

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Hold for Additional Information - Held over from ID 20396 (5/15/19) for additional information

Appeal ID: 20419

Project Address: 2446 NW 28th Ave

Hearing Date: 5/22/19

Appellant Name: Andrea Young

Case No.: B-007

Appellant Phone: 5038632404

Appeal Type: Building

Plans Examiner/Inspector: David Bartley

Project Type: commercial

Stories: 1 **Occupancy:** Mixed (F-1, S-1, S-2, B)

Construction Type: V-B

Building/Business Name:

Fire Sprinklers: Yes - Throughout building

Appeal Involves: Reconsideration of appeal

LUR or Permit Application No.: 17-229160-CO

Plan Submitted Option: pdf [File 1] [File 2] [File 3]
[File 4]

Proposed use: Mixed Use

APPEAL INFORMATION SHEET

Appeal item 1

Code Section

OSSC 716.5

Requires

OSSC 716.5: Per table 716.5, the minimum fire door and fire shutter assembly rating for "other fire barriers" is ¾ hour. Sidelight/transom also required to be ¾ hour.

Proposed Design

RECONSIDERATION – In the original plans submitted to the city for review, the entire back space (reference project description on Code Summary, A0.11, for more information AND highlighted area on A2.01 for the extent of approved tenant area) was classified as F-1. Life Safety Checksheet from 10/16/2017 (reference reconsideration document) required ZGF to "provide an updated calculation for allowable area, using the weighted average for separated occupancies in 508.4. Only F-2 and S-2 have enough allowable area for the full floorplan in the table shown in section 8 on the Code Summary sheet." ZGF responded with updated Code Summary sheet (A0.11, reference reconsideration document) and Life Safety Plans (A0.12, reference original appeal documents) that changed the separated Entry Garage/Storage (A2.01) area to S-2 occupancy. The change of use from the original F-1 to S-2 was required so that the allowable building area met the provisions required per 508.4 Allowable Building Area for Separated occupancies. Because of the change in occupancy classification, the wall already indicated between the two spaces was changed to be 1-hour rated. Approved permit (2017-229160-CO) plans include wall with overhead door and swing door. This appeal is only requesting the water curtain as an alternate to the required rating of the overhead door (reference original text).

ORIGINAL TEXT - The door in question is located between two occupancy classifications and in a 1-hour rated dividing wall required per Table 508.4 (F-1 & S-2, reference attached Life Safety Plan, A0.12). Therefore, doors in fire barrier are required to be ¾ hour. We are proposing two doors in 1-hour rated wall:

3' x 7' Hollow metal swing door, rated 1-hour, on a closer

12' x 14' Sectional door, non-rated (reference attached cut-sheets for product options)

While the sectional door is not rated, the proposed fire protection would be provided by full water curtain created through (2) additional Fire Marshal approved sprinkler heads on both sides of door installed per NFPA 13. Sprinklers are to be installed a minimum of 4 inches and maximum of 24 inches from the opening spaced at 6 feet on center. Sprinklers will be capable of wetting entire surface. In conjunction with the water curtain, the sectional door will close automatically by the actuation of fire alarm. The wall and swing door will maintain required rating. The proposed water curtain is only for the 12' door opening.

Neither door is part of prescribed egress path for the individual occupancy areas (reference attached Life Safety Plan, A0.12). F-1 space as shown in plan, has two exits leading to exterior and to property line to the east, S-2 space has one exit leading outside to exterior loading area to the north.

Reason for alternative ORIGINAL TEXT - Water curtain sprinkler systems are an effective alternate in protecting penetrations in fire barriers and are an approved means of protecting exterior glazing assemblies (Exception to 705.8.2). The entire building is fully protected by NFPA 13 sprinklers. The proposed water curtain sprinkler heads will be in addition to the existing sprinkler system. The proposed non-rated sectional door will be protected by additional sprinklers heads installed on each side to create water curtain at the door opening. The proposed fire sprinkler water curtain will provide equivalent protection as the ¾ hour rated assembly.

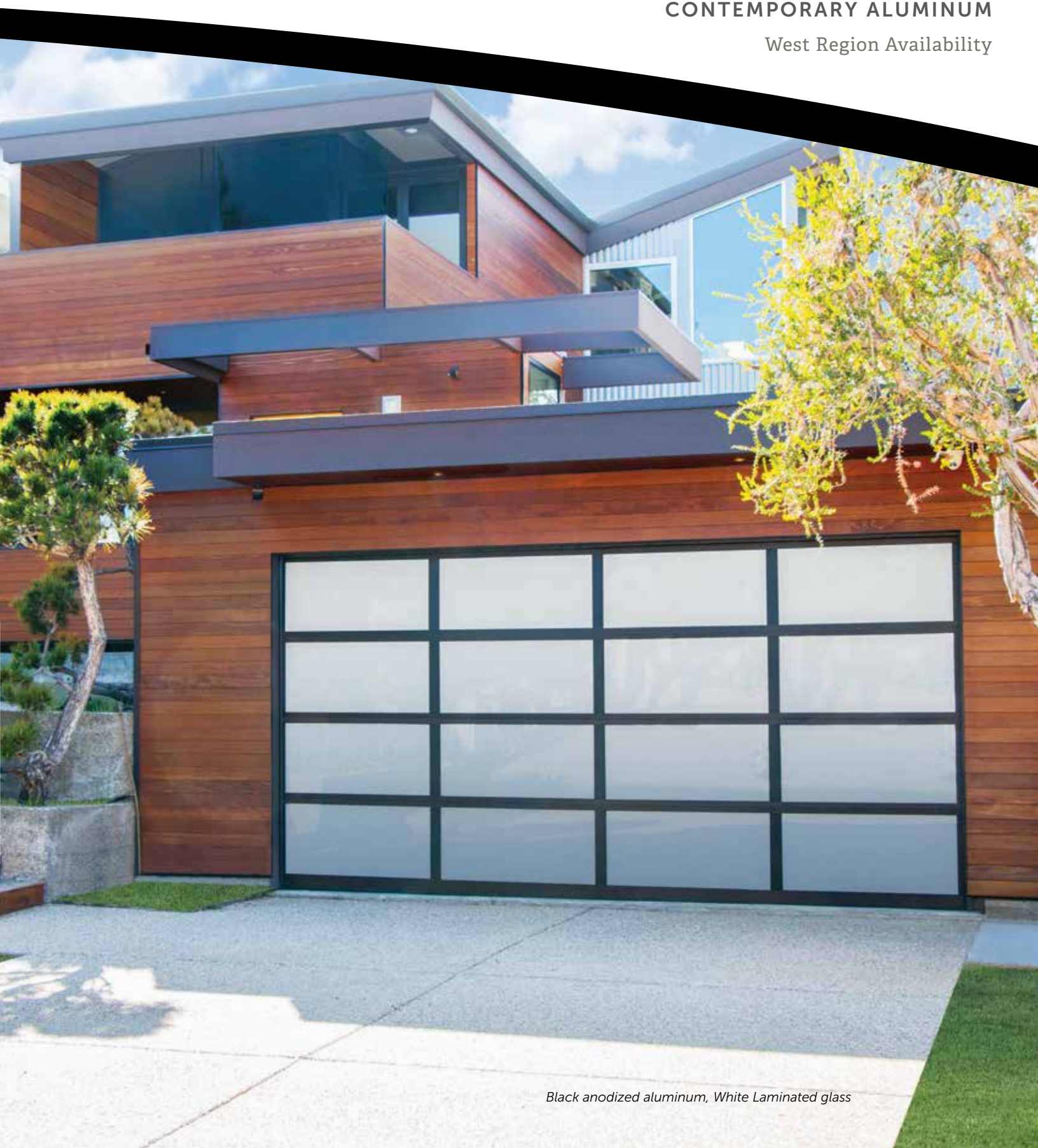
APPEAL DECISION

Alternate 3/4 hour fire rated assembly: Hold for additional information.

Appellant may contact John Butler (503 823-7339) with questions.

CONTEMPORARY ALUMINUM

West Region Availability



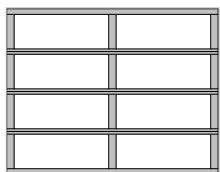
Black anodized aluminum, White Laminated glass



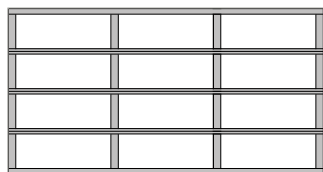
Clear anodized aluminum, Satin Etched glass

1 Select the Platform

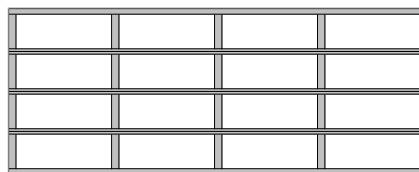
Standard Frames



8' Wide (2 panel)*

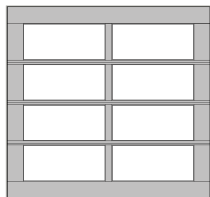


9'-12' Wide (3 panel)

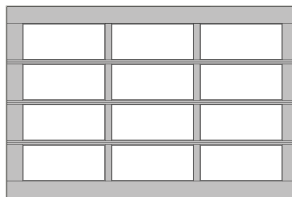


Over 12' Wide (4 panel)

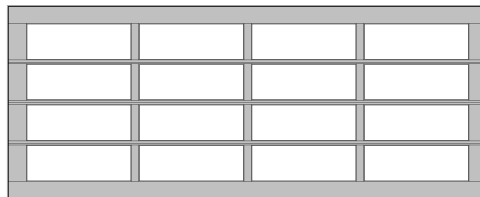
Double-wide Frames



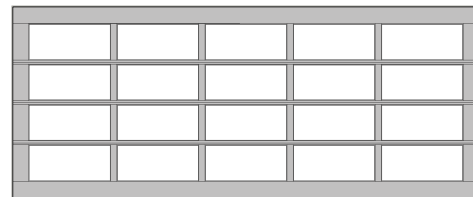
8' Wide (2 panel)*



9'-12' Wide (3 panel)



Over 12' Wide (4 panel)



18' Wide (5 panel)**

Due to the weight of this door, it is only offered in the Double-wide frame.

*2 panel wide is optional for 9' doors.

Panel spacing drawings shown are for illustrative purposes only and do not reflect actual stile and rail dimensions.

If 6" frame is ordered, other doors must be ordered from that grouping to match and may incur an additional upcharge.

See dealer for details.

**4-panel wide is optional for 18' wide doors.

If you are ordering a 16'3" or wider door as well as a single door, check with your dealer to ensure that the door frames match.



Dark Bronze powder coated aluminum, Satin Etched glass

2

Choose your Color

Anodized Finishes



Clear (Standard)

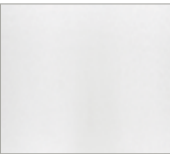


Bronze



Black

Powder Coat Finishes



White



Dark Bronze



Black

RAL Powder Coat Finishes

Select from approximately 200 powder coat color options to best match your home.



Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your Wayne Dalton dealer for accurate color matching.



Custom powder coated aluminum, White Laminated glass

3 Choose your Glass



1/8" Clear Glass



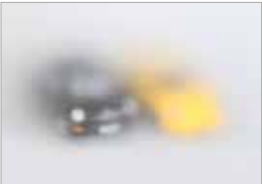
Green Tinted



Gray Tinted



Bronze Tinted



Satin Etched



White Laminated



Obscure

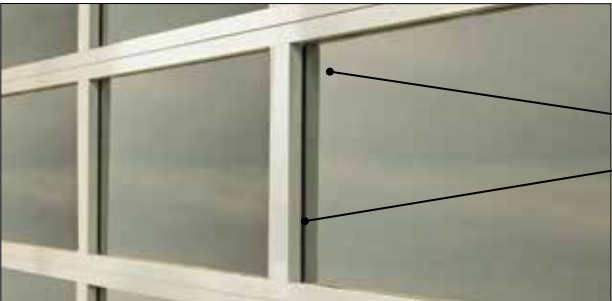
Custom glass also available. See dealer for details.
Most panel styles are also available in both single pane and insulated configurations.

stylish. colorful. contemporary.

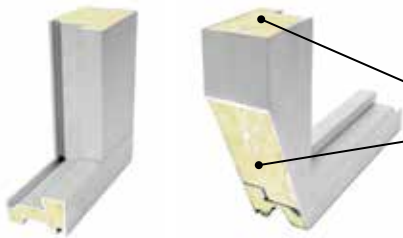
Wayne Dalton Contemporary Aluminum doors, constructed with a rugged, anodized aluminum frame, feature equal panel spacing for a clean modern look.

PERFORMANCE FEATURES

- Tongue-and-groove joints provide a great weather barrier
- Flexible vinyl bottom seal helps prevent dirt and elements from entering your garage
- Choose a 25,000 cycle spring for almost twice the life of a standard torsion spring
- Reinforcing fins on all top sections and as needed on intermediate sections, provide years of smooth, trouble-free operation. (The fins are the extruded part of the door section that are not visible through the glass)



Aluminum rails and stiles are designed with non-beveled edges and straight lines to create a true contemporary style.



Optional polyurethane insulation adds R-value* of up to 4.36.

R-VALUES OF INSULATED 8800	9X7 DOOR	16X7 DOOR	9X8 DOOR	16X8 DOOR
1/2" insulated glass Solar Ban 70XL argon filled (R=3.125)	4.36	4.36	4.23	4.23
1/2" insulated glass (R=1.75) with polyurethane filled rails and stiles	3.18	3.17	3.02	3.02
1/2" insulated glass Low E (R=2.38) with polyurethane filled rails and stiles	3.73	3.71	3.59	3.58



Model 8800 offers a five-year limited warranty on the aluminum and one-year limited warranty on the glass. See full text of warranty for details.

* Wayne Dalton uses a calculated door section R-value for our insulated doors.

AFTER

BEFORE



Clear anodized aluminum, White Laminated glass



Garage Door Design Center

To see this door on your home, visit **wayne-dalton.com**, or download our app, and try our Garage Door Design Center. Upload a photo of your home and experiment with panel designs, color options, window styles and decorative hardware designs. Instant curb appeal awaits you with just a click of your mouse.

Wayne Dalton
GARAGE DOORS

DISTRIBUTED BY:

2501 S. State Hwy. 121 Bus., Ste 200
Lewisville, TX 75067

wayne-dalton.com



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CLOPAY COMMERCIAL – MODELS 902, 903 architectural series

Clopay®



CONSTRUCTION
2 1/8"
THICKNESS

WARRANTY
5YR
LIMITED
CONSTRUCTION

*Model 903 with Insulated Glass and Bottom
Insulated Aluminum Panel, Powder-Coated Frame*

ALUMINUM FULL-VIEW DOORS

Clopay Aluminum Full-View doors offer designers the flexibility to let varying degrees of light in while complementing the surrounding structure. A wide selection of standard and custom glazing types make a bold statement in retail and store environments.

- 2-1/8" (54 mm) thick construction, 6063-T5 extruded aluminum alloy with integral reinforcing fin for maximum durability.
- Exclusive, capped rail construction helps seal out the elements and adds to door durability.
- Tongue-and-groove meeting rail.
- Available in a wide variety of powder-coated and anodized finish colors.
- Many glazing options available, including thermal glass, Low-E glass and polycarbonate panels in various colors.
- Model 902 features 44" (1.1 m) on center panel spacing with limited glazing options. Model 903 is fully customizable and features equal panel spacing.

clopaycommercial.com



Integral reinforcing
fin adds durability
and strength.

OPTIONS

GLASS/PANEL OPTIONS



Full View



Solid Aluminum

CUSTOM POWDER COAT

Powder coat available in a variety of finishes, colors as well as custom formulations to complement your building design.

GLASS/PANEL OPTIONS



Clear Glass



Gray Tinted Glass



Bronze Tinted Glass



Mirrored Glass*



Obscure Glass



White Laminate Glass*



Frosted Glass or Acrylic



Clear Acrylic



Gray Acrylic



White Acrylic



Clear Polycarbonate



Bronze Polycarbonate



Clear Anodized (Aluminum Panel)

FRAME/SOLID PANEL COLOR OPTIONS



Clear Aluminum (Anodized)



Standard White



Bronze (Painted)



Chocolate (Painted)



Bronze (Anodized)†



Black (Anodized)†



Dark Bronze (Anodized)†

*Mirrored and laminate not available in 1/2".

† Additional cost and lead time may apply.

Glass thickness available in 1/8", 1/4" and 1/2". Low-E available on insulated glass. Tri-wall polycarbonate thickness available in 1/2". Panels can be aluminum to match the aluminum frame. Glass/acrylic panels may be combined with aluminum panels. Due to the anodizing process, slight color variation may occur. Custom powder coat, Color Blast® and anodized finish available. The use of "Bronze (Painted)" is recommended for a more consistent bronze finish color.

Acrylic windows require special cleaning. Never use products that contain ammonia or petroleum products to clean acrylic. Please visit clopaydoor.com/acrylic for complete details.

See your Clopay Dealer for details.

FEATURES

STANDARD HARDWARE

TPE astragal in aluminum retainer

Commercial 10-ball steel rollers (nylon tires available)

Steel step plate and lift handle

Galvanized steel end stiles

Inside slide lock for increased security

2" (50.8 mm) or 3" (76.2 mm) track

10,000 cycle springs

Galvanized aircraft cable with minimum 7:1 safety factor

Variety of track configurations to meet building specifications

MATERIALS AND CONSTRUCTION

Panel Thickness 2-1/8" (54 mm)

Exterior Surface 6062-T5 extruded aluminum alloy with integral reinforcing fin

Max Width 24'2" (7.4 m)

Max Height 20' (6.1 m)

Exterior Colors Standard White, Bronze and Chocolate Painted. Clear, Bronze, Black and Dark Bronze Anodized. Custom paint available.

Limited 5-year limited finish warranty

Warranties* 1-year hardware warranty

*For full warranty details see the 902, 903 official warranty document, posted on www.clopaydoor.com.

For special sizes, applications and options, consult Commercial Information Assistance (CIA) at 1-800-526-4301.



For more information on these and other Clopay products, call 1-800-526-4301 or visit clopaycommercial.com



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HEAVY-DUTY HARDWARE (where not standard)



Double-end hinge



3" Track



High performance hardware features 10 gauge end hinges, heavy-duty top bracket and 3" sealed roller with 5/8" stem.

HIGH CYCLE SPRINGS



25,000, 50,000 or 100,000 cycle springs available.

MULLIONS

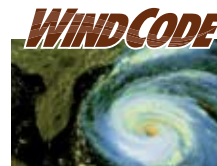


Carry-away, roll-away or swing-up mullions are available on select sizes.

EXHAUST PORT



Can be cut into any type of sectional door. Available in select sizes.



WindCode® reinforcement available up to W1 design pressure (DP) 14 PSF, depending on size. Doors tested 50% greater than DP.



Upgrade your standard door with industrial-grade components.

DISTRIBUTED BY:



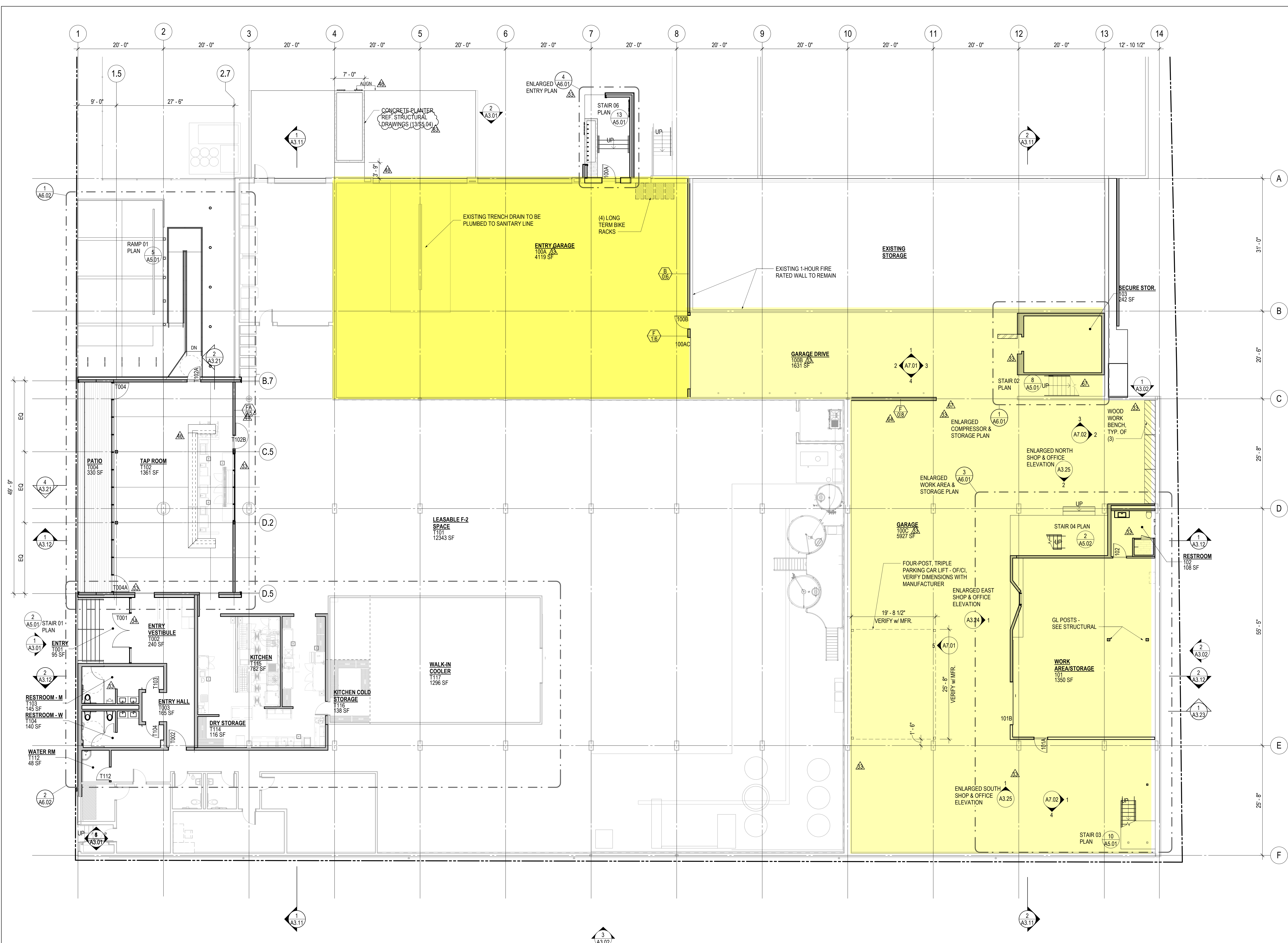
CMDC-903-11_REV1018



Figure 1: Fire Alarm Symbols. The legend lists the following symbols and their meanings:

- FIRE - 0.5 HR
- FIRE - 1 HR
- FIRE - 2 HR
- FIRE - 3 HR
- FIRE - 4 HR
- FIRE SMOKE BARRIER - 1 HR
- FIRE SMOKE PARTITION
- EXIT SIGN
- FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET
- STANDPIPE CABINET
- BUILDING EXIT
- OCCUPANT LOAD SIGN
- TRAVEL DISTANCE
- EGRESS PATH
- EXIT COMPONENT
- OCCUPANT LOAD
- OCCUPANT CAPACITY
- OCCUPANCY LOAD FACTOR
- WIDTH REQUIRED
- WIDTH PROVIDED
- SPACE NAME
- OCCUPANCY GROUP
- OCCUPANCY LOAD
- CALCULATED AREA
- OCCUPANCY SEPARATION
- OCCUPANCY LOAD FACTOR

CONSTRUCTION SET



1 PLAN, FLOOR - LEVEL 01
1/8" = 1'-0"

GENERAL NOTES

1. FIELD VERIFY ALL CONDITIONS PRIOR TO START. NOTIFY ARCHITECT OF ANY VARYING CONDITIONS THAT WILL AFFECT INDICATED LOCATIONS AND REQUIRE MODIFICATIONS.
2. COORDINATE PATCH AND REPAIR WORK REQUIRED FOR ACCESS OF OTHER TRADES.
3. REF. STRUCTURAL FOR FRAMING INFORMATION.
4. ARCHITECTURE SHEETS GOVERN LOCATION & DIMENSIONS.
5. FURNITURE IS SHOWN FOR REFERENCE ONLY.
6. NO SURFACE MOUNTED EXPOSED CONDUIT OR ELECTRICAL PATHWAY SHALL BE VISIBLE ON INTERIOR OR EXTERIOR FINISHED SURFACES.

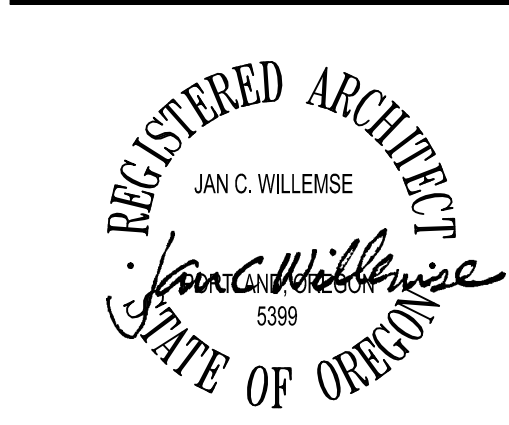
LEGEND - PLANS

- EXISTING CONDITIONS TO REMAIN
- SCOPE OF NEW WORK
- L8, IN-GRADE UPLIGHT (FOR REFERENCE ONLY - INSTALLED IN PHASE 1 PERMITTING)
- HVAC SUPPLY FLOOR DIFFUSER
- FUTURE WORK (NOT IN CONTRACT, NOT INCLUDED IN PERMIT)

NW 28th

2444 NW 28th Avenue
Portland, OR 97210

Drawing Title
PLAN, FLOOR - LEVEL 01



Date: OCTOBER 10, 2017
Job No: P23298
Drawn By: Author
Checked By: Checker
Drawing No.

1PROJECT DESCRIPTION

THE PROJECT IS A WAREHOUSE RENOVATION TO BE LOCATED ON NW 28TH AVE. NORTH OF NICOLAI STREET. IN NORTHWEST PORTLAND. THE PARCEL IS LOCATED IN THE NORTHWEST INDUSTRIAL DISTRICT. THIS PROJECT WILL BE DIVIDED AS TWO SEPARATE SPACES.

THE PRIVATE WORKSPACE AND STORAGE FACILITY WILL SUPPORT THE TUNING AND PERFORMANCE OF A PRIVATE COLLECTION OF EXOTIC CARS. THERE WILL HAVE SPACE FOR LIGHT MAINTENANCE AND STORAGE. ADDITIONALLY, A SMALL PARTIAL SECOND FLOOR WILL BE ADDED TO THE WORKSPACE. ABOVE, THERE WILL BE A PRIVATE OFFICE TO SUPPORT THE BUSINESS DEVELOPMENT OF THE BUILDING OWNER.

THE LEASABLE SPACE HAS BEEN RENTED OUT TO A LOCAL BREWERY TO EXPAND THEIR OPERATIONS. THE SPACE INCLUDES THE TAPROOM AND KITCHEN. A COVERED OUTDOOR SPACE AND NEW ACCESSIBLY ENTRANCE WILL BE ADDED TO THE LEASABLE SPACE ON THE NW 28TH AVENUE FRONTAGE. THE SPACE WILL INCLUDE AN UPGRADE TO THE EXISTING LOADING RAMP AND WILL ACCOMMODATE ADDITIONAL RESTROOM FACILITIES.

THIS PROJECT WILL MAINTAIN THE CHARACTER OF THE EXISTING WAREHOUSE AND WILL UPGRADE THE FACILITIES TO MEET THE NECESSARY AND APPLICABLE CODES.

THE BUILDING WILL INCORPORATE AUTOMATIC FIRE DETECTION AND AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT THE BUILDING. ALL THE ABOVE LIFE SAFETY SYSTEMS WILL BE PROVIDED WITH BATTERY BACK-UP POWER.

2APPLICABLE CODES

FEDERAL REGULATIONS

OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)

U.S. ENVIRONMENTAL PROTECTION AGENCY REGULATIONS (EPA)

AMERICANS WITH DISABILITIES ACT GUIDELINES

ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

OREGON STATE BUILDING CODE

2012 INTERNATIONAL BUILDING CODE (IBC) WITH OREGON AMENDMENTS IN THE 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)

2012 INTERNATIONAL FIRE CODE (IFC) WITH OREGON AMENDMENTS IN THE 2014 OREGON FIRE CODE (OFC)

2014 INTERNATIONAL MECHANICAL CODE (IMC) WITH OREGON AMENDMENTS IN THE 2014 OREGON MECHANICAL SPECIALTY CODE (OMSC)

2014 OREGON PLUMBING SPECIALTY CODE (OPSC) BASED ON THE 2006 UNIFORM PLUMBING CODE

2014 OREGON ELECTRICAL SPECIALTY CODE (OESC) BASED ON THE 2008 NATIONAL ELECTRICAL CODE (NEC)

2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE

PORTLAND CITY CODE AND ADMINISTRATIVE RULES

3APPEALS

THIS SECTION IS INTENTIONALLY LEFT BLANK.

4SEPARATE PERMITS & DEFERRED SUBMITTALS

ELECTRICAL

PERMITS TO BE OBTAINED FROM THE FIRE MARSHAL'S OFFICE:

- FIRE SPRINKLERS
- FIRE ALARM SYSTEMS
- FIXED EXTINGUISHING SYSTEMS

DEFERRED SUBMITTALS:

- STAIRS AND RAILINGS AND PLATFORM
- MEP EQUIPMENT ANCHORAGE
- CODE REQUIRED SIGNAGE
- PENETRATION FIRE STOPPING

5BUILDING AREA AND NUMBER OF STORIES

BUILDING AREA, AS DEFINED IN OSSC 202 IS THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUSIVE OF VENT SHAFTS AND COURTS.

LEVEL 1 34,142 GSF

LEVEL 2 (MEZZANINE) 1,651 GSF

TOTAL 35,793 GSF

PROJECT CONSISTS OF ONE STORY WITH A MEZZANINE.

6USE AND OCCUPANCY CLASSIFICATION

OSSC CHAPTER 3

THIS IS A MIXED USE PROJECT, WITH USES AS FOLLOWED:

F-1 (MODERATE HAZARD, FACTORY INDUSTRIAL)

B (BUSINESS, SECTION 304.1)

S-1 (MODERATE-HAZARD STORAGE, SECTION 311.2)

A-2 (ASSEMBLY, SECTION 303.3)

F-2 (LOW HAZARD, FACTORY INDUSTRIAL)

S-2 (LOW-HAZARD STORAGE)

B (BUSINESS, SECTION 304.1)

(PRIVATE) CAR GARAGE/WORKSPACE

(PRIVATE) GARAGES STORAGE AREA

BREWERY TASTING ROOM, KITCHEN

(EXISTING) BREWERY, BREWING STORAGE, (EXISTING) STORAGE, (EXISTING) UTILITY, MECHANICAL, ELECTRICAL (EXISTING) OFFICE

7CONSTRUCTION TYPE

OSSC CHAPTER 6

CONSTRUCTION TYPE: VB

8ALLOWABLE HEIGHTS AND BUILDING AREA

OSSC TABLE 503

THE PROJECT HAS AN AUTOMATIC WET SPRINKLER SYSTEM THROUGHOUT BUILDING AND IS CONSTRUCTION TYPE VB WITH A SEPARATED MIXED OCCUPANCY. THE ALLOWABLE HEIGHT FOR ALL OCCUPANCIES IS 40 FEET.

FRONTAGE INCREASE FACTOR = 8%

	NORTH	EAST	SOUTH	WEST
FRONTAGE (506.2)	143'	0'	0'	309'

TOTAL FRONTAGE = 452'

PERIMETER = 1,369.5'

OPEN SPACE WIDTH = 30'

SPRINKLER INCREASE FACTOR = 3 (506.3)

OCCUPANCY CLASSIFICATION	ALLOWABLE STORIES	TABULAR AREA PER STORY	ALLOWABLE AREA (W/ INCREASES)	ACTUAL AREA	RATIO
F-2	2	13,000 SF	42,120 SF	13,821 SF	0.328
F-1	1	8,500 SF	27,540 SF	9,044 SF	0.328
A	1	6,000 SF	19,440 SF	4,235 SF	0.218
B	2	9,000 SF	29,160 SF	384 SF	0.013
S-1	1	9,000 SF	29,160 SF	55 SF	0.001
S-2	2	13,500 SF	43,740 SF	4,781 SF	0.109

TOTAL = 0.897

*ALLOWABLE AREA = TABULAR AREA + FRONTAGE INCREASE + SPRINKLER INCREASE

9MIXED USE AND OCCUPANCY / INCIDENTAL USES

OSSC SECTION 508 & 509

MIXED USES ARE BEING CALCULATED AS SEPARATED OCCUPANCIES PER OSSC 508.4

OCCUPANCY SEPARATION (TABLE 508.4)

F-1: F-2 1 HOUR FIRE BARRIER; AUTO SPRINKLER

F-1: B NO SEPARATION REQUIRED

F-1: S-2 1 HOUR FIRE BARRIER; AUTO SPRINKLER

F-1: S-1 NO SEPARATION REQUIRED

F-2: A NO SEPARATION REQUIRED

F-2: B NO SEPARATION REQUIRED

F-2: S-2 NO SEPARATION REQUIRED

B: A 1 HOUR FIRE BARRIER; AUTO SPRINKLER

B: S-1 NO SEPARATION REQUIRED

B: S-2 1 HOUR FIRE BARRIER; AUTO SPRINKLER

A: S-1 1 HOUR FIRE BARRIER; AUTO SPRINKLER

A: S-2 NO SEPARATION REQUIRED

S-1: S-2 1 HOUR FIRE BARRIER; AUTO SPRINKLER

10FIRE RESISTANCE RATINGS

OSSC TABLE 601

REQUIRED FIRE RESISTIVELY OF STRUCTURAL ELEMENTS FOR CONSTRUCTION TYPE VB

PRIMARY STRUCTURAL FRAME: 0 HOUR

BEARING WALLS (EXTERIOR): 0 HOUR

BEARING WALLS (INTERIOR): 0 HOUR

NONBEARING WALLS AND PARTITIONS (EXTERIOR): 0 HOUR

NONBEARING WALLS AND PARTITIONS (INTERIOR): 0 HOUR

FLOOR CONSTRUCTION AND SECONDARY MEMBERS: 0 HOUR

ROOF CONSTRUCTION AND SECONDARY MEMBERS: 0 HOUR

INTERIOR EXIT STAIRWAY 2 HR; PER OSSC, SECTION 1022.2 AND IN ACCORDANCE WITH OSSC, TABLE 707.3.2

EXIT CORRIDOR 1/2 HR FIRE PARTITION; PER R OCCUPANCY AND SPRINKLERS (OSSC, TABLE 1018.1)

ELECTRICAL ROOM SEPARATION: 1 HR

FIRE RESISTIVE RATING OF FIRE BARRIER OPENING PROTECTION: DOORS IN 2 HOUR FIRE BARRIER: 1 1/2 HOURS DOORS IN 1 HOUR FIRE BARRIER: 3/4 HOUR

OTHER RATED ASSEMBLIES: REFER TO LIFE SAFETY PLANS

SMOKE CONTROL SYSTEM REQUIREMENTS: N/A

11EXTERIOR WALL RATINGS

OSSC TABLE 602

CONSTRUCTION TYPE VB, EXTERIOR WALLS FOR GROUP F-1 REQUIRE THE FOLLOWING

EXTERIOR WALL	FIRE RATING
WEST (28TH FRONTAGE)	NONE
NORTH A (AT LOADING DOCK)	NONE
NORTH B (AT EXISTING STORAGE)	2 HOUR
EAST A (AGAINST PROPERTY LINE)	<5' = 2 HOUR, 5'<x<10' = 1 HOUR
EAST B (AT BALCONY)	NONE
SOUTH (AGAINST PROPERTY LINE)	2 HOUR

12EXTERIOR WALL OPENINGS

OSSC TABLE 705.8

EXTERIOR WALL	ALLOWABLE AREA OF OPENINGS PER STORY
WEST (28TH FRONTAGE)	NO LIMIT
NORTH A (AT LOADING DOCK)	NO LIMIT
NORTH B (AT EXISTING STORAGE)	NOT PERMITTED
EAST A (AGAINST PROPERTY LINE)	3' TO LESS THAN 5' SEPARATION, SPRINKLERED = 15% 5' TO LESS THAN 10' SEPARATION, SPRINKLERED = 25%
EAST B (AT BALCONY)	10' TO LESS THAN 15' SEPARATION, SPRINKLERED = 45%
SOUTH (AGAINST PROPERTY LINE)	NOT PERMITTED

13VERTICAL AND ROOF EXPOSURE

OSSC SECTION 705.8.6.2

THIS SECTION IS INTENTIONALLY LEFT BLANK.

14FIRE PROTECTION SYSTEMS

IBC CHAPTER 9

NOTE: ANY INSTALLATION DETAILS FOR FIRE AND LIFE SAFETY SYSTEMS (FIRE SPRINKLERS, FIRE ALARM SYSTEMS, FIRE PUMPS, UNDERGROUND FIRE LINES, FIRE EXTINGUISHING SYSTEMS, IN-BUILDING RADIO ENHANCEMENT SYSTEMS (DAS), STATIONARY GENERATORS AND HAZARDOUS MATERIAL TANKS AND RELATED EQUIPMENT ARE FOR REFERENCE ONLY, WITH FINAL INSTALLATION REQUIREMENTS TO BE DETERMINED DURING THE TRADE PLAN REVIEW PROCESS AT THE FIRE MARSHAL'S OFFICE.

FIRE SUPPRESSION

THE BUILDING WILL BE PROVIDED THROUGHOUT WITH AN AUTOMATIC WET SPRINKLER SYSTEM PER NFPA-13. MEET OSSC CHAPTER 9 REQUIREMENTS FOR FIRE SPRINKLER AND FIRE ALARM SYSTEMS (BIDDER DESIGNED).

IF PRESSURE REDUCING VALVES (PRV) ARE REQ'D DUE TO PRESSURES IN THE SPRINKLER SYSTEM EXCEEDING THE 175 PSI, THE OUTLET RESIDUAL PRESSURE SHALL BE SET AT BETWEEN 125-150 PSI AND THE MINIMUM DRAIN SIZE SHALL BE 3". ACCOMMODATIONS SHALL BE DESIGNED TO ALLOW FOR ANNUAL FLOW TESTING OF EACH PRV.

FIRE ALARM

- A MANUAL FIRE ALARM BOX WILL BE PROVIDED PER OSSC 907.2 IN EACH TENANT SPACE
- FIRE ALARM AND SMOKE DETECTION SYSTEM PER OSSC 907
- SPRINKLER FLOW WILL ACTIVATE BUILDING EVACUATION FIRE ALARM

FIRE EXTINGUISHERS (NFPA 10)

MINIMUM RATED SINGLE EXTINGUISHER: 2A: 10BC

MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER: 75 FEET

15SPECIAL DETAILED REQUIREMENTS

SECTION 406.8

MIXED USES ALLOWED. REPAIR GARAGES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE TO MECHANICAL CODE. THE VENTILATION SYSTEM SHALL BE CONTROLLED AT THE ENTRANCE TO THE GARAGE. REPAIR GARAGE FLOORS SHALL BE OF CONCRETE OR SIMILAR NON-COMBUSTIBLE AND NONABSORBENT MATERIALS. HEATING EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL CODE. A REPAIR GARAGE SHALL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE TO SECTION 903.2.9.1

16ACCESSIBILITY

OSSC CHAPTER 11 & ANSI 117.1

PRIVATE GARAGE/WORKSPACE

SECTION 1104.4 EXEMPTION 7

IN A BUILDING OF FEWER THAN THREE STORIES, AN ACCESSIBLE ROUTE NEED NOT BE PROVIDED IN THE PORTION OF THE BUILDING THAT IS OF THE FOLLOWING OCCUPANCY CLASSIFICATIONS:

7.1 GROUP F-1 AND 2

7.3 GROUP S-1 AND 2

SECTION 1104.4 EXEMPTION 8

MULTI-LEVEL BUILDINGS AND FACILITIES - EXEMPTION FROM REQUIREMENT THAT AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT EACH STORY AND MEZZANINE

PUBLIC LEASABLE SPACE/TAPROOM

SECTION 1105

AT LEAST 60% OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE. AT LEAST ONE ACCESSIBLE ENTRANCE SHALL BE PROVIDED TO EACH TENANT

TABLE 1106.1

1 ACCESSIBLE SPACE/AN ACCESSIBLE PARKING SPACE REQUIRED

SECTION 1108

EACH TOILET ROOM ON ACCESSIBLE LEVELS SHALL BE ACCESSIBLE. AT LEAST ONE OF EACH TYPE OF FIXTURE ELEMENT, CONTROL OR DISPENSER IN EACH ACCESSIBLE TOILET ROOM SHALL BE ACCESSIBLE

25% VALUE OF WORK = NEW RESTROOM FACILITIES IN TAPROOM, NEW RAMP TO TAPROOM

17ENERGY CODE

OSSC CHAPTER 10

PROJECT NOTES:

1. THIS PROJECT CONTAINS A COMBINATION OF ALTERATIONS TO AN EXISTING BUILDING ENVELOPE AND NEW CONSTRUCTION WITHIN IT BUT CONNECTED TO SAID ENVELOPE. PURSUANT IN TO SECTION 1014.2, THE NEW CONSTRUCTION AND NON-EXEMPT ALTERATIONS CONFORM TO THE NEW CONSTRUCTION REQUIREMENTS OF THE ENERGY CODE, WHILE EXEMPTIONS ARE TAKEN ON A CASE-BY-CASE BASIS.

2. GIVEN THE COMCHECK SOFTWARE FORM CANNOT COMBINE NEW CONSTRUCTION PROJECT TYPES (TRADEOFF METHOD) WITH THE ALTERATION PATHWAY (PRESCRIPTIVE METHOD), AND THERE ARE ONLY TWO ASSEMBLIES THAT ARE EXEMPT ACCORDING TO SECTION 101.4.2, THIS PROJECT IS SUBMITTING A SINGLE COMCHECK FORM WITH ALTERATION EXEMPTIONS DOCUMENTED IN THIS NOTES SECTION (SEE NOTE 3).

3. BOTH EXEMPT ROOF CONSTRUCTIONS ONLY ADD INSULATION TO EXISTING, EXPOSED ROOF CAVITIES AND DO NOT ALTER OR MODIFY EXISTING SHEATHING. ADDITIONALLY, NO NEW ROOFING MATERIAL IS BEING ADDED TO THE TOP OF THE ASSEMBLY. R32 MINERAL WOOL BATTS WILL BE ADDED IN BETWEEN EXPOSED STRUCTURE FOR 7634 SF AREA OF THE GARAGE AREA IN THE NORTH SIDE OF THE BUILDING AND R21 BATTS WILL BE ADDED IN THE EXPOSED STRUCTURE FOR 5659 SF OF THE ROOF AREA ABOVE THE EAST OFFICE/GARAGE SPACE.

4. SKYLIGHT GLAZING/ROOF AREA PERCENTAGE IS CALCULATED AT 5%, MAINLY BECAUSE THE SKYLIGHTS ARE BEING ADDED TO ONE OF THE EXEMPT ROOF ALTERATIONS DESCRIBED IN NOTE 3, AND THE REST OF THE INTERIOR ROOFS (IN BETWEEN CONDITIONED AND SEMI-HEATED SPACE) ARE SMALL IN AREA. THUS, THIS 5% IS NOT AN ACCURATE REFLECTION OF THE SKYLIGHT GLAZING/ROOF AREA PERCENTAGE.

18PLUMBING FIXTURES

OSSC CHAPTER 29, TABLE 2902.1

ASSEMBLY (A-2) OCCUPANCY	BUSINESS (B) OCCUPANCY	FACTORY INDUSTRIAL (F-1 & F-2) OCCUPANCY	STORAGE (S-1 & S-2) OCCUPANCY
WATER CLOSETS 1 PER 75	WATER CLOSETS 1 PER 25 FOR THE FIRST 50 1 PER 50 FOR THE REMAINDER EXCEEDING 50	WATER CLOSETS 1 PER 100	WATER CLOSETS 1 PER 100
LAVATORIES 1 PER 200	LAVATORIES 1 PER 40 FOR THE FIRST 80 1 PER 80 FOR THE REMAINDER EXCEEDING 80	LAVATORIES 1 PER 100	LAVATORIES 1 PER 100

LEASABLE SPACE	AREA	OCC LOAD FACTOR (SF PER OCC) OSSC CH. 3	TOTAL OCC.	MALE TOILETS	FEMALE TOILETS	UNISEX TOILETS	MALE LAVS	FEMALE LAVS	FOUNTAINS (PER FLOOR)						
A-2	1191	15	80	1/2 OCC + 75	0.53	1/2 OCC + 75	0.53	0	1/2 OCC + 200	0.20	NONE	0			
A-2	286	7	41	1/2 OCC + 75	0.27	1/2 OCC + 75	0.27	0	1/2 OCC + 200	0.10	1/2 OCC + 200	0.10	NONE	0	
A-2	244	5	49	1/2 OCC + 75	0.33	1/2 OCC + 75	0.33	0	1/2 OCC + 200	0.12	1/2 OCC + 200	0.12	NONE	0	
A-2	1222	200	7	1/2 OCC + 75	0.05	1/2 OCC + 75	0.05	0	1/2 OCC + 200	0.02	1/2 OCC + 200	0.02	NONE	0	
S-2	1434	300	5	1/2 OCC + 100	0.03	1/2 OCC + 100	0.03	0	1/2 OCC + 100	0.03	1/2 OCC + 100	0.03	NONE	0	
B	384	100	4	1/2 OCC + 25	0.08	1/2 OCC + 25	0.08	0	1/2 OCC + 40	0.05	1/2 OCC + 40	0.05	NONE	0	
F-2	3392	100	139	1/2 OCC + 100	0.70	1/2 OCC + 100	0.70	0	1/2 OCC + 100	0.70	1/2 OCC + 100	0.70	NONE	0	
S-2	578	300	2	1/2 OCC + 100	0.01	1/2 OCC + 100	0.01	0	1/2 OCC + 100	0.01	1/2 OCC + 100	0.01	NONE	0	
Total	19160		204	Required	2	Required	2	Required	0	Required	2	Required	2	Required	0
				Provided		Provided		Provided		Provided		Provided		Provided	

GARAGE LEVEL 1	AREA	OCC LOAD FACTOR (SF PER OCC) OSSC CH. 3	TOTAL OCC.	MALE TOILETS	FEMALE TOILETS	UNISEX TOILETS	MALE LAVS	FEMALE LAVS	FOUNTAINS (PER FLOOR)						
S-1	55	300	1	1/2 OCC + 100	0.01	1/2 OCC + 100	0.01	0	1/2 OCC + 100	0.01	1/2 OCC + 100	0.01	NONE	0	
F-1	904	100	91	1/2 OCC + 100	0.46	1/2 OCC + 100	0.46	0	1/2 OCC + 100	0.46	1/2 OCC + 100	0.46	NONE	0	
Total	3302		107	Required	1	Required	1	Required	0	Required	1	Required	1	Required	0
				Provided		Provided		Provided		Provided		Provided		Provided	

GARAGE LEVEL 2	AREA	OCC LOAD FACTOR (SF PER OCC) OSSC CH. 3	TOTAL OCC.	MALE TOILETS	FEMALE TOILETS	UNISEX TOILETS	MALE LAVS	FEMALE LAVS	FOUNTAINS (PER FLOOR)						
B	137	15	10	1/2 OCC + 25	0.20	1/2 OCC + 25	0.20	0	1/2 OCC + 200	0.03	1/2 OCC + 200	0.03	NONE	0	
S-1	55	300	1	1/2 OCC + 100	0.01	1/2 OCC + 100	0.01	0	1/2 OCC + 100	0.01	1/2 OCC + 100	0.01	NONE	0	
B	1054	100	11	1/2 OCC + 25	0.22	1/2 OCC + 25	0.22	0	1/2 OCC + 40	0.14	1/2 OCC + 40	0.14	NONE	0	
Total	1246		12	Required	1	Required	1	Required	0	Required	1	Required	1	Required	0
				Provided		Provided		Provided		Provided		Provided		Provided	

YEAR	OCCUPANCY	AREA	OCCUPANT LOAD
2017 JULY	TAPROOM	A-2	1191 SF
	PATIO	A-2	311 SF
	BACK BAR	A-2	207 SF
	ENTRY VESTIBULE	A-2	244 SF
	KITCHEN & COLD STORAGE	A-2	848 SF
	COLD STORAGE (BREWERY)	S-2	1434
	OFFICE	B	384 SF
	MECHANICAL	S-2	264 SF
	ELECTRICAL	S-2	198 SF
	FIRE RISER	S-2	69 SF
	JANITORY CLOSET	S-2	47 SF
	WORK AREA (BREWERY)	F-2	13821 SF
2017 FEBRUARY	(PRIVATE) STORAGE	S-2	2755 SF
	(PRIVATE) GARAGE	F-1	9044 SF
	(PRIVATE) WORKSPACE/STORAGE	S-1	55 SF
	(PRIVATE) OFFICE	B	1054 SF
	(PRIVATE) BALCONY	B	137 SF
			460 TOTAL
	OFFICE	B (F-2 ACC)	451 SF
	WORK AREA	F-2	195430 SF
	ELECTRICAL	S-2	186 SF
	FIRE RISER	S-2	57 SF
	STORAGE (EXISTING)	S-1	2985 SF
			212 TOTAL
2015	OFFICE	B (F-2 ACC)	3801 SF
	WORK AREA	F-2	31234 SF
	STORAGE	S-1	2985 SF
1978	OFFICE	B (F-2 ACC)	3720 SF
	WORK AREA	F-2	37410 SF
	STORAGE	S-1	2985 SF
			423 TOTAL

* THIS ACCOUNTS FOR ALL THE RECORDS THAT WE HAVE ON THE EXISTING BUILDING

** FEBRUARY 2017 CALCULATIONS DO NOT INCLUDE AREA THAT WAS SHELLED DURING THAT PERMIT



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



LIFE SAFETY CHECKSHEET

Review Date: October 16, 2017

Application #: **17-229160-CO**

IVR #: **4076985**

To:	APPLICANT	Andrea Young ZGF ARCHITECTS LLP 1223 SW WASHINGTON ST, STE 200 PORTLAND, OR 97205	Primary: (503) 863-2404 Home: (602) 316-9729 Email: ANDREA.YOUNG@ZGF.COM
From:	COMMERCIAL PLANS EXAMINER	DAVID BARTLEY	Phone: (503) 823-7319 Email: David.Bartley@portlandoregon.gov
cc:	OWNER	OSB2LAN28 LLC 3570 SW RIVER PKWY #1713 PORTLAND, OR 97239-4545	

PROJECT INFORMATION

Street Address:	2444 NW 28TH AVE					
Description of Work:	ADDITION OF NEW TAP ROOM AND PATIO ENTRANCE WITH ADA COMPLIANT RAMP; REMODEL ON WEST SIDE OF BLDG EXISTING ENTRY, NEW WALLS TO CREATE BATHROOMS, KITCHEN AND ON EAST SIDE OF BLDG 1ST FLR NEW WALLS TO CREATE SECURE STORAGE/ COMPRESSOR ROOM, WORK/STORAGE AREA, BATHROOM AND 2ND FLR OFFICE SPACE, BATHROOM, AND BALCONY					
The following assumptions were made when reviewing your project:						
Code Edition	Occupancy group	Construction Type	Building Area	Stories	Sprinklers	Alarms
2014 OSSC	A-2 / F-2 / F-1 / B	V-B	30,784 SF	2	Yes	Yes

PLAN REVIEW

Based on the plans submitted, the items listed below appear to be missing or not in conformance with the Oregon Structural Specialty Code (OSSC), ICC/ANSI A117.1 (ANSI), the Oregon Energy Efficiency Specialty Code (OEESC), and/or other City requirements.

Item #	Location on plans	Code Section	Clarification / Correction Required
1	N/A	CoP Title 24.85.060	It does not appear that an ASCE 41 seismic evaluation has been provided in any of the recent permits for this building. Due to the value of this alteration/addition, an evaluation is required. If one has been previously conducted, please provide a copy, or direct us to a permit that it would be attached to.
2	A0.11	508	Please provide an updated calculation for allowable area, using the weighted average for separated occupancies in 508.4. Only F-2 and S-2 have enough allowable area for the full floorplan in the table shown in section 8 on the Code Summary sheet.

3		714	Add note: " The General Contractor shall schedule a Firestopping Meeting with the Building Inspector and all Subcontractors that will be installing firestopping materials. Each Subcontractor will provide a list of Firestop materials/assemblies which will be used, the type of penetrations where each material/assembly will be used; and the listing and approval information (i.e. UL, ICC or other approved report/listing numbers.) This information must be submitted to, and approved by, the Building Inspector prior to any installation."
4	A5.01-A5.03	1009.7.2	Rectangular stair tread depths shall be 11 inches minimum measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's nosing. Stair treads for stairs 03 and 04 are shown less than 11" deep. Please update drawings to provide compliant tread depth in accordance with 1009.7.2. Please dimension Rise/Run for treads on each new stair. The drawings mostly show one or the other dimension for some stairs, but not both.
5	A5.01	1010	Please update drawings to identify ramp slope.
6	ALL	2406	There does not appear to be a window schedule. Please provide information in the drawings to show glazing is in compliance with 2406 where required.

End of Checksheet

To respond to this checksheet, come to the Bureau of Development Services located at 1900 SW Fourth Ave. The Development Service Center (1st floor) and Permitting Services (2nd floor) are open Monday through Friday from 8:00 a.m. to 3:00 p.m. (close at noon on Thursday). Please update all sets of submitted drawings by either replacing the original sheets with new sheets, or editing the originally submitted sheets. You can review "How to Update Your Plans in Response to a Checksheel" at <http://www.portlandoregon.gov/bds/article/93028> Visit the BDS website for more helpful information and a current listing of services available in the Development Services Center.

Please complete the attached Checksheel Response Form and include it with your re-submittal.

If you have specific questions concerning this Checksheel, please call me at the phone number listed above. To check the status of your project, go to <http://www.portlandonline.com/bds/index.cfm?c=34194>. Or, you may request the status to be faxed to you by calling 503-823-7000 and selecting option 4.

You may receive separate Checksheets from other City agencies that will require separate responses.

RECHECK FEE: Please note that plan review fees for Life Safety, Structural, Site Development and Planning and Zoning will cover the initial review and up to two checksheets and the reviews of the applicant's responses to those checksheets. All additional checksheets and reviews of applicant responses will be charged an additional fee per checksheet.

Appeals: Pursuant to City Code Chapters 24.10, 25.07, 26.03, 27.02, and 28.03, you may appeal any code provision cited in this Checksheel to the BDS Administrative Board of Appeal within 180 calendar days of the review date. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appeals, call (503) 823-7300 or come in to the Development Services Center. Permit application expiration will not be extended pending resolution of any administrative appeal.

Life Safety Checksheet Response

Permit #: 17-229160-CO

Date: 12/18/2017

Customer name and phone number: Andrea Young 503-863-2404

Note: In the spaces below, please provide specific information concerning the changes that you have made in response to the checksheet. Note the checksheet item number, your response or a description of the revision, and the location of the change on the plans (i.e. page number and/or detail number). Use as many lines as needed. *If the item is not in response to a checksheet, write “Applicant” in the column labeled “Checksheet item number.”*

Checksheet item number	Description of changes, corrections, additions, etc.	Location on plans
1	ASCE 41 was submitted with permit number 17-110183. The Evaluation is also attached to this checksheet.	N/A (attached)
2	Office/Conference area is noted as mezzanine. Updated calculation for allowable area (ratio for separated occupancy) added. Part of F-1 occupancy has been changed to S-2 occupancy because of use of storage in space.	Section 8 / A0.11
3	Note has been added.	A8.01
4	Dimensions updated and added to drawings.	A5.01 – A5.03
5	Ramp slope has been added to plans.	5/A5.01
6	Per specifications, ALL vertical glazing in project is Safety Glass that is in compliance with 2406.	N/A (ref. 088000 - Glazing)
APPLICANT	Garage/workspace has been indicated as a private space with no public accommodations, note has been added to Code Summary in regards to accessibility access to space	Section 16 / A0.01
APPLICANT	New entry enclosure for (private) garage/workspace added to plan set	A2.01 - A2.04 A3.01, A3.27 A6.01
APPLICANT	Exit doors were removed from permit 17-110183 and added to this permit, this has changed demo plans, floor plans, stair plans	A0.41D, A0.51D A1.01 A2.02 A3.02 A5.01

Plan Bin Location: 60 CO