

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 20533	<b>Project Address:</b> 312 NW 10th Ave
<b>Hearing Date:</b> 6/19/19	<b>Appellant Name:</b> Lance Sanchez
<b>Case No.:</b> P-001	<b>Appellant Phone:</b> 3607230858
<b>Appeal Type:</b> Plumbing	<b>Plans Examiner/Inspector:</b> Paul Klee, McKenzie James, Joe Blanco
<b>Project Type:</b> commercial	<b>Stories:</b> 3 <b>Occupancy:</b> Storage <b>Construction Type:</b> Alteration
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b> 19-129458-PT
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Storage

### APPEAL INFORMATION SHEET

#### Appeal item 1

<b>Code Section</b>	102.3.2 - Openings
<b>Requires</b>	Must use permanent caps on floor drains.
<b>Proposed Design</b>	Owner wants to temporarily cap the drains so that he may file for occupancy at a later date. By installing the permanent caps, we destroy the pipes and ruin the brand new finish on the floor, so the cost is much higher should he wish to turn the space into an occupied space. Temporary caps are being used for a non-occupied, temporary storage space.
<b>Reason for alternative</b>	Owner wants to temporarily cap the drains so that he may file for occupancy at a later date. By installing the permanent caps, we destroy the pipes and ruin the brand new finish on the floor, so the cost is much higher should he wish to turn the space into an occupied space. Temporary caps are being used for a non-occupied, temporary storage space.

### APPEAL DECISION

**Use of temporary drain caps: Denied. Proposal does not provide equivalent sanitary protection. Appellant may contact McKenzie James (503-823-7317) with questions.**

Pursuant to City Code Chapter 25.07, you may appeal this decision to the Plumbing Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.



ALTHOUGH A GREAT DEAL OF CARE HAS GONE INTO THE PREPARATION OF THESE DRAWINGS TO INSURE THEIR ACCURACY, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THEM FOR DISCREPANCIES & ADAPT TO SPECIFIC STATE & LOCAL CODES.

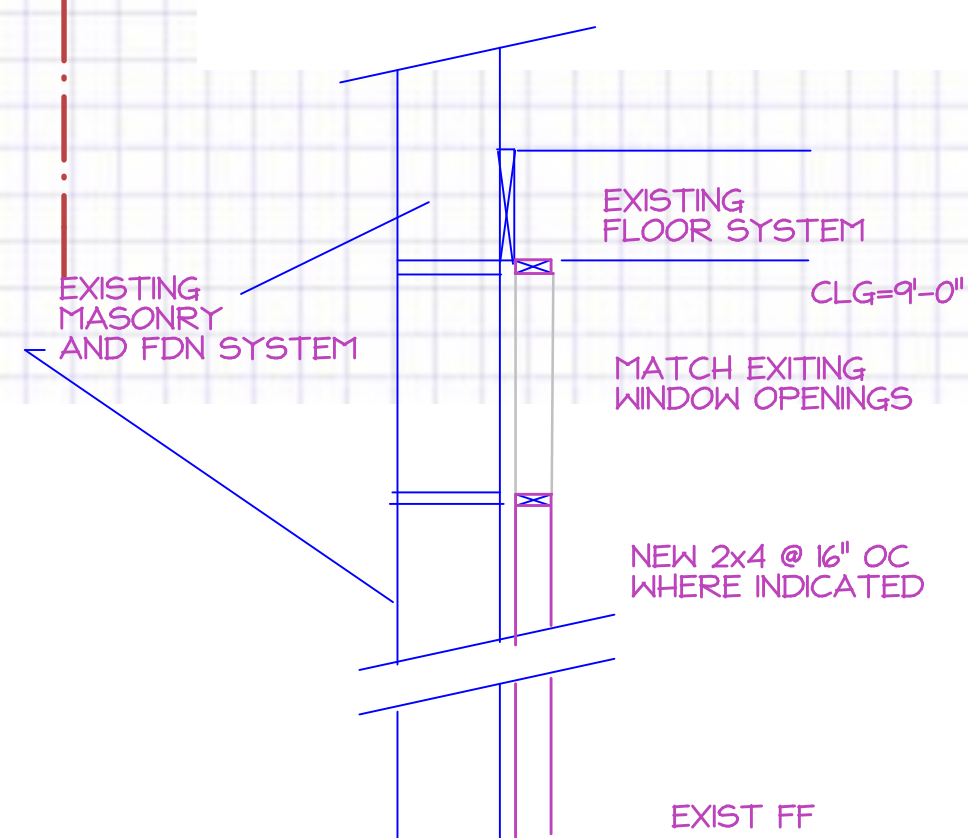
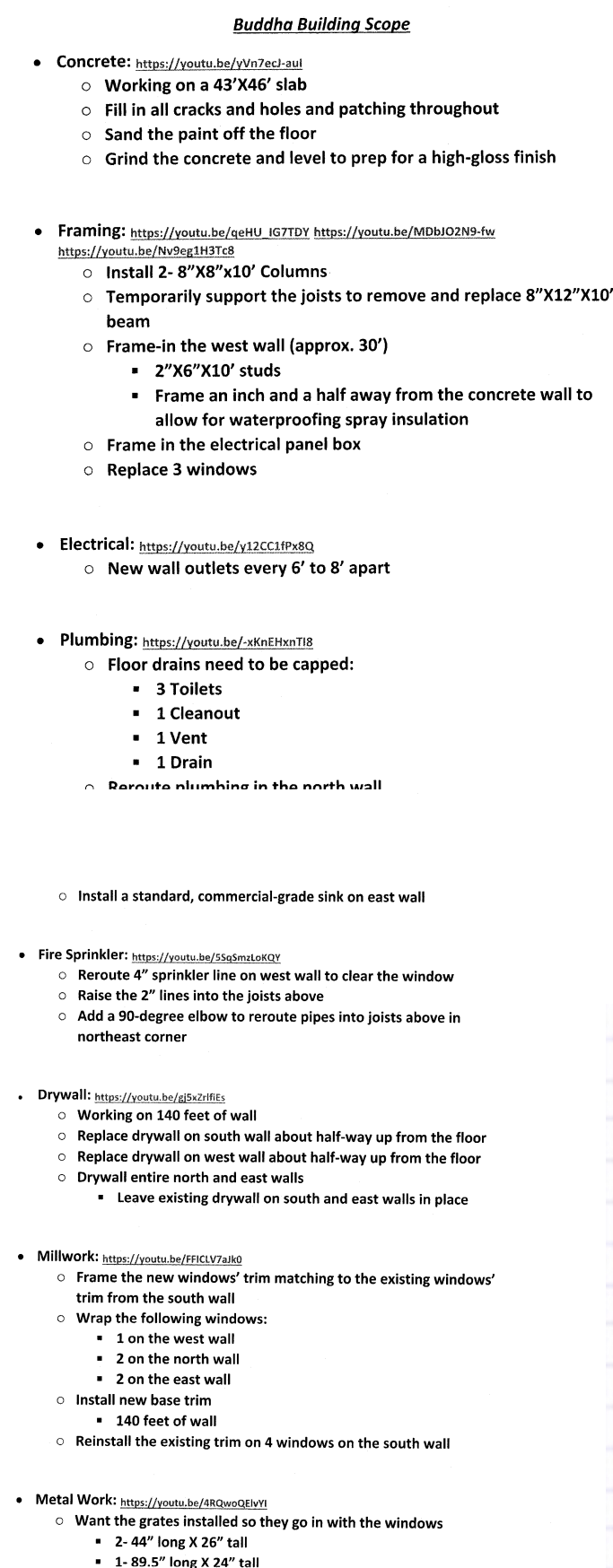
BASEMENT RENOVATIONS  
BUDDHA BUILDING, LLC  
AMBROSE LAW GROUP  
312 NW 10TH AVE,  
PORTLAND, OR

[illegible]

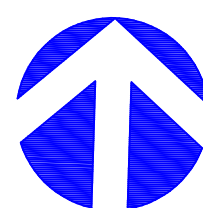
sheet title:	BASEMENT
plan number:	11-B
date:	

sheet number

P



WINDOW DETAIL @ NEW WALL FRAME  
SCALE 1/2" = 1'-0"

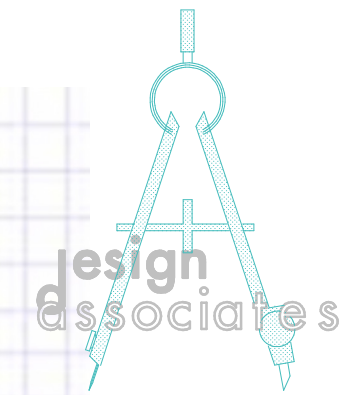


# BASEMENT PLAN

scale 1/4" = 1'-0"

-  PLUMBING REVISION  
 FIRE LINE REVISION





• planners  
• designers

15016 NE27th Street  
Vancouver, Wa. 98684  
(360) 606-4462

ALTHOUGH A GREAT DEAL OF  
CARE HAS GONE INTO THE  
PREPARATION OF THESE  
DRAWINGS TO INSURE THEIR  
ACCURACY, IT IS THE  
RESPONSIBILITY OF THE  
CONTRACTOR TO CHECK THEM  
FOR DISCREPANCIES & ADAPT  
TO SPECIFIC STATE & LOCAL  
CODES.

BASEMENT RENOVATIONS  
BUDDHA BUILDING, LLC  
AMBROSE LAW GROUP  
312 NW 10TH AVE,  
PORTLAND, OR

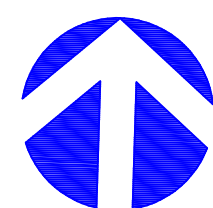
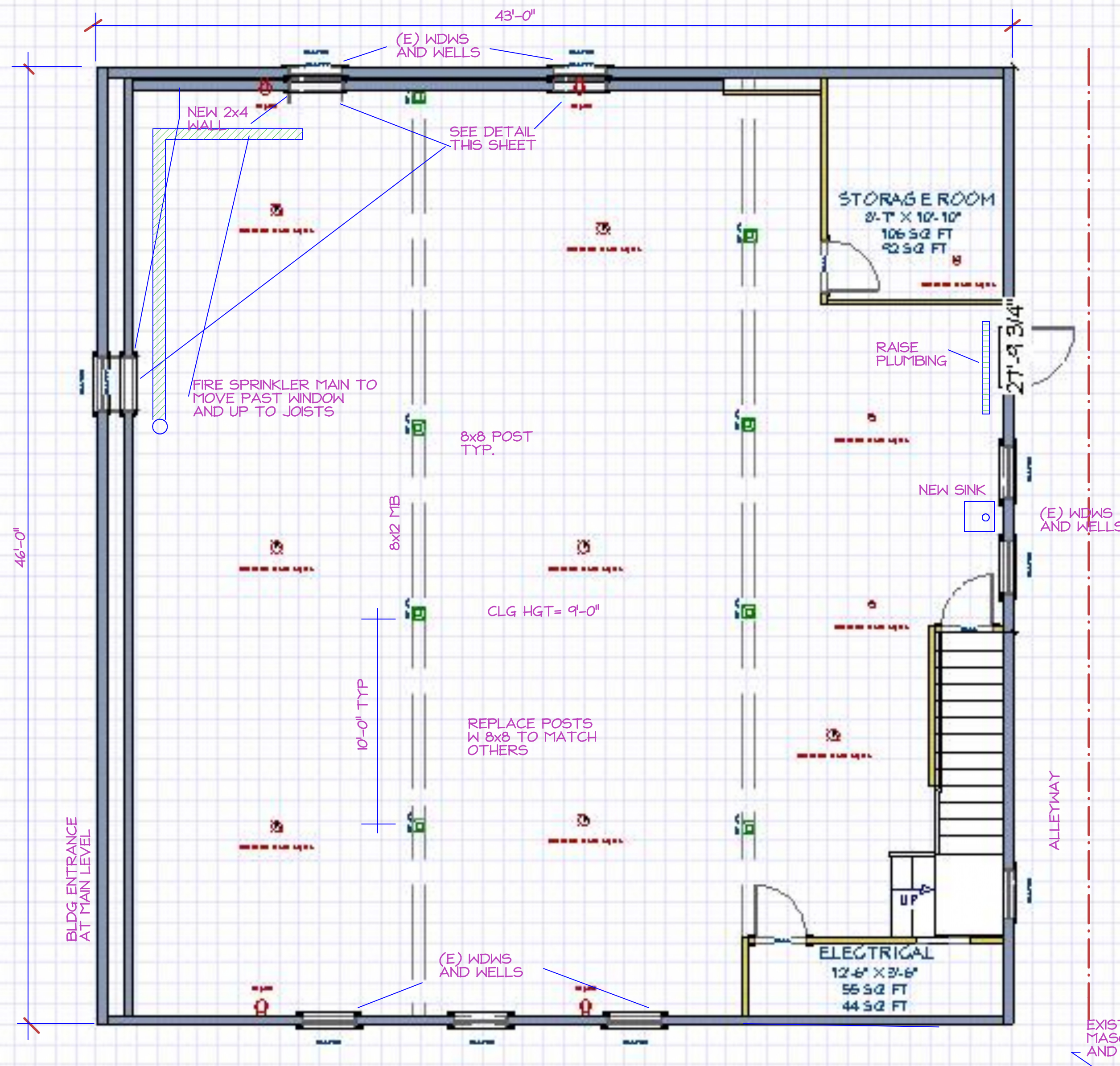
revisions
NO.
DATE
DESCRIPTION

sheet title: BASEMENT	date: 11-18
plan number:	

sheet number
P

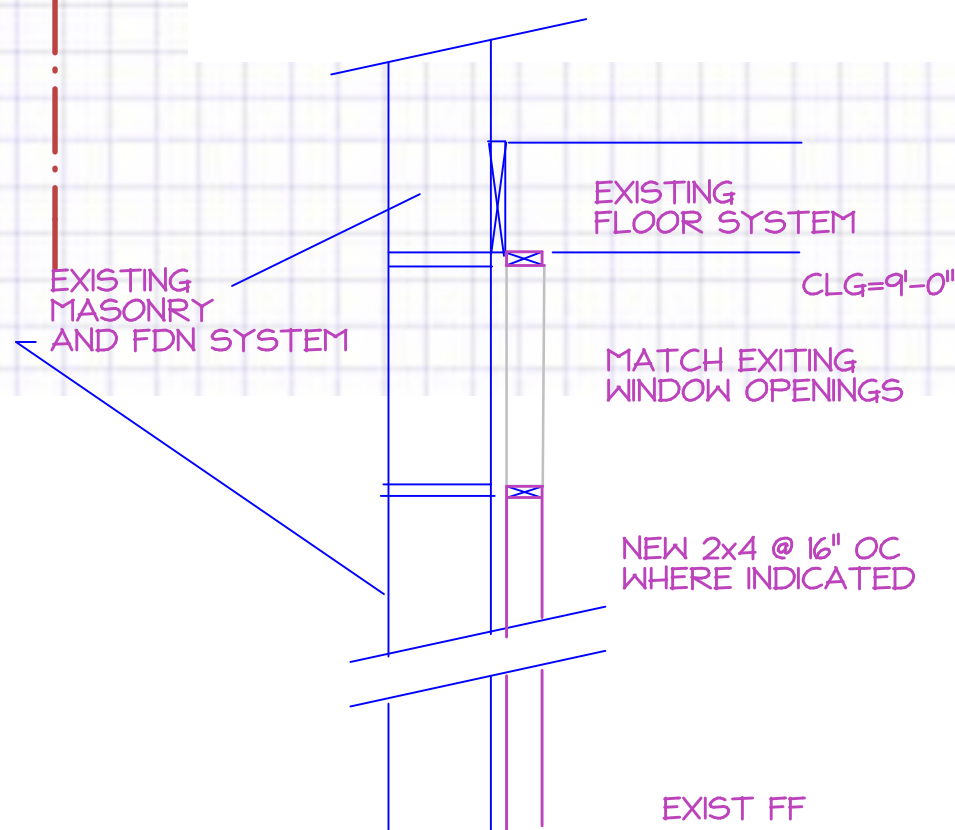
#### Buddha Building Scope

- Concrete: <https://youtu.be/yVn7ecl-aul>
  - Working on a 43'x46' slab
  - Fill in all cracks and holes and patching throughout
  - Sand the paint off the floor
  - Grind the concrete and level to prep for a high-gloss finish
- Framing: [https://youtu.be/qeHU\\_IG7TDY](https://youtu.be/qeHU_IG7TDY) <https://youtu.be/MDBuO2N9-fw>
  - Install 2- 8"x8"x10' Columns
  - Temporarily support the joists to remove and replace 8"x12"x10' beam
  - Frame-in the west wall (approx. 30')
    - 2"x6"x10' studs
    - Frame an inch and a half away from the concrete wall to allow for waterproofing spray insulation
  - Frame in the electrical panel box
  - Replace 3 windows
- Electrical: <https://youtu.be/y12CC1P8gQ>
  - New wall outlets every 6' to 8' apart
- Plumbing: <https://youtu.be/-xknE1bnT18>
  - Floor drains need to be capped:
    - 3 Toilets
    - 1 Cleanout
    - 1 Vent
    - 1 Drain
  - Reroute plumbing in the north wall
  - Install a standard, commercial-grade sink on east wall
- Fire Sprinkler: <https://youtu.be/5t6mte6e0Y>
  - Reroute 4" sprinkler line on west wall to clear the window
  - Raise the 2" lines into the joists above
  - Add a 90-degree elbow to reroute pipes into joists above in northeast corner
- Drywall: <https://youtu.be/gBw71f8s>
  - Working on 140 feet of wall
  - Replace drywall on south wall about half-way up from the floor
  - Replace drywall on west wall about half-way up from the floor
  - Drywall entire north and east walls
    - Leave existing drywall on south and east walls in place
- Millwork: <https://youtu.be/1FE6UW7x18>
  - Frame the new windows' trim matching to the existing windows' trim from the south wall
  - Wrap the following windows:
    - 1 on the west wall
    - 2 on the north wall
    - 2 on the east wall
  - Install new base trim
    - 140 feet of wall
  - Reinstall the existing trim on 4 windows on the south wall
- Metal Work: <https://youtu.be/4RQ2wG0EwY>
  - Want the grates installed so they go in with the windows
    - 2- 44" long X 26" tall
    - 1- 89.5" long X 24" tall



BASEMENT PLAN  
scale 1/4" = 1'-0"

- PLUMBING REVISION
- FIRE LINE REVISION



WINDOW DETAIL @ NEW WALL FRAME  
SCALE 1/2" = 1'-0"