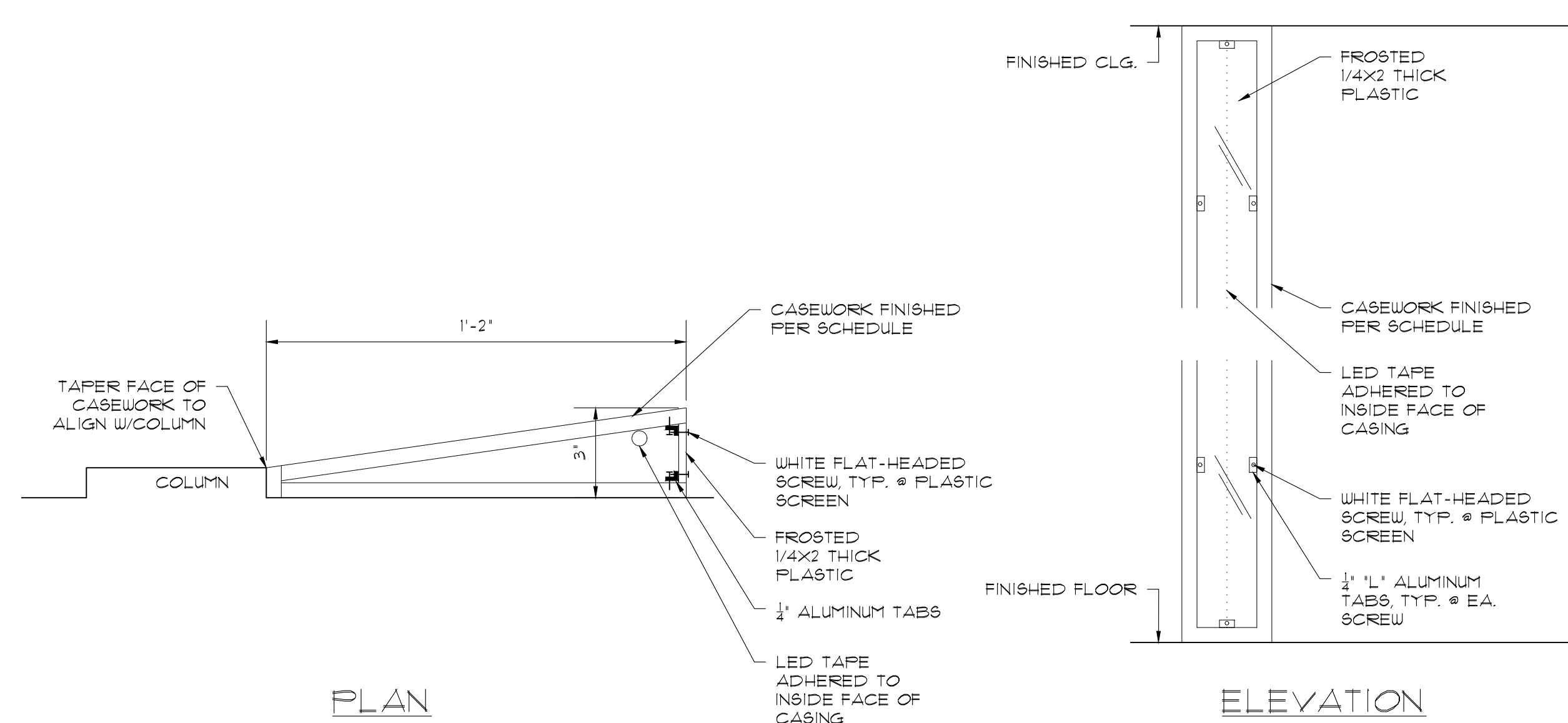
4 BEAM @ LOBBY
ID4 3' = 1'-0'



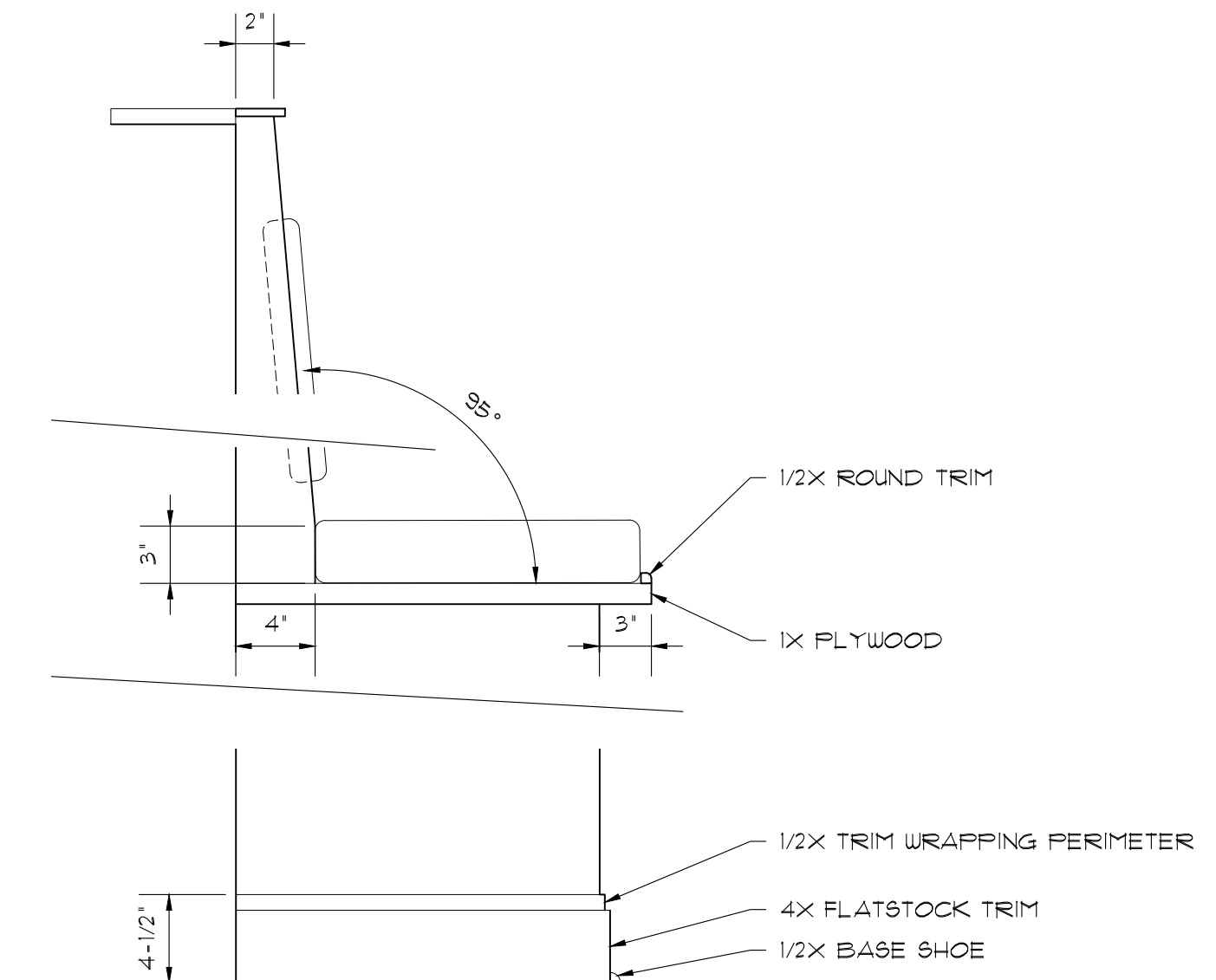
5 TYP. COLUMN @ HALL
ID4 3' = 1'-0'



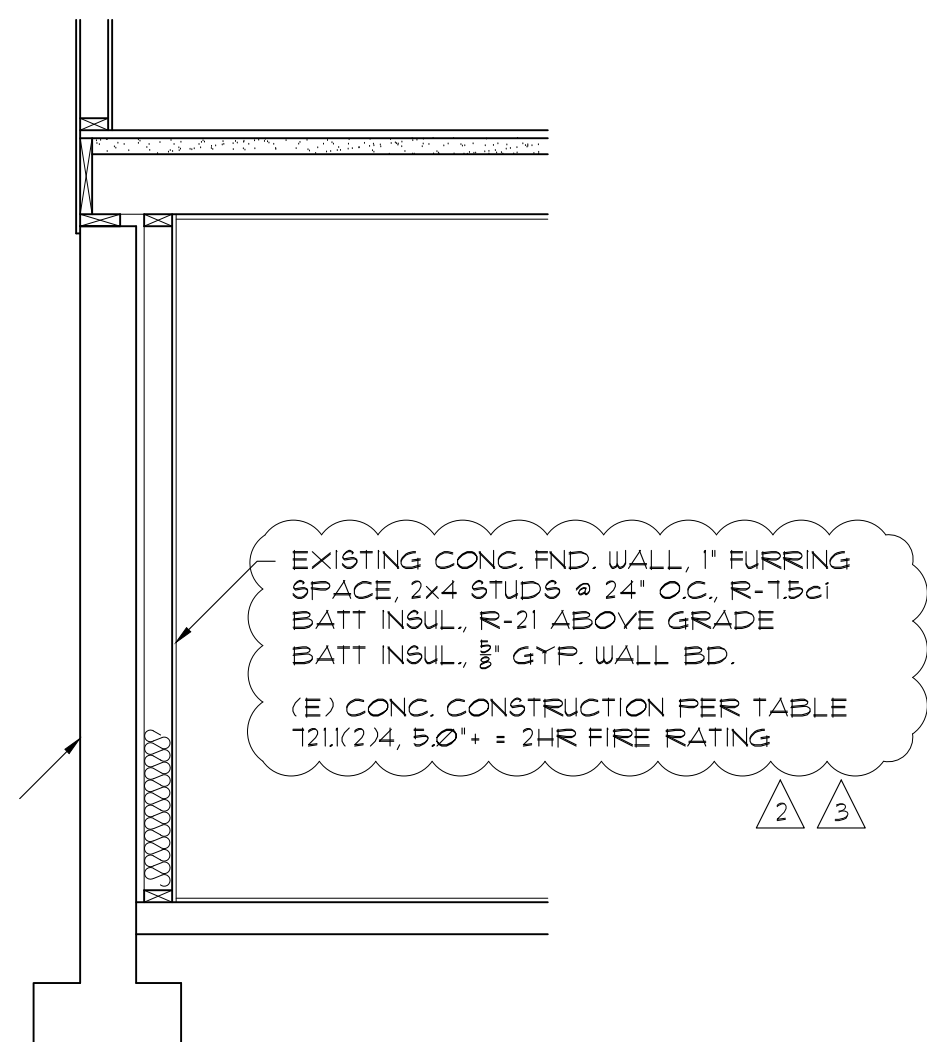
6 ELEVATION @ WINDOW SILL & BENCH
ID4 3' = 1'-0'



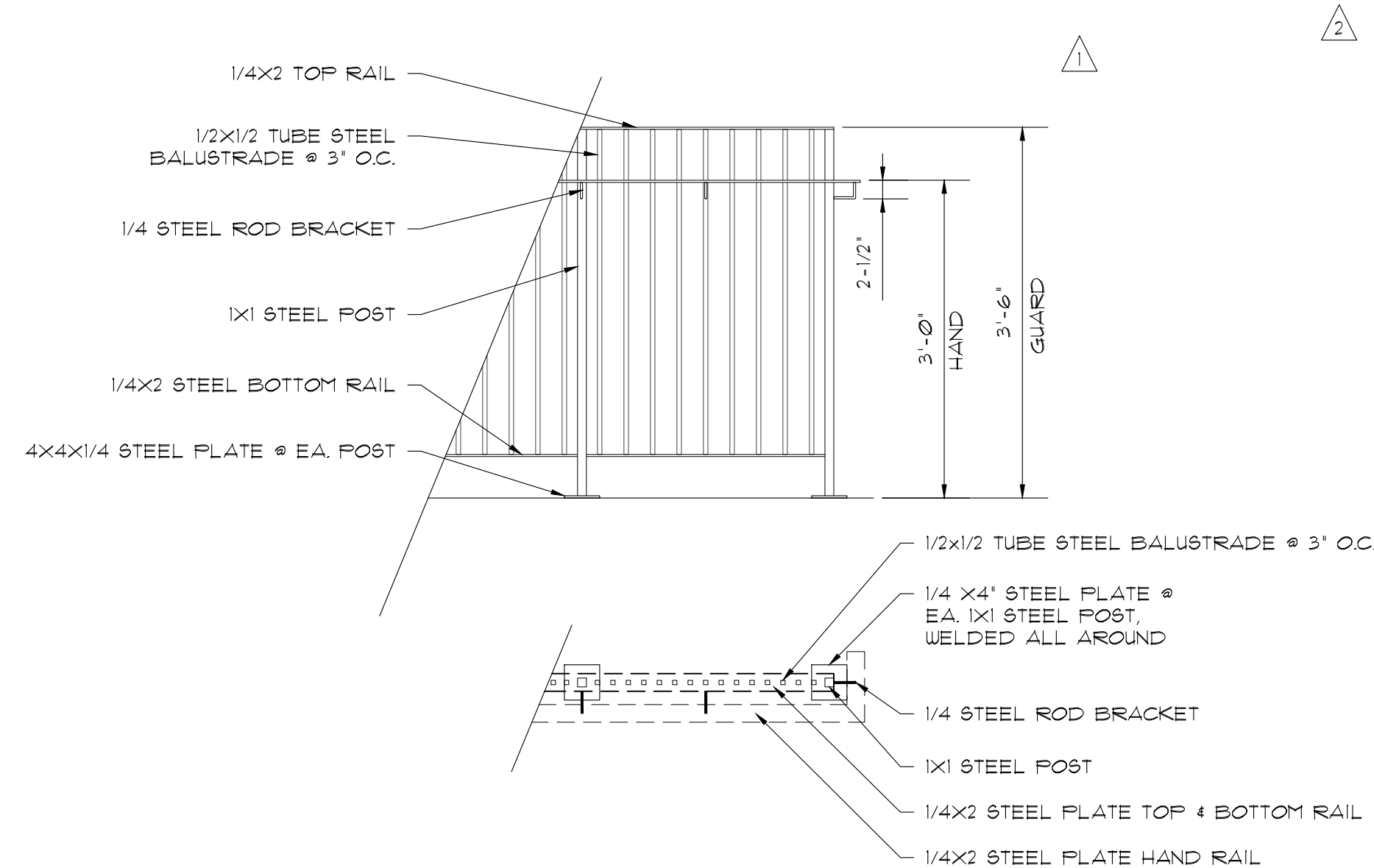
7 LIGHT BOX, TYP.
ID4 3' = 1'-0'



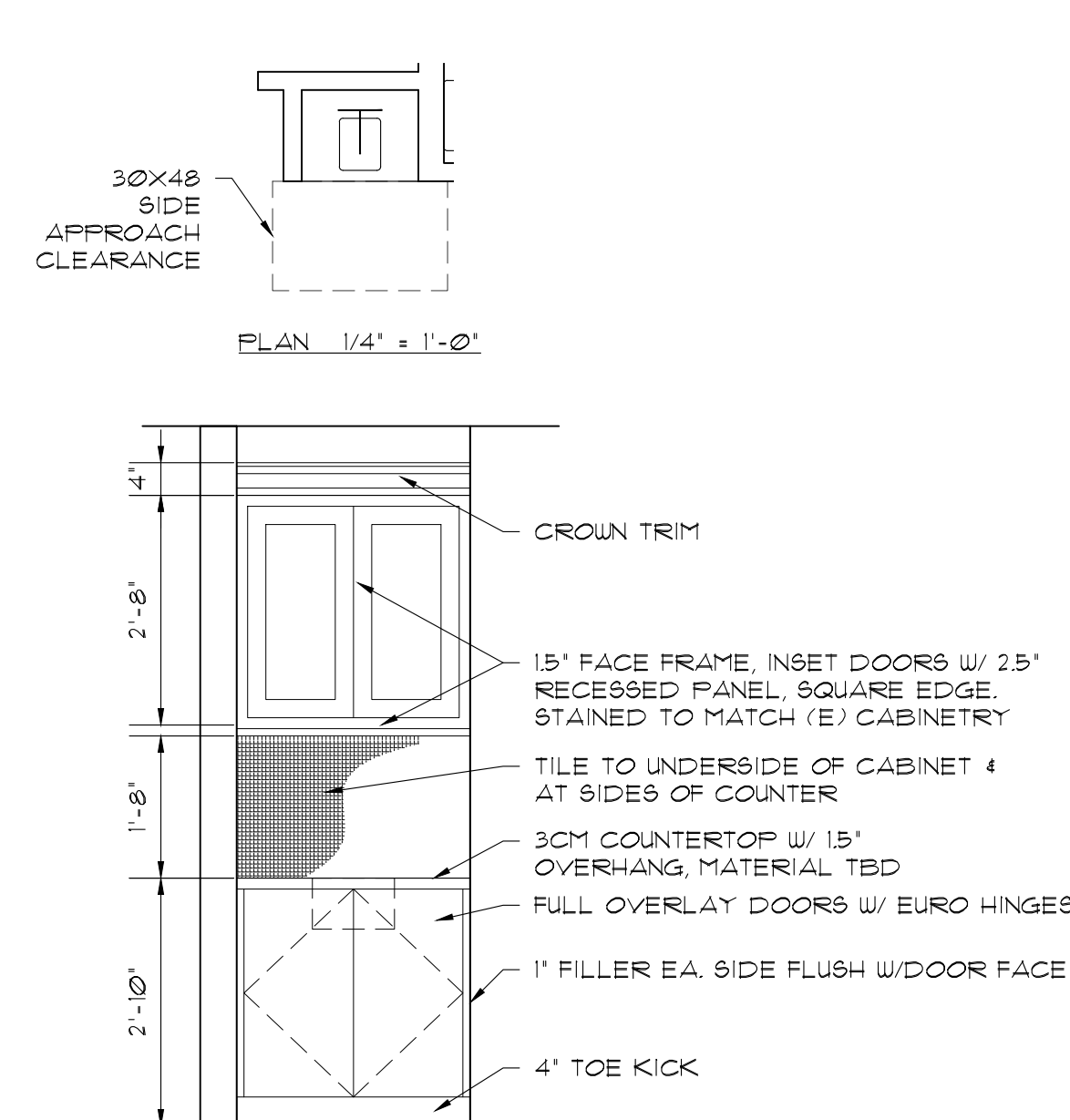
8 SECTION @ BENCH
ID4 1' = 1/2' = 1'-0'



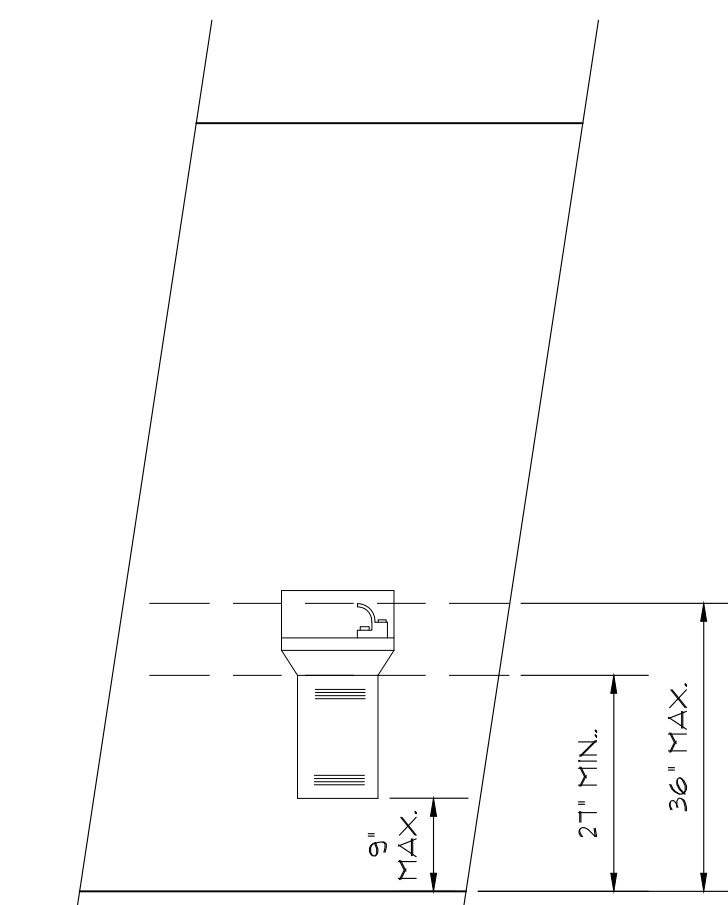
9 SECTION @ BASEMENT FURRING WALL
ID4 1/2' = 1'-0'



10 EXTERIOR HAND & GUARD RAILS
ID4 3/4' = 1'-0'



10 MAIN & 2ND FLOOR KITCHENETTE
ID4 1/2' = 1'-0'



11 TYP. DRINKING FOUNTAIN
ID4 1/2' = 1'-0'