

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Mixed Decision. Items 1 and 2: Decision Rendered. Item 3: Hold for Additional Information - Held over from ID 18892 (1/23/19) for additional information

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| Appeal ID: 20429 | Project Address: 8212 N Denver Ave |
| Hearing Date: 5/22/19 | Appellant Name: Jeff Dood |
| Case No.: B-012 | Appellant Phone: 503-753-1919 |
| Appeal Type: Building | Plans Examiner/Inspector: Preliminary |
| Project Type: commercial | Stories: 2 Occupancy: B AND R-2 Construction Type: V-N |
| Building/Business Name: N/A | Fire Sprinklers: Yes - Full |
| Appeal Involves: Alteration of an existing structure | LUR or Permit Application No.: |
| Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] | Proposed use: B and R-2 |

APPEAL INFORMATION SHEET

Appeal item 1

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| Code Section | 202, Existing structure |
| Requires | <p>This is two-story structure with R-2 apartments on the second floor, and retail on the ground level.</p> <p>There had been a dispute about the number of existing units for this building on the 2nd floor. There is a clearly documented, approved, and finaled permit and set of plans on record showing that brought the floor from 16 units down to 12 units (00-150160). The scope of work was completed and this plan also matches up to the current conditions of the building.</p> <p>However there was an obscure poorly documented revision with very minimal records and no definitive plans that proposed 8 units. This has created some confusion.</p> <p>But upon further review of the records by the inspections department, myself, and others, subsequent approved and finaled plans were located for a Fire Protection System permit that clearly show 12 units. S011329 is the most clear inspection record noting 12 units on the 2nd floor. Issued on 8/23/10, and having final inspection approval on 6/7/02, its the most recent approved permit that documents and substantiates 12 units.</p> <p>So I have been instructed to get an appeal at this point so an official confirmation of 12 units can be on record.</p> |
| Proposed Design | SEE ABOVE |
| Reason for alternative | SEE ABOVE |

Appeal item 2

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| Code Section | OSSC SECTION 107 |
| Requires | <p>OSSC Section 107</p> <p>“...construction documents shall be prepared by a registered design professional”</p> <p>OSSC Section 107 - Exception 2</p> <p>“....not required for the following work, provided the building official determines that the work is not of a highly technical nature or the is no unreasonable potential risk to life and/or safety of the structure”</p> <p>OSSC Section 107 - Exception 2 - 2.1</p> <p>“.....alteration of any building.....where the resulting building has a ground area of 4000 sf or less.....20 feet to highest interior overhead finish”</p> <p>OSSC Section 107 - Exception 2 - 2.3</p> <p>“alterations or repairs that do not involve the structural parts of the building”</p> |
| Proposed Design | I would like the requirement for the drawings to be prepared by a registered design professional to be waived |
| Reason for alternative | <p>The building is only 2 stories, and the total ground level area of the building is 4845 sf. Only 845 sf over the required 4000 sf max. The only work being proposed are 3 new apartments and an exit corridor in the back portion of the ground level. So the actual area of work for any alterations at the ground level (and the entire building) is 1700 sf, well below the 4000 sf max.</p> <p>All proposed work for the apartments is non-structural. All partitions are non-bearing partitions. No load bearing walls are being demo'd. There are no changes to the building envelope. All openings are existing and will remain unaltered.</p> <p>?</p> <p>Although unlicensed as an Architect, I have a Bachelor of Architecture degree ('89). Aside from a lot of residential projects, as far as commercial design - I have been involved in the designing, preparing the construction drawings, and obtaining building permits for dozens of multifamily, multistory, mixed use, commercial projects of varying size over the past 30 years. Many involving changes to occupancy. Everything from ADUs to 10-20 unit condo developments. As well as work on large scale hospital, office, and correctional projects working for Architecture firms during the first 5 years of that time. It has been my main career for nearly all of the that time. My name or company name can be found attached to 100's of BDS permits and records throughout that time. Most projects were remodels and fell under the 4k footprint threshold, but not always. Those that were over were generally involving only a portion of the building, and were non-structural alterations. No different than this project. So I am not new to this scope of project, or the parameters of section 107. I have never had any issue with Section 107 coming up. Which should be a testament to the level of drawings I have permitted over the years. I am not looking for any blanket waiver. I am only proposing it in hopes of it coming up on this specific project when I go for the permit.</p> <p>I believe much of the intent of Section 107 is to prevent non licensed Architects from doing work outside the limits on OTHER people's buildings, and prevent the implications there of - which makes perfect sense. However in this case, this is not someone else's building. So, much like being allowed to act as a general contractor on one's own commercial building, I should be allowed to prepare my own drawings for my own building. Especially considering my background.</p> |

Appeal item 3

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| Code Section | OSSC SECTION 1207 |
| Requires | Requires STC of 50 min at floor ceiling assembly |
| Proposed Design | <p>Existing Floor Ceiling Assembly is 3/4 wood flooring over 3/4 T&G diagonal decking, over 2 x 14 floor joists @ 16" oc, supporting a ceiling of 5/8" GWB over RC-1 resilient channels, over lath and plaster.</p> <p>Proposed Floor Ceiling Assembly is 3/8" Vinyl Plank flooring, over 3/4 wood flooring over 3/4 T&G diagonal decking, over 2 x 14 floor joists @ 16" oc, supporting a ceiling of 5/8" GWB over RC-1 resilient channels, over lath and plaster. Plus an additional new drop ceiling supported at the ends, independent and not touching the existing ceiling. This drop ceiling with be 2x10 steel joists @16 oc supporting 5/8" GWB on RC-1 resilient channels. Insulation with 3" rock wool.</p> |
| Reason for alternative | Although there is no specific testing of this assembly, it is a hybrid of several assemblies that should exceed the 50 STC requirement, and the 1 hr requirement. |

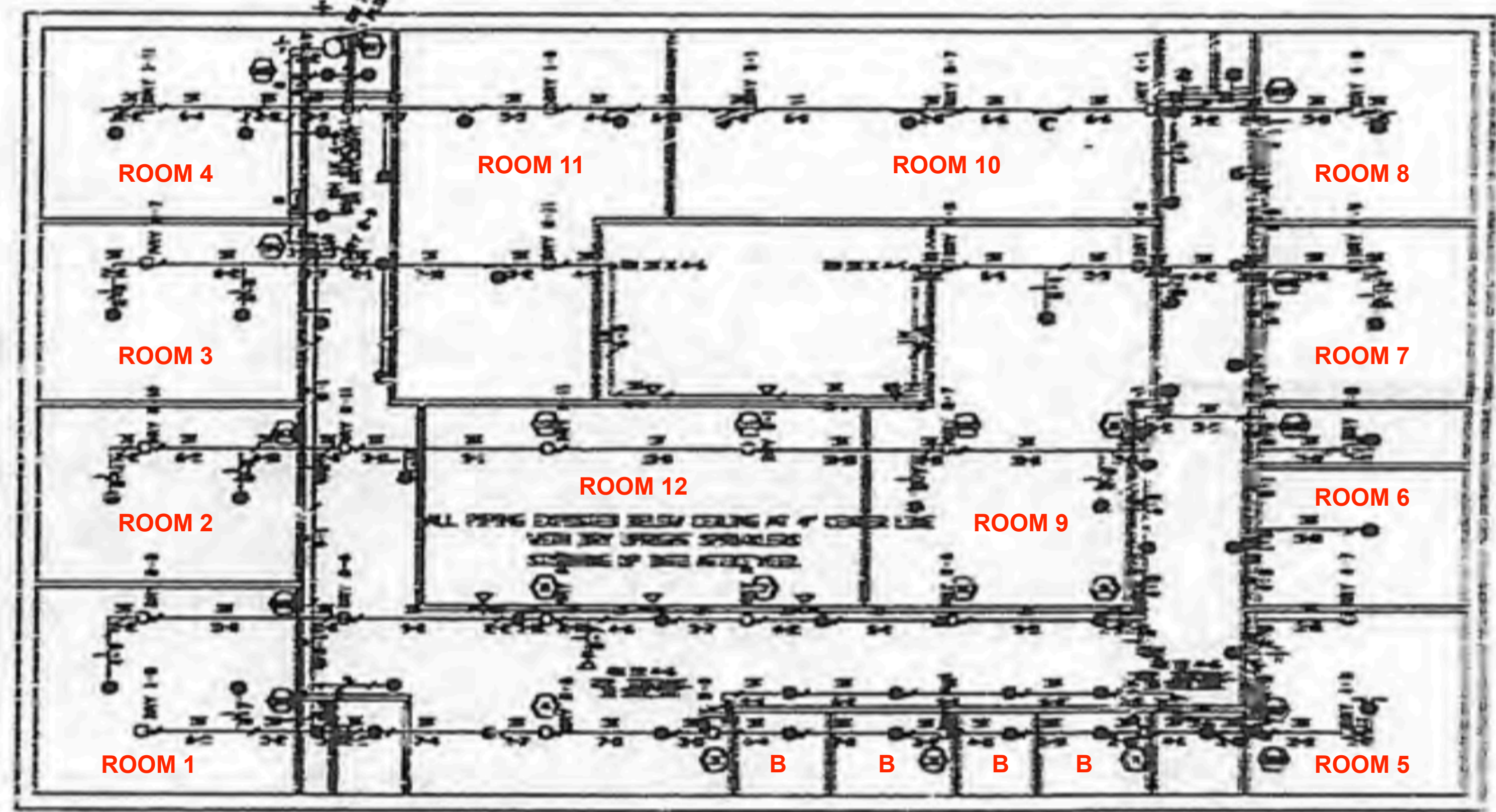
APPEAL DECISION

- 1. Determination of 2nd floor layout as existing: Granted as proposed.**
- 2. Omission of requirement for construction document preparation by a registered design professional: Denied per ORS 671.030(2)(d).**
- 3. Sound transmission ratings (STC / IIC) for 1 hour rated floor / ceiling assembly: Hold for Additional information.**

Appellant may contact John Butler (503 823-7339) with questions.

For items 1 and 2:

- 1 SOURCE
- 2 SUPPLY SIDE SERVICE CHECK VALVE
- 3 DRAINAGE SIDE SERVICE CHECK VALVE
- 4 EMERGENCY VALVE
- 5 TOP DISCHARGE VALVE
- 6 TOP FLOW FLOWMETER



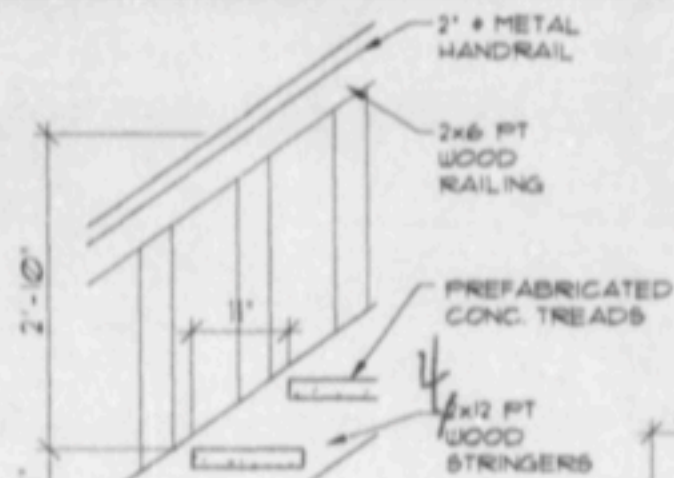
↑ NORTH

NOTES: ALL SPRINKLERS TO BE POSITIONED OVER EXISTING DECKS AND WINDOW OPENINGS
ON 30 WALLS WITH CORRESPONDING OPENINGS BELOW WATER CLOSET

NOTES: THE SPRINKLER SYSTEM IS DESIGNED TO PROTECT THE DECK AND WINDOW OPENINGS
ON 30 WALLS WITH CORRESPONDING OPENINGS BELOW WATER CLOSET
FLOW AND PRESSURE AT THIS POINT SHALL BE 100 PSI

2nd Floor/Attic





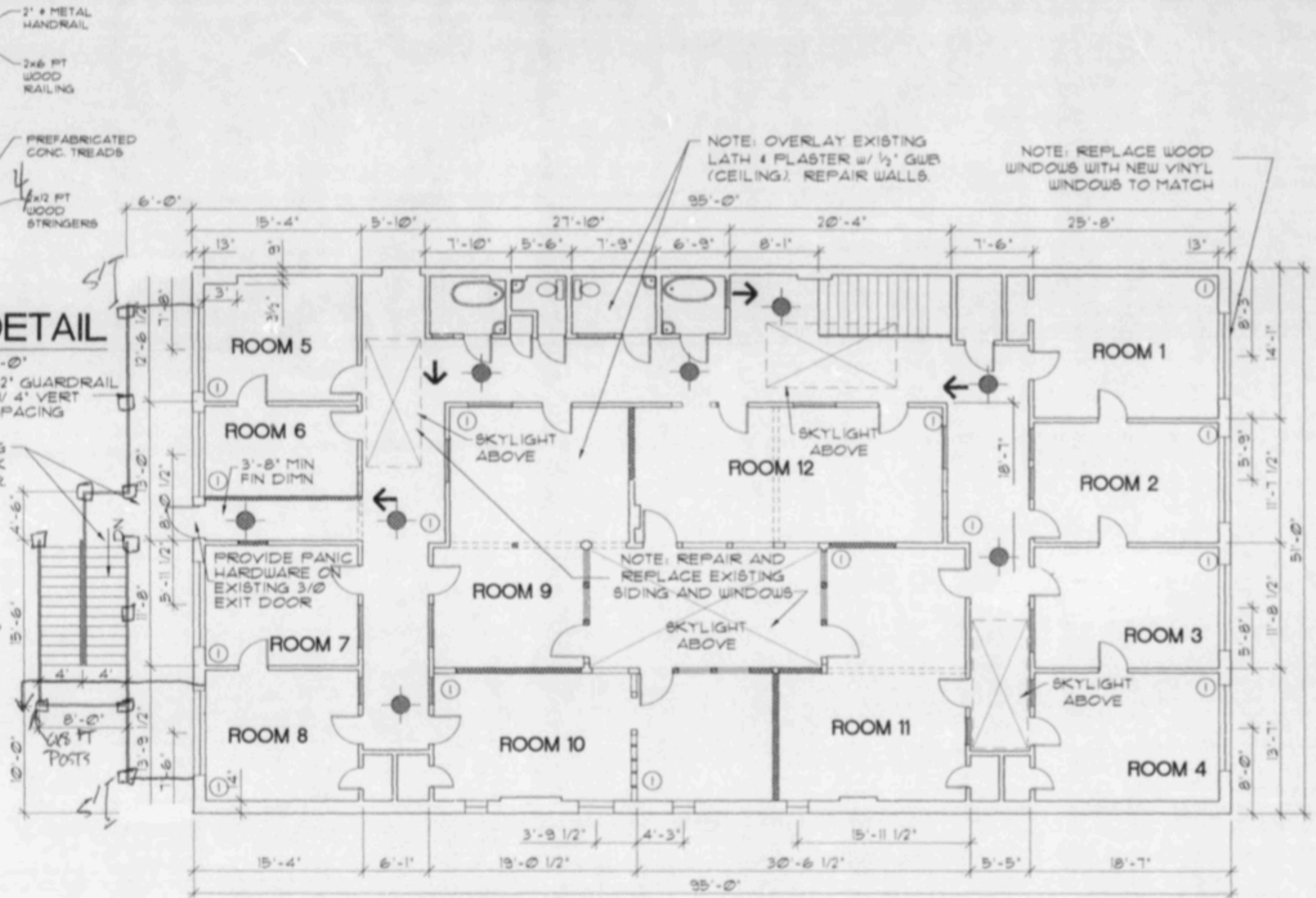
STAIR DETAIL

SCALE: 1/2" = 1'-0"

42" GUARDRAIL W/ 4" VERT SPACING

REBUILD EXISTING WOODEN REAR DECK AND EXTERIOR STAIR

2
2.3



SECOND FLOOR PLAN

1' x 10' - 0"



KENTON SUPPLY BUILDING
PORTLAND, OREGON
PMP, LLC

8212 N. DENVER AVE.
SECOND FLOOR PLAN 060600