

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered - Reconsideration of ID 20470

Appeal ID: 20542	Project Address: 3505 NE Multnomah St
Hearing Date: 6/19/19	Appellant Name: Erin Ziter
Case No.: B-013	Appellant Phone: 5035447210
Appeal Type: Building	Plans Examiner/Inspector: Natalie Didion
Project Type: commercial	Stories: 2 Occupancy: A-3 Construction Type: III-B
Building/Business Name: word of life slavic baptist church	Fire Sprinklers: No
Appeal Involves: Reconsideration of appeal	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: religious

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1026.5 exterior exit stairways location

Requires	<p>Requires</p> <p>Exterior exit stairways and ramps shall have a minimum fire separation distance of 10 feet measured from the exterior edge of the stairway or ramp, including landings, to adjacent lot lines and from other buildings on the same lot.</p>
Proposed Design	<p>Proposed Design</p> <p>This an existing church with an open Land Use Application (Mark Moffett) and open Building Permit review (Natalie Didion). The existing church had an exterior fire escape on the east side – one of three required exits from the main auditorium where Sunday services are held. The owners removed the fire escape because it was so dangerous. It was a narrow (34") rusted, corroding, unstable, steep, unsafe exit. Their intent is to replace it with a 44" wide new steel exterior exit stairway, which has compliant treads and risers. The exit location is not proposed to change. At this location the exit door in the exterior wall is close to 10' from the property line. This puts the proposed stair landing 62" from the property line, and an 18'-7" length of the stair is within 10' of the property line. There are no changes to the existing exiting in the existing church- all exits are existing to remain. See plan drawings.</p> <p>Reconsideration Text</p> <p>The existing church building had an exterior fire escape on the east side within 2' from the fire separation distance. We are proposing to replace it with a new exterior egress stair within 5'-2" of the fire separation distance. No other changes to the existing church building's use, structure, layout, exiting system or occupant load are proposed. The existing church building remains as is.</p>

Reason for alternative Reason for Alternative

The existing exterior stair located within 10' of the property line is an existing condition. Our client's

intent here was to simply replace and improve a structurally failing stair (corrosion/rust) and eliminate a dangerous situation. They were unaware any issues existed regarding the exit stairway's location and width. It is highly favorable to leave the exit doorway and exit stairway where they are located, even though part of the exterior exit stairway is within 10' of the property line. In order to create an exterior stair that is not within 10' of the property line a new opening would have to be cut into the façade of the church. It is highly preferable to leave the façade of the historic church untouched. Furthermore, the current exit is mostly shielded from view from the street by shrubs which will be replanted with more shrubs and trees along the property line. Cutting a new opening would add significant cost and could pose structural issues. Moreover, a new opening closer to the front of the church would strongly detract from the design of the existing elevation, and the new exit stair would appear to jut out in front of the church windows. The current location leaves the grandeur of the façade and allows room for a more discreet exit stair. Overall, the safety of the occupants is vastly increased by replacing the unsafe stair with the new exit stair. Therefore, we kindly request the alternative be granted.

Reconsideration Text

This is a maintenance item that the church thought they could complete on their own – unaware that the change to the exterior of the building would have to be addressed in the ongoing land use review (Mark Moffett). The only intent was to replace the unsafe and non-compliant fire escape with a safer exterior exit stairway to improve the life safety conditions for the occupants. Everything else is existing conditions- no changes.

APPEAL DECISION

1. Exterior exit stairway within 10 feet of the property line: Granted provided stair is used as an emergency exit only.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

WORD OF LIFE SLAVIC BAPTIST CHURCH

RECONSIDERATION BUILDING APPEAL

CITY OF PORTLAND | JUNE 13, 2019

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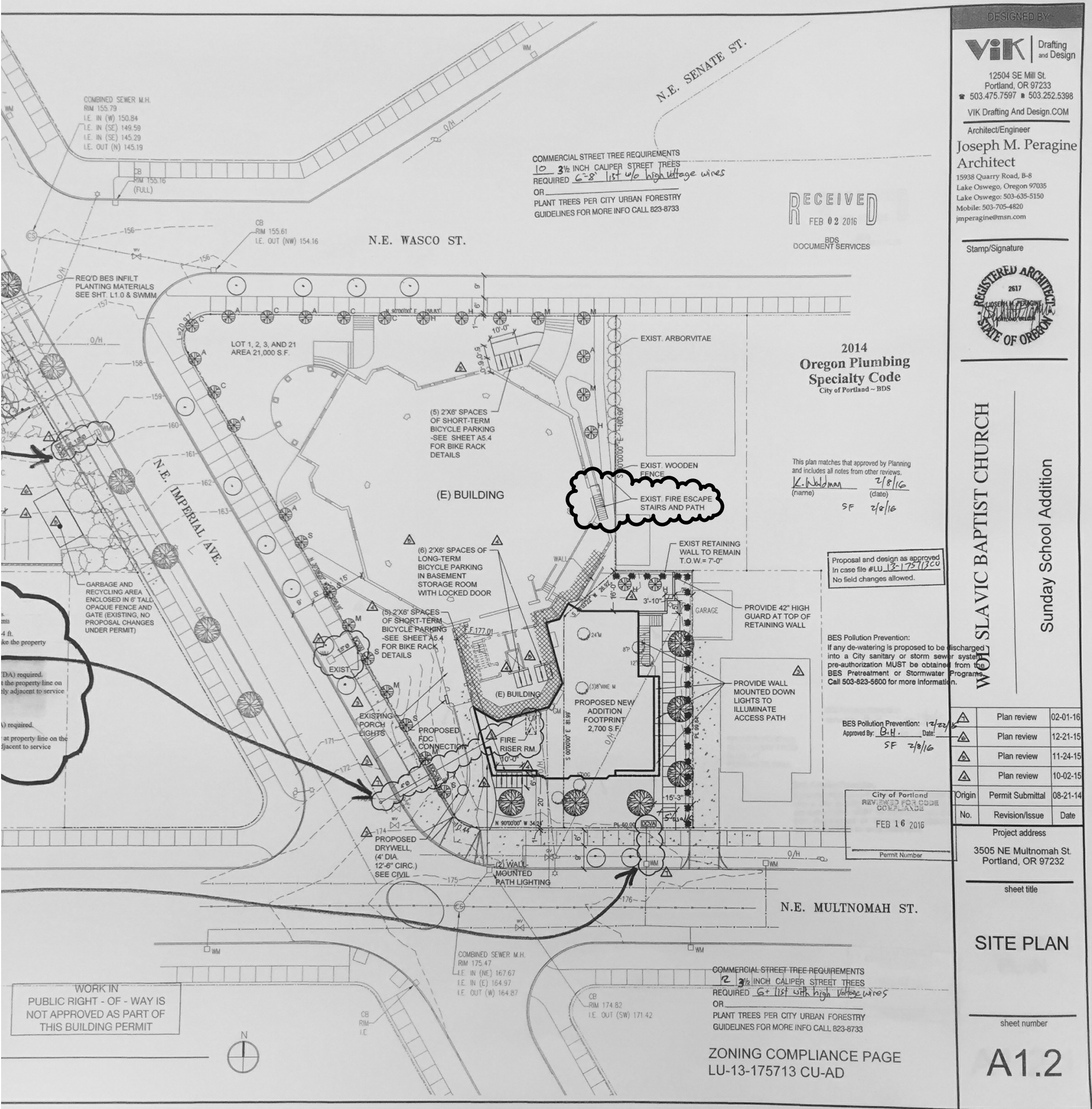
DESCRIPTION

THIS RECONSIDERATION OF THE ORIGINAL APPEAL (ID 20470) IS WRITTEN TO CLARIFY THAT THE PROPOSED EXTERIOR EXIT STAIR IS REPLACING AN EXISTING FIRE ESCAPE - NOT AN EXISTING EXTERIOR STAIR.

DISCUSSIONS WITH JOHN BUTLER AND NATALIE DIDION ILLUMINATED THE REPERCUSSIONS OF THE DIFFERENCE BETWEEN AN EXISTING FIRE ESCAPE AND AN EXISTING EXTERIOR STAIR, AND WE WERE ADVISED TO RE-APPEAL WITH THIS CLARIFIED.

THE EXISTING BUILDING IS NOT CHANGING. THERE IS NO WORK TO BE DONE, AND NO CHANGES OF OCCUPANCY OR OCCUPANT LOAD. THE ENTIRE EXISTING BUILDING IS TO REMAIN EXACTLY AS IS, AND AS PREVIOUSLY PERMITTED.

THIS APPEAL REQUESTS APPROVAL FOR A NEW EXTERIOR EXIT STAIR TO REPLACE THE EXISTING BUILDING'S OLD AND UNSAFE FIRE ESCAPE.



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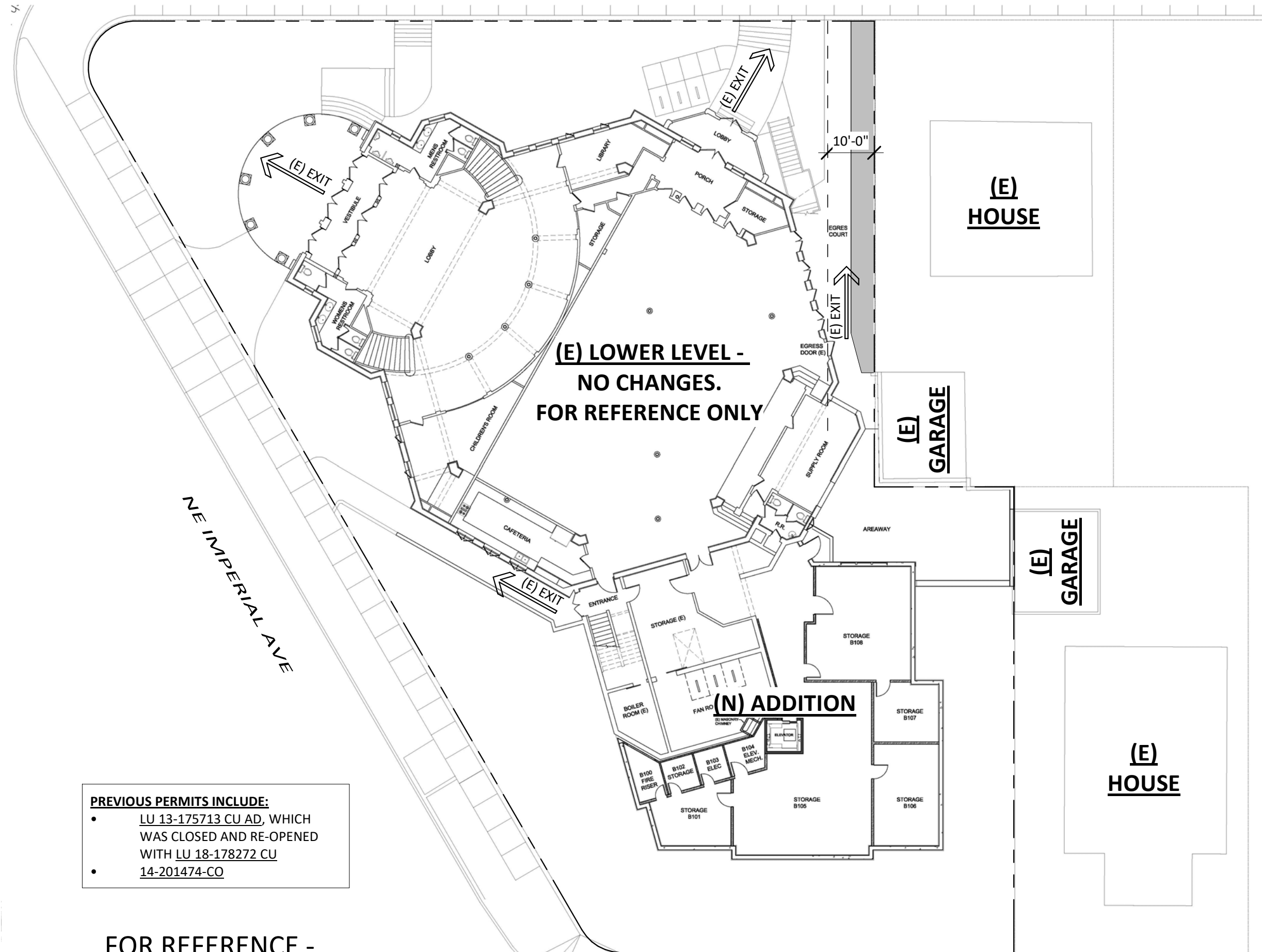
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3505 NE MULTNOMAH ST

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PREVIOUS PERMIT

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NE WASCO ST

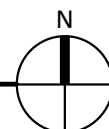


PREVIOUS PERMITS INCLUDE:

- LU 13-175713 CU AD, WHICH WAS CLOSED AND RE-OPENED WITH LU 18-178272 CU
- 14-201474-CO

**FOR REFERENCE -
LOWER LEVEL FLOOR PLAN**

3/64" = 1'-0"



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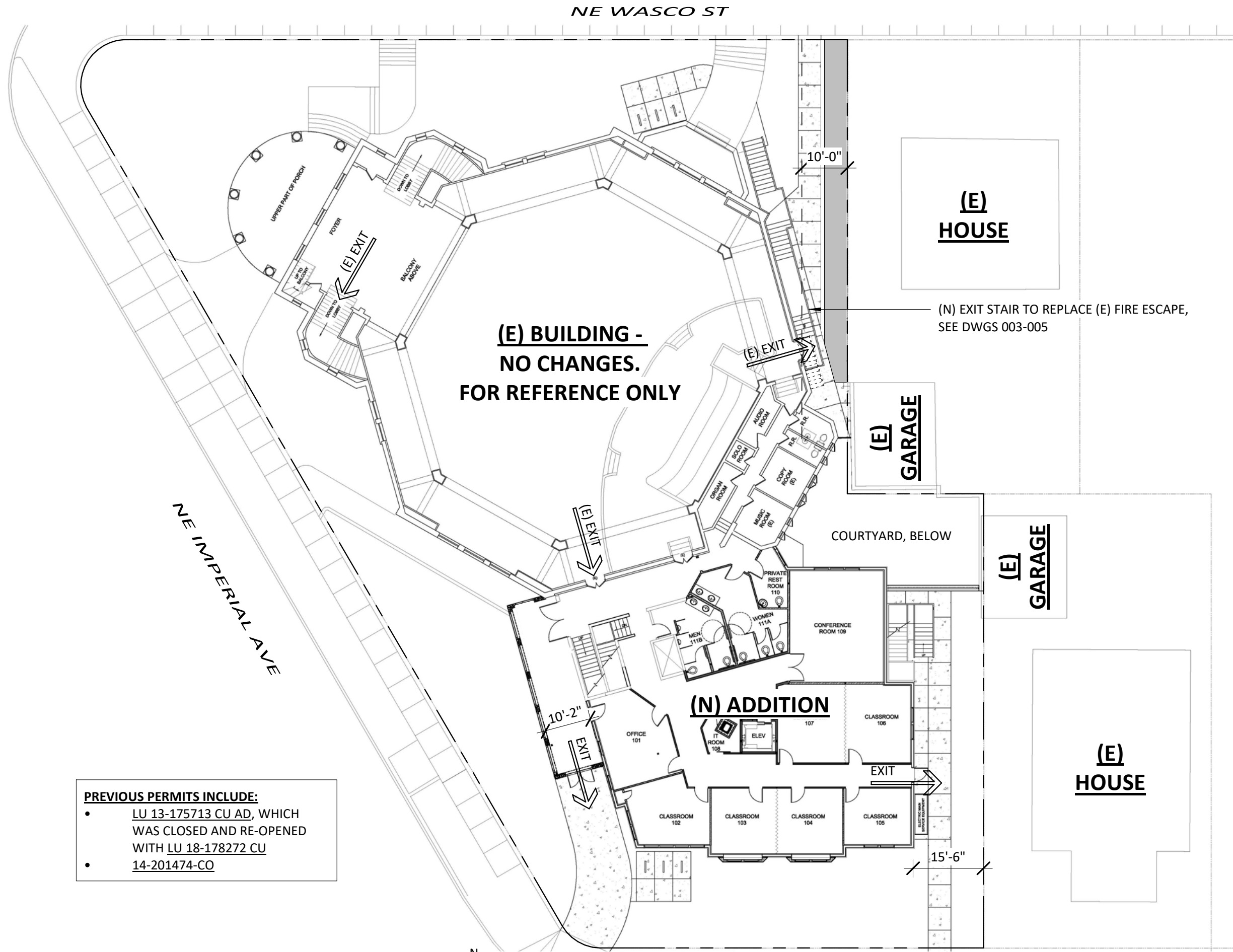
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FLOOR PLAN

001



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- LU 13-175713 CU AD, WHICH WAS CLOSED AND RE-OPENED WITH LU 18-178272 CU
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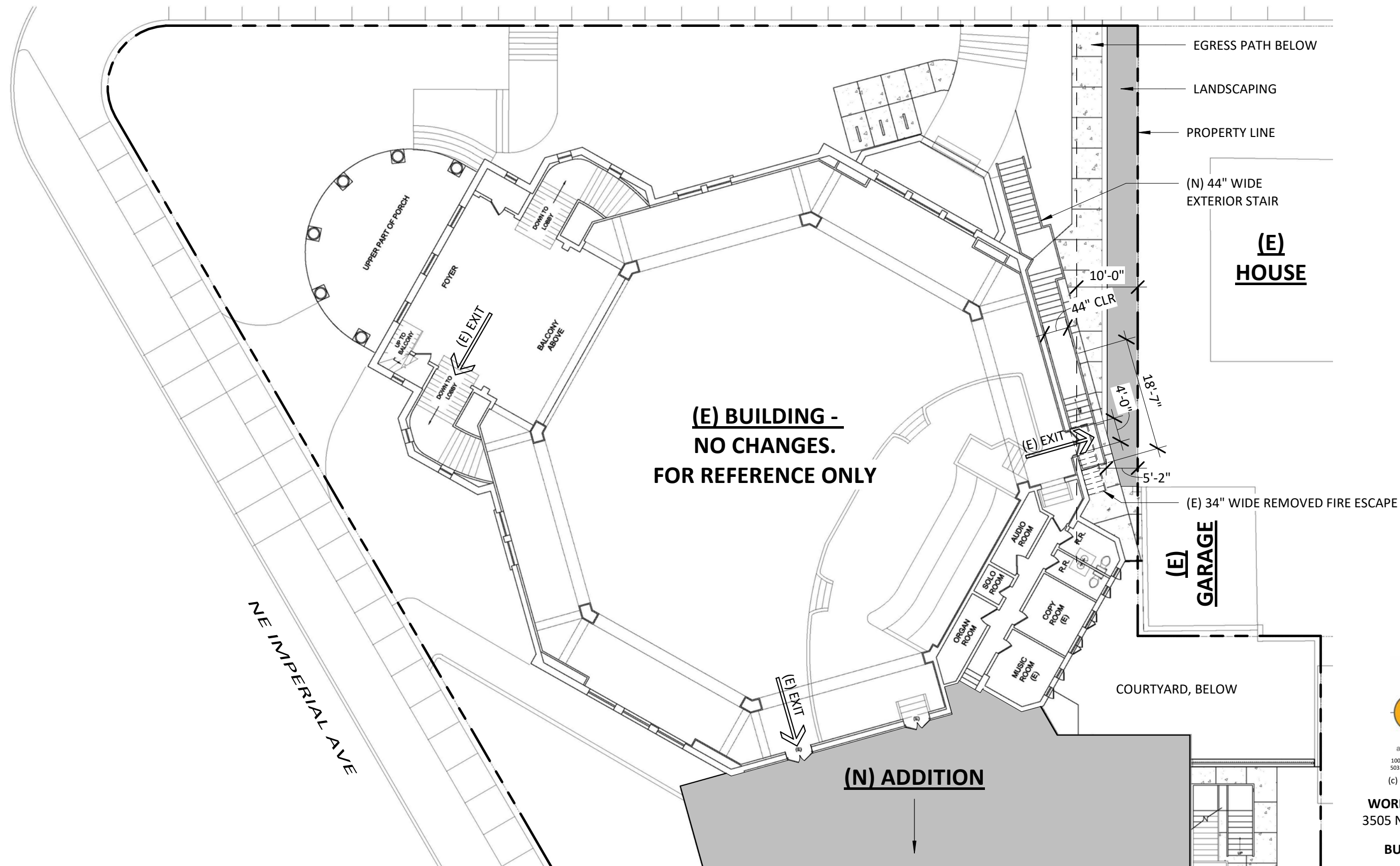
1 AUDITORIUM LEVEL FLOOR PLAN
3/64" = 1'-0"

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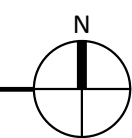
FLOOR PLAN



PREVIOUS PERMITS INCLUDE:

- LU 13-175713 CU AD, WHICH WAS CLOSED AND RE-OPENED WITH LU 18-178272 CU
- 14-201474-CO

1 AUDITORIUM LEVEL FLOOR PLAN - ENLARGED
1/16" = 1'-0"

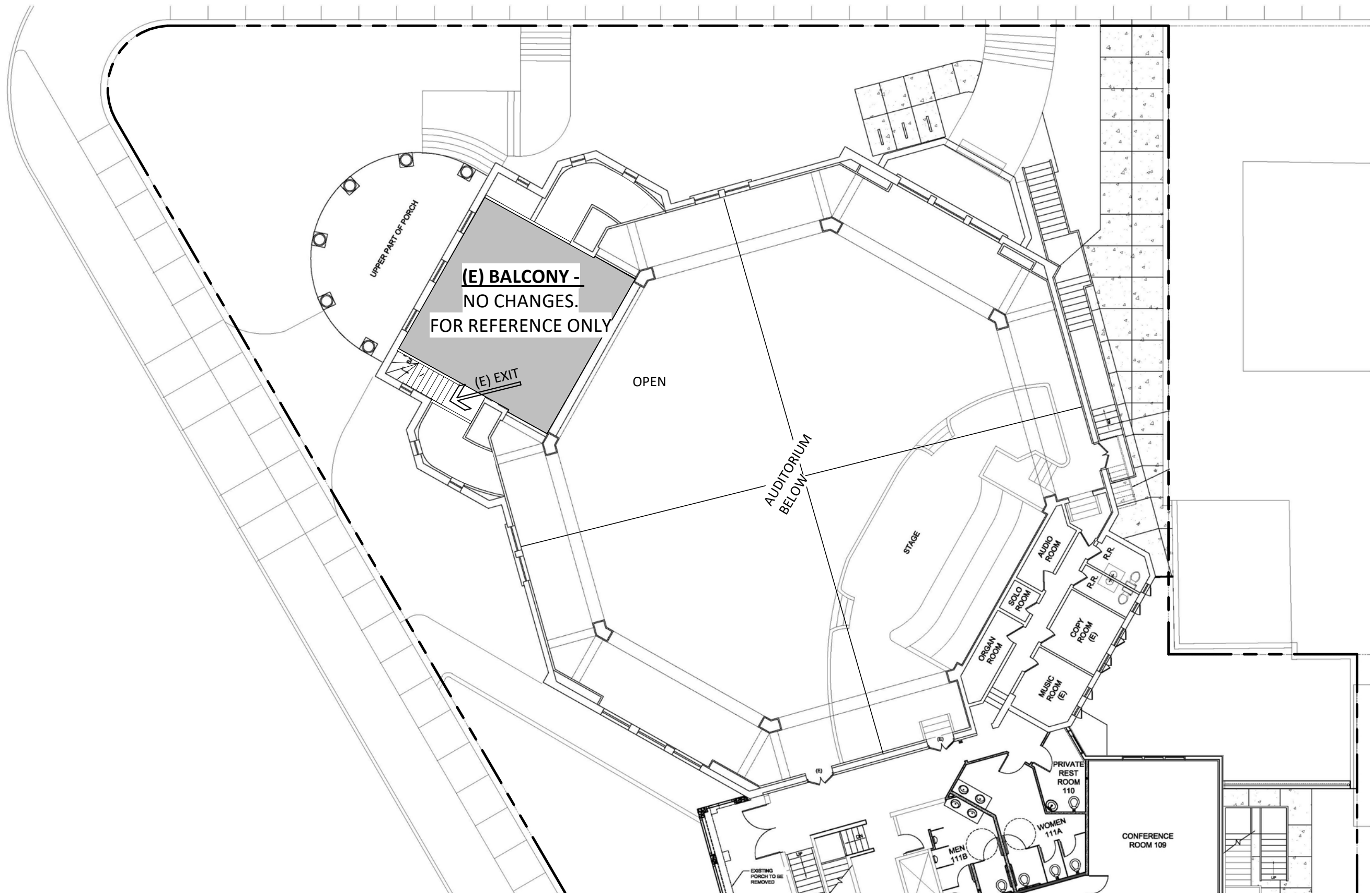


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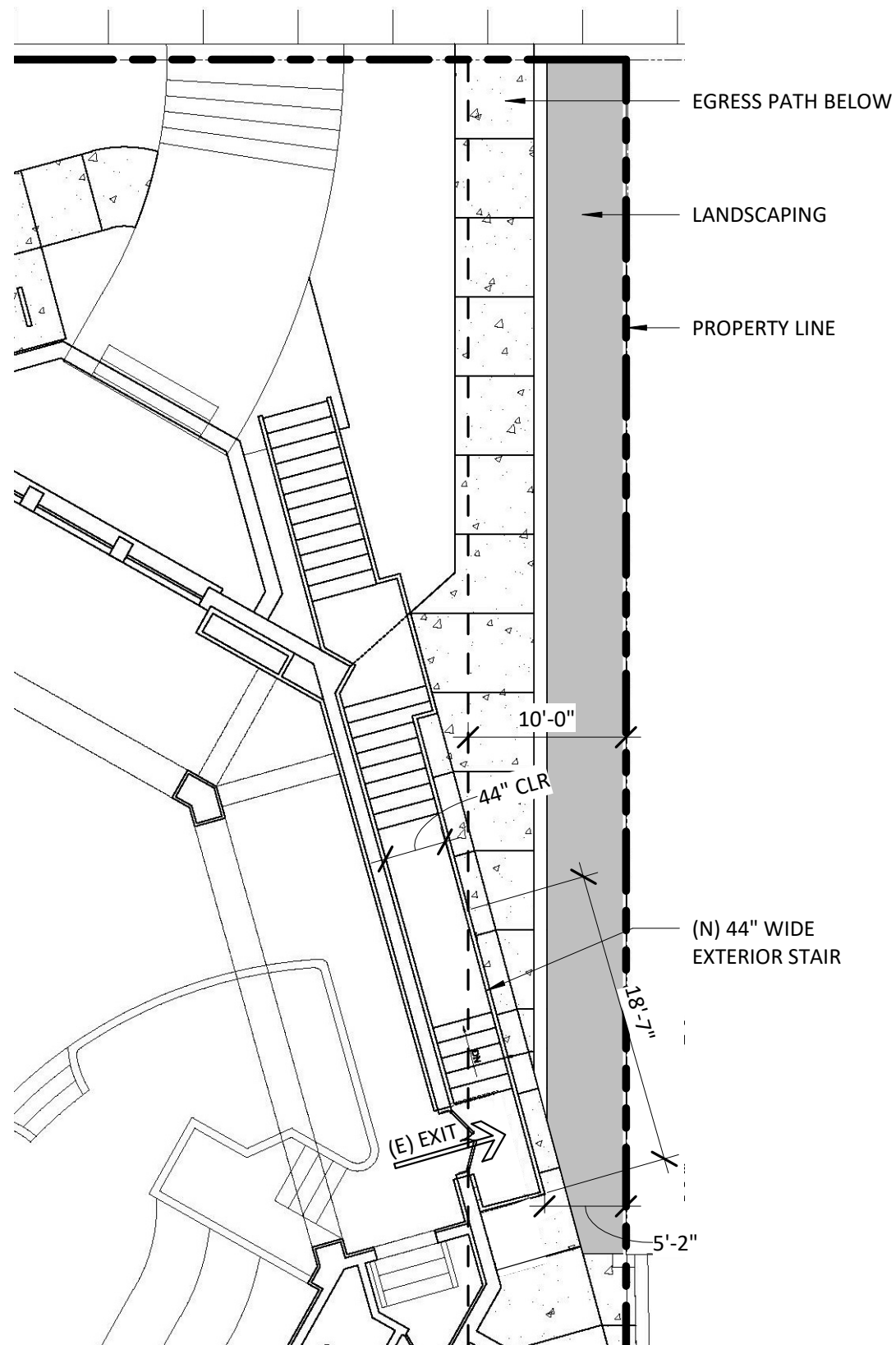
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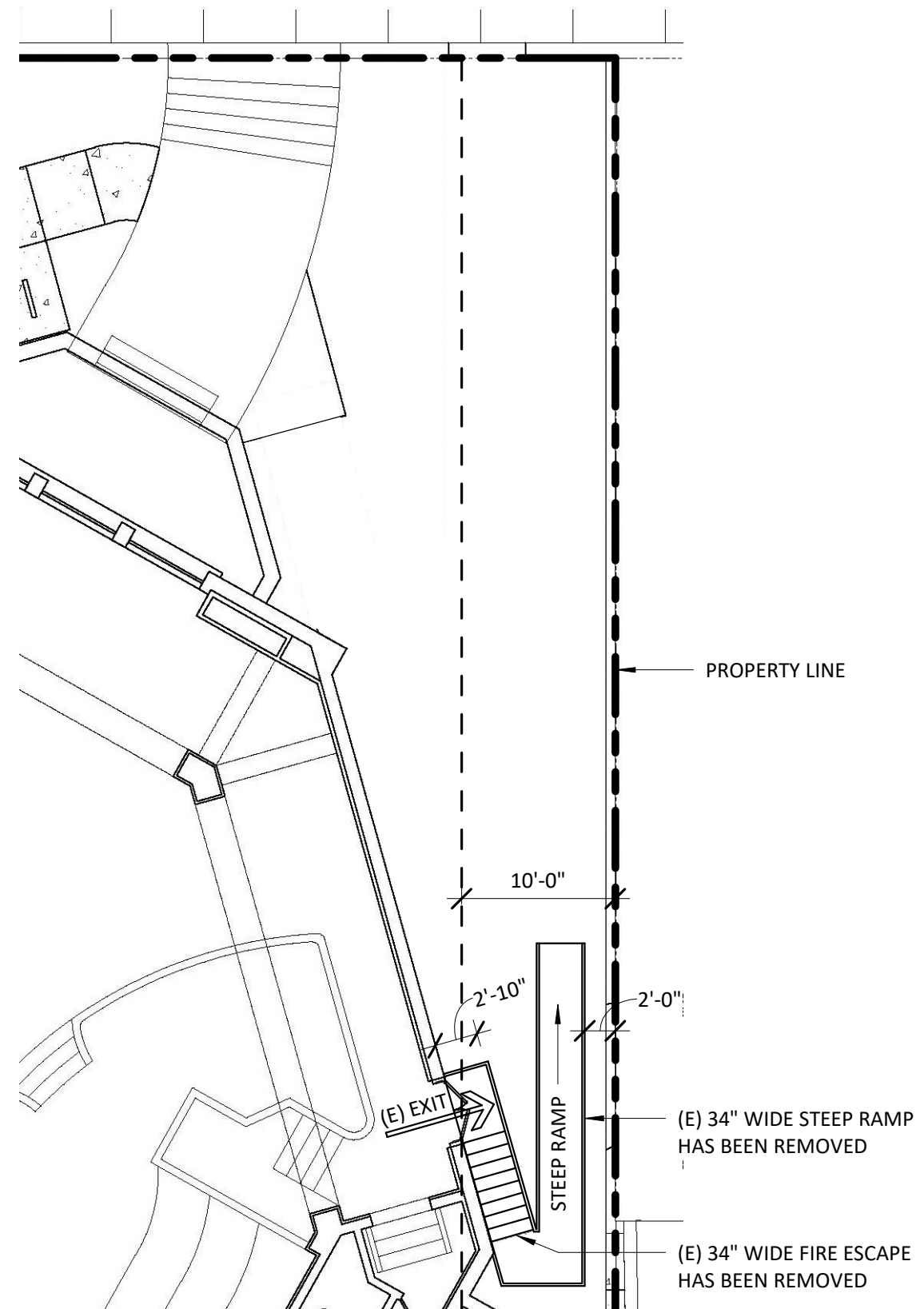
FLOOR PLAN



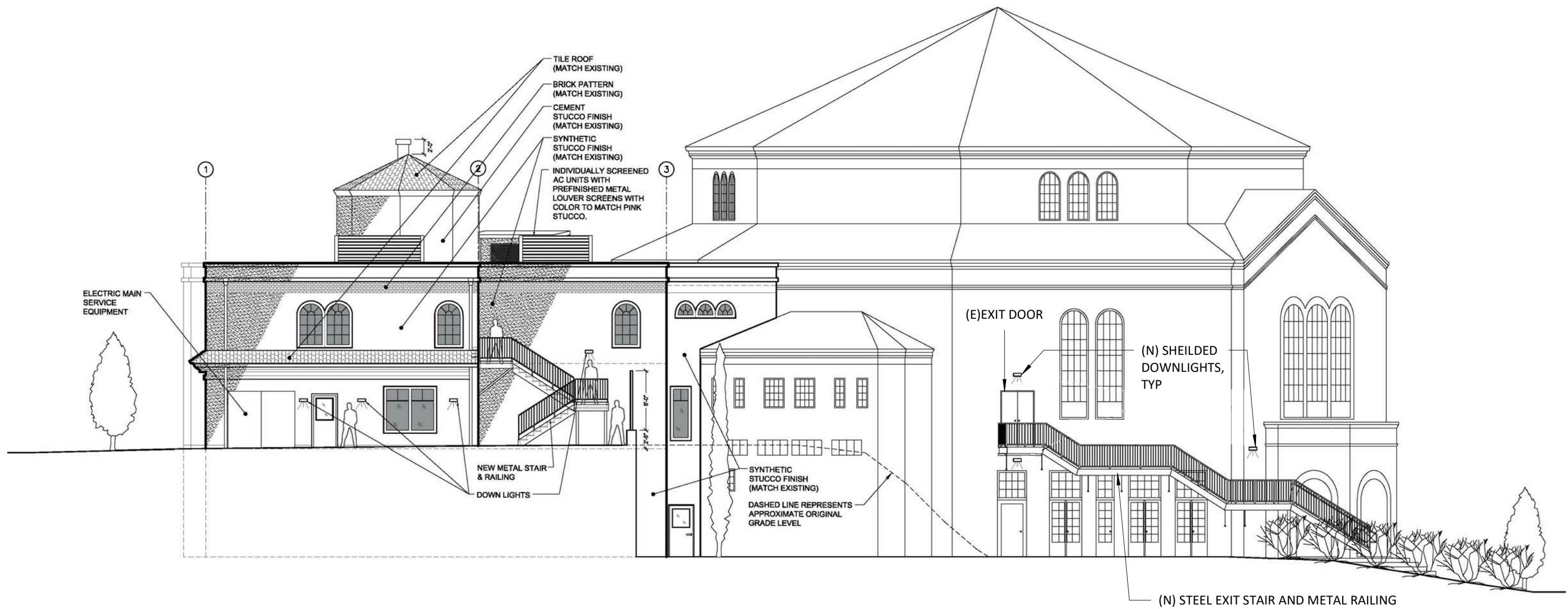
1 **BALCONY LEVEL FLOOR PLAN**
 1/16" = 1'-0"



2 PROPOSED STAIR PLAN
1" = 10'-0"



1 (E) FIRE ESCAPE - DEMO'D
1" = 10'-0"



1 EAST ELEVATION N.T.S.



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ELEVATION

006



EXISTING FIRE ESCAPE THAT HAS BEEN REMOVED SINCE THIS GOOGLE STREET VIEW IMAGE



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EXISTING PHOTO



(E) EXIT DOOR IS HIDDEN BY SHRUBS



DOOR AND STAIR IN THIS LOCATION WOULD DETRACT FROM FACADE OF CHURCH

(E) EXIT DOOR

TEMPORARY CONSTRUCTION STAIR, IN SIMILAR LOCATION TO PROPOSED STAIR



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CURRENT PHOTOS

