

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Hold for Additional Information

<b>Appeal ID:</b> 20539	<b>Project Address:</b> 704 SE Lexington St
<b>Hearing Date:</b> 6/19/19	<b>Appellant Name:</b> Majid Habibi
<b>Case No.:</b> P-002	<b>Appellant Phone:</b> 503-880-4952
<b>Appeal Type:</b> Plumbing	<b>Plans Examiner/Inspector:</b> Fernando Castillo, Joe Blanco, McKenzie James, Jim Bechtel
<b>Project Type:</b> residential	<b>Stories:</b> 2 <b>Occupancy:</b> R-3 <b>Construction Type:</b> V-B
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Erection of a new structure	<b>LUR or Permit Application No.:</b> 19-167445-RS
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Residential

### APPEAL INFORMATION SHEET

#### Appeal item 1

<b>Code Section</b>	Plumbing
<b>Requires</b>	Center distance of on-site drywell for stormwater management to property line and foundation: 10 feet to foundation 5 feet to side and rear property lines 3 feet to street front property line
<b>Proposed Design</b>	Due to the location of new structure, small corner lot and previously permitted MRAA (18-271166-RS) for the exact plan as proposed new single family residence, we request the distance to foundation to be reduced by 6 inches to 9.5 feet in order to maintain the required distance of 3 feet to street front property line.
<b>Reason for alternative</b>	We have originally designed this plan to be constructed on the same location of existing house which has been removed and the existing basement cavity has been retained for the new partial basement. This plan was reviewed and approved through MRAA (18-271166-RS). Due to failure of existing foundation, we were not able to preserve a small segment of the foundation and wall directly above in order to continue construction under the MRAA permit which consequently we were forced to apply for NSFR. Since we already had the permit for MRAA, we resubmitted the same identical plan with the same location of drywell on site without any changes for NSFR. Due to design of the building and the way it's sitting on the lot, there is no other location to install the drywell without making a significant design change, and the cost and the timeline.

### APPEAL DECISION

**Location of drywell within 10 feet of foundation: Hold for additional information.**  
**Appellant may contact McKenzie James (503-823-7317) with questions.**

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# Habibi Design

P.O. Box 16116, Portland OR 97292  
Cell: 503.880.4952  
e-mail: majid@habibidesign.com

## PROJECT

New Single Family Residence  
Located at:  
Permit No. 19-167445-RS  
704 SE Lexington St., Portland, OR 97202

### OWNERS:

KRISTEN & SARFRAZ AHMED  
P.O. BOX 22421  
PORTLAND, OR 97269  
TEL: 971-506-6027

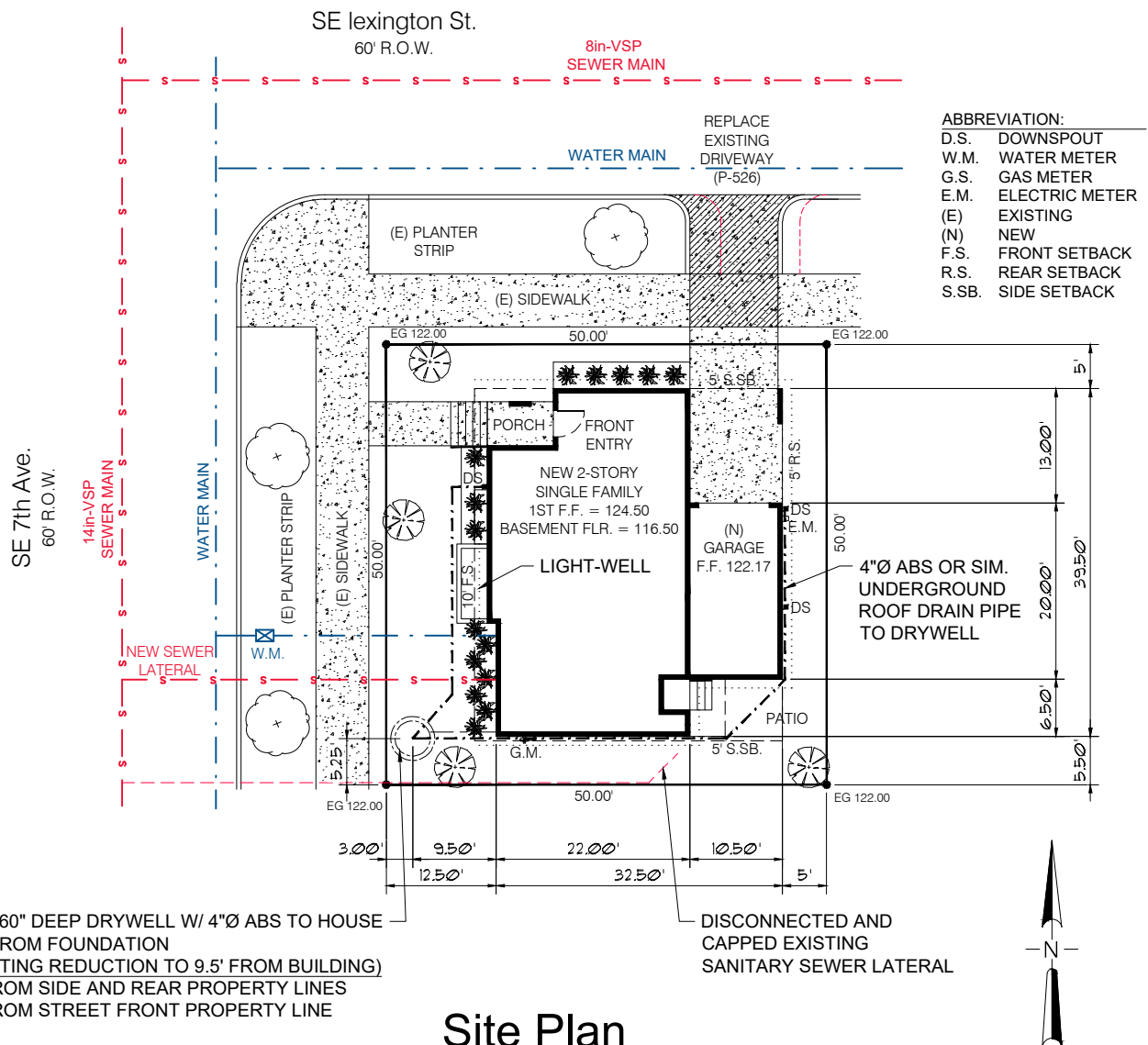
### PROJECT LEGAL:

PROPERTY ID: R134363  
STATE ID: 1S1E23CB 6000  
CITY VIEW PARK, BLOCK 18,  
N. 1/2 OF LOT 9,  
CITY OF PORTLAND,  
COUNTY OF MULTNOMAH,  
STATE OF OREGON

### AREA:

1ST FLOOR:	843 Sq. Ft.
2ND FLOOR:	1,110 Sq. Ft.
<b>TOTAL LIVING:</b>	<b>1,953 Sq. Ft.</b>

UNFINISHED BASEMENT:	615 Sq. Ft.
COVERED PORCH:	38 Sq. Ft.
PATIO:	186 Sq. Ft.
OPEN DECK:	130 Sq. Ft.
ATTACHED GARAGE:	210 Sq. Ft.
<b>SITE AREA:</b>	<b>2,500 Sq. Ft.</b>



Date: 06-14-2019

Scale: 1"=20'-0"

PLUMBING CODE APPEAL FOR DRYWELL LOCATION

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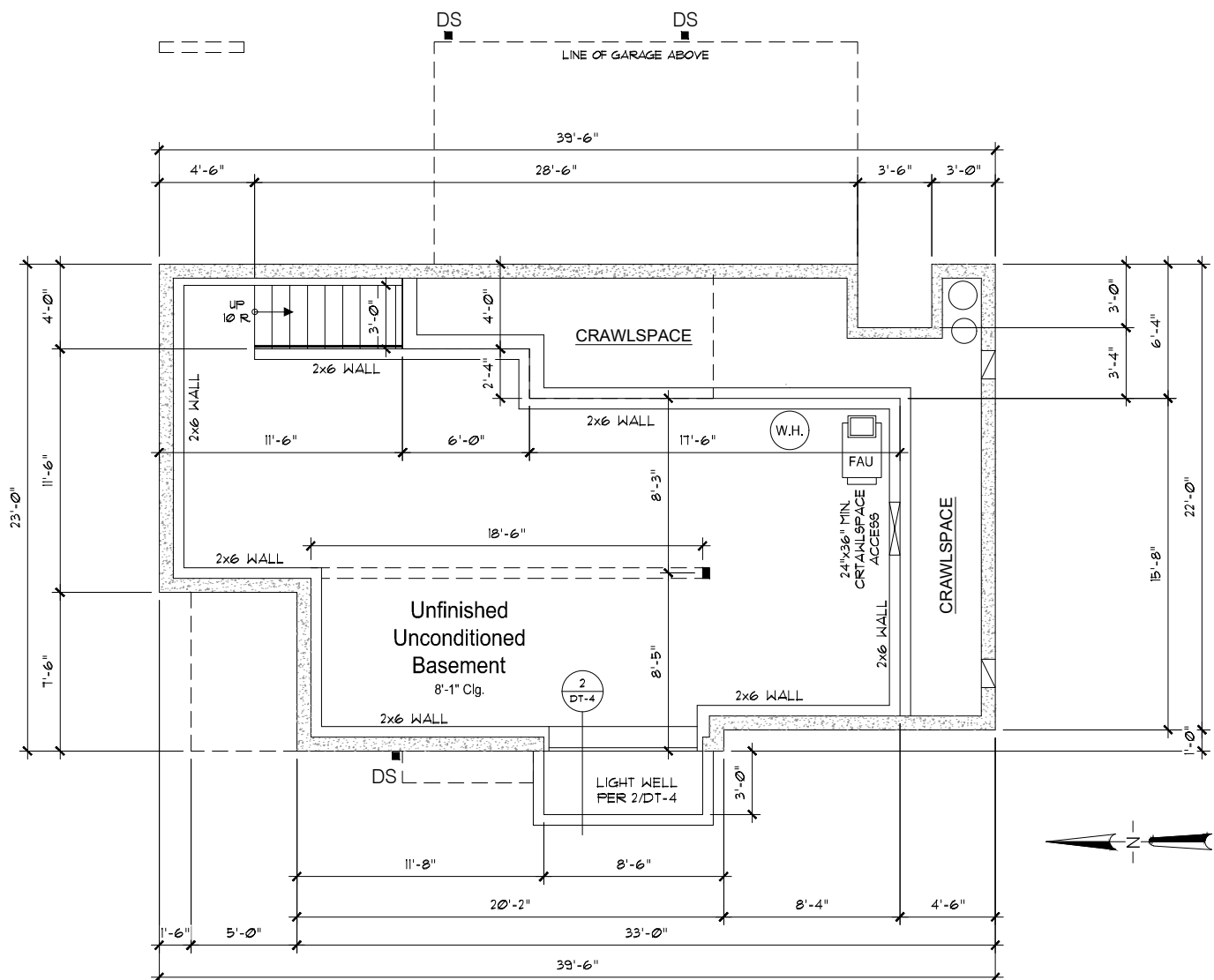
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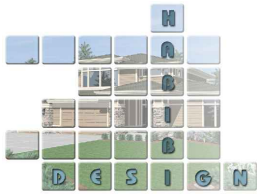


## Basement Floor

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PLUMBING CODE APPEAL FOR DRYWELL LOCATION

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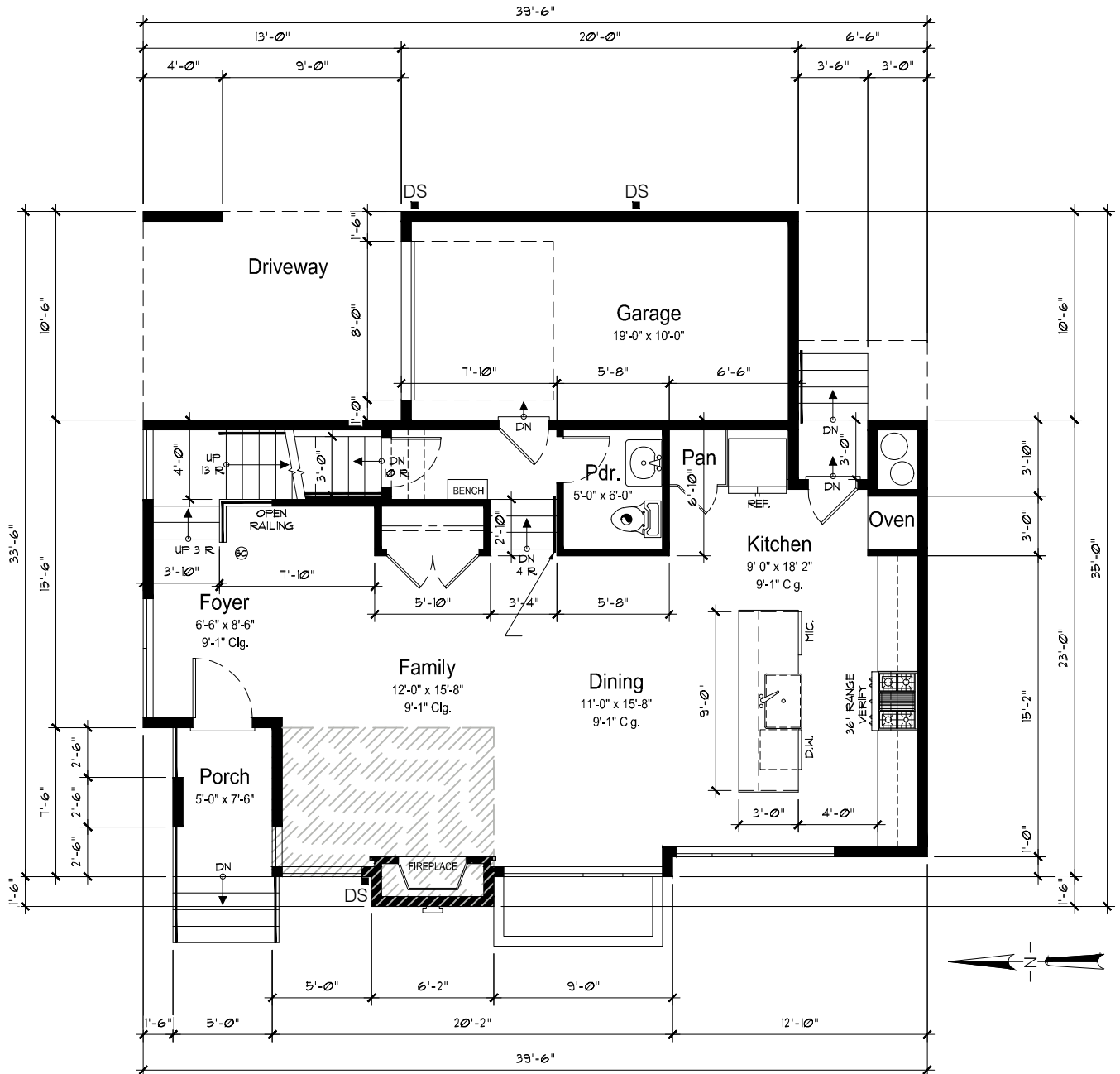


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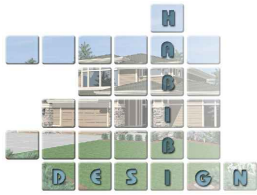
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## 1st Floor

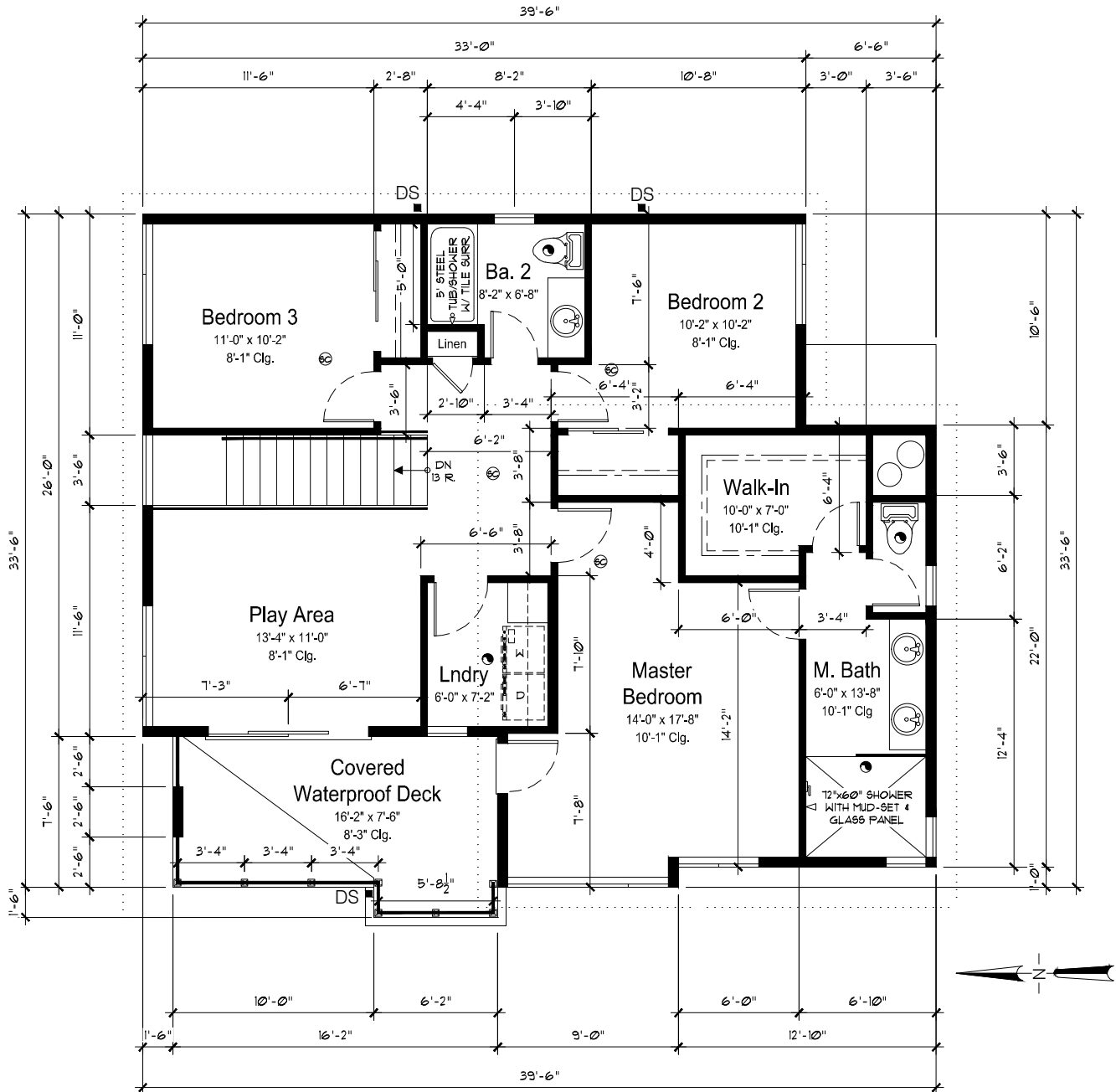


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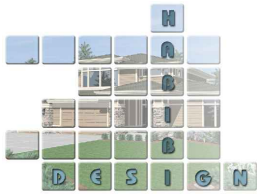


## 2nd Floor

Date: 06-14-2019  
Scale: 1/8"=1'-0"

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Front Elevation



Left Elevation

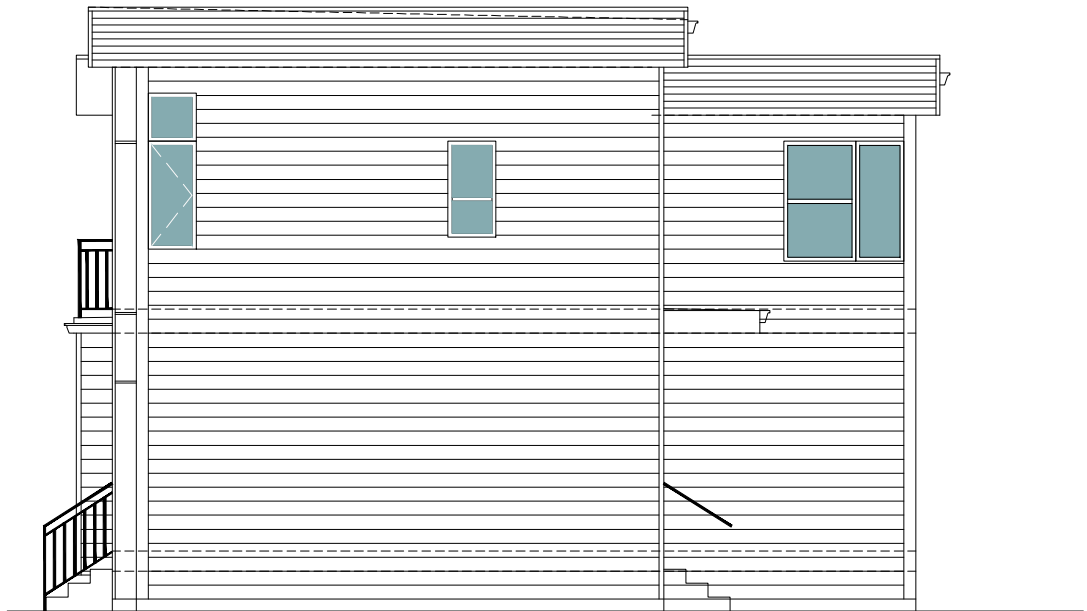


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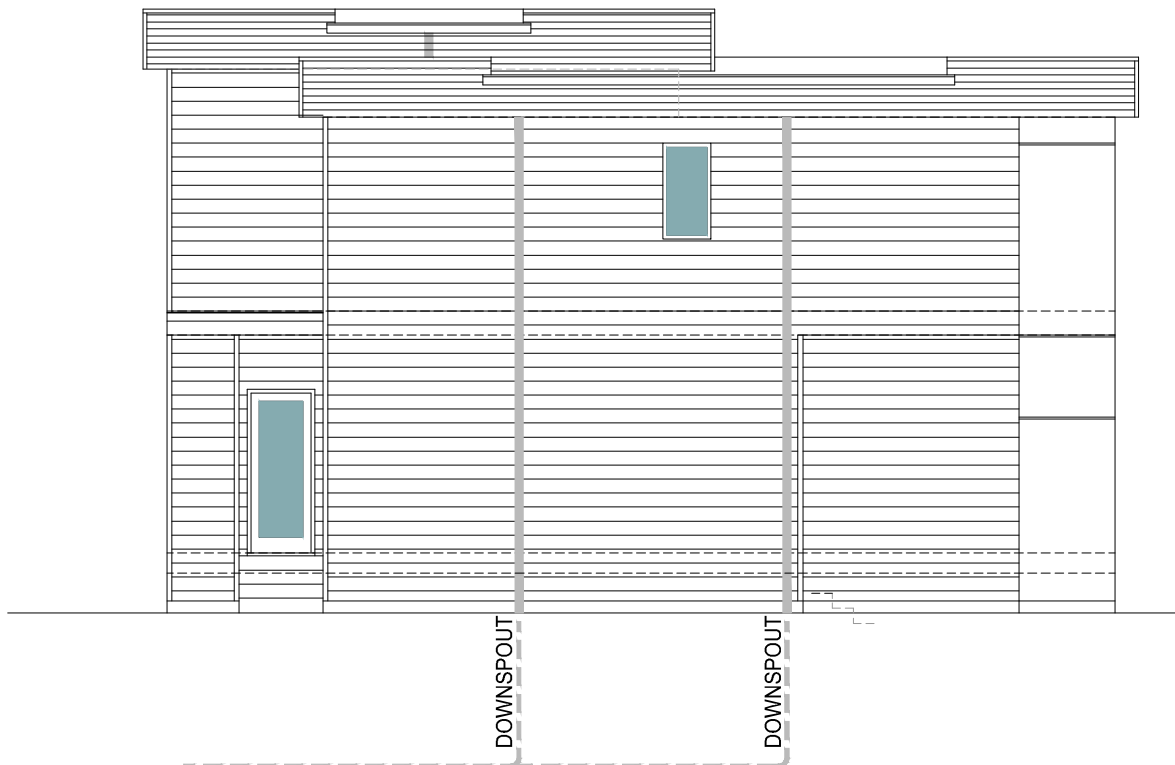
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Right Elevation



Rear Elevation

Date: 06-14-2019  
Scale: 1/8"=1'-0"

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