

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20710	Project Address: 4647 SE 40th Ave
Hearing Date: 8/7/19	Appellant Name: Melissa Meiners
Case No.: B-010	Appellant Phone: 5037082157
Appeal Type: Building	Plans Examiner/Inspector: Peter Drake
Project Type: commercial	Stories: 3 Occupancy: R-2 Construction Type: VB
Building/Business Name: 40 Long Apartments	Fire Sprinklers: Yes - Throughout Building
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 18-204083-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Apartments

APPEAL INFORMATION SHEET

Appeal item 1

Code Section OSSC 907.2.9

Requires A manual fire alarm system that activates the occupant notification system in accordance with Section 907.5 shall be installed in Group R-2 occupancies where;

Any dwelling unit or sleeping unit is located three or more stories above the level of exit discharge;

Any dwelling unit or sleeping unit is located more than one story below the highest level of exit discharge of exits serving the dwelling unit or sleeping unit, or;

The building contains more than 16 dwelling units or sleeping units.

Proposed Design The applicant requests clarification and confirmation via appeal, that manual fire alarms are not required based on the following conditions:

There are no dwelling units nor sleeping units located three or more stories above the level of exit discharge.

There are no dwelling units nor sleeping units located more than one story below the highest level of exit discharge serving the dwelling unit or sleeping unit.

The building contains 15 dwelling units.

Reason for alternative Provide confirmation that the level of exit discharge is the entire first story level, as clarified in the 2012 IBC commentary Figure 1007.2.1. Therefore, 907.2.9.1 requires manual fire alarms for R-2 occupancies starting at the fourth story, or the third story above the level of exit discharge (the entire first story level).

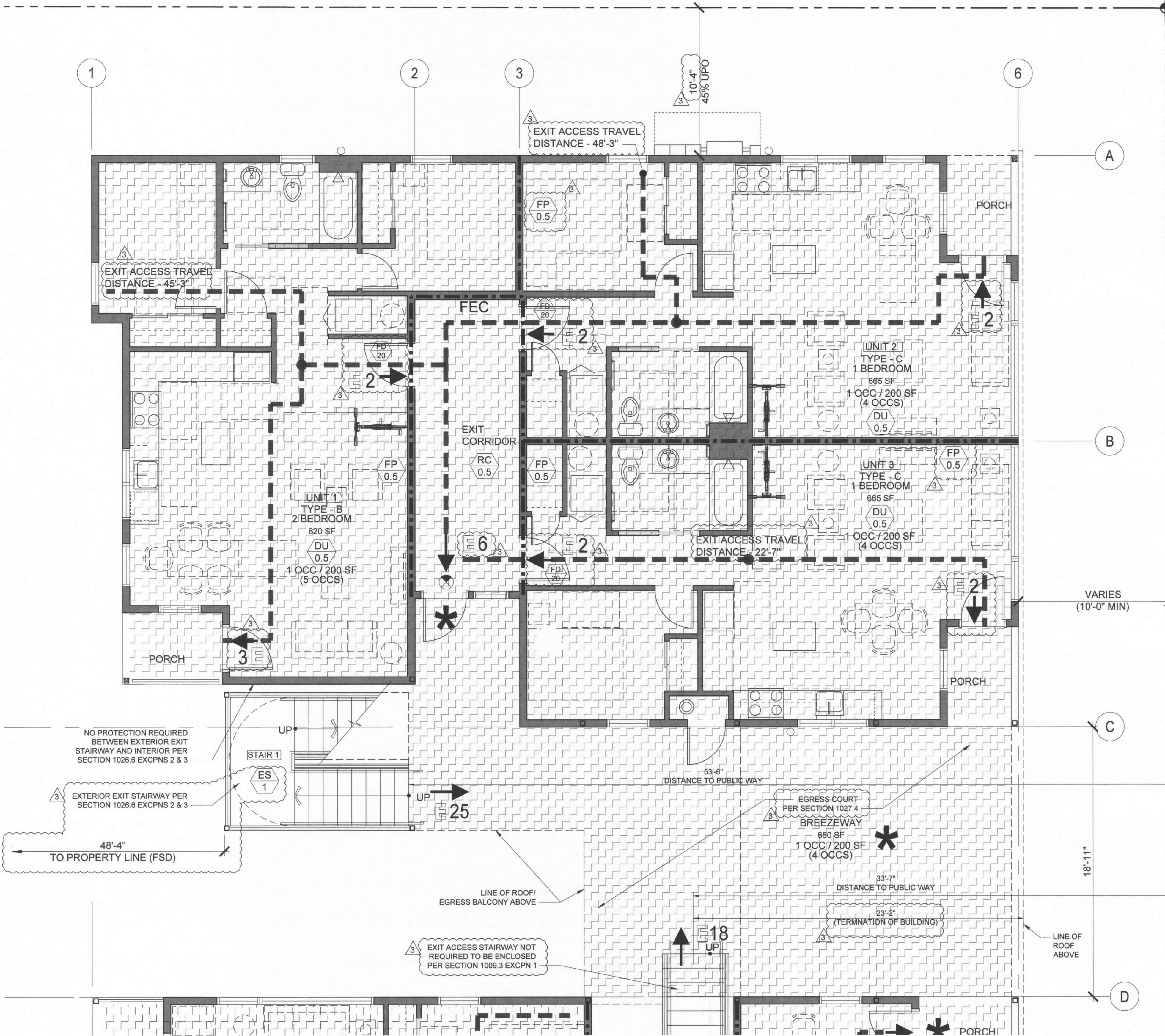
The applicant requests to remove the requirement for manual fire alarms for this project.

APPEAL DECISION

Determination of 1st floor as level of exit discharge with no requirement for manual fire alarm: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



1. BUILDING WING "A" - LEVEL 1 - CODE ANALYSIS
SCALE: 1/4" = 1'-0"

SE 40th AVE.

GENERAL NOTES

- CONFORMS TO 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC).
- THIS CODE ANALYSIS PLAN IS FOR REFERENCE ONLY. SEE ALL OTHER PLAN SHEETS FOR CONTRACT DOCUMENT INFORMATION. THIS CODE ANALYSIS IDENTIFIES SOME SPECIFIC BUILDING CODE REQUIREMENTS BUT IS NOT INTENDED TO LIST ALL BUILDING CODE REQUIREMENTS.
- SEE ASSEMBLIES/CODE SHEET FOR CODE SUMMARY AND AREA CALCULATIONS BOTH ALLOWABLE AND PROPOSED.
- SEE CODE INFORMATION SHEET, AND OTHER PLAN AND DETAIL SHEETS FOR ACCESSIBILITY CONFORMANCE.
- SEE SITE PLAN FOR EXIT DISCHARGE, PROPERTY LINE AND PUBLIC WAY LOCATIONS.

LEGEND

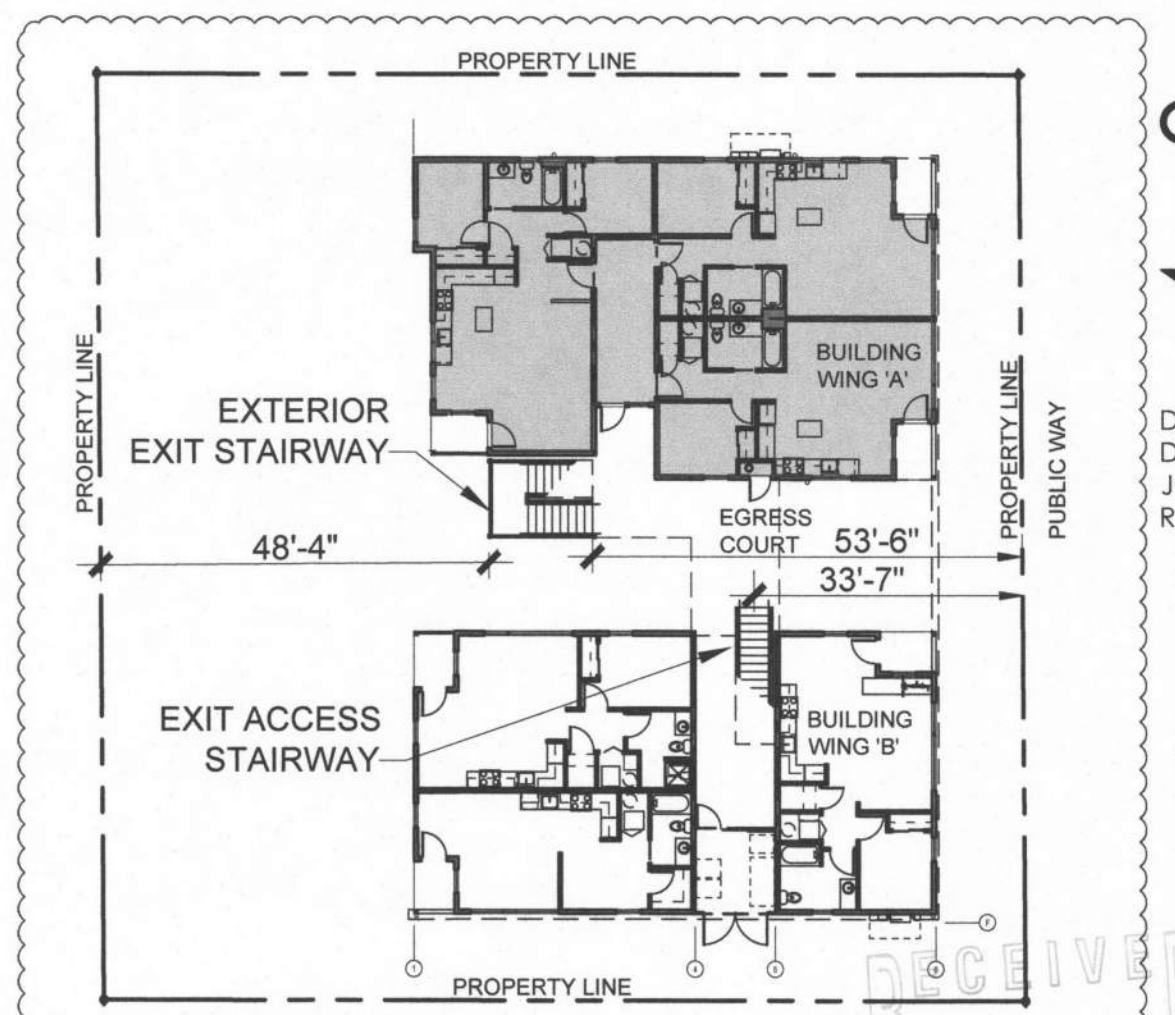
OCCUPANCY GROUP R-2

FIRE & SMOKE PROTECTION

- 1/2-HOUR FIRE PARTITION, PER SECTION 420.2 AND 708.3 EXCPN 2
- NONRATED WALL: AT NON-BEARING INTERIOR WALLS PER TABLE 601 WITH NO OPENING PROTECTION REQUIRED AT DOORS, WINDOWS, DUCTS, PENETRATIONS, AND JOINTS UON. SEE WALL TYPES. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- 0.5 HOUR FIRE PARTITION (FP) PER SECTION 420.2 & 708.3 EXCEPTION 2
- 1/2 HOUR DWELLING UNIT (DU) WALLS SEPARATING DWELLING UNITS FROM EACH OTHER WITH FIRE PARTITION WALLS PER SECTION 420 AND SECTION 708.3 EXCPN 2, WITH 20-MINUTE DOORS.
- RATED CORRIDOR (RC) WITH FIRE PARTITION WALLS PER SECTION 1018 AND SECTION 708 WITH 20-MINUTE RATED DOORS.
- FIRE DOOR (FD) WITH OPENING PROTECTION PER 706 (RATING IN MINUTES)
- EXTERIOR EXIT STAIRWAY (ES) PER SECTION 1026
- EXIT ACCESS STAIRWAY (AS) NO PROTECTION REQUIRED PER SECTION 1016 AND TABLE 1016.2

MEANS OF EGRESS

- FEC FIRE EXTINGUISHER - CABINET (EXACT LOCATION TO BE DETERMINED BY FIRE MARSHALL)
- (X OCC) ROOM OCCUPANT LOAD (OR TOTAL FLOOR OCCUPANT LOAD) PER SECTION 1004. NET OCCUPANT LOADS TAKEN TO FIRST DECIMAL POINT.
- EXIT SIGN WITH INTEGRATED DIRECTIONAL ARROW WHERE OCCURS AT ALL EXITS, EVERY 100' IN CORRIDORS, AND IN SPACES WHERE 2 MORE ARE REQUIRED PER SECTION 1011. SEE ELECTRICAL DRAWINGS. (WITH POCHÉ INDICATING "EXIT" TEXT SIDE OF SIGN). SIGNS SHOWN IN CORRIDOR ARE CEILING HUNG. SIGNS SHOWN ON WALL ARE WALL HUNG.
- REQUIRED EXIT AND EXIT EGRESS DIRECTION.
- ACCUMULATIVE NUMBER OF OCCUPANTS SERVED WITH EGRESS DIRECTION AT ARROW LOCATION. (DESIGNATED WHERE AT LEAST (2) MEANS OF EGRESS ARE REQUIRED PER TABLE 1004.1.1)
- EXIT ACCESS TRAVEL DISTANCE. COMPARES ACTUAL DISTANCE WITH MAXIMUM DISTANCE ALLOWED PER TABLE 1016.2
- COMMON PATH OF TRAVEL. COMPARED ACTUAL DISTANCE WITH MAXIMUM DISTANCE PER TABLE 1014.3. SHOWN ONLY AT CRITICAL LOCATIONS.
- ACCESSIBLE SITE ROUTE



2. KEY PLAN
SCALE: NTS

/kōblə/CREATIVE



40 LONG G
APARTMENTS
4615 SE 40th Ave
Portland, OR 97202

DATE: 07.12.2018
DRAWN BY: mm
JOB NO: 25-2016
REV NO: 3
Chkshst Resp: 02.06.19

BUILDING WING "A"
LEVEL 1
CODE ANALYSIS

A1.3a

PERMIT SET

© 2018



SCALE: NTS

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LEGEND

OCCUPANCY GROUP R-2

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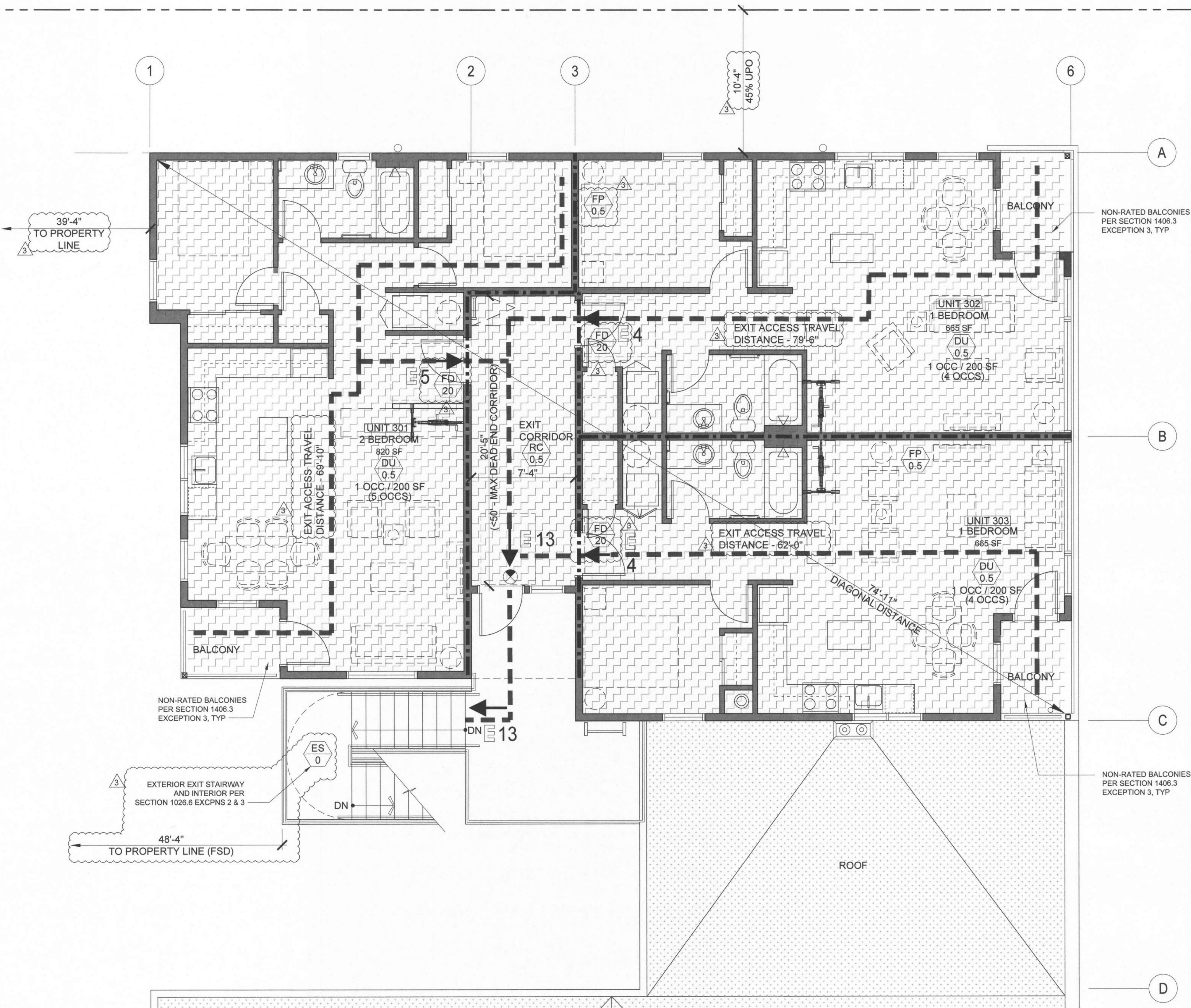
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ACCESSIBLE SITE ROUTE

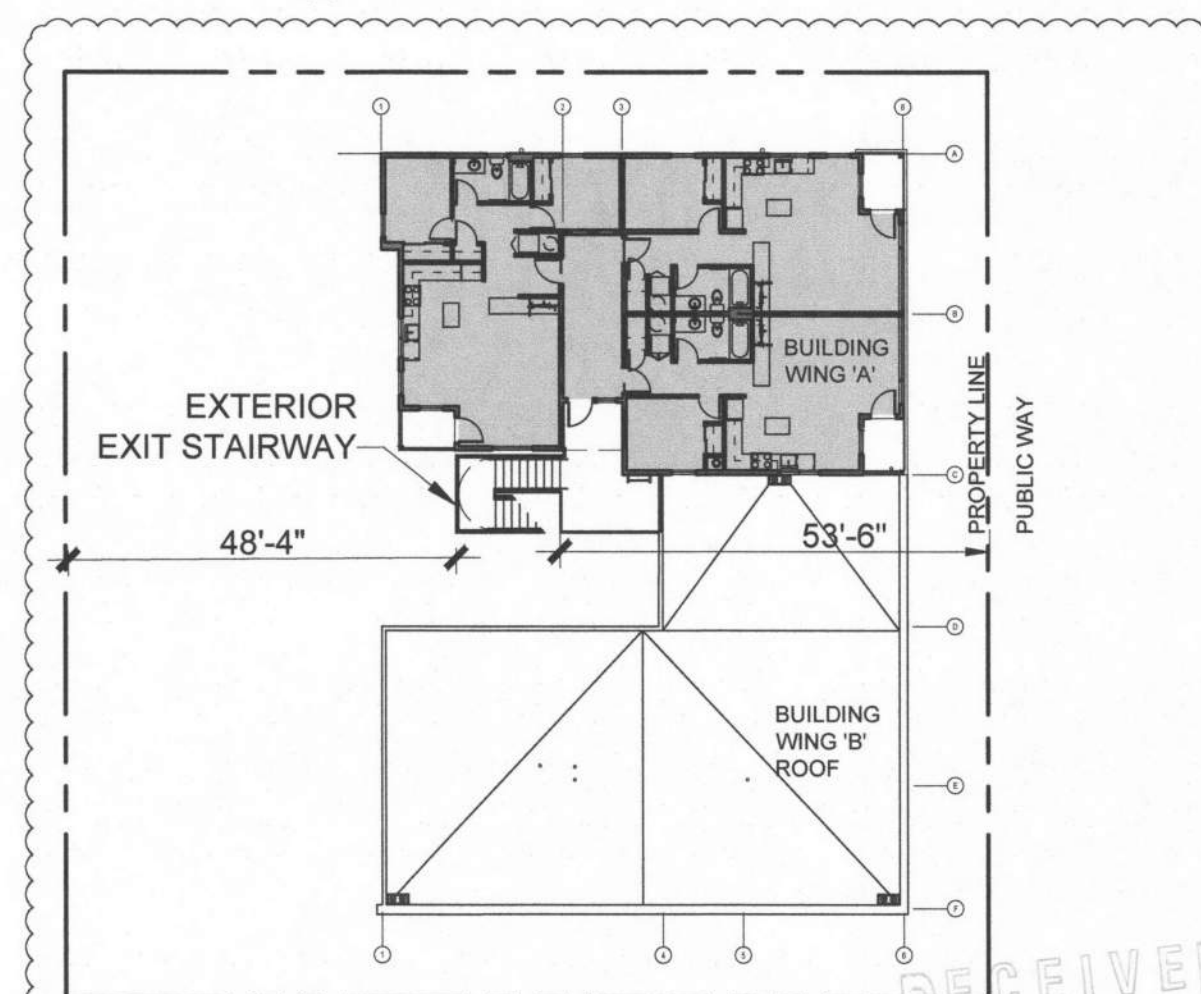
1. BUILDING WING "A" - LEVEL 3 - CODE ANALYSIS

SCALE: 1/4" = 1'-0"



2. KEY PLAN

SCALE: NTS



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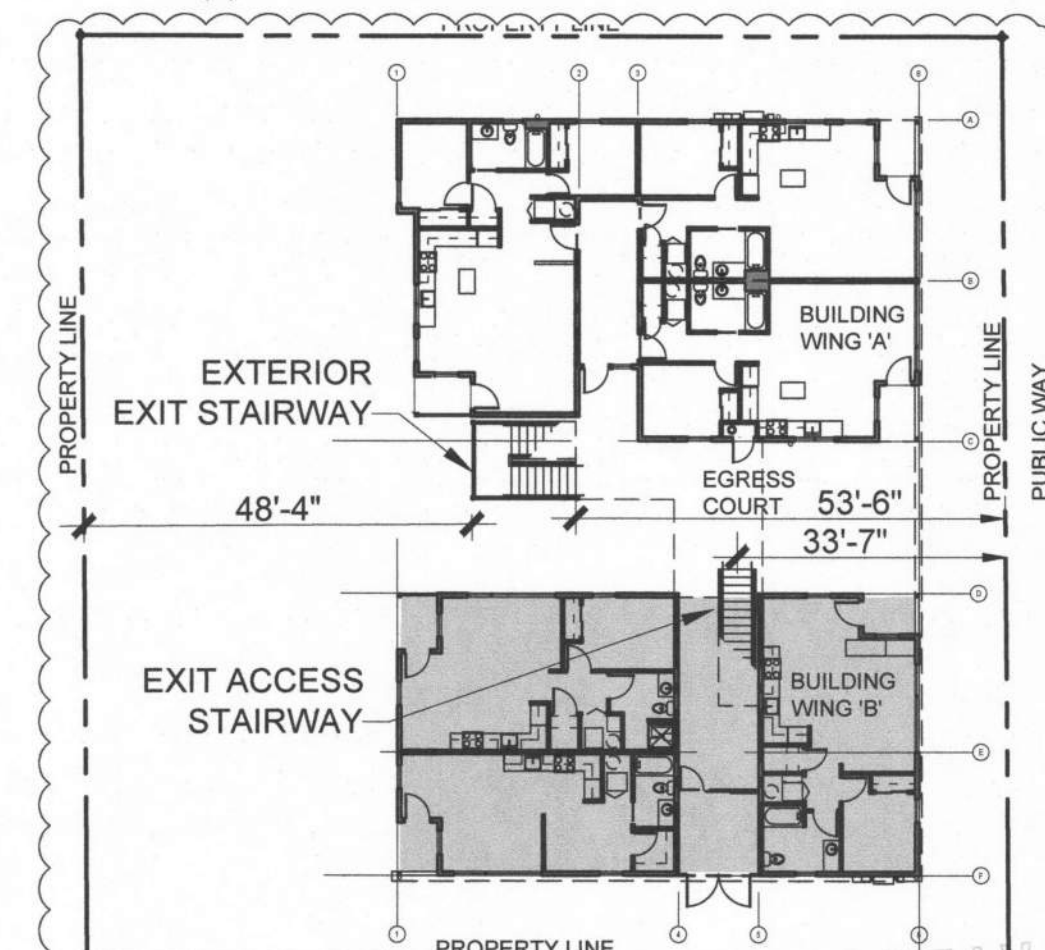
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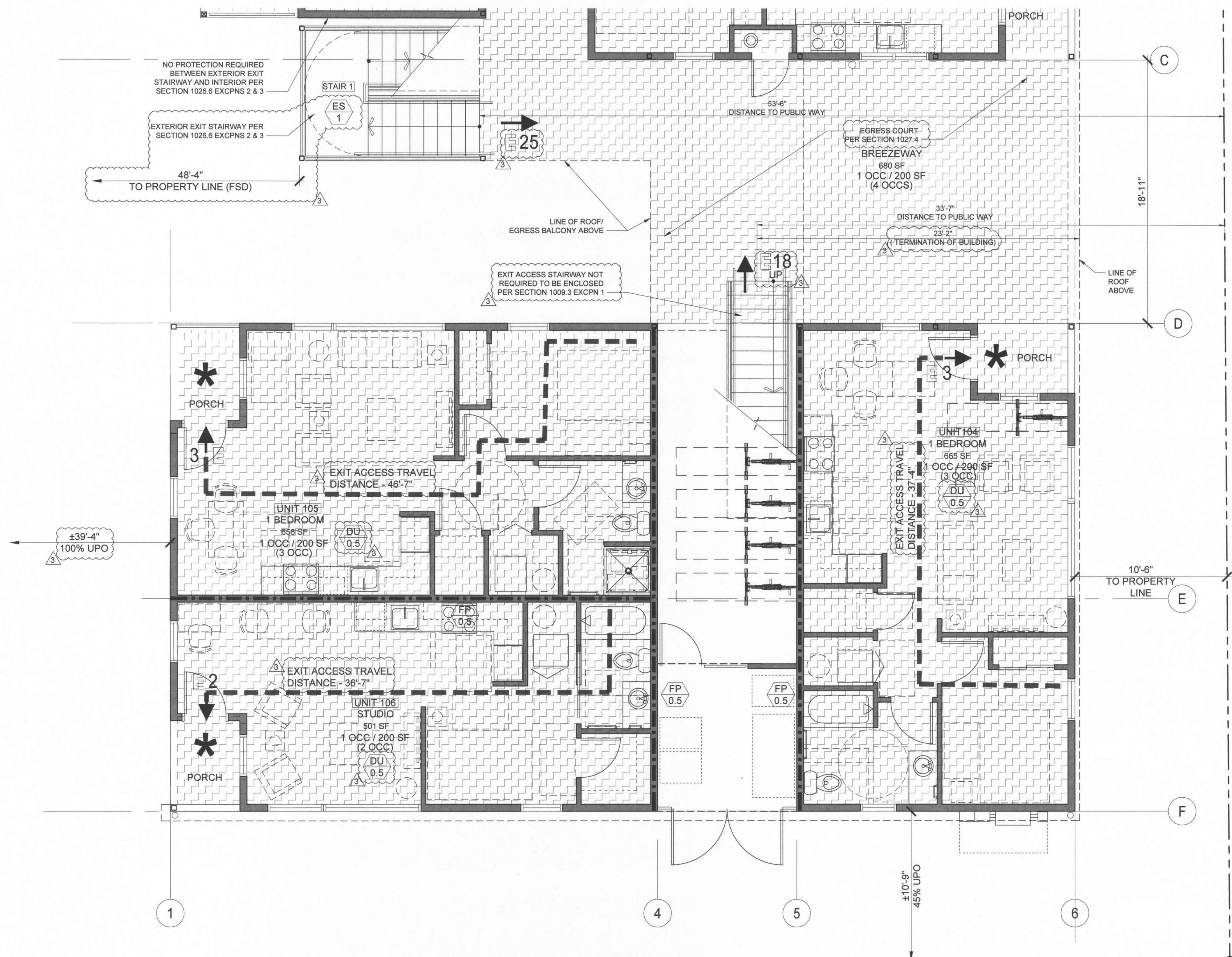
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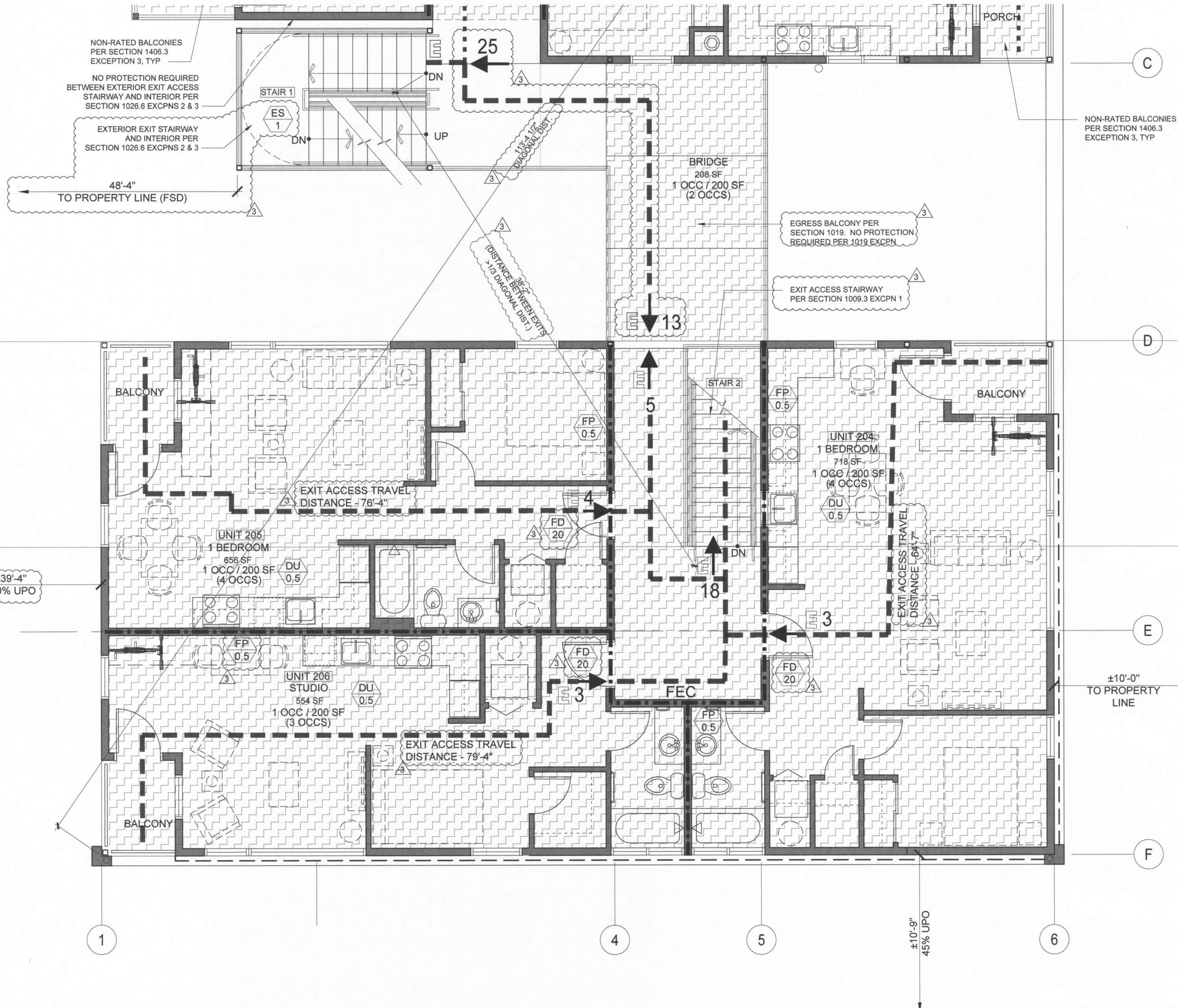
2. KEY PLAN

SCALE: NTS



1. BUILDING WING "B" - LEVEL 1 - CODE ANALYSIS

SCALE: 1/4" = 1'-0"



1. BUILDING WING "B" - LEVEL 2 - CODE ANALYSIS

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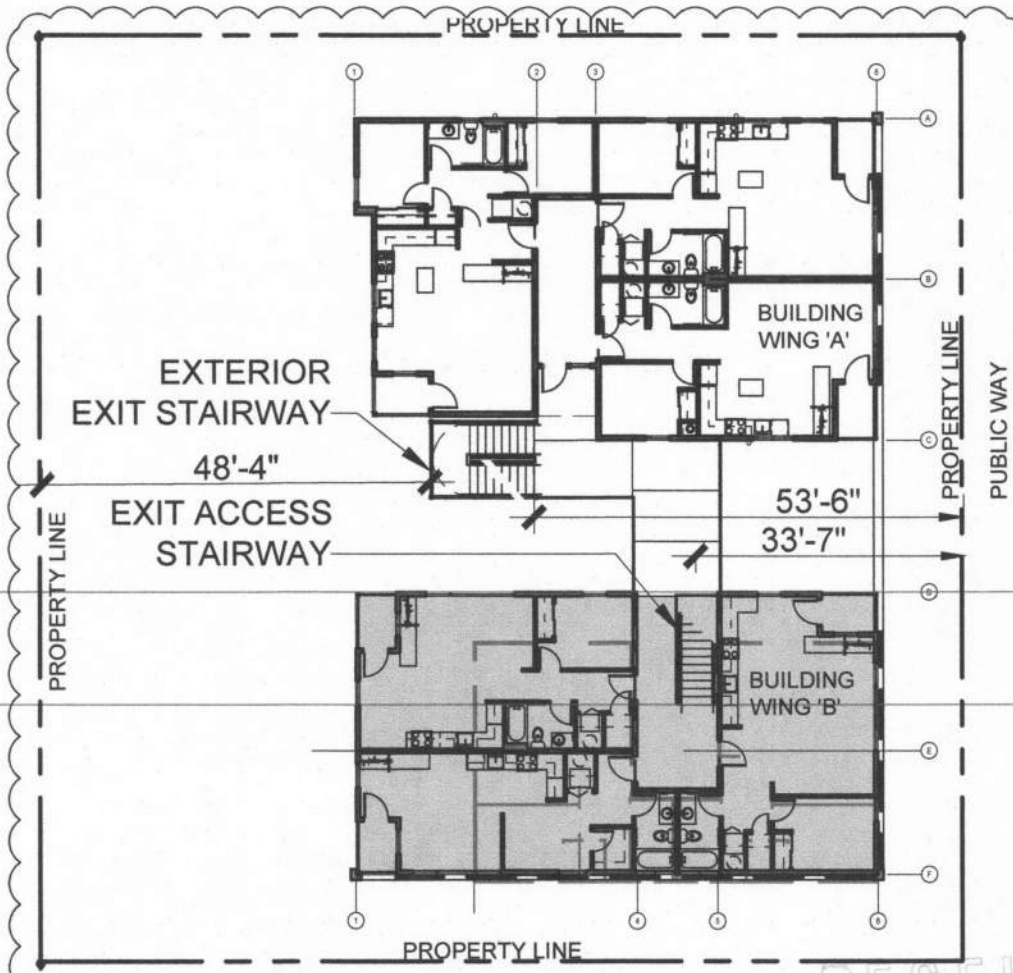
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2. KEY PLAN

SCALE: NTS

/kōbiə/CRĒATIVE



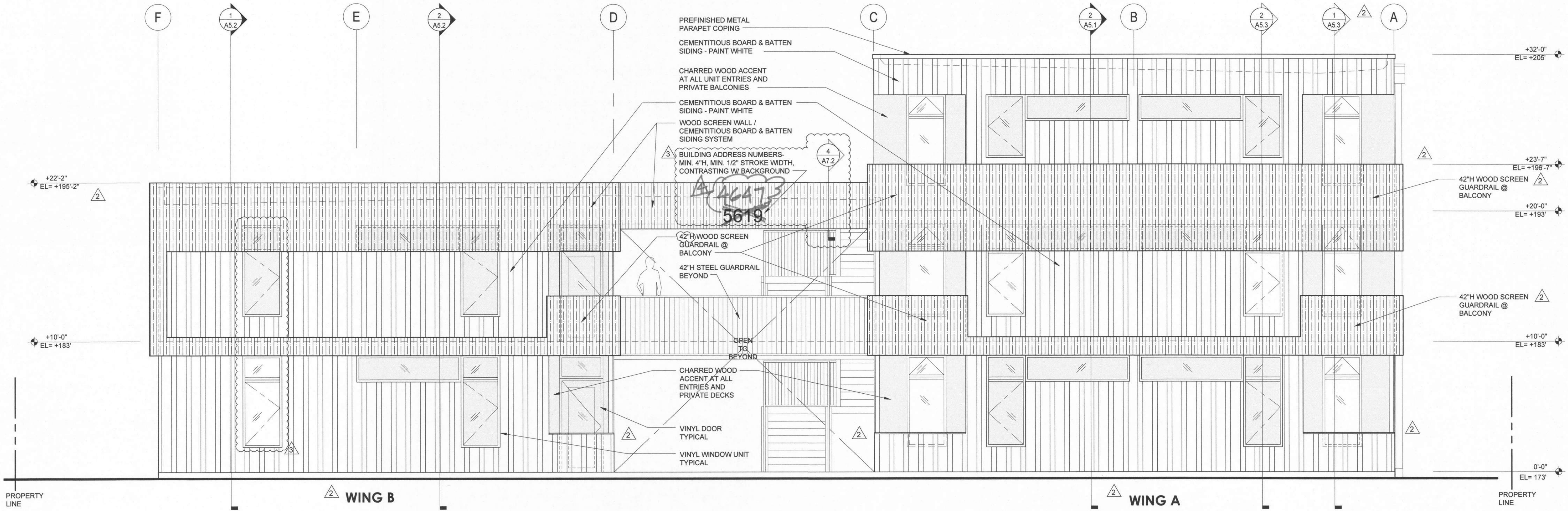
40 L O N G
A P A R T M E N T S
4615 SE 40th Ave
Portland, OR 97202

DATE: 07.12.2018
DRAWN BY: mm
JOB NO: 25-2016
REV NO:

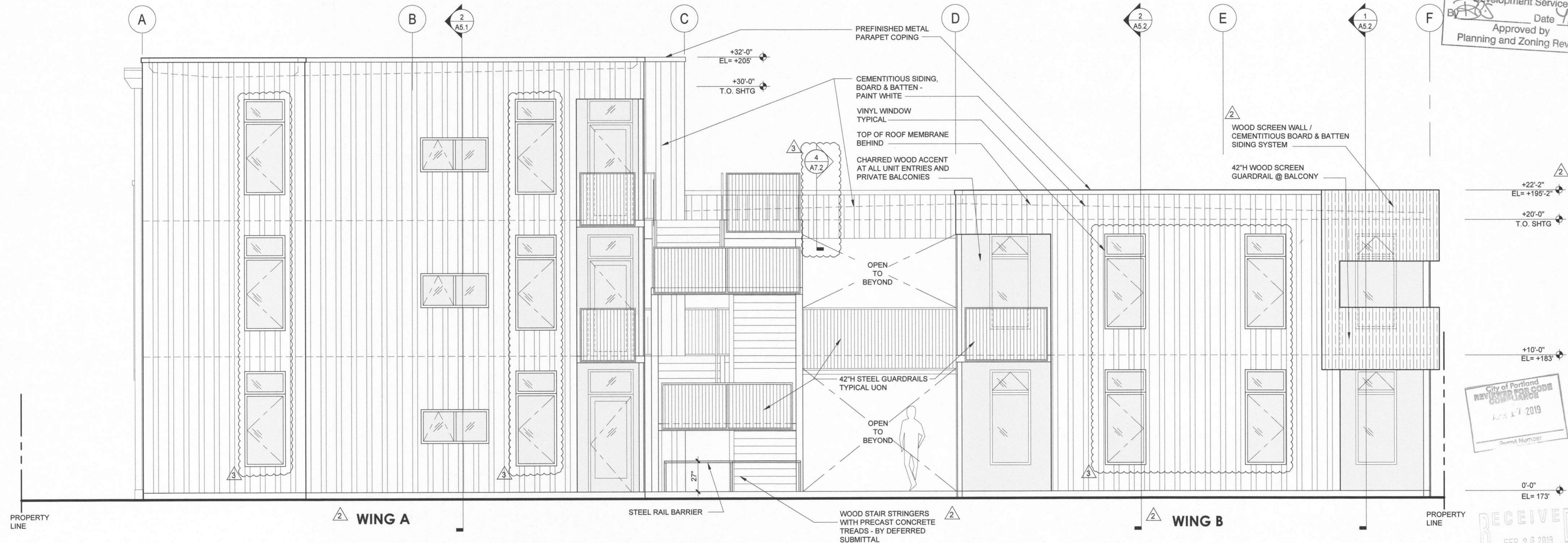
BUILDING WING "B"
LEVEL 2
CODE ANALYSIS

A1.7b

PERMIT SET



1. EAST ELEVATION
SCALE: 1/4" = 1'-0"



2. WEST ELEVATION
SCALE: 1/4" = 1'-0"

/kobiə/CREATIVE

Kobie Creative Architecture LLC
Portland, Oregon / kobiecreative.com



City of Portland
Bureau of
Development Services
By: [Signature] Date: 9/11/19
Approved by
Planning and Zoning Review

40 LOMENTS
APARTMENTS
4615 SE 40th Ave
Portland OR 97202

DATE: 07.12.2018
DRAWN BY: mm
JOB NO: 25-2016
REV NO:
2 Chksh Resp: 12.07.18
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Archit 03.08.19

City of Portland
REVIEWED FOR CODE
COMPLIANCE
APR 17 2019
Permit Number

EXTERIOR
ELEVATIONS

RECEIVED
FEB 26 2019
City of Portland
BDS - Document Services

PERMIT SET

A4.1

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