

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered - Held over from ID 20669 (7/31/19) for additional information

Appeal ID: 20712	Project Address: 1660 SE Spokane St
Hearing Date: 8/7/19	Appellant Name: BRANDON YODER
Case No.: B-012	Appellant Phone: 5032523453
Appeal Type: Building	Plans Examiner/Inspector: Brian McCall
Project Type: commercial	Stories: 4 Occupancy: R-2 Construction Type: V-A
Building/Business Name: 1660 Spokane	Fire Sprinklers: Yes - Full NFPA 13
Appeal Involves: Reconsideration of appeal	LUR or Permit Application No.: 18-173133-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Apartments

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 705.8.6.2

Requires 705.8.6.2 Vertical Exposure for Buildings on separate lots

When a new building is to be erected adjacent to an existing building, all openings in the exterior wall of the new building are required to be not less than 3?4 hour when these openings are less than

15 feet vertically above the roof of the existing building or structure. The opening protections are required where the distance between the buildings or structures is less than 15 feet.....

Proposed Design Proposed south and a portion of the east wall of new building will be provided with window washer sprinkler heads, instead of 3?4 hour opening protective. Provide fire sprinklers at interior, installed between 4" (min) and 24" (max) from windows, spaced at 6 feet on center max, sprinklers to be capable of wetting entire interior window surface. Entire building is sprinkled to the Full NFPA 13 system and is V-A construction.

Reason for alternative The building is fully sprinkled to the full NFPA 13 system. All openings at this wall are compliant with table 705.8, regarding allowable opening area relative to the entire wall area. Entire wall length is 1-hour fire rated. The new south wall is adjacent to an existing wall on the south adjacent property, the building on the south adjacent lot is a type III-B concrete building with a parapet.

The new east wall is adjacent to a two buildings, an existing wood framed garage & a pre-manufactured metal building, on the east adjacent property.

The windows into the units at this area will provide much needed natural ventilation and light and are important to provide a healthy living environment.

This proposed alternate has been approved by appeal for other comparable situations. Reference approved appeal 13298, Item 1.

APPEAL DECISION

Type 13 water curtain sprinkler protection at non-fire rated openings in buildings with vertical exposure on separate lots: Granted provided windows are non-operable and sprinklers are spaced not more than 6 feet apart and placed a minimum of 6 inches and a maximum of 12 inches from the opening(s) and a maximum of 12 inches below the ceiling. Sprinklers are to be installed on the occupied side of the openings.

A separate permit from the Fire Marshal's Office is required.

Note: This decision doesn't grant any mechanical openings.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

1	Code Summary
A1	1/4" = 1'-0"

CODE SUMMARY
CODE ANALYSIS FOR NEW 27-UNIT 4-STORY APARTMENT BUILDING:
BUILDING CODE - 2014 OREGON STRUCTURAL SPECIALTY CODE
OCCUPANCY GROUP: R-2
CONSTRUCTION TYPE: V-A - BASE BUILDING HEIGHT IS LIMITED TO 3 STORIES.
HEIGHT INCREASES TO FOUR STORIES WITH THE ADDITION OF A NFPA 13 AUTOMATIC SPRINKLER
- SEE SECTION 504.2 AND TABLE 503
BUILDING AREA: 17,667 S.F.
NUMBER OF UNITS: 27 (1-HOUR WALLS BETWEEN EACH UNIT)
STORIES: 4
FIRE ALARMS ARE REQUIRED
BUILDING TO BE FULLY SPRINKLED WITH
A FULL NFPA 13 SYSTEM (PERMIT BY CONTRACTOR)
MONITORED OFF SITE
NOTE: SEPARATE PERMITS REQUIRED FOR
PLUMBING, MECHANICAL AND ELECTRICAL PERMITS.
DEFERRED SUBMITALS - HANDRAILS AND GUARDRAILS.

TABLE 502.1.1 BUILDING ENVELOPE REQUIREMENTS		TABLE 502.1.2 BUILDING ENVELOPE REQUIREMENTS	
CLIMATE ZONE	GROUP R	CLIMATE ZONE	GROUP R
ROOFS		ROOFS	
ATTIC AND OTHER WALLS, ABOVE GRADE	R-38	ATTIC AND OTHER WALLS, ABOVE GRADE	U-0.027
WOOD FRAMED AND OTHER WALLS, BELOW GRADE	R-21	WOOD FRAMED AND OTHER WALLS, BELOW GRADE	U-0.064
BELOW GRADE WALL	R-15	BELOW GRADE WALL	U-0.0119
SLAB-ON-GRADE FLOORS		SLAB-ON-GRADE FLOORS	
UNHEATED SLABS	R-10 FOR 24"	UNHEATED SLABS	F-0.540
HEATED SLABS	R-15 FOR 24"	HEATED SLABS	F-0.860
OPAQUE DOORS			
SWINGING	U-0.70		
ROLL-UP OR SLIDING	U-0.50		

TABLE 502.3
BUILDING ENVELOPE REQUIREMENTS: FENESTRATION
VERTICAL FENESTRATION(30% MAX. ABOVE-GRADE WALL
FRAMING MATERIALS OTHER THAN METAL FRAMING - 0.35
MINIMUM 50% OF PERMANENTLY INSTALLED INTERIOR
LIGHTING FIXTURES TO BE FITTED WITH HIGH EFFICACY LAMPS
- ABOVE GRADE WALLS TO BE R-21 INSULATION

BUILDING CODE SUMMARY - 2014 OREGON STRUCTURAL SPECIALTY CODE
CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY
420.2: WALLS SEPARATING DWELLING UNITS SHALL BE CONSTRUCTED
AS FIRE PARTITIONS. 1 HOUR PARTITIONS PROVIDED.
420.3 FLOOR ASSEMBLIES SEPARATING DWELLING UNITS SHALL BE CONSTRUCTED
AS HORIZONTAL ASSEMBLIES. 1 HOUR SEPARATION PROVIDED.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:
503.1.2 - BUILDINGS ARE SEPARATED FROM EACH OTHER BY AT LEAST 10'.
TABLE 503: ALLOWABLE BUILDING HEIGHTS AND AREAS: OCCUPANCY R-2 CONSTRUCTION TYPE V-A
BASE ALLOWABLE HEIGHT PER STORY: 12,000 S.F.
MAXIMUM NUMBER OF STORIES: 3
MAXIMUM BUILDING HEIGHT: 60'
504.2 SPRINKLER INCREASE WITH 13 SYSTEM: 4 STORIES, 80' HEIGHT
506.4.4 MAXIMUM BUILDING AREAS:
NOT USING FRONTAGE INCREASES
12,000 S.F. x 3 = 36,000 S.F. MAX. BUILDING AREA.

CHAPTER 6 - TYPES OF CONSTRUCTION
TABLE 601 - FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:

TABLE 602 - FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE
- FIRE RESISTANCE RATINGS ARE BASED ON PROPERTY LINES.

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES
TABLE 705.8 - SEE SITE PLAN FOR AREA CALCULATIONS BASED ON OPENINGS
705.11, EXCEPTION 5: SEE ROOF PLAN AND CROSS SECTIONS FOR DETAILS, SHOWING HOW EXCEPTION WILL BE MET.
- MINIMUM CLASS C ROOFING REQUIRED. COMPOSITION PROPOSED.
- ROOF SHEATHING MUST BE CONSTRUCTED WITH FIRE-RETARDANT PLY WOOD FOR A DISTANCE OF 4'
708.3 - FIRE PARTITIONS SEPARATING DWELLING UNITS: 1 HOUR.
708.4 EXCEPTION 5/6 - DRAFTSTOPPING IN ATTIC NOT REQUIRED
711.3 - HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS: 1 HOUR
711.4 EXCEPTION 2 - STRUCTURE SUPPORTING THE HORIZONTAL ASSEMBLIES ARE NOT REQUIRED TO BE RATED.
TABLE 716.5 FIRE DOOR PROTECTION RATINGS - EXIT ENCLOSURE 1 HOUR RATED ASSEMBLY, 1 HOUR RATED DOOR.

CHAPTER 9 - FIRE PROTECTION SYSTEMS
903.2.8 - AUTOMATIC SPRINKLER SYSTEM REQUIRED
903.3.1.1 - NFPA 13 SPRINKLER SYSTEM REQUIRED.
903.4 - FIRE ALARMS ARE REQUIRED

CHAPTER 10 - MEANS OF EGRESS
TABLE 1004.1.1 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - RESIDENTIAL = 200 GSF PER OCCUPANT
SECTION 1006 - PROVIDE EMERGENCY EGRESS LIGHTING ON EXTERIOR STAIRS AND
LANDINGS AT 1 FOOT CANDLE MINIMUM AT THE WALKING SURFACE.
1006.3 - EMERGENCY POWER NOT REQUIRED FOR BUILDINGS WITH ONE EXIT.

CHAPTER 11 - ACCESSIBILITY
ACCESSIBILITY REQUIREMENTS APPLY TO THE ENTIRE FIRST FLOOR OF ALL BUILDINGS OF THIS PROJECT.
THE SECOND AND THIRD FLOOR UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS
ALL FIRST FLOOR UNITS TO BE TYPE B UNITS.

PERMITS TO BE OBTAINED FROM THE FIRE MARSHAL'S OFFICE:
2016 PORTLAND FIRE CODE IS APPLICABLE
SEPARATE PERMITS SHALL BE OBTAINED FROM THE FIRE MARSHAL'S OFFICE,
1300 SE GIDEON STREET, PRIOR TO THE INSTALLATION OF THE FOLLOWING:
- FIRE SPRINKLERS
- FIRE ALARM SYSTEMS
- UNDERGROUND FIRE LINES
- "KNOXBOX" PERMIT
FULL NFPA 13 SPRINKLER SYSTEM IS TO BE INSTALLED
FOR THE PURPOSES OF THIS PERMIT. DRAWINGS OR REFERENCES OF
ANY FIRE-EXTINGUISHING SYSTEMS OR FIRE ALARM SYSTEMS ARE FOR
INFORMATION ONLY AND WILL REQUIRE SEPARATE APPROVAL FROM THE
FIRE MARSHAL'S OFFICE UNDER BENEFIT OF A PERMIT PRIOR TO
SYSTEM INSTALLATION.
- CARBON MONOXIDE DETECTORS TO BE INSTALLED
IN ACCORDANCE WITH PEC 908

TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION	
VERTICAL FENESTRATION (30% MAX. OF ABOVE GRADE WALL)	
FENESTRATION TYPE	
FRAMING MATERIALS OTHER THAN METAL, WITH OR WITHOUT METAL REINFORCEMENT OR CLADDING	0.35
FIXED, OPERABLE, AND DOORS WITH GREATER THAN 50% GLAZING	
METAL FRAMING WITH OR WITHOUT THERMAL BREAK	0.45
FIXED: CURTAIN WALL/STOREFRONT	0.80
ENTRANCE DOOR	0.46
ALL OTHER FRAME TYPES	0.40
SKYLIGHTS (3% MAXIMUM OF ROOF AREA)	0.60
U-FACTOR	0.40
SHGC	

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)		
BUILDING ELEMENT	TYPE V	
	A ¹	
Primary structural frame ^a (see Section 202)	1	
Bearing walls		
Exterior ^{d, e}	1	
Interior	1	
Nonbearing walls and partitions		
Exterior		
Nonbearing walls and partitions	0	
Interior ^d		
Floor construction and associated secondary members (see Section 202)	1	
Roof construction and associated secondary members (see Section 202)	1 ^{b,c}	

DUE TO PROXIMITY TO ADJACENT BUILDING ON ADJACENT LOT, ALL WINDOWS ALONG THE SOUTH ELEVATION SHALL BE PROVIDED WITH WINDOW WASHER SPRINKLER HEADS
- PER SECTION 705.8.6.2 - VERTICAL EXPOSURE FOR BUILDINGS ON SEPARATE LOTS



TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS - MAXIMUM ALLOWED OPENING % AT THIS WALL = 15%
1ST LEVEL: 478 S.F. WALL AREA - 62 S.F. OPENING AREA - OPENING % = 12.9%
2ND LEVEL: 478 S.F. WALL AREA - 62 S.F. OPENING AREA - OPENING % = 12.5%
3RD LEVEL: 478 S.F. WALL AREA - 62 S.F. OPENING AREA - OPENING % = 12.5%
4TH LEVEL: 425 S.F. WALL AREA - 62 S.F. OPENING AREA - OPENING % = 14.1%

5	SOUTH (REAR)
A1	1/8" = 1'-0"

FIRE SAFETY NOTES
- SPRINKLER PROTECTION IN GROUP R OCCUPANCIES SHALL BE PROVIDED UNDER ROOFS, BALCONIES, DECKS, PATIOS, OR SIMILAR PROJECTIONS GREATER THAN 2 FT WIDE FROM THE BUILDING OF DWELLING UNITS OR COMMUNITY OR SIMILAR ROOMS, OF THE RESIDENTIAL PORTION OF THE BUILDING. THIS REQUIREMENT APPLIES TO NFPA 13 BUILDINGS OF TYPE V CONSTRUCTION AND ALL CONSTRUCTION TYPES OF NFPA 13 SYSTEMS. SPRINKLERS ARE NOT REQUIRED WHERE THE PROJECTION ABOVE OCCUPANT BALCONIES, DECKS OR PATIOS IS HIGHER THAN 12 FT.

- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF BUILDINGS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET AND WITHIN 150 FEET OF A PUBLIC FIRE HYDRANT. IDENTIFY DISTANCE TO NEAREST FIRE HYDRANT.

- SIGNAGE TO BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLER CONNECTIONS AND BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. TO BE VERIFIED UPON FIRE FINAL.

NOTE: BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES.

NOTE:
SIGNAGE TO BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLERS, STANDPIPES OR FIRE PUMP CONNECTIONS AND BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. WHERE THE BUILDING IS PROTECTED BY A FIRE PUMP, SIGNAGE SHALL ALSO INDICATE THE DESIGN PRESSURE OF THE FIRE PUMP.

GRADE TO BE MAXIMUM 1' IN FALL
6 FEET BACK FROM BUILDING

HIGHEST GRADE

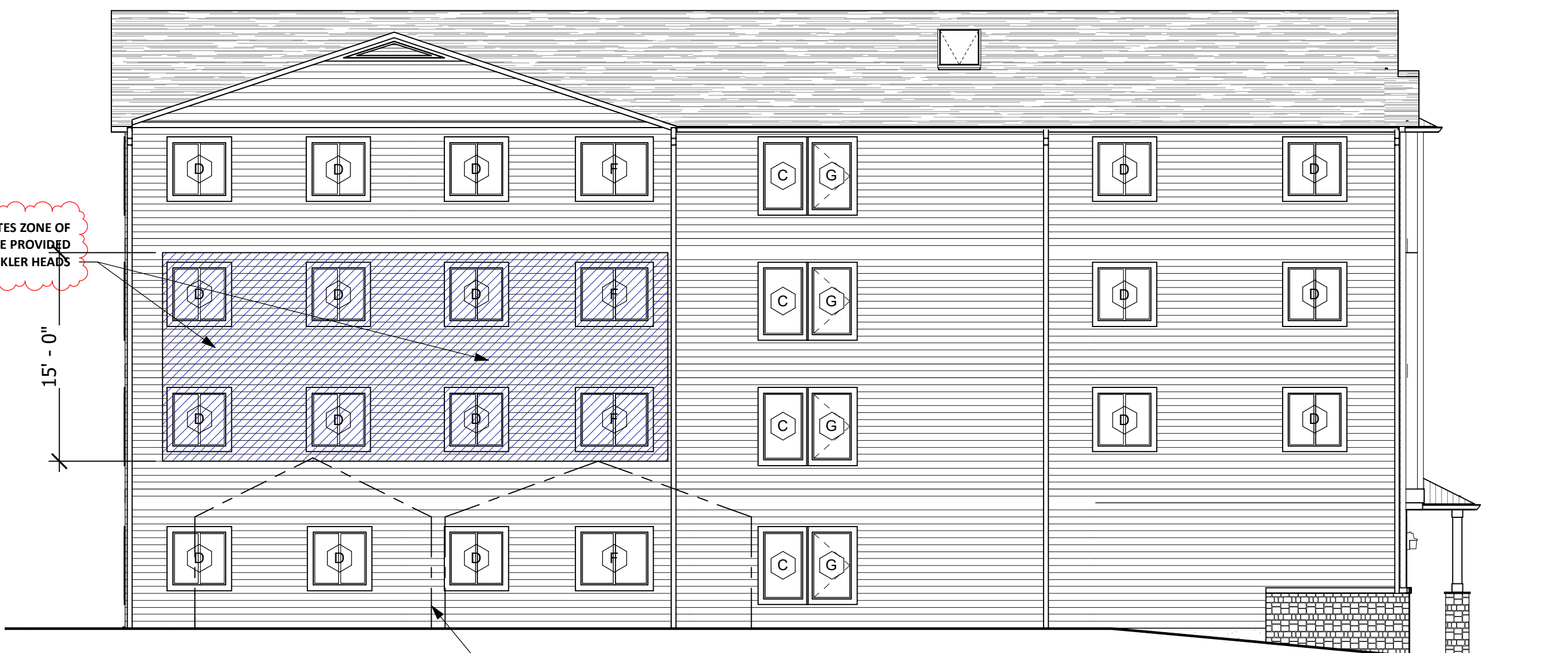
44' - 4 1/2" - MAXIMUM ALLOWED TO MID-POINT OF ROOF
40' - 2 1/2" - TO MID-POINT OF ROOF

METAL ROOFING

EXTERIOR MATERIALS SCHEDULE
- ASPHALT SHINGLE ROOFING ON UPPER ROOF
- STANDING SEAM METAL ROOFING ON LOWER PORCH ROOF
- 3.5" JAMB TRIM AT DOORS & WINDOWS
- 5" HEAD/SILL TRIM AT WINDOWS
- 5" HEAD AT DOORS
- HARDIE-PLANK SIDING - 6" REVEAL PATTERN
- NO BELLY BANDS ARE PROPOSED ON LAP SIDING
- BOARD AND BATT SIDING, 1x3 BATTS @ 16" O.C. ON HARDI-PANEL SIDING
- STONE VENEER
- NO CHANGES ALLOWED TO EXTERIOR MATERIALS WITHOUT PRIOR APPROVAL BY CITY OF PORTLAND.

3	NORTH (FRONT)
A1	3/16" = 1'-0"

HATCHED AREA INDICATES ZONE OF WINDOWS REQUIRED TO BE PROVIDED WITH WINDOW WASHER SPRINKLER HEADS



4	EAST (LEFT)
A1	1/8" = 1'-0"

TABLE 705.8
WEST ELEVATION
MAXIMUM AREA OF EXTERIOR WALL OPENINGS
- MAXIMUM ALLOWED OPENING % AT THIS WALL = 25%
1ST LEVEL: 828 S.F. WALL AREA
- 201 S.F. OPENING AREA
- OPENING % = 24.2%
2ND LEVEL: 828 S.F. WALL AREA
- 150 S.F. OPENING AREA
- OPENING % = 24.2%
3RD LEVEL: 828 S.F. WALL AREA
- 150 S.F. OPENING AREA
- OPENING % = 24.2%
4TH LEVEL: 736 S.F. WALL AREA
- 150 S.F. OPENING AREA
- OPENING % = 20.3%

TABLE 705.8
EAST ELEVATION
MAXIMUM AREA OF EXTERIOR WALL OPENINGS
- MAXIMUM ALLOWED OPENING % AT THIS WALL = 15%
1ST LEVEL: 828 S.F. WALL AREA
- 76 S.F. OPENING AREA
- OPENING % = 9.2%
2ND LEVEL: 828 S.F. WALL AREA
- 108 S.F. OPENING AREA
- OPENING % = 13.0%
3RD LEVEL: 828 S.F. WALL AREA
- 108 S.F. OPENING AREA
- OPENING % = 13.0%
4TH LEVEL: 736 S.F. WALL AREA
- 108 S.F. OPENING AREA
- OPENING % = 14.6%



2	WEST (RIGHT)
A1	1/8" = 1'-0"

AHHA
Architect Inc

People
=
Architecture

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Oregon Registered Architect



1660 SE SPOKANE ST.

Project Location:
1660 SE SPOKANE ST.
Portland, OR 97202

DRAWN BY:
APPROVED BY:

SHEET:

A1

JOB NO.: 10983
SCALE: As indicated



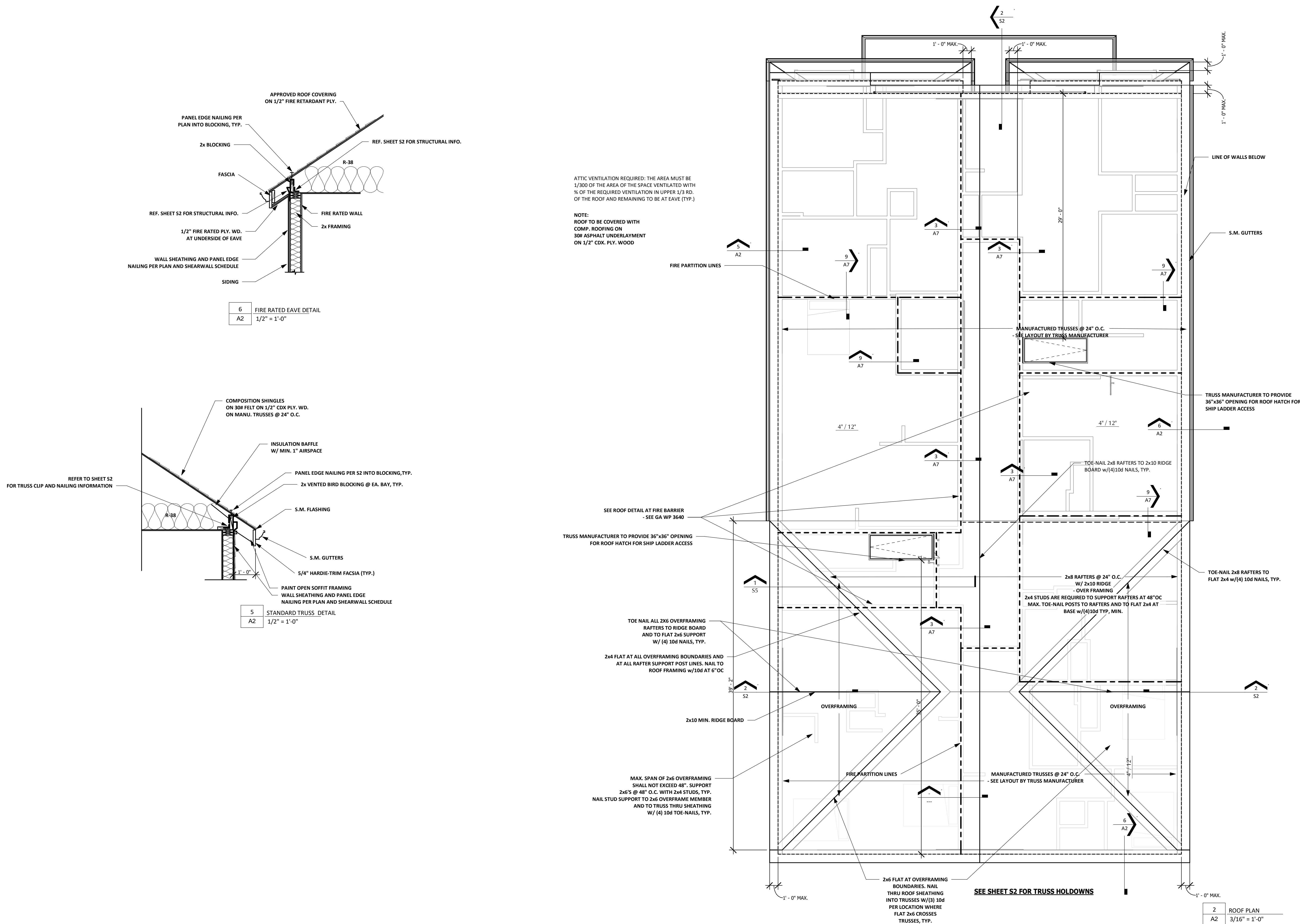
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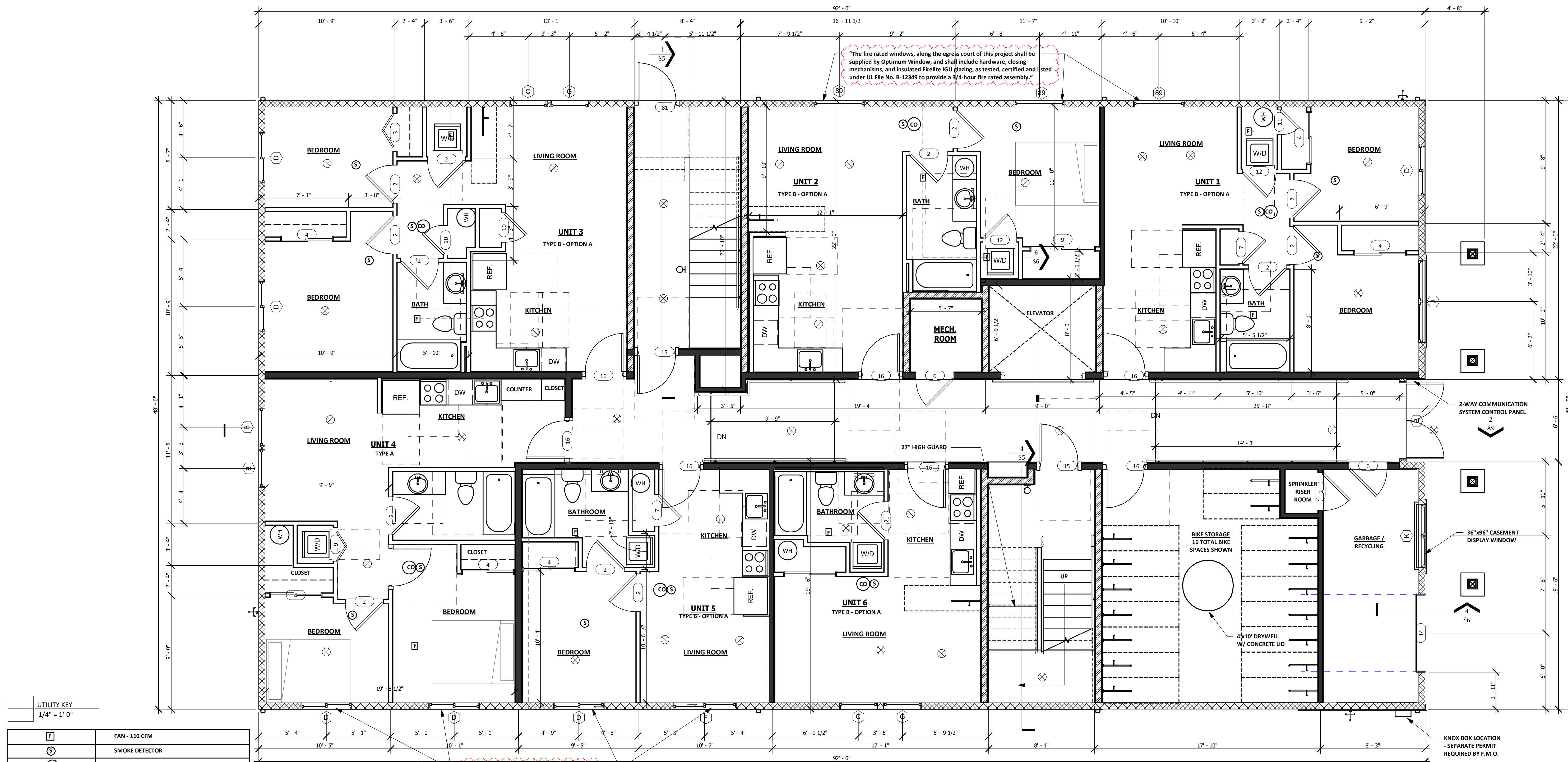
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1660 SE SPOKANE ST
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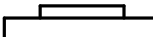



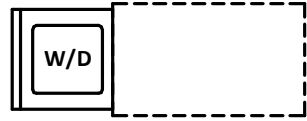

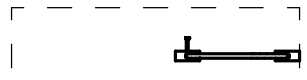
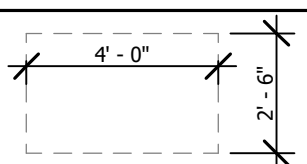

A2

JOB NO.: 10983
SCALE: As indicated





1ST FLOOR PLAN
1/4" = 1'-0" SCALE

	FAN - 120 CFM
	SMOKE DETECTOR
	CARBON MONOXIDE
	L.E.D. SURFACE MOUNTED LIGHT FIXTURE
	UNIT HEATER
	WALL MOUNT VANITY LIGHT - CENTER ON SINK
	EXTERIOR WALL SCONCE @ 6'-6" A.F.F.
	26 GAGE MECHANICAL DUCT WITH WALL CAP - VENT TO EXTERIOR - PROTECT PER DETAIL ON SHEET A8
	STACKED WASHER DRYER UNITS - PROVIDE PAN BENEATH - DASHED LINES INDICATE REQUIRED FLOOR CLEARANCE - SEE SHEET A10 FOR ALL REQUIRED CLEARANCES
	WATER HEATER LOCATION - PROVIDE PAN BENEATH
	DERO SPACE SAVER LONG TERM BIKE PARKING SPACE - 30 SPACES REQUIRED
	DASHED LINES INDICATED REQUIRED CLEARANCES - FOR ALL APPLICANCES - SEE SHEET A10 FOR ADA REQUIREMENTS
	2A:10BC FIRE EXTINGUISHER LOCATION

NOTE:
ELECTRICAL OUTLETS SHOWN FOR REFERENCE ONLY
- ALL ELECTRIC OUTLETS TO BE INSTALLED PER CODE
- WALK-THROUGH TO BE SCHEDULED WITH GENERAL CONTRACTOR
PRIOR TO INSTALLATION OF LIGHT FIXTURES AND SWITCHES
- PROVIDE RANGE VENT EXHAUST TO EXTERIOR AT ALL RANGES

Door Schedule				
Door Type	Door Size	Description	Family	Finish Comment
2	36" x 80"		Swing Door - Lever Type Handle	
3	36" x 80"		Bi-Fold Door	
4	48" x 80"		Sliding Closet Door	
5	72" x 80"		Sliding Closet Door	
6	36" x 80" 20 MINUTE RATED DOOR	UNIT ENTRY DOORS TO BE 20 MINUTE FIRE-RATED WITH CLOSERS AND SMOKE GASKETS - MAX. THRESHOLD HEIGHT OF 1/2" - STC RATING OF 30	Swing Door - Lever Type Handle	
7	30" x 80"		Swing Door - Lever Type Handle	
8	30" x 80"		Bi-Fold Door	
9				
10	28" x 80"		Swing Door - Lever Type Handle	
11	24" x 80"		Swing Door - Lever Type Handle	
12	32" x 80"		Swing Door - Lever Type Handle	
14	6'X8'		Overhead Door	
15	36" x 80" - 90 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
16	36" x 80" - 20 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
80	72" x 96"	DOUBLE ENTRY DOOR	Double Door - Lever Handle	
81	36" x 80" - 45 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
82	36" x 80"		Swing Door W/ ADA Clearance - Lever Type Handle	

NOTE: EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
EXTERIOR DOORS MAY BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN PROVIDED THE DOOR IS OPENABLE
FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR TOOL

Window Schedule							
Type Mark	Rough Opening		Type	S.F. PER WINDOW	Insulation Value	Description	Ventilation opening area
	Width	Height					
A	4' - 0"	5' - 0"	Double Hung with Trim	20 SF			
B	2' - 6"	5' - 0"	Double Hung with Trim	13 SF	0.35		
C	3' - 0"	5' - 0"	Double Hung with Trim	15 SF	0.35	MIN. 24" SILL HEIGHT	
B	3' - 0"	5' - 0"	Fixed with Trim	15 SF	0.35		
D	4' - 0"	4' - 0"	Slider with Trim	16 SF	0.35		
E	6' - 0"	1' - 6"	Fixed with Trim	9 SF	0.35		
F	5' - 0"	4' - 0"	Slider with Trim	20 SF	0.35	MIN. 24" SILL HEIGHT	
G	3' - 0"	4' - 0"	Casement with Trim	15 SF	0.35		
H	6' - 0"	1' - 0"	Fixed with Trim	6 SF	0.35		
I	3' - 0"	8' - 0"	Skylight-Top-Hung	24 SF	0.35		
J	6' - 6"	5' - 0"	Window-Casement-Double	33 SF	0.35		
K	5' - 0"	5' - 0"	Window-Casement-Double	25 SF	0.35		





NOTE: OPENING WINDOWS LOCATED AT 2ND 3RD & 4th STORIES TO BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F 2090. - THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION 1029.2

NOTE:
- EXTERIOR LANDINGS AT THE GROUND FLOOR ENTRY
DOORS FOR ALL UNITS WILL BE AT THE
SAME ELEVATION AS THE INTERIOR FLOOR AND THE
LANDINGS SHALL NOT SLOPE MORE THAN 1/4" / 12"

- ALL DUCTING RUNNING THROUGH FIRE RATED FLOOR/CEILING ASSEMBLIES TO BE 26 GAGE MATERIAL

NOTE:
ALL UNITS TO BE PROVIDED WITH PTAC WALL UNITS
- PROVIDE CADET HEATERS IN EACH BEDROOM AND BATHROOM

	WALL LEGEND
	1/4" = 1'-0"

	W1 - 2-HOUR FIRE RATED - GA FILE NO. WP 3910 - 50 TO 54 STC
	W2 - 1-HOUR FIRE PARTITION/CORRIDOR - GA FILE NO. WP 3242 - 50 TO 54 STC
	W3 - FIRE RATED EXTERIOR - GA FILE NO. 8105
	W4 - NON-RATED ASSEMBLY

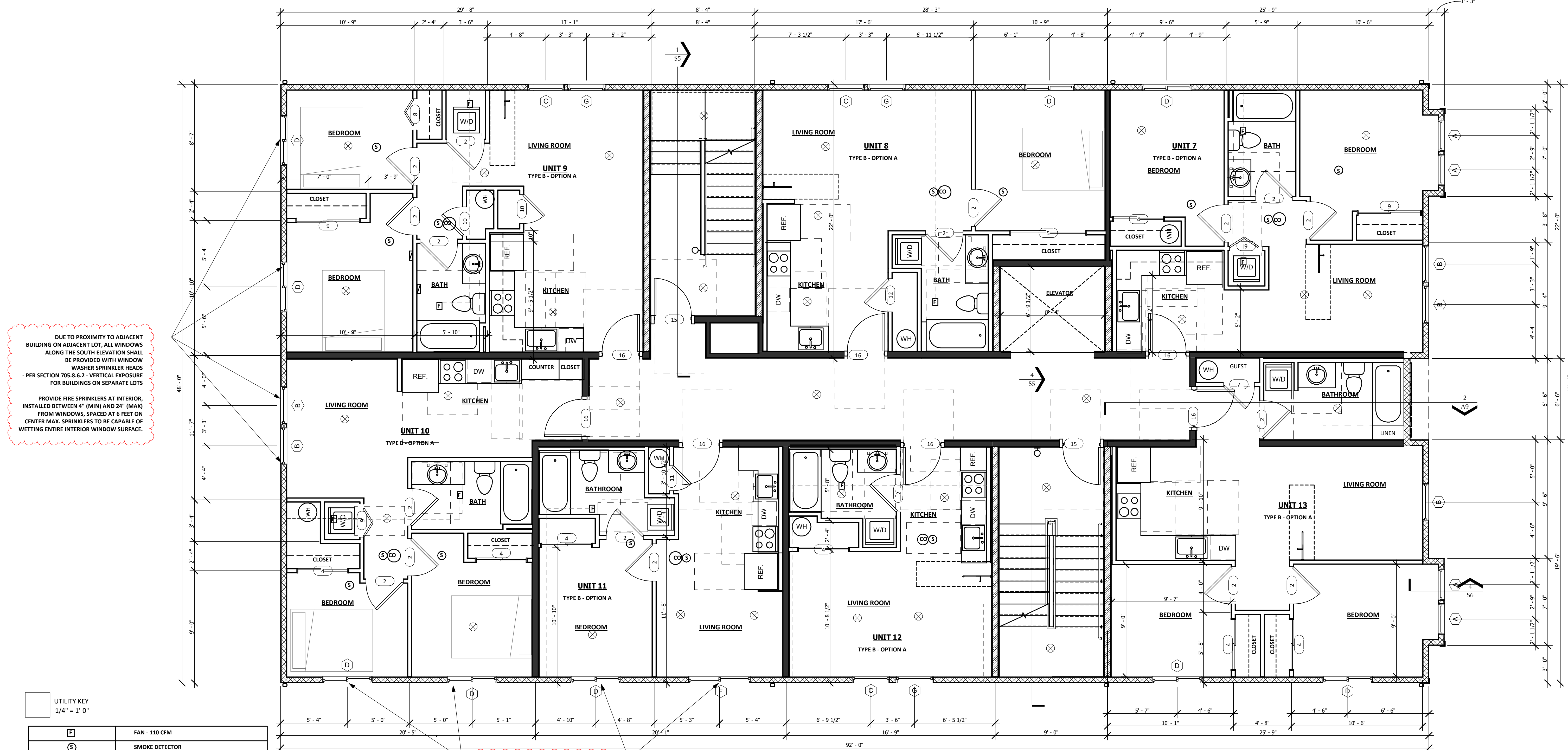
SEE WALL DETAILS ON SHEET A2

DRAWN BY:
APPROVED BY:

SHEET:

A3

JOB NO.: 10983
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN
1/4" = 1'-0" SCALE

	FAN - 110 CFM
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	L.E.D. SURFACE MOUNTED LIGHT FIXTURE
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3	36" x 80"		Bi-Fold Door	
4	48" x 80"		Sliding Closet Door	
5	72" x 80"		Sliding Closet Door	
6	36" x 80" 20 MINUTE RATED DOOR	UNIT ENTRY DOORS TO BE 20 MINUTE FIRE-RATED WITH CLOSERS AND SMOKE GASKETS - MAX. THRESHOLD HEIGHT OF 1/2" - STC RATING OF 30	Swing Door - Lever Type Handle	
7	30" x 80"		Swing Door - Lever Type Handle	
8	30" x 80"		Bi-Fold Door	
9				
10	28" x 80"		Swing Door - Lever Type Handle	
11	24" x 80"		Swing Door - Lever Type Handle	
12	32" x 80"		Swing Door - Lever Type Handle	
14	6'x8'		Overhead Door	
15	36" x 80" - 90 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
16	36" x 80" - 20 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
80	72" x 96"	DOUBLE ENTRY DOOR	Double Door - Lever Handle	
81	36" x 80" - 45 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
82	36" x 80"		Swing Door W/ ADA Clearance - Lever Type Handle	

NOTE: EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
EXTERIOR DOORS MAY BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN PROVIDED THE DOOR IS OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR TOOL

Window Schedule						
Type Mark	Rough Opening Width	Rough Opening Height	Type	S.F. PER WINDOW	Insulation Value	Description
89	4'-0"	5'-0"	Double Hung with Trim	20 SF		
A	2'-6"	5'-0"	Double Hung with Trim	13 SF	0.35	
B	3'-0"	5'-0"	Double Hung with Trim	15 SF	0.35	MIN. 24" SILL HEIGHT
C	3'-0"	5'-0"	Fixed with Trim	15 SF	0.35	
D	4'-0"	4'-0"	Slider with Trim	16 SF	0.35	
E	6'-0"	1'-6"	Fixed with Trim	9 SF	0.35	
F	5'-0"	4'-0"	Slider with Trim	20 SF	0.35	MIN. 24" SILL HEIGHT
G	3'-0"	5'-0"	Casement with Trim	15 SF	0.35	
H	6'-0"	1'-0"	Fixed with Trim	6 SF	0.35	
I	3'-0"	8'-0"	Skylight-Top-Hung	24 SF	0.35	
J	6'-6"	5'-0"	Window-Casement-Double	33 SF	0.35	
K	5'-0"	5'-0"	Window-Casement-Double	25 SF	0.35	

NOTE: OPENING WINDOWS LOCATED AT 2ND 3RD & 4th STORIES TO BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F 2090. - THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION 1029.2

WALL LEGEND
1/4" = 1'-0"

	W1 - 2-HOUR FIRE RATED - GA FILE NO. WP 3910 - 50 TO 54 STC
	W2 - 1-HOUR FIRE PARTITION/CORRIDOR - GA FILE NO. WP 3242 - 50 TO 54 STC
	W3 - FIRE RATED EXTERIOR - GA FILE NO. 8105
	W4 - NON-RATED ASSEMBLY

SEE WALL DETAILS ON SHEET A7

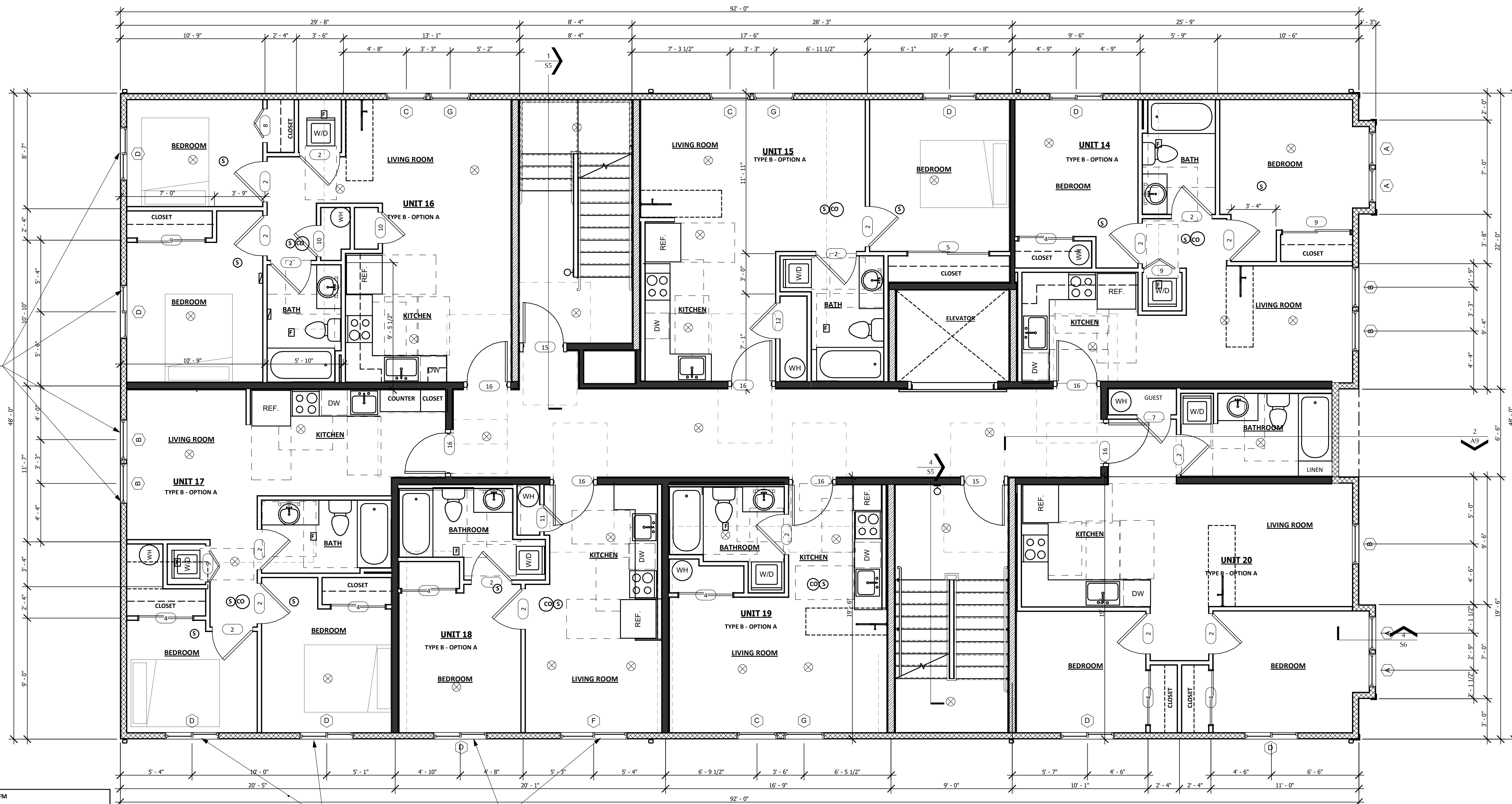
DUE TO PROXIMITY TO ADJACENT BUILDING ON ADJACENT LOT, ALL WINDOWS ALONG THE SOUTH ELEVATION SHALL BE PROVIDED WITH WINDOW WASHER SPRINKLER HEADS - PER SECTION 705.8.6.2 - VERTICAL EXPOSURE FOR BUILDINGS ON SEPARATE LOTS

PROVIDE FIRE SPRINKLERS AT INTERIOR, INSTALLED BETWEEN 4" (MIN) AND 24" (MAX) FROM WINDOWS, SPACED AT 6 FEET ON CENTER MAX. SPRINKLERS TO BE CAPABLE OF WETTING ENTIRE INTERIOR WINDOW SURFACE.

DUE TO PROXIMITY TO ADJACENT BUILDING ON ADJACENT LOT, THESE WINDOWS ALONG THE EAST ELEVATION SHALL BE PROVIDED WITH WINDOW WASHER SPRINKLER HEADS - PER SECTION 705.8.6.2 - VERTICAL EXPOSURE FOR BUILDINGS ON SEPARATE LOTS

	FAN - 110 CFM
	SMOKE DETECTOR
	CARBON MONOXIDE
	L.E.D. SURFACE MOUNTED LIGHT FIXTURE
	UNIT HEATER
	WALL MOUNT VANITY LIGHT - CENTER ON SINK
	EXTERIOR WALL SCONCE @ 6'-6" A.F.F.
	26 GAGE MECHANICAL DUCT WITH WALL CAP - VENT TO EXTERIOR - PROTECT PER DETAIL ON SHEET A8
	STACKED WASHER DRYER UNITS - PROVIDE PAN BENEATH - DASHED LINES INDICATE REQUIRED FLOOR CLEARANCE - SEE SHEET A10 FOR ALL REQUIRED CLEARANCES
	WATER HEATER LOCATION - PROVIDE PAN BENEATH
	DERO SPACE SAVER LONG TERM BIKE PARKING SPACE - 30 SPACES REQUIRED
	DASHED LINES INDICATED REQUIRED CLEARANCES FOR ALL APPLIANCES - SEE SHEET A10 FOR ADA REQUIREMENTS
	2A:10BC FIRE EXTINGUISHER LOCATION

NOTE:
ELECTRICAL OUTLETS SHOWN FOR REFERENCE ONLY
- ALL ELECTRIC OUTLETS TO BE INSTALLED PER CODE
- WALK-THROUGH TO BE SCHEDULED WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION OF LIGHT FIXTURES AND SWITCHES
- PROVIDE RANGE VENT EXHAUST TO EXTERIOR AT ALL RANGES



3RD FLOOR PLAN

1/4" = 1'-0" SCALE

Window Schedule						
Type	Rough Opening		Type	S.F. PER WINDOW	Insulation Value	Description
Mark	Width	Height				
B9	4' - 0"	5' - 0"	Double Hung with Trim	20 SF		
A	2' - 6"	5' - 0"	Double Hung with Trim	13 SF	0.35	
B	3' - 0"	5' - 0"	Double Hung with Trim	15 SF	0.35	MIN. 24" SILL HEIGHT
C	3' - 0"	5' - 0"	Fixed with Trim	15 SF	0.35	
D	4' - 0"	4' - 0"	Slider with Trim	16 SF	0.35	
E	6' - 0"	1' - 6"	Fixed with Trim	9 SF	0.35	
F	5' - 0"	4' - 0"	Slider with Trim	20 SF	0.35	MIN. 24" SILL HEIGHT
G	3' - 0"	5' - 0"	Casement with Trim	15 SF	0.35	
H	6' - 0"	1' - 0"	Fixed with Trim	6 SF	0.35	
I	3' - 0"	8' - 0"	Skylight-Top-Hung	24 SF	0.35	
J	6' - 6"	5' - 0"	Window-Casement-Double	33 SF	0.35	
K	5' - 0"	5' - 0"	Window-Casement-Double	25 SF	0.35	

NOTE: OPENING WINDOWS LOCATED AT 2ND 3RD & 4th STORIES TO BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F 2090. - THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION 1029.2

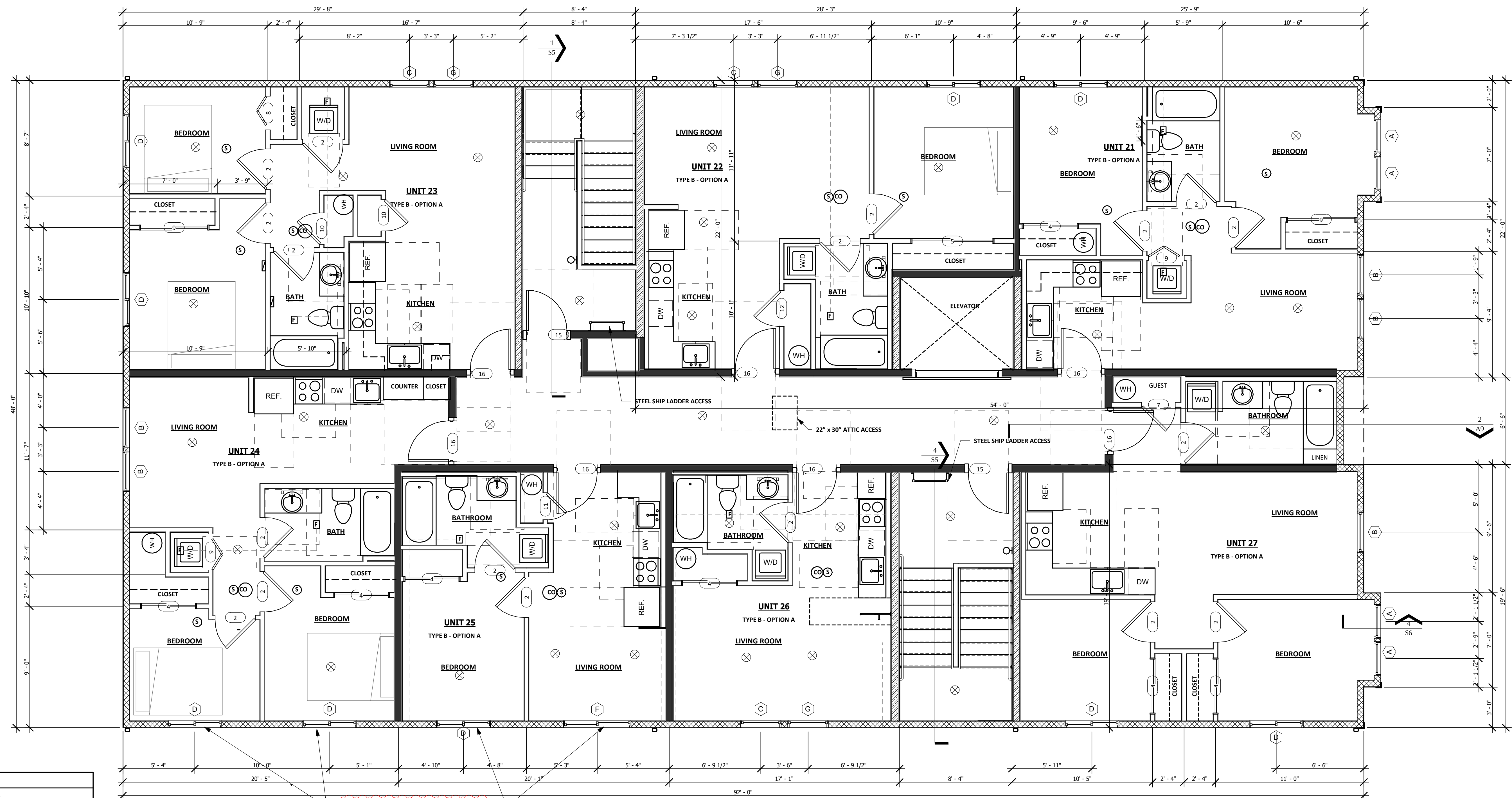
WALL LEGEND
1/4" = 1'-0"

	W1 - 2-HOUR FIRE RATED - GA FILE NO. WP 3910 - 50 TO 54 STC
	W2 - 1-HOUR FIRE PARTITION/CORRIDOR - GA FILE NO. WP 3242 - 50 TO 54 STC
	W3 - FIRE RATED EXTERIOR - GA FILE NO. 8105
	W4 - NON-RATED ASSEMBLY

SEE WALL DETAILS ON SHEET A7

Door Schedule				
Door Type	Door Size	Description	Family	Finish Comments
2	36" x 80"		Swing Door - Lever Type Handle	
3	36" x 80"		Bi-Fold Door	
4	48" x 80"		Sliding Closet Door	
5	72" x 80"		Sliding Closet Door	
6	36" x 80" 20 MINUTE RATED DOOR	UNIT ENTRY DOORS TO BE 20 MINUTE FIRE-RATED WITH CLOSERS AND SMOKE GASKETS - MAX. THRESHOLD HEIGHT OF 1/2" - STC RATING OF 30	Swing Door - Lever Type Handle	
7	30" x 80"		Swing Door - Lever Type Handle	
8	30" x 80"		Bi-Fold Door	
9				
10	28" x 80"		Swing Door - Lever Type Handle	
11	24" x 80"		Swing Door - Lever Type Handle	
12	32" x 80"		Swing Door - Lever Type Handle	
14	6'X8'		Overhead Door	
15	36" x 80" - 90 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
16	36" x 80" - 20 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
80	72" x 96"	DOUBLE ENTRY DOOR	Double Door - Lever Handle	
81	36" x 80" - 45 MINUTE RATED DOOR		Swing Door W/ ADA Clearance - Lever Type Handle	
82	36" x 80"		Swing Door W/ ADA Clearance - Lever Type Handle	

NOTE: EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. EXTERIOR DOORS MAY BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN PROVIDED THE DOOR IS OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR TOOL



UTILITY KEY 1/4" = 1'-0"	
F	FAN - 110 CFM
S	SMOKE DETECTOR
CO	CARBON MONOXIDE
⊗	L.E.D. SURFACE MOUNTED LIGHT FIXTURE
U.H.	UNIT HEATER
W	WALL MOUNT VANITY LIGHT - CENTER ON SINK
ES	EXTERIOR WALL SCONCE @ 6'-6" A.F.F.
MD	26 GAGE MECHANICAL DUCT WITH WALL CAP - VENT TO EXTERIOR - PROTECT PER DETAIL ON SHEET A8
W/D	STACKED WASHER DRYER UNITS - PROVIDE PAN BENEATH - DASHED LINES INDICATE REQUIRED FLOOR CLEARANCE - SEE SHEET A10 FOR ALL REQUIRED CLEARANCES
WH	WATER HEATER LOCATION - PROVIDE PAN BENEATH
BS	DERO SPACE SAVER LONG TERM BIKE PARKING SPACE - 30 SPACES REQUIRED
Q	DASHED LINES INDICATED REQUIRED CLEARANCES FOR ALL APPLIANCES - SEE SHEET A10 FOR ADA REQUIREMENTS
Q	2A:10BC FIRE EXTINGUISHER LOCATION

NOTE:
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- PROVIDE RANGE VENT EXHAUST TO EXTERIOR AT ALL RANGES

Door Schedule				
Door Type	Door Size	Description	Family	Finish Comments
2	36" x 80"		Swing Door - Lever Type Handle	
3	36" x 80"		Bi-Fold Door	
8	48" x 80"		Sliding Closet Door	
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6	36" x 80" 20 MINUTE RATED DOOR	UNIT ENTRY DOORS TO BE 20 MINUTE FIRE-RATED WITH CLOSERS AND SMOKE GASKETS - MAX. THRESHOLD HEIGHT OF 1/2" - STC RATING OF 30	Swing Door - Lever Type Handle	
7	30" x 80"		Swing Door - Lever Type Handle	
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Window Schedule						
Type Mark	Rough Opening Width	Rough Opening Height	Type	S.F. PER WINDOW	Insulation Value	Description
89	4' - 0"	5' - 0"	Double Hung with Trim	20 SF		
A	2' - 6"	5' - 0"	Double Hung with Trim	13 SF	0.35	
B	3' - 0"	5' - 0"	Double Hung with Trim	15 SF	0.35	MIN. 24" SILL HEIGHT
C	3' - 0"	5' - 0"	Fixed with Trim	15 SF	0.35	
D	4' - 0"	4' - 0"	Slider with Trim	16 SF	0.35	
E	6' - 0"	1' - 6"	Fixed with Trim	9 SF	0.35	
F	5' - 0"	4' - 0"	Slider with Trim	20 SF	0.35	MIN. 24" SILL HEIGHT
G	3' - 0"	5' - 0"	Casement with Trim	15 SF	0.35	
H	6' - 0"	1' - 0"	Fixed with Trim	6 SF	0.35	
I	3' - 0"	8' - 0"	Skylight-Top-Hung	24 SF	0.35	
J	6' - 6"	5' - 0"	Window-Casement-Double	33 SF	0.35	
K	5' - 0"	5' - 0"	Window-Casement-Double	25 SF	0.35	

NOTE: OPENING WINDOWS LOCATED AT 2ND 3RD & 4th STORIES TO BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F 2090. - THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION 1029.2

WALL LEGEND
1/4" = 1'-0"

W1	2-HOUR FIRE RATED - GA FILE NO. WP 3910 - 50 TO 54 STC
W2	1-HOUR FIRE PARTITION/CORRIDOR - GA FILE NO. WP 3242 - 50 TO 54 STC
W3	FIRE RATED EXTERIOR - GA FILE NO. 8105
W4	NON-RATED ASSEMBLY

SEE WALL DETAILS ON SHEET A7

4TH FLOOR PLAN
1/4" = 1'-0" SCALE

DRAWN BY:
APPROVED BY:
SHEET: