

# Development Services

## From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Hold for Additional Information

**Appeal ID:** 20489

**Project Address:** 1510 NE 37th Ave

**Hearing Date:** 6/12/19

**Appellant Name:** Kevin Cooley

**Case No.:** B-003

**Appellant Phone:** 360-773-5130

**Appeal Type:** Building

**Plans Examiner/Inspector:** Robert Keal

**Project Type:** commercial

**Stories:** 2 **Occupancy:** M **Construction Type:** III-B

**Building/Business Name:** Cross Mini Golf

**Fire Sprinklers:** Yes - Basement

**Appeal Involves:** other: Change of use from retail to miniature golf

**LUR or Permit Application No.:** 19-157844-CO

**Plan Submitted Option:** pdf [File 1]

**Proposed use:** retail and miniature golf

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 1004.1.2

**Requires** A miniature golf facility most closely fits an A3 occupancy definition, amusement arcade or bowling alley, but Table 1004.1.2 does not give specific direction in determining the occupancy load of a miniature golf facility. The exception to 1004.1.2, when approved by the building official, allows the use of an actual occupant count in lieu of an area calculation for determination of the design occupant load.

**Proposed Design** We will limit the number of holes to twelve. Therefore, a calculation of four occupants per hole yields total occupant load of 48 in the miniature golf area.

**Reason for alternative** The miniature golf holes will occupy a portion of the area that was formerly occupied by the Mountain Shop, a sporting goods retailer. The miniature golf use will be a less intensive use of the space than the former retail use, and the low nature of the golf holes will allow improved visibility in the space. The four occupants per hole calculation was allowed by Appeal ID 3849. If we used an occupant load of 15 square feet per occupant for the 2470 square feet of the miniature golf area, it would result in almost 14 occupants per hole. All of the holes will be accessible as defined by ICC A117.1-2009.

### APPEAL DECISION

**Reduction in occupant load based on the intended function of the space: Hold for additional information. Appellant may contact John Butler (503 823-7339) with questions.**

Kevin Cooley, Architect  
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# Curtis Building

FIRST FLOOR CHANGE OF USE  
 CROSS MINI GOLF  
 1510 NE 37TH AVENUE  
 PORTLAND, OR 97212

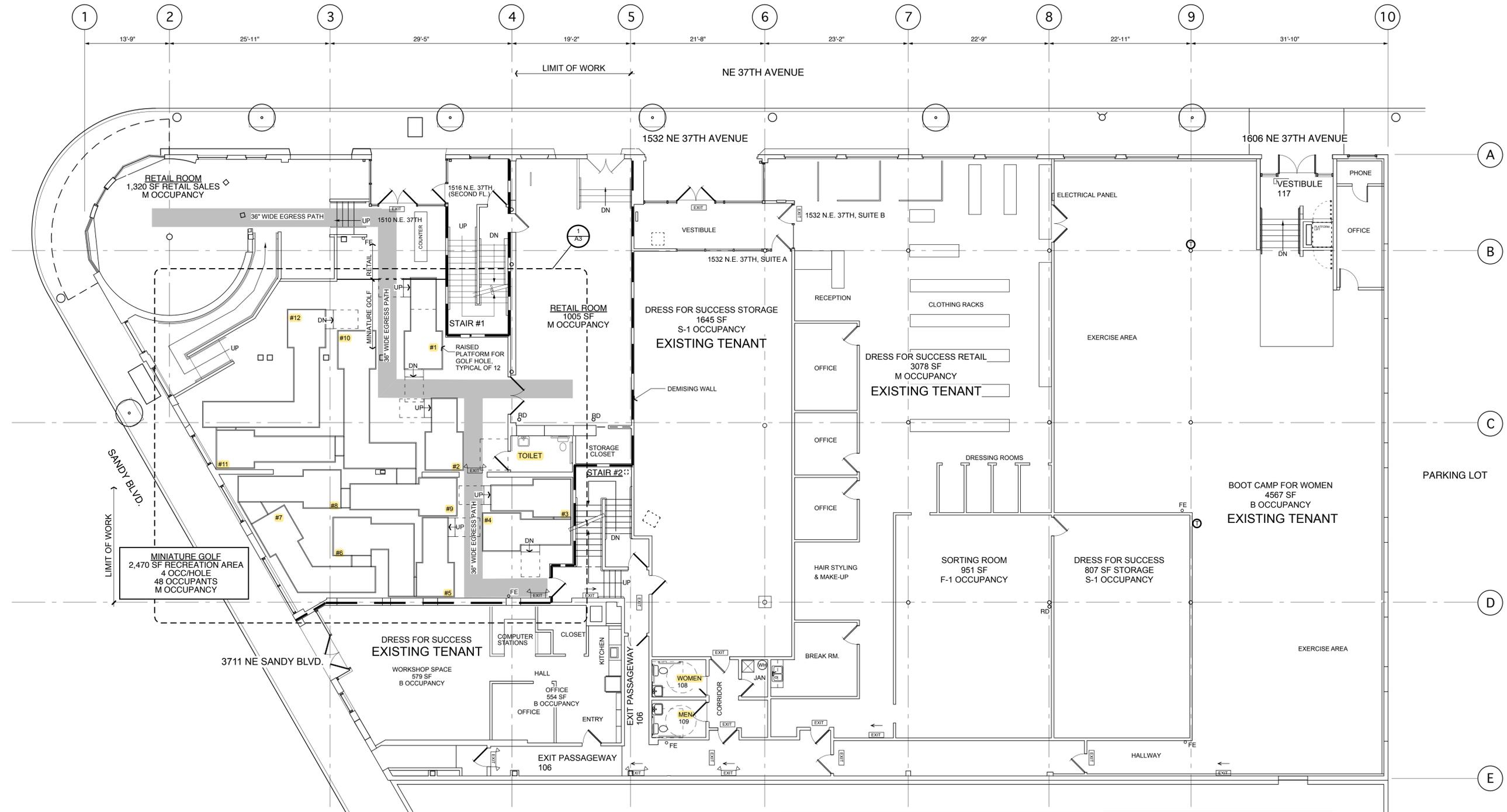
Owner: 3701 Investors LLC  
 3514 NE US Grant Place  
 Portland, OR 97212  
 (503) 206-1071

Dates/Revisions:  
 5/9/19  
 6/5/19



FIRST FLOOR /  
 SITE PLAN

Sheet Number:  
**A2**  
 1904



**LEGEND:**

	DEMISING WALL, EXISTING
	FIRE EXTINGUISHER, EXISTING, VERIFY
	INTERNALLY ILLUMINATED EXIT SIGN W/ BATTERY BACK-UP, EXISTING, VERIFY
	INTERNALLY ILLUMINATED EXIT SIGN W/ BATTERY BACK-UP & EMERGENCY LIGHTING, EXISTING, VERIFY
	EGRESS PATH

**NOTES**

- EXIT PASSAGEWAY & RESTROOMS 108 & 109 WERE INSTALLED UNDER PERMIT #05-118192-000-00-CO.

**1** FIRST FLOOR PLAN / SITE PLAN  
 1/8" = 1'-0"

