

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20415	Project Address: 3506 SE 119th Ave
Hearing Date: 5/22/19	Appellant Name: Sasha Beckwith
Case No.: B-004	Appellant Phone: 541-231-6318
Appeal Type: Building	Plans Examiner/Inspector: David Wood, Kris Gutierrez
Project Type: residential	Stories: 1 Occupancy: R-3 Construction Type: Wood Construction
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: 18-246235-RS
Plan Submitted Option: pdf [File 1]	Proposed use: Residence and ADU

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	Residential Construction - ORSC/3/#1 & ORSC/11/#1
Requires	Code requirements: Any ceiling heights or projections below 6'-8" must be located at least 3'-0" away from any door leading into the room.
Proposed Design	Request that the main beam of the house can remain within 3' of the doorway to the new ADU even though below the beam is min. of 6'-2" from floor to beam.
Reason for alternative	Moving the door 3' away from beam would either make the laundry room unusable for both the main house and ADU and restrict access to the mechanical room or it would cut into the living space and kitchen of the ADU. To cut the beam to meet the head height would also require engineering and a significant work considering the space is mostly finished. The door way is designed so that a normal 6'-8" door is installed and can fully swing open inside the ADU and it is only in the one area in front of the door below the beam which has a clearance of 6'-2" min. (which is allowed by this guide for heights below beams).

APPEAL DECISION

Reduction in minimum required headroom to 6 feet 2 inches within 3 feet of entry door: Denied. Proposal does not provide equivalent Life Safety protection.

Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs,

including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

BUILDING LOCATION

3506 SE 119TH AVE
PORTLAND OR 97266

(11902 SE POWELL BLVD)

CONTRACTOR

PROJECT INFORMATION

PROJECT LOCATION: PORTLAND, OREGON
2017 OREGON RESIDENTIAL SPECIALTY CODE
CONSTRUCTION TYPE: WOOD FRAMED
OCCUPANCY GROUP: R-3
ZONING: R-1A (ALTERNATIVE DESIGN DENSITY)
YEAR BUILT: 1947

PROJECT: BASEMENT ADU

EXISTING SQ FT (INTERIOR)
- BASEMENT: 451 SQ FT (UNFINISHED)
- MAIN FLOOR: 921.77 SQ FT
- 2ND FLOOR: 185 SQ FT
- (N) BASEMENT ADU: 278 SQ FT
- (N) COMMON SPACE: 154 SQ FT
- (N) MAIN HOUSE: 1106.77 SQ FT
TOTAL LIVING SPACE: 1,384.77 SQ FT

INDEX OF DRAWINGS

- A - 01: COVER & INFORMATION SHEET
- A - 02: SITE PLAN
- A - 03: EXISTING: BASEMENT
- A - 04: EXISTING: MAIN FLOOR
- A - 05: PROPOSED: BASEMENT ADU
- A - 06: PROPOSED: MAIN FLOOR ADU
- A - 07: SECTIONS
- A - 08: DETAILS

GENERAL NOTES

- INSULATION:
 - WALL: R-15 OR BETTER
 - FLAT CEILING: R-49 OR BETTER
 - BASEMENT WALLS: R-15 OR BETTER
 - WINDOWS U-VALUE: 0.30
 - EXTERIOR DOORS U-VALUE: 0.20
 - EXTERIOR DOORS WITH >2.5 SQ FT GLAZING: U-0.40
- EXISTING HEADERS USED UNLESS NOTED OTHERWISE

ENERGY CODE TABLE N1101.3 SELECTION

5. SEAL AND PERFORMANCE TEST
THE DUCT SYSTEM

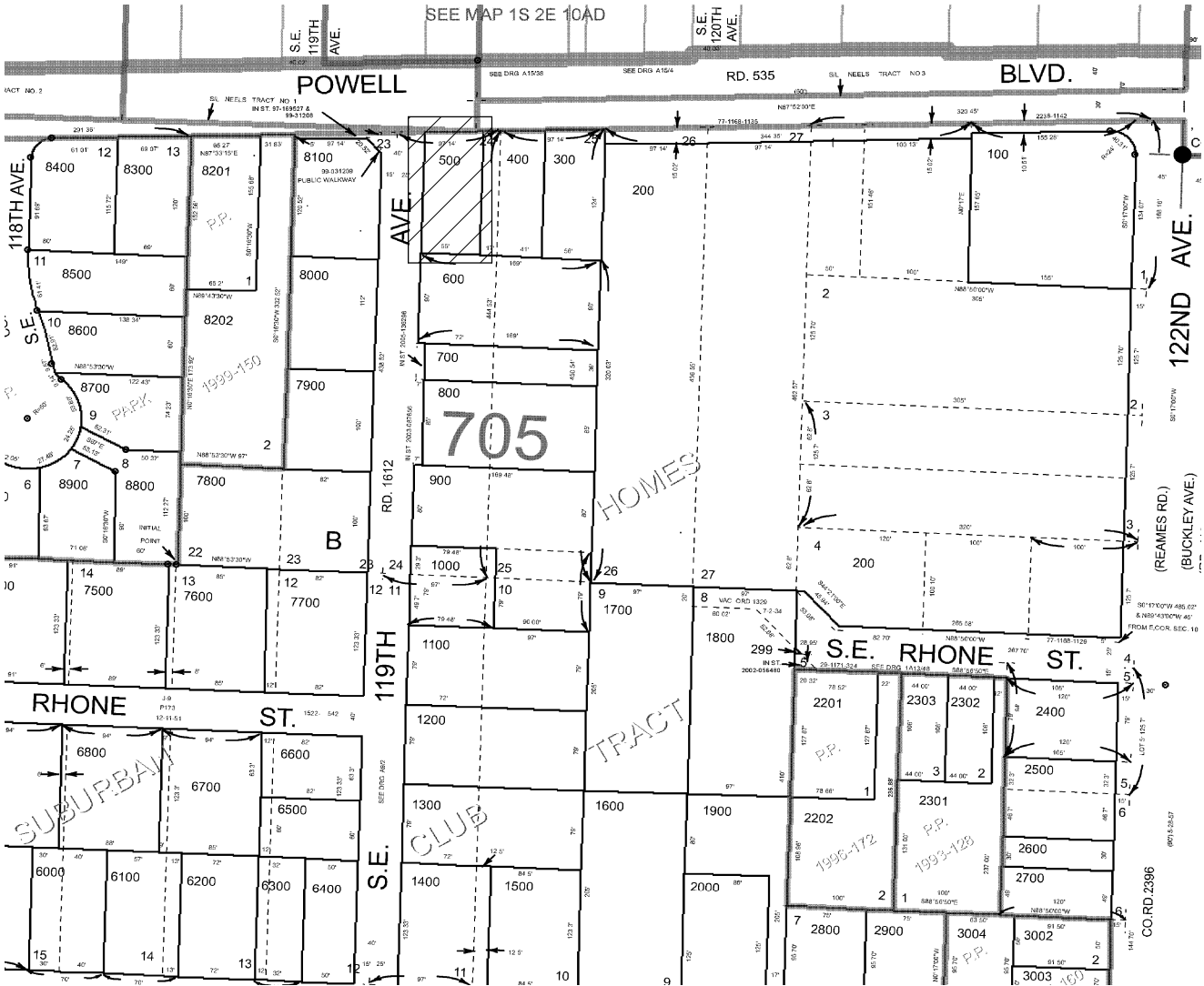
ABBREVIATIONS:

- (N): NEW
- (E): EXISTING
- TYP.: TYPICAL
- FTG.: FOOTING
- A.F.F.: ABOVE FINISHED FLOOR
- SHTG.: SHEATHING
- O.C.: ON CENTER
- CONC.: CONCRETE
- BLK'N: BLOCKING

REVISION DATE



10/12/18



A-01

DATE:

10/12/2018

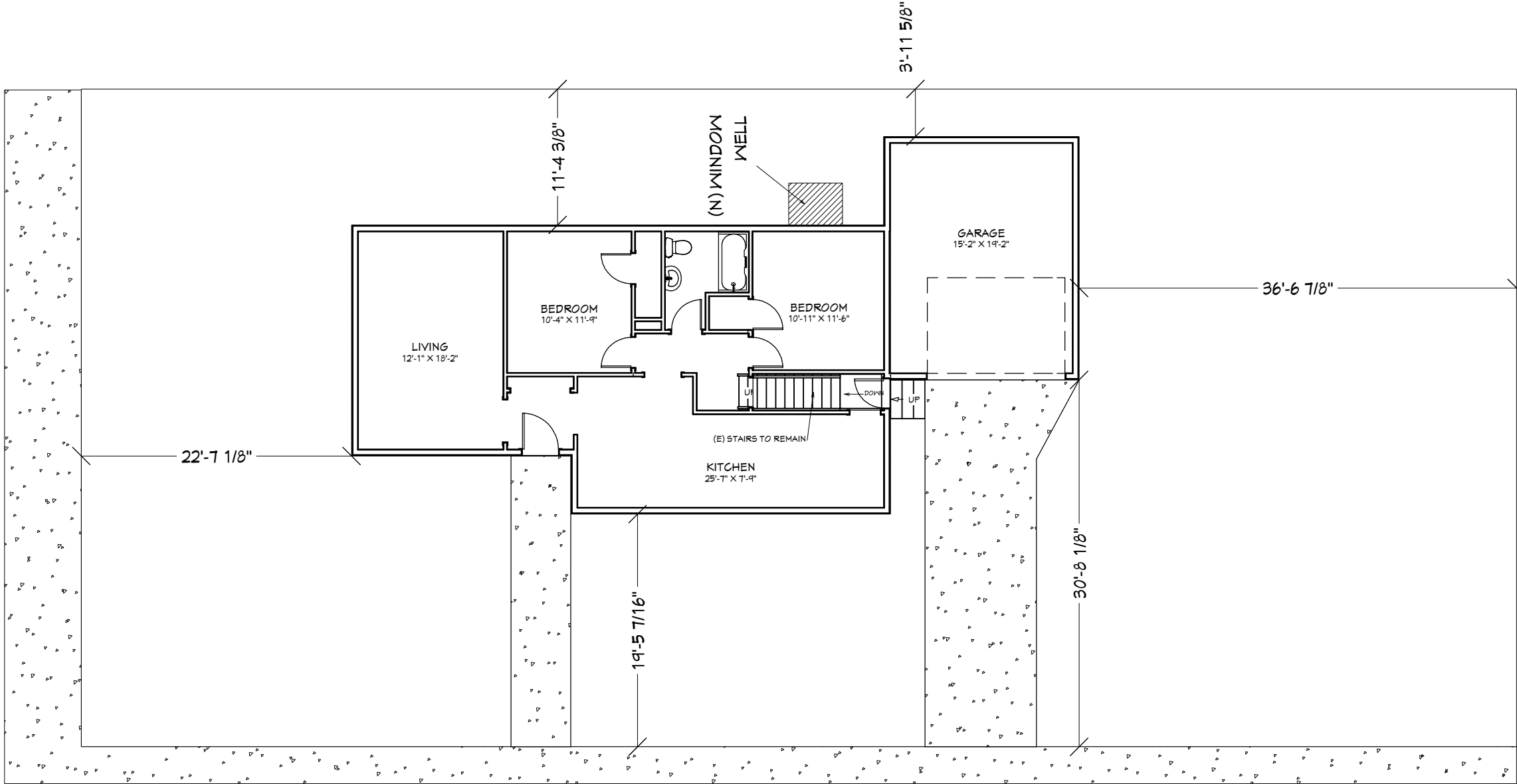
SCALE:

SHEET TITLE:
COVER AND
INFORMATION

PROJECT DESCRIPTION:
3506 SE 119TH AVE
PORTLAND OR 97266

DRAWINGS PROVIDED BY:
SAB DESIGN AND DRAFTING LLC
SASHA.A.BECKWITH@GMAIL.COM
541-231-6318

SE POWELL BLVD



SE 119TH AVE

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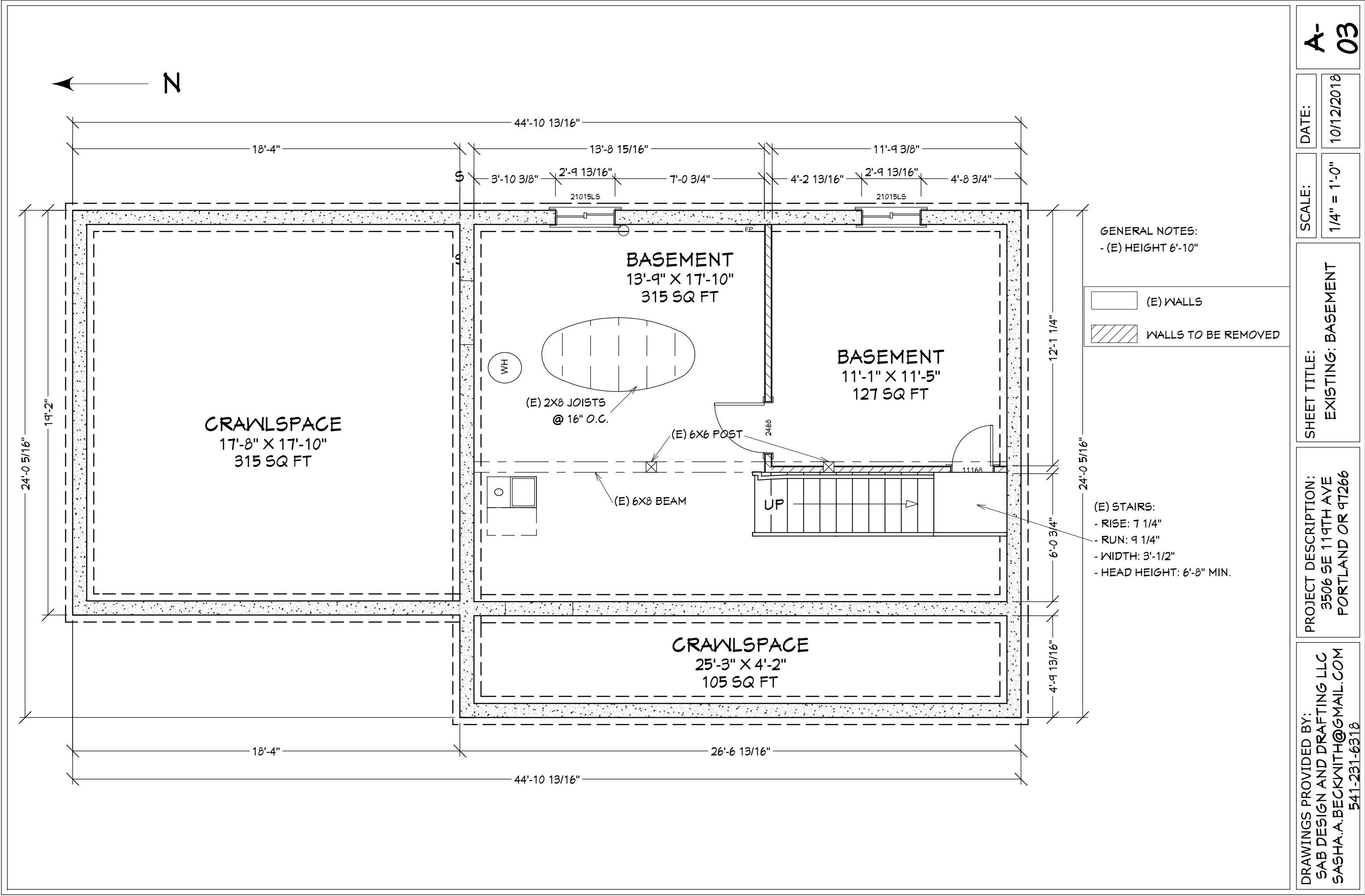
PROJECT DESCRIPTION:
3506 SE 119TH AVE
PORTLAND OR 97266

SHEET TITLE:
SITE PLAN

SCALE:
3/32" = 1'-0"

DATE:
10/12/2018

A-02



A-03

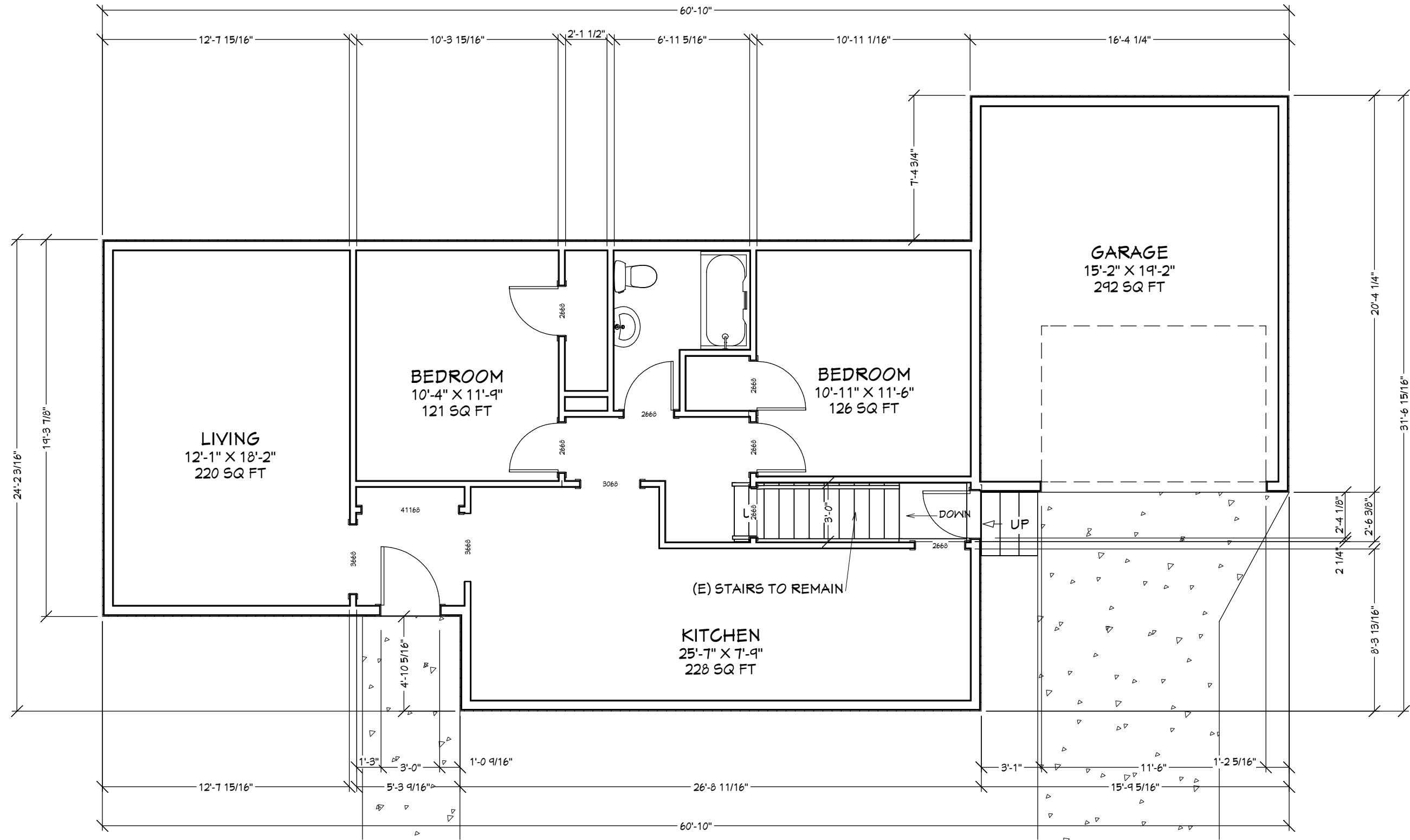
DATE:10/12/2018

SCALE:1/4" = 1'-0"

SHEET TITLE:EXISTING: BASEMENT

PROJECT DESCRIPTION:3506 SE 119TH AVE
PORTLAND OR 97266

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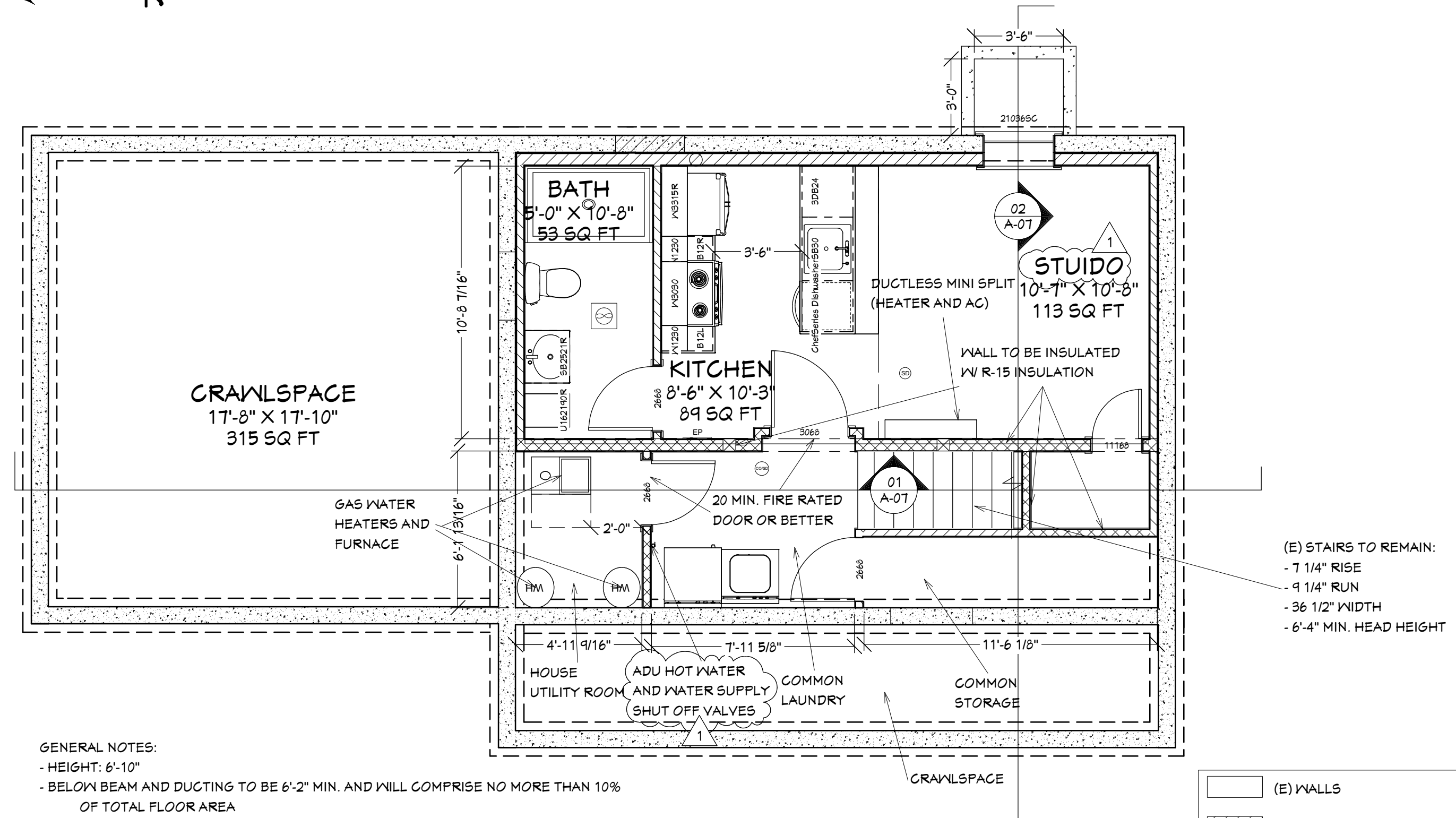
PROJECT DESCRIPTION:
3506 SE 119TH AVE
PORTLAND OR 97266

SHEET TITLE:
EXISTING: MAIN FLOOR

SCALE:
3/16" = 1'-0"

DATE:
10/12/2018

A-04



GENERAL NOTES:

- HEIGHT: 6'-10"
- BELOW BEAM AND DUCTING TO BE 6'-2" MIN. AND WILL COMPRISE NO MORE THAN 10% OF TOTAL FLOOR AREA
- IF DUCTING IS EXPOSED BELOW JOISTS IN ADU IT SHALL HAVE TWO LAYERS OF 5/8" SHEETROCK ON IT
- 1-HR FIRE RATED CEILING SEE 01/A-08 FOR DETAILS
- (E) STAIRS TO REMAIN
- (E) CRAWL SPACE ACCESS TO REMAIN
- (E) HEADERS ARE USED
- CEILING TO HAVE 1-HR FIRE RATING SEE 01/A-08
- (E) STRUCTURAL FRAMING TO REMAIN
- ELECTRICAL TO HAVE TWIN PACK METERING (ADU AND MAIN HOUSE)
- WATER TO HAVE SEPARATE SHUT OFFS ONE FOR ADU AND ONE FOR MAIN HOUSE

	(E) WALLS
	(N) WALLS
	1-HR FIRE RATED WALL
	SMOKE DETECTOR
	CO / SMOKE DETECTOR
	BATHROOM EXHAUST FAN

A-05

DATE:

10/12/2018

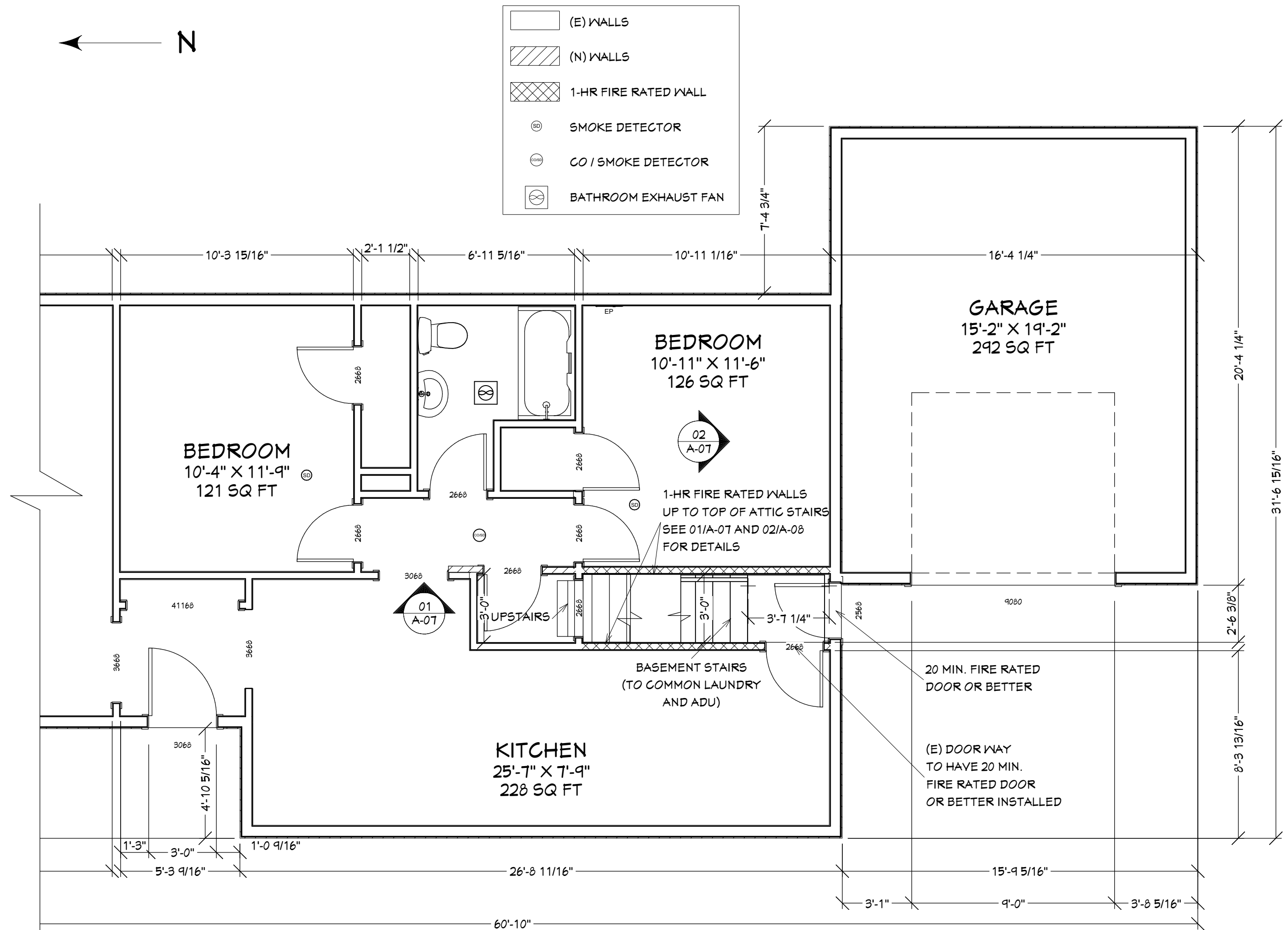
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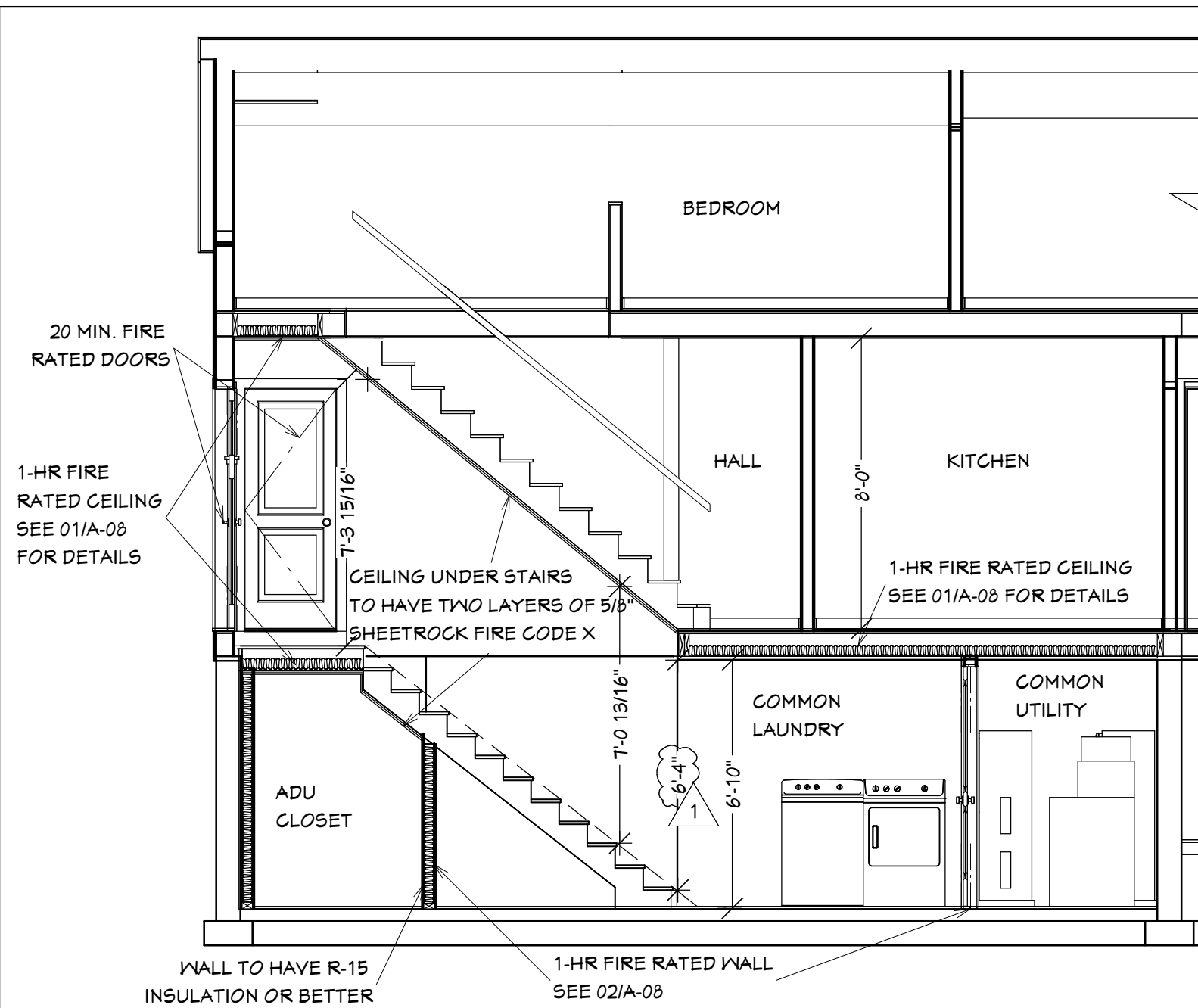
1/4" = 1'-0"

SHEET TITLE:
PROPOSED: ADU

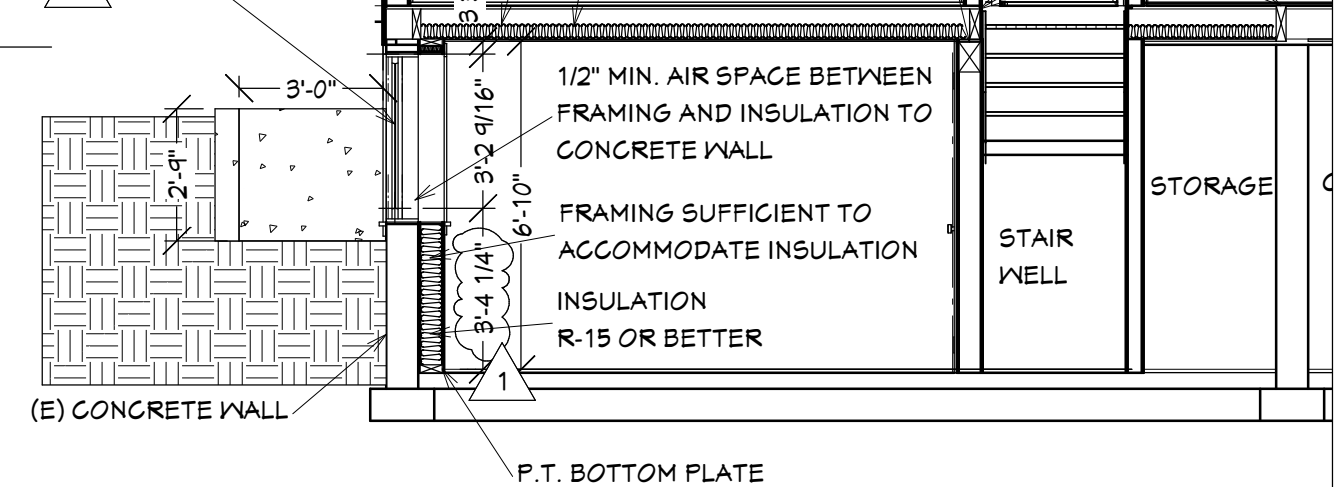
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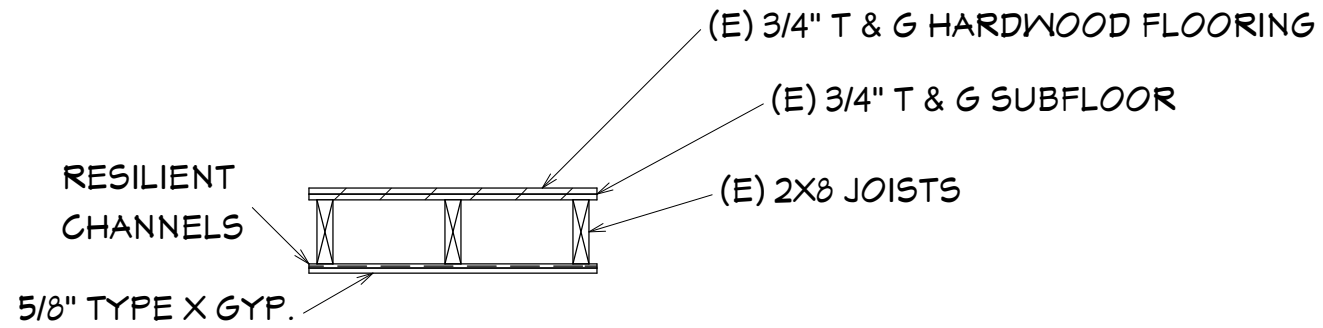


(N) EGRESS WINDOW:
- HEIGHT: 3'-6" MIN.
- WIDTH: 2'-9"
- U-VALUE: 0.3
- TYPE: CASEMENT
- A.F.F.: 3'-7" MAX.



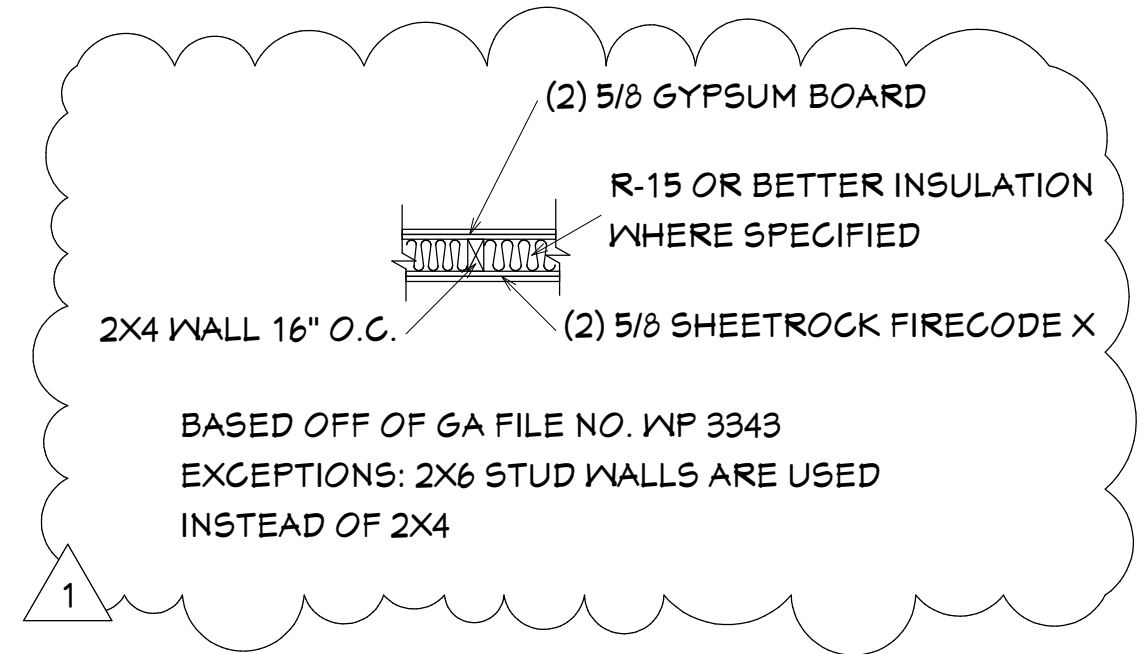
01 A-07 (E) STAIR SECTION AND 1-HR FIRE PROOFING ON STAIRS

02 A-07 BASEMENT WALL AND WINDOW SECTION



ASSEMBLY IS BASED OFF OF GA FILE NO.FC 5240
AND INSTILLATION INSTRUCTIONS SHALL BE FOLLOWED
EXCEPT FOR USING EXISTING FLOOR SYSTEM, AND USING 5/8"
GYPSUM INSTEAD OF 1/2"

DUCTING:
AROUND DUCTING TWO 5/8" GYPSUM
WILL BE USED



BASED OFF OF GA FILE NO. WP 3343
EXCEPTIONS: 2X6 STUD WALLS ARE USED
INSTEAD OF 2X4

01
A-08 1-HR CEILING FIRE PROOFING ASSEMBLE

02
A-08 1-HR WALL FIRE PROOFING AND 45 MIN. STC SOUND ASSEMBLE

A-08

DATE:
10/12/2018

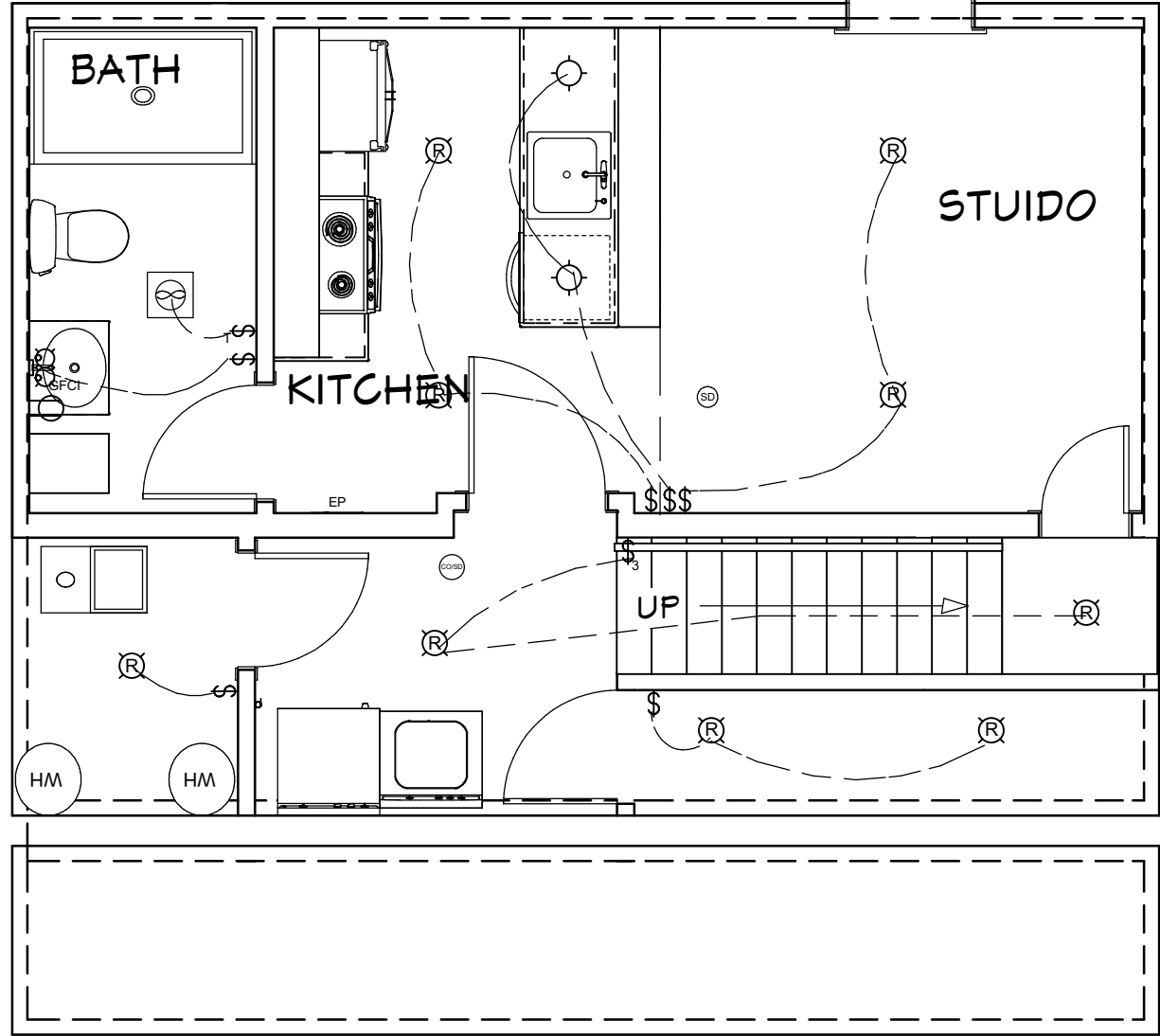
SCALE:
1/4" = 1'-0"

SHEET TITLE:
DETAILS

PROJECT DESCRIPTION:
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CRAWLSPACE



2D Symbol	Electrical KEY Description
	Sconce
	Switch 3-Way
	Single Pole SWITCH
	Switch Timer
	GFCI Outlet
	Pendant
	Recessed Down Light
	Electrical Panel
	CO/Smoke Detector
	Smoke Detector
	Exhaust

- GENERAL NOTES:
- ALL RECESSED CAN LIGHTS WILL BE INSTALLED TO RETAIN THE 1-HR FIRE RATING OF THE CEILING WHERE APPLICABLE
 - ARTIFICIAL LIGHT WILL HAVE A MIN. 6 FOOTCANDLES (65 LUX) OVER THE AREA OF THE HABITABLE SPACE AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL
 - ALL OTHER OUTLETS TO BE INSTALLED PER CODE
 - ELECTRICAL PLAN MAY CHANGE LOCATIONS OF LIGHTS, AND OUTLETS HOWEVER ABOVE NOTES TO REMAIN CONSTANTLY APPLICABLE TO ANY CHANGES
 - 3-WAY SWITCHES SECOND SWITCH IS AT THE TOP OF THE STAIRS