

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 20528	<b>Project Address:</b> 3111 SE Powell Blvd
<b>Hearing Date:</b> 6/12/19	<b>Appellant Name:</b> Ben Austin
<b>Case No.:</b> B-020	<b>Appellant Phone:</b> 503-221-1131
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Tara Carlson
<b>Project Type:</b> commercial	<b>Stories:</b> 1 <b>Occupancy:</b> A-3 <b>Construction Type:</b> V-B
<b>Building/Business Name:</b> Cleveland High School	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Erection of a new structure	<b>LUR or Permit Application No.:</b> 18-235526-CO
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> baseball practice facility

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 2902.3.2

**Requires** 2902.3.3 requires that a restroom be located within the building.

**Proposed Design** The proposed building is a baseball practice facility. No restroom facilities are proposed within the new building. The building is located on the existing Cleveland High School Field site and within 500 feet of the existing restrooms located in the grandstands. See attached plan showing location and route to restrooms. The proposed practice facility building will replace existing outdoor practice space that currently utilizes the restroom facilities within the grandstands. The occupancy of the proposed baseball practice facility is 120. See table in attachment for required restroom fixtures per table 2902.

See attached plan of the existing restroom facilities in the grandstands. This facility satisfies the requirement for the number of fixtures for the proposed building. The bathrooms located in the grandstand will be open and available for use when the baseball practice facility is occupied. The route from the proposed building to the restrooms is ADA accessible. The proposed building use will not overlap with events at the field. See separate code appeal related to the shared use of the bathrooms.

**Reason for alternative** The function of the proposed building is to provide covered practice space at the Cleveland High School Field. Plumbing bathrooms into this space is not practical and is not consistent with the typical design of an indoor baseball practice facility. The bathrooms located in the grandstands and the field house currently serve all practice use of the Cleveland High School Field. The distance from the farthest point in the building to the restrooms is 206 feet which will provide equivalent alternative access to restroom facilities

**Appeal item 2**

<b>Code Section</b>	2902.1.1
<b>Requires</b>	2902.1.1 identifies the number of fixtures required. Per coordination with plans examiner, the total number of fixtures must accommodate both uses.
<b>Proposed Design</b>	As identified in the building code appeal of 2902.3.2, the proposed restroom facilities for the baseball practice facility are located in the adjacent grandstand for the Cleveland High School Field. The existing grandstand has adequate restroom facilities for the proposed baseball practice facility, but does not have adequate facilities for all uses on the site. The proposed practice facility building will replace existing outdoor practice space that currently utilizes the restroom facilities within the grandstands. The proposed building use will not overlap with events at the field. This appeal is requesting an exception to allow the overall number of restroom fixtures to be less than the code required.
<b>Reason for alternative</b>	<p>There are two buildings on the Cleveland High School Field property that have restroom facilities. The Cleveland High School main campus has additional restroom facilities but is located several blocks from the field. The attachment includes a breakdown of the required number of restroom fixtures by building along with the required number of restroom fixtures based on the use. Note that the project proposes to restore the use of the women's facilities within the field house which were converted to storage.</p> <p>Based on the attached analysis, the existing overall site is deficient in female water closets. The addition of the proposed building increases the female water closet deficiency by one fixture but does not create any additional deficiencies.</p>

**APPEAL DECISION**

**1. Grandstand toilet facilities to serve baseball practice structure: Granted as proposed.**

**2. Reduction in minimum required number of plumbing fixtures serving the Field property: Granted as proposed.**

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.



APPEALS  
City of Portland  
Bureau of Development Services  
1900 SW 4<sup>th</sup> Ave., Suite 5000 (5<sup>th</sup> floor)  
Portland, Oregon 97201  
(503) 823-7335

## Building Code Appeal Form (Project Information Sheet)

# BLD

### To Appellant:

These forms must be filled out completely. If you need assistance, consult with the Plans Examiner or Inspector assigned to your project or with a Plans Examiner in the Development Services Center. Details of each appealed item must be included, and drawings must be submitted that clearly indicate the area and the conditions of each appealed item. Supplemental information such as photos, test data, etc., can be helpful if they are pertinent to the appealed item. Each appealed item requires a separate Appeal Information Sheet. As many items as desired may be submitted with one Project Information Sheet.

The fee, relevant drawings (**exclusive of any plans submitted for permit processing**) and any supplemental information must be submitted with these forms. Checks are to be made payable to "Treasurer, City of Portland". Fees are listed below:

**\$227 for one and two family dwellings**  
**Plus \$113 each for each appeal item over four**

**\$454 for all other conditions (four appeal items or less)**  
**Plus \$113 each for each appeal item over four**

**Mail or hand-delivered appeals must be received by 5:00 PM on Friday. Electronic appeals must be received by 9:00 AM on Monday.** (The fee, drawings and supplemental information for electronic appeals may be delivered separately by 9:00 AM on Monday.) In most cases, appeals submitted by these deadlines will be considered the following Wednesday. However, an appeal may be deferred to a later date depending on the number of appeals scheduled, the complexity of the appeal, or other unforeseen factors. Appeal decisions are mailed and are also usually available the following day at [http://www.portlandonline.com/bds/index.cfm?c=34196#cid\\_105495](http://www.portlandonline.com/bds/index.cfm?c=34196#cid_105495), or by calling the Appeal Board Support Staff at (503) 823-7335.

### Project Information (questions in **BOLD** cannot be left blank):

#### **This appeal involves** (check at least one below)

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Erection of a new structure | <input type="checkbox"/> Change of Occupancy: from _____ to _____ |
| <input type="checkbox"/> Alteration of an existing structure    | <input type="checkbox"/> Other (specify): _____                   |
| <input type="checkbox"/> Addition to an existing structure      | <input type="checkbox"/> Reconsideration of Appeal ID # _____     |

**Proposed Use of Structure** (e.g., single-family dwelling, office, etc.) \_\_\_\_\_

**Project Street Address** 3111 SE Powell Blvd

**Owner Name** School District No 1 **Company** \_\_\_\_\_

**Address** PO Box 3107 **City** Portland **State** OR **Zip** 97208

**Phone** 503-784-5220 **Email** \_\_\_\_\_

#### **Related Permit Application #, LUR Case #, or if none, check Preliminary**

**Permit #** 18-235526 **LUR Case #** \_\_\_\_\_ ☐ Preliminary

**Number of stories** 1 **Occupancy Group** A-3 **Construction Type** V-B

**Fire Sprinklers** ☒ No ☐ Yes > Location: \_\_\_\_\_

**Plans Examiner/Inspector assigned to project** Tara Carlson

I am the property owner, or the property owner's agent. In accordance with City Code Section 24.10.075, I am authorized to submit an appeal for an alternative material, design or method of construction or equipment or a modification to the strict interpretation of the Building Code as adopted by the City of Portland as outlined in the attached information. I hereby acknowledge that the City is not liable for any damages that result from or relate to any formal decision rendered by the City with respect to this appeal.

**Appellant Name** Ben Austin **Company** Harper Houf Peterson Righellis Inc.

**Address** 205 SE 32<sup>nd</sup> Ave **City** Portland **State** OR **Zip** 97202

**Phone** 503-221-1131 **Email** ben@hhpr.com

**Appellant signature** Benjamin R. Austin **Date** 6/6/2019



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Bureau of Development Services  
1900 SW 4<sup>th</sup> Ave., Suite 5000 (5<sup>th</sup> floor)  
Portland, Oregon 97201  
(503) 823-7335

## Building Code Appeal Form (Appeal Information Sheet)

# BLD

### To Appellant:

Each item you are appealing requires a separate Appeal Information Sheet to be filled out. All requested information is to be filled out completely with as much detail as possible. **Failure to do so may cause your appeal to be held over until adequate information is received.** For help in filling out these forms, consult with the Plans Examiner assigned to your project or with a Plans Examiner in the Development Services Center.

Any alternative method or modification of a Building Code requirement requires an appeal. A reasonable degree of equivalent health, accessibility, structural capacity, energy conservation, life safety or fire protection **must** be demonstrated before an appeal may be considered.

### Code Section being appealed:

### Regulation Requirement:

**2902.3.2**

**Proposed Design:** (Describe the alternate methods or materials of construction to be used or that exist. Be as specific as possible)

The proposed building is a baseball practice facility. No restroom facilities are proposed within the new building. The building is located on the existing Cleveland High School Field site and within 500 feet of the existing restrooms located in the grandstands. See attached plan showing location and route to restrooms. The proposed practice facility building will replace existing outdoor practice space that currently utilizes the restroom facilities within the grandstands. The occupancy of the proposed baseball practice facility is 120. See below table for required restroom fixtures per table 2902.

Baseball Practice Facility								
Use	Type	Area	Occupancy	Type	WC Ratio (M/F)	WC Req'd (M/F)	Lav Ratio (M/F)	Lav Req'd (M/F)
Practice Facility	Ex. Rm. 1/50	6000	120	A-3 Gym	125/65	0.48/0.92	200/200	0.3/0.3
Available in Grandstand						4/5		3/3

See attached plan of the existing restroom facilities in the grandstands. This facility satisfies the requirement for the number of fixtures for the proposed building. The bathrooms located in the grandstand will be open and available for use when the baseball practice facility is occupied. The route from the proposed building to the restrooms is ADA accessible. The proposed building use will not overlap with events at the field. See separate code appeal related to the shared use of the bathrooms.

**Reason for Alternate:** (Describe why the alternate is required and how it will provide equivalent health, accessibility, structural capacity, energy conservation, life safety or fire protection to what the code requires).

The function of the proposed building is to provide covered practice space at the Cleveland High School Field. Plumbing bathrooms into this space is not practical and is not consistent with the typical design of an indoor baseball practice facility. The bathrooms located in the grandstands and the field house currently serve all practice use of the Cleveland High School Field. The distance from the farthest point in the building to the restrooms is 206 feet which will provide equivalent alternative access to restroom facilities.

07/10/15

32A

Initial here



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### **Code Section being appealed:**

### **Regulation Requirement:**

**2902.1.1**

**Proposed Design:** (Describe the alternate methods or materials of construction to be used or that exist. Be as specific as possible)

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There are two buildings on the Cleveland High School Field property that have restroom facilities. The Cleveland High School main campus has additional restroom facilities but is located several blocks from the field. The following is a breakdown of the required number of restroom fixtures by building along with the required number of restroom fixtures based on the use. Note that the project proposes to restore the use of the women's facilities within the field house which were converted to storage.

Grandstand								
Use	Type	Area	Occupancy	Type	WC Ratio (M/F)	WC Req'd (M/F)	Lav Ratio (M/F)	Lav Req'd (M/F)
Bleachers	18"/occupant	n/a	1110	A-5	75/40	7.4/13.9	200/150	2.8/3.7
Concession	Kitchen 1/200	98	0.49	F-1	100/100	0		0
Press box	Business 1/100	508	5.08	B	25/25	0.1/0.1	40/40	0.06/0.06
Total						7.5/14.0		2.9/3.8
Available						4/5		3/3

Field House								
Use	Type	Area	Occupancy	Type	WC Ratio (M/F)	WC Req'd (M/F)	Lav Ratio (M/F)	Lav Req'd (M/F)
Lockers	Dorm 1/50	966	50	R-2	10/10	1/1	10/10	1/1
Storage	Storage 1/300	375	1.25	S-1	100/100	0		0
Total						1/1		1/1
Available						6/6		3/3

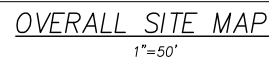
Baseball Practice Facility								
Use	Type	Area	Occupancy	Type	WC Ratio (M/F)	WC Req'd (M/F)	Lav Ratio (M/F)	Lav Req'd (M/F)
Practice Facility	Ex. Rm. 1/50	6000	120	A-3 Gym	125/65	0.48/0.92	200/200	0.3/0.3

Total								
Use	Type	Area	Occupancy	Type	WC Ratio (M/F)	WC Req'd (M/F)	Lav Ratio (M/F)	Lav Req'd (M/F)
Existing						8.5/15		3.9/4.8
Proposed						1/1		1/1
Total						10/16		5/6
Available						10/11		6/6

Based on the above analysis, the existing overall site is deficient in female water closets. The addition of the proposed building increases the female water closet deficiency by one fixture but does not create any additional deficiencies.



## PORTLAND, OREGON



SW 1/4 OF SECTION 12  
TOWNSHIP 1 SOUTH  
RANGE 1 EAST  
WILLAMETTE MERIDIAN  
TAX LOT 200,4000  
PORTLAND, OREGON

OWNER:

PORTLAND PUBLIC SCHOOLS  
501 NORTH DIXON ST.  
PORTLAND, OREGON 97227  
CONTACT: STEVE SIMONSON  
PH: (503) 916-3199  
EMAIL: SSIMONSON@PPS.NET

ENGINEER:

HARPER HOUF PETERSON RIGHELLI INC.  
205 S.E. SPOKANE STREET, SUITE 200  
PORTLAND, OREGON 97202  
CONTACT: BEN AUSTIN, P.E.  
PH: (503) 221-1131  
EMAIL: BENA@HHPR.COM

## INDEX TO DRAWINGS

<u>SHT. NO.</u>	<u>TITLE</u>		
0.1	COVER SHEET	C1.0	NOTES
1.0	GENERAL NOTES	C2.0	SITE PLAN
2.0	ELEVATIONS	C3.0	GRADING PLAN
3.0	FLOOR PLANS	C4.0	UTILITY PLAN
4.0	SECTIONS	C5.0	DETAILS
S1.0	STRUCTURAL NOTES	C6.0	LANDSCAPE PLAN
S2.0	STRUCTURAL PLANS		
S2.1	STRUCTURAL PLANS		

COVER SHEET

CLEVELAND HS BASEBALL FACILITY  
PORTLAND, OREGON



**Harper  
Houf Peterson  
Righellis Inc.**

ENGINEERS+PLANNERS  
LANDSCAPE ARCHITECTS+SURVEYORS

05 SE Spokane Street, Suite 200, Portland, OR 97202  
phone: 503.221.1131 www.hhpr.com fax: 503.221.1171



						DESIGNED:	BRA
						DRAWN:	HHPR TEAM
						CHECKED:	HHPR TEAM
DATE	NO.	DESCRIPTION					
R	E	V	I	S	O	N	S
							5/8/2018

SHEET NO.

# 0.1

JOB NO.	
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CHS-03





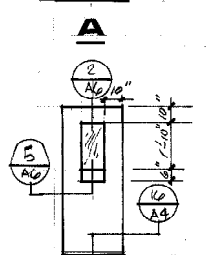
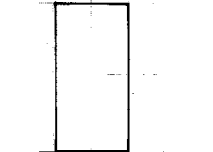
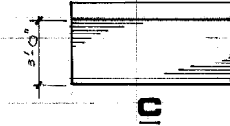
SHEET A3 NOTES

- 1 4" CONC. SLAB WITH 5 X 5 W1.4 X W1.4 WWF OVER GRANULAR BASE. BROOM FINISH.
- 2 4" CONC. SLAB WITH 5 X 5 W1.4 X W1.4 WWF OVER 2" SAND, 6 MIL VISQUEEN, 6" GRANULAR BASE. STEEL TROWEL FINISH.
- 3 SLOPE CONCRETE SLAB GRADUALLY TO URINAL OR FLOOR DRAINS.
- 4 8" C.M.U. WALL W/85 VERT. @ 32" O.C. & 85 HORIZ. AT 48" O.C., 2 - #5 VERT. @ JAMBS, 2 - #5 HORIZ. @ TOP, BOT. & FLOOR ANCHORAGE, #5 @ 14" AT CORNERS. GROUT FIRST TWO CELLS.
- 5 3" ABS DOWN SPOUT.
- 6 ALUMINUM BLEACHERS WITH SUPPORT SYSTEM. PROVIDE:
- 7 LANDING AND STAIR TO PRESS BOX.
- 8 GUARDRAIL AT SIDES AND TOP OF STADIUM WITH CHAIN LINK FENCING.
- 9 GALVANIZED STEEL STRINGERS AT 5'-0" O.C.
- 10 ONLY, BEAM AND COLUMN SUPPORTS, WITH BOLTED CONNECTIONS.
- 11 CLOSED-DECK ALUMINUM RISERS AND DECK TREADS WITH INTERMEDIATE STAIR AT ISLES.
- 12 18" ROUND CONCRETE PEDESTAL WITH 4 - #6 DOWELS VERTICAL WITH #3 TIES AT 6" O.C.
- 13 FOOTING REINFORCING: SEE FOOTING SCHEDULE.
- 14 2 1/4" SOLID C.M.U. CAP.
- 15 8" SPLIT FACE C.M.U. PROVIDE 8 X 8 X 8 AT 16" COLUMNS AND 8 SCALLOPING ABOVE, AND RUNNING BOND ELSEWHERE.
- 16 8" STD. C.M.U. PROVIDE 8 X 8 X 8 AT DETAIL AND SCALLOPING OVER COLUMNS AND RUNNING BOND ELSEWHERE.
- 17 ALTERNATE ROW OF SPLIT FACE C.M.U. WITH STD. C.M.U. AT TOP 8 COURSES ON SO., NO. AND WEST ELEVATIONS, AND 9 COURSES ON EAST ELEVATION.
- 18 16" X 16" C.M.U. COL. WITH 4 - #6 VERT. WITH #3 TIES @ 8" O.C. EXTEND REINFORCING TO TOP OF 8" X 32" BEAM.
- 19 ALUMINUM WINDOW WITH 1/4" LAMINATED SAFETY GLASS.
- 20 HOLLOW METAL DOOR AND FRAME SET IN MASONRY CONSTRUCTION. GROUT FRAME FULL.
- 21 8" X 24" GROUTED BEAM W/2 - #6 HORIZ. @ TOP & BOT. WITH #4 @ 8" O.C. FULL LENGTH.
- 22 8" X 32" GROUTED BEAM W/2 - #5 HORIZ. @ TOP & BOT. WITH #4 @ 8" O.C. FULL LENGTH GROUT IN 4 LIFTS.
- 23 ELECTRIC METER.
- 24 ELECTRIC PANEL WITH LOCK.
- 25 3" @ 24" DOWN SPOUT.
- 26 4" C.M.U. WITH #4 VERT. @ 32" O.C. AND #4 HORIZ. @ 48" O.C.
- 27 TOILET PARTITION SYSTEM.
- 28 2 - #5 VERT. IN GROUTED CELLS @ 5'-0" O.C. @ BLEACHER STRINGER SPACING.
- 29 8" X 16" C.M.U. COLUMN WITH 4 - #6 VERT. TO FOOTINGS, WITH #3 @ 8" TIES @ 8" O.C.
- 30 8" X 24" C.M.U. COLUMN WITH 4 - #6 VERT. TO FOOTINGS, WITH #3 @ 8" TIES @ 8" O.C.
- 31 4" VENT PIPE.
- 32 2 - #5 IN GROUTED CELL.
- 33 18" COUNTER.

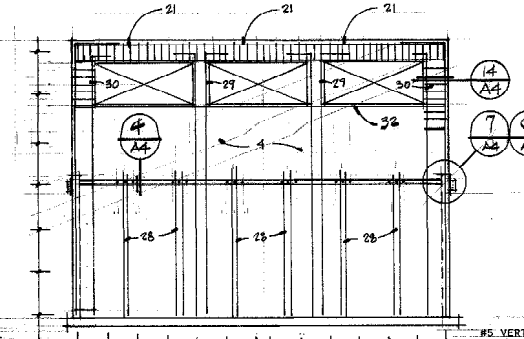
DOOR SCHEDULE

DOOR MARK	SIZE	DR. TYPE/MATERIAL	FR. TYPE/MATERIAL	HWDR. GRP.	HEAD	DETAILS JAMB	THRES.
1	STADIUM						
2	3'-0" X 7'-0" X 1 3/4"	A-HM	7 3/4-HM	A	11/A4	11/A4-S	12/A4
3	3'-0" X 7'-0" X 1 3/4"	A-HM	7 3/4-HM	A	11/A4	11/A4-S	12/A4
4	3'-0" X 6'-8" X 1 3/4"	A-HM	7 3/4-HM	B	11/A4	11/A4	16/A4
5	FIELD HOUSE (ALTERNATE F)						
6	3'-6" X 6'-8" X 1 3/4"	A-HM	7 3/4-HM	C	1/A6	1/A6	12/A4
7	3'-6" X 6'-8" X 1 3/4"	A-HM	7 3/4-HM	C	1/A6	1/A6	12/A4
8	3'-0" X 6'-8" X 1 3/4"	A-HM	7 3/4-HM	D	1/A6-S	1/A6-S	-
9	2'-8" X 7'-0" X 1 3/4"	B-HM	5 3/4-HM	E	2/A6	2/A6-S	16/A4
10	2'-8" X 7'-0" X 1 3/4"	B-HM	5 3/4-HM	E	2/A6	2/A6-S	16/A4
11	CONCESSION STAND (ALTERNATE B)						
12	3'-0" X 7'-0" X 1 3/4"	A-HM	5 3/4-HM	F	2/A6-4"	2/A6-S	16/A4
13	7'-8" X 3'-0"	C-AL	3 1/2-AL	-	3/A6	-	-
14	7'-8" X 3'-0"	C-AL	3 1/2-AL	-	3/A6	-	-

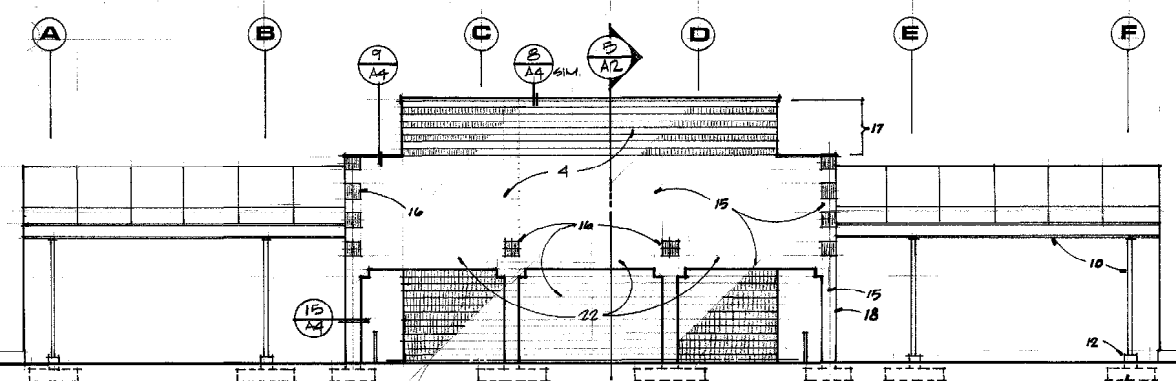
LEGEND:  
HM HOLLOW METAL  
AL ALUMINUM  
S SIMILAR  
DR DOOR  
FR FRAME  
HWDR HARDWARE GROUP



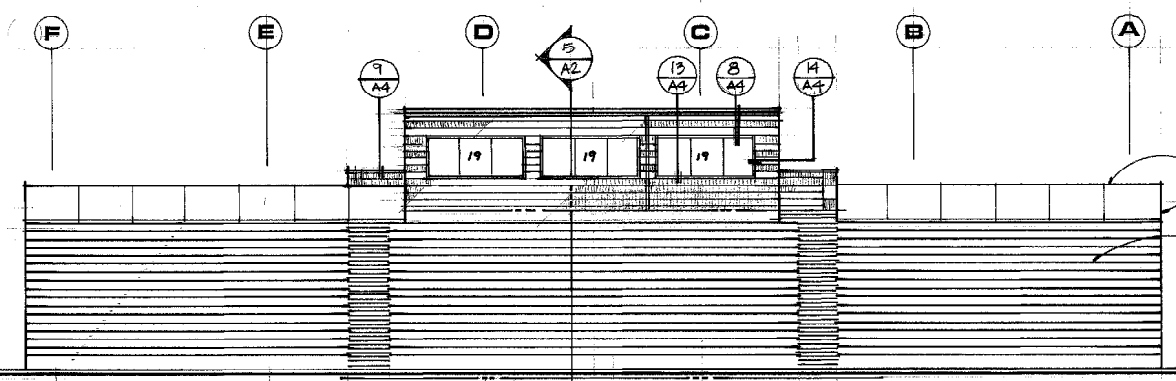
DOOR TYPES



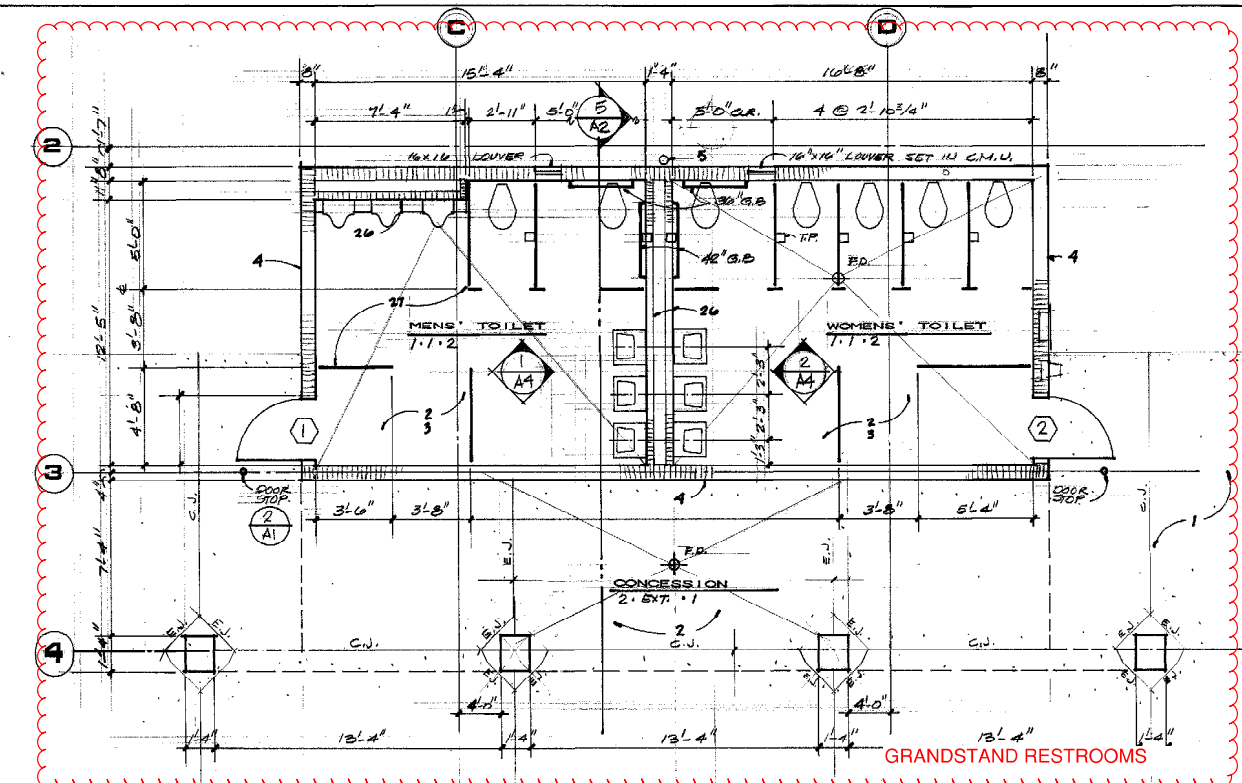
7 SHEAR WALL ELEVATION  
1/8" = 1'-0"



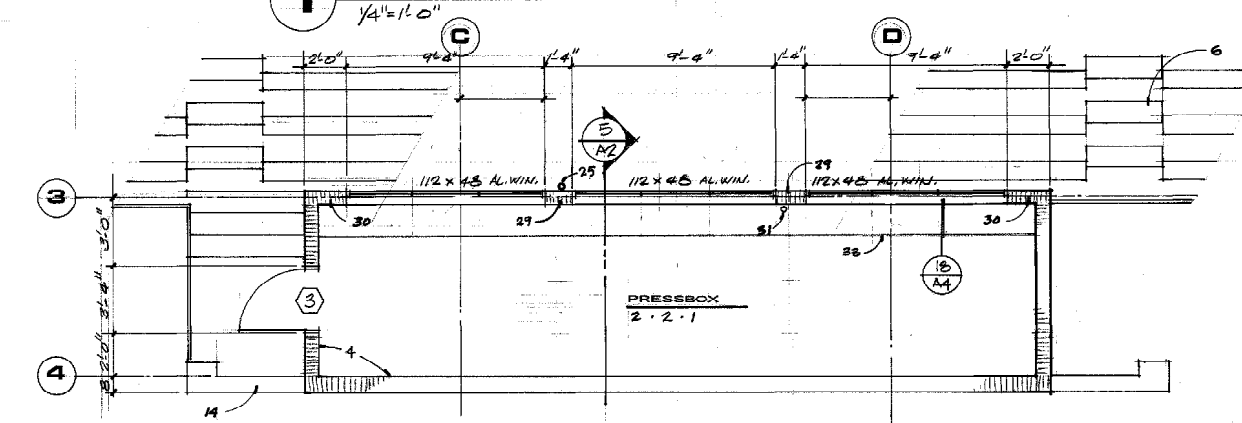
3 WEST ELEVATION  
1/8" = 1'-0"



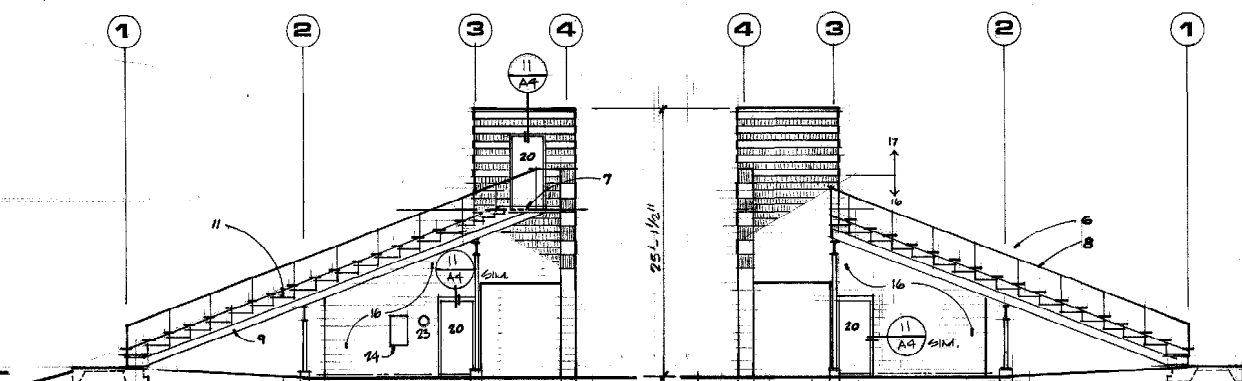
4 EAST ELEVATION  
1/8" = 1'-0"



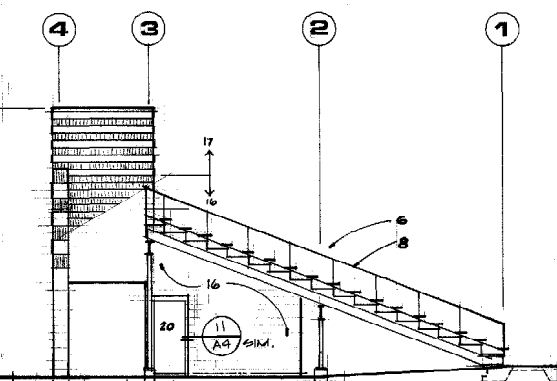
1 PARTIAL FLOOR PLAN  
1/4" = 1'-0"



2 SECOND FLOOR PLAN  
1/4" = 1'-0"



5 NORTH ELEVATION  
1/8" = 1'-0"



6 SOUTH ELEVATION  
1/8" = 1'-0"

CLEVELAND  
HIGH SCHOOL  
STADIUM  
PORTLAND PUBLIC SCHOOLS

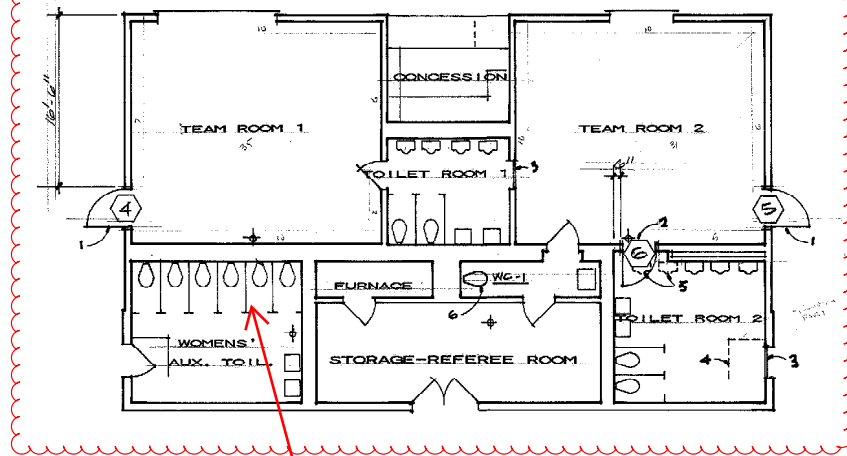


HAMBLIN HATTAN  
ARCHITECTS AIA  
1122NE 122ND, SUITE B111  
PORTLAND, OR 97230  
PHONE: 503-257-7332



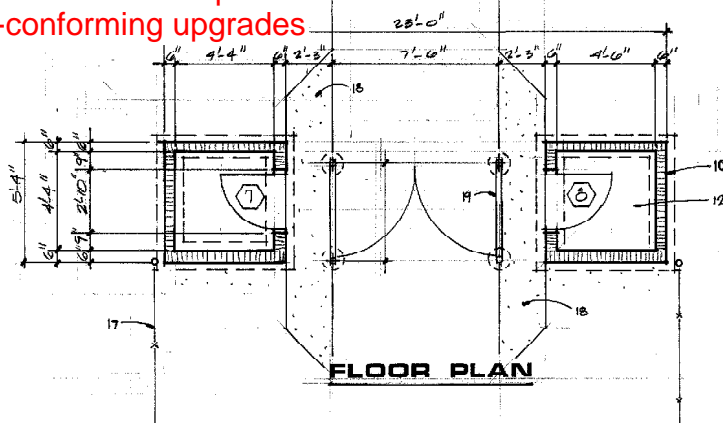
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DATE: APR. 30, 1990  
REVISION:  
RECORD DRAWINGS  
MAY 1991  
SHEET NO.

# FIELDHOUSE RESTROOMS

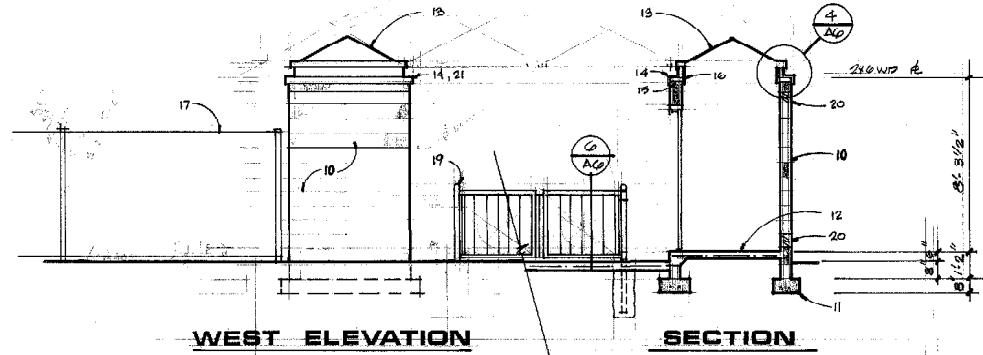


The existing women's facilities have been converted to storage. The project proposes to restore these restrooms as part of non-conforming upgrades.

## HOUSE ALTERATION PLAN ALTERNATE F - NOT BUILT -



### FLOOR PLAN



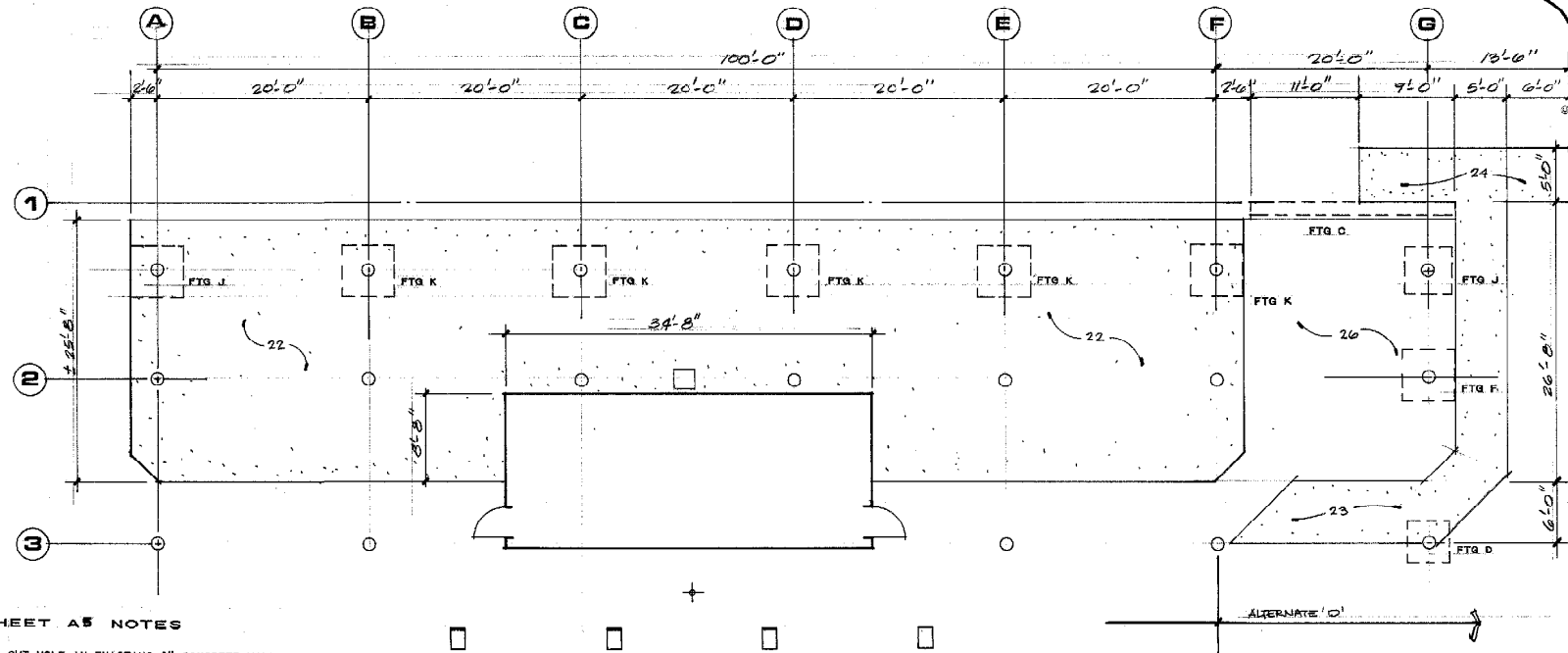
### WEST ELEVATION

### SECTION

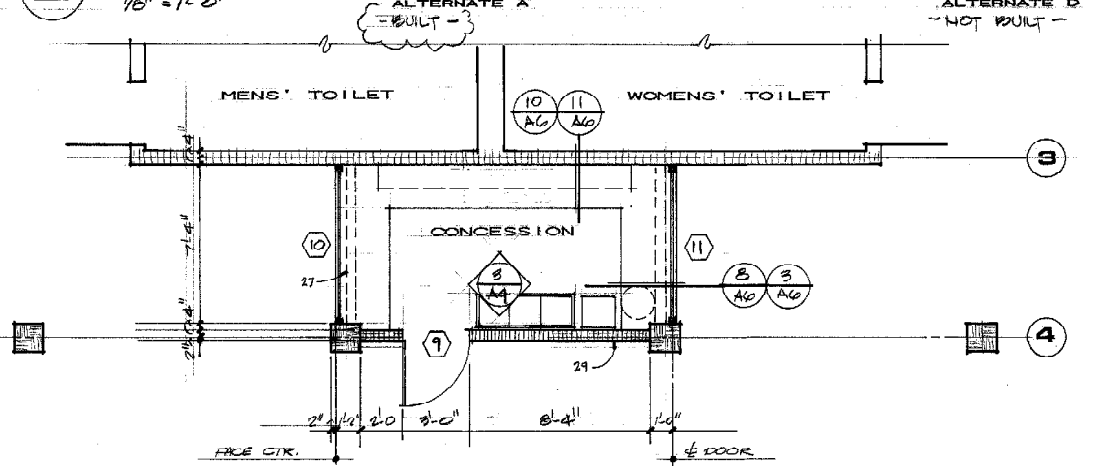
## TICKET BOOTH PLANS AND ELEV. 1/4" = 1'-0"

### SHEET A5 NOTES

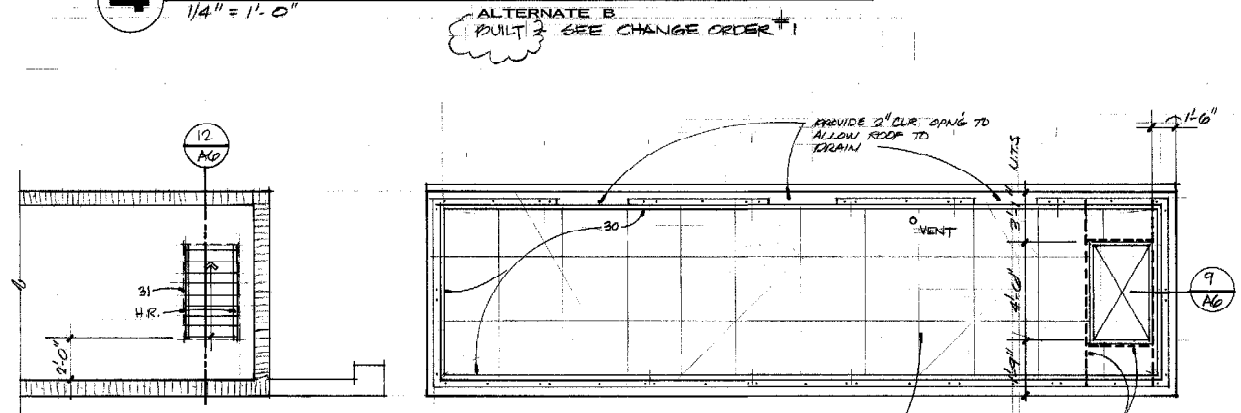
1. CUT HOLE IN EXISTING 8" CONCRETE WALL AND INSTALL NEW HOLLOW METAL DOOR AND FRAME. PATCH TO MATCH ADJACENT SURFACES & PAINT.
2. CUT HOLE IN (E) 6" CONC. AND 4" C.M.U. CHASE WALLS. INSTALL HOLLOW METAL DOOR AND FRAME. PATCH AND INFILL TO MATCH ADJACENT SURFACES AND PAINT.
3. EXISTING DOOR TO BE LOCKED SHUT.
4. REMOVE (E) METAL PARTITION @ DOOR.
5. REMOVE 2 URINALS AND RECONNECT PLUMBING AT REMAINING URINALS AS REQUIRED. INFILL AND PATCH AS REQUIRED TO MATCH ADJACENT SURFACES AND PAINT.
6. INSTALL NEW WATER CLOSET. 6" W. 2" V.P.E., 1/2" C.W.
7. NOT USED
8. NOT USED
9. NOT USED
10. 6" C.M.U. WITH #4 VERT. @ 32" O.C. & 48" O.C. HORIZ.
11. 8" X 12" FOOTING WITH 2 - #4 CONT. & #4 DOWELS @ 32" O.C. TO MATCH WALL REINFORCING
12. 4" CONC. SLAB WITH 6 X 6 W1.4 X W1.4 WWF. TURN DOWN SLAB AT DOORWAYS.
13. PYRAMID ACRYLIC SKYLIGHT ON 2 X 4 P.T. WOOD CHAIR.
14. 24 GA. PRE-FINISHED FLASHING, WITH CONTINUOUS CLIP.
15. 2 X 6 P.T. PLATE WITH 1/2" A.B. @ 6" FROM CORNERS.
16. 1 X 6 WOOD TRIM. PAINT TO MATCH DOOR FRAME.
17. MODIFY EXISTING CHAIN LINK FENCE. PROVIDE NEW CORNER POSTS AND EXTEND TO CORNER OF TICKET BOOTH.
18. INFILL CONCRETE WALK AT TICKET BOOTH; EXTEND 3 FEET EACH SIDE AND ANGLE 45 DEGREES BACK TO MAIN WALK.
19. 2" STD. STEEL GALV. PIPE CONTROL RAILING WITH GATE. SET VERTICALS IN 1' X 3' CONCRETE FOOTING.
20. 16" X 8" LOUVER WITH SCREEN SET IN BLOCK MODULE.
21. TURN UP FLASHING TO FORM GUTTER THAT WILL DRAIN AT SIDES OF STRUCTURE AND NOT OVER DOOR.
22. 3" - 3 1/2" CONCRETE WITH 6 X 6 W1.4 X W1.4 WWF. POUR OVER COMPACTED EARTH. PROVIDE EXPANSION JOINTS AT GRID LINES. FLOAT FINISH.
23. 4" CONCRETE WALK WITH 6 X 6 W1.4 X W1.4 WWF OVER GRANULAR FILL. BROOM FINISH. RELOCATE BAGGIE BOX WORK SOUTH WITH BLEACHER EXTENSION
24. EXTEND FRONT WALK WITH TURNED DOWN SLAB EDGE AND FOOTING FOR ADD ALTERNATE BLEACHERS.
25. NOT USED.
26. PROVIDE SLAB UNDER BLEACHER EXTENSION AS SEPARATE PRICE WITH ALT. D.
27. 8" STANDARD C.M.U. WALL BELOW CABINET.
28. STAINLESS STEEL SINK.
29. 6" STD. C.M.U. INFILL WALL WITH #4 DOWELED INTO COLUMN, HEAD, AND SLAB AT 24" O.C. TYP.
30. 2" GALV. T.S. GUARD RAIL. 42" HIGH.
31. STEEL SHIPS LADDER WITH GRATED STAIR TREADS TO ROOF DECK.
- 32.



## RAT SLAB AND FOOTINGS & BLEACHER EXTENSION PLAN 1/8" = 1'-0"



### CONCESSION FLOOR PLAN 1/4" = 1'-0"



### PARTIAL SECOND FLOOR PLAN

### ROOF PLAN

## SCUTTLE TO ROOF 1/4" = 1'-0"

**CLEVELAND**  
**HIGH SCHOOL STADIUM**  
**PORTLAND PUBLIC SCHOOLS**

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