

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20392	Project Address: 2306 SE Caruthers St
Hearing Date: 5/15/19	Appellant Name: Daniel W. Keller
Case No.: B-003	Appellant Phone: 225-244-5900
Appeal Type: Building	Plans Examiner/Inspector: Preliminary
Project Type: residential	Stories: 2 Occupancy: R-3 Construction Type: V-B
Building/Business Name:	Fire Sprinklers: Yes -
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1] [File 2] [File 3] Proposed use: ADU	

APPEAL INFORMATION SHEET

Appeal item 1

Code Section R329.3 (Table) - Exterior Wall Element: Openings in Walls

Requires Code dictates that no openings are permitted in a wall within 3' of a property line in dwelling units containing a loft.

Proposed Design The proposal is to convert an existing detached garage into an ADU. The garage is located 20" from the South and West property lines. We are proposing to maintain the existing original [35"x28"] opening on the West Facade and the existing original [35"x28"] and [35"x46"] openings on the South Facade. As the unit contains a loft, the walls will be 2-hr fire resistance rated assemblies and the building will be equipped with an NFPA 13D fire sprinkler system per R329.3.

Reason for alternative The alternative is requested because:

The openings are an existing original condition of the garage, and;
The intent of the proposal is to convert an existing non-habitable space to living space. In doing so, we are required to meet the standards set forth in R303 for Habitable Rooms. Currently, the existing window configuration meets and exceeds the standards set forth in this section. To cap the three openings in question would take the structure out of conformance with R303, and thus maintaining the openings as-built will provide better health standard for the ADU.
Furthermore, the alternative will provide equivalent fire protection as the walls assemblies will be updated to meet the required 2-hr fire rating and the building will be provided with additional fire resistance via an NFPA 13D fire sprinkler system.

Appeal item 2

Code Section ORSC R329.3 (Table) - Exterior Wall Element: Walls

Requires	Code requires 2 hour-tested in accordance with ASTM E 119 or UL 263 with exposure from both sides, and; Exterior wall covering with a flame spread index of 25 or less as determined in accordance with ASTM E 84 or UL 723, or approved equivalent for walls less than 3' from property line in dwelling units containing a loft.
Proposed Design	<p>The proposal is to convert an existing detached garage into an ADU. The garage is located 20" from the South and West property lines. The existing garage is finished at the exterior face with aluminum siding in conformance with ASTM E 84. The proposed alternative method is to leave the exterior membrane undisturbed and meet the required 2-hr fire rating by applying (2) additional layers of 5/8" Type X Gypsum on the interior side only. The referenced assembly UL-U301 contains the following specifications:</p> <p>Base Layer: 5/8" (15.9 mm) ToughRock® Fireguard X™ or 5/8" (15.9 mm) DensArmor Plus® Fireguard® gypsum board applied vertically or horizontally using 1-7/8" (48 mm) 6d coated nails 6" (152 mm) o.c. to each side of 2" x 4" wood studs 16" (406 mm) o.c. Face Layer: 5/8" (15.9 mm) ToughRock® Fireguard X™ Products or 5/8" (15.9 mm) DensArmor Plus Fireguard gypsum board applied vertically or horizontally to studs over base layer with 2-3/8" (60 mm) 8d coated nails 8" (203 mm) o.c. Stagger joints 16" (406 mm) o.c. each layer and side. Sound Tested with studs 16" (406 mm) o.c. and with nails for base layer spaced 6" (152 mm) o.c.</p> <p>The alternative would alter sections indicating "to each side" to "to interior side only."</p>

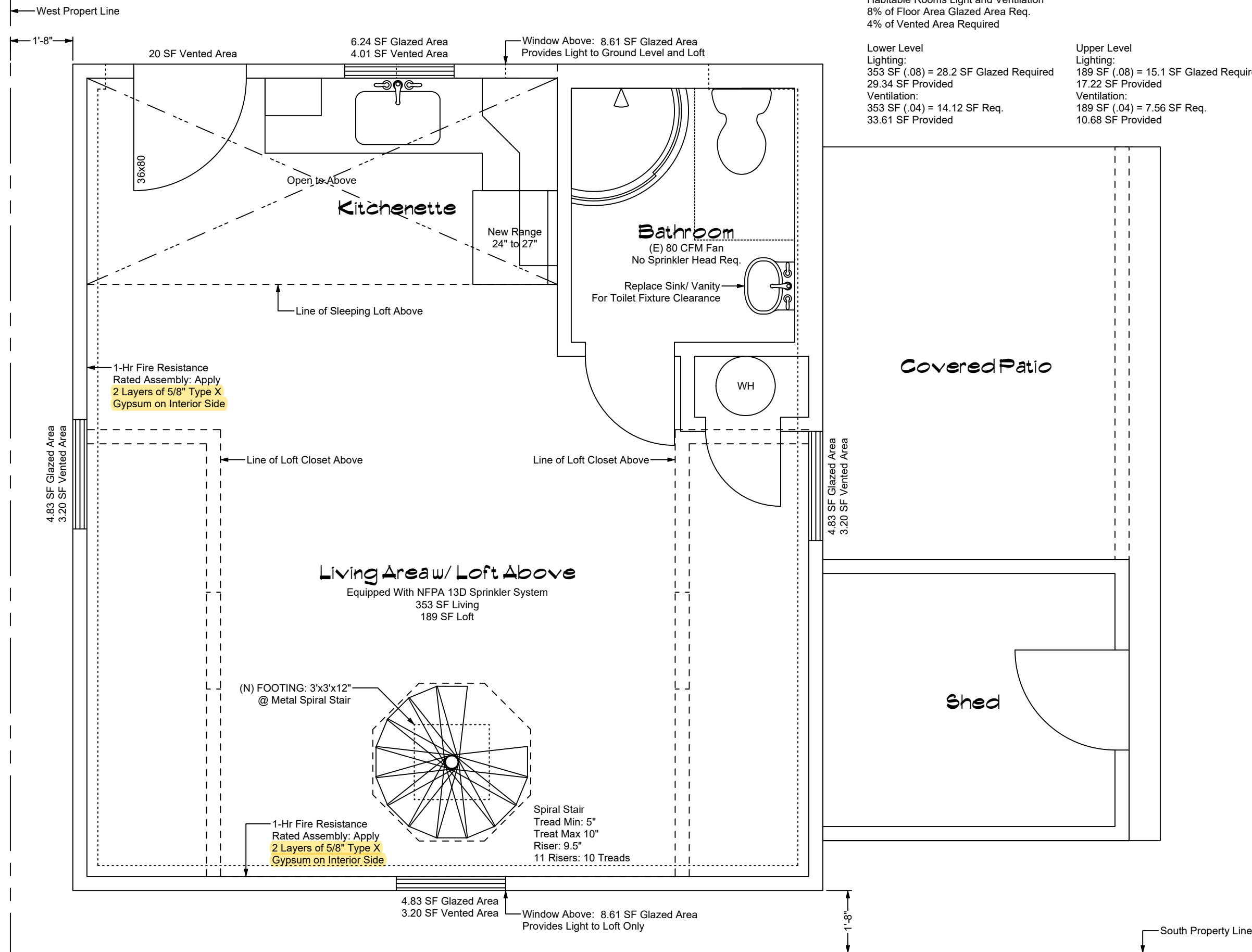
Reason for alternative	<p>The alternative is requested because the garage is finished in an existing original non-combustible exterior aluminum siding is desired to be left undisturbed.</p> <p>The reason will provide equivalent fire protection as the exterior wall covering is of non-combustible metal siding, the interior side will be provided with required layers of fire rated gypsum wall board, and the structure will be equipped with an automatic sprinkler system.</p>
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APPEAL DECISION

- 1. Unprotected openings in walls within 3 feet of property line. Denied. Proposal does not provide equivalent Life Safety protection.**
- 2. Alternate 2 hour exterior wall assembly: Denied. Proposal does not provide equivalent Life Safety protection.**

Appellant may contact John Butler (503 823-7339) with questions.

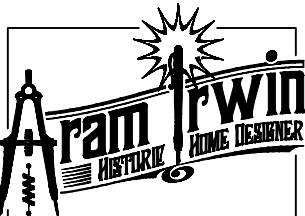
Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



Habitable Rooms Light and Ventilation
8% of Floor Area Glazed Area Req.
4% of Vented Area Required

Lower Level
Lighting:
353 SF (.08) = 28.2 SF Glazed Required
29.34 SF Provided
Ventilation:
353 SF (.04) = 14.12 SF Req.
33.61 SF Provided

Upper Level
Lighting:
189 SF (.08) = 15.1 SF Glazed Required
17.22 SF Provided
Ventilation:
189 SF (.04) = 7.56 SF Req.
10.68 SF Provided



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Structural Engineer

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Legal

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Project

Samuelson Garage Studio
#2306 SE CARUTHERS RD

Application #: TBD

Title

Plan, Existing,
Converted
Garage

Version

Appeal

Date

05-07-19

Updated By

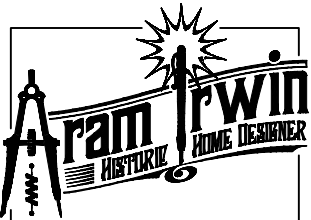
DWK

Scale

3/8" = 1' @ 11"x17"



APPEALS: EXHIBIT A



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Project

Samuelson Garage Studio
2306 SE CARUTHERS RD

Application #: TBD

Title

Section,
Existing & New
East-West

Version

Appeals

Date

05-07-19

Updated By

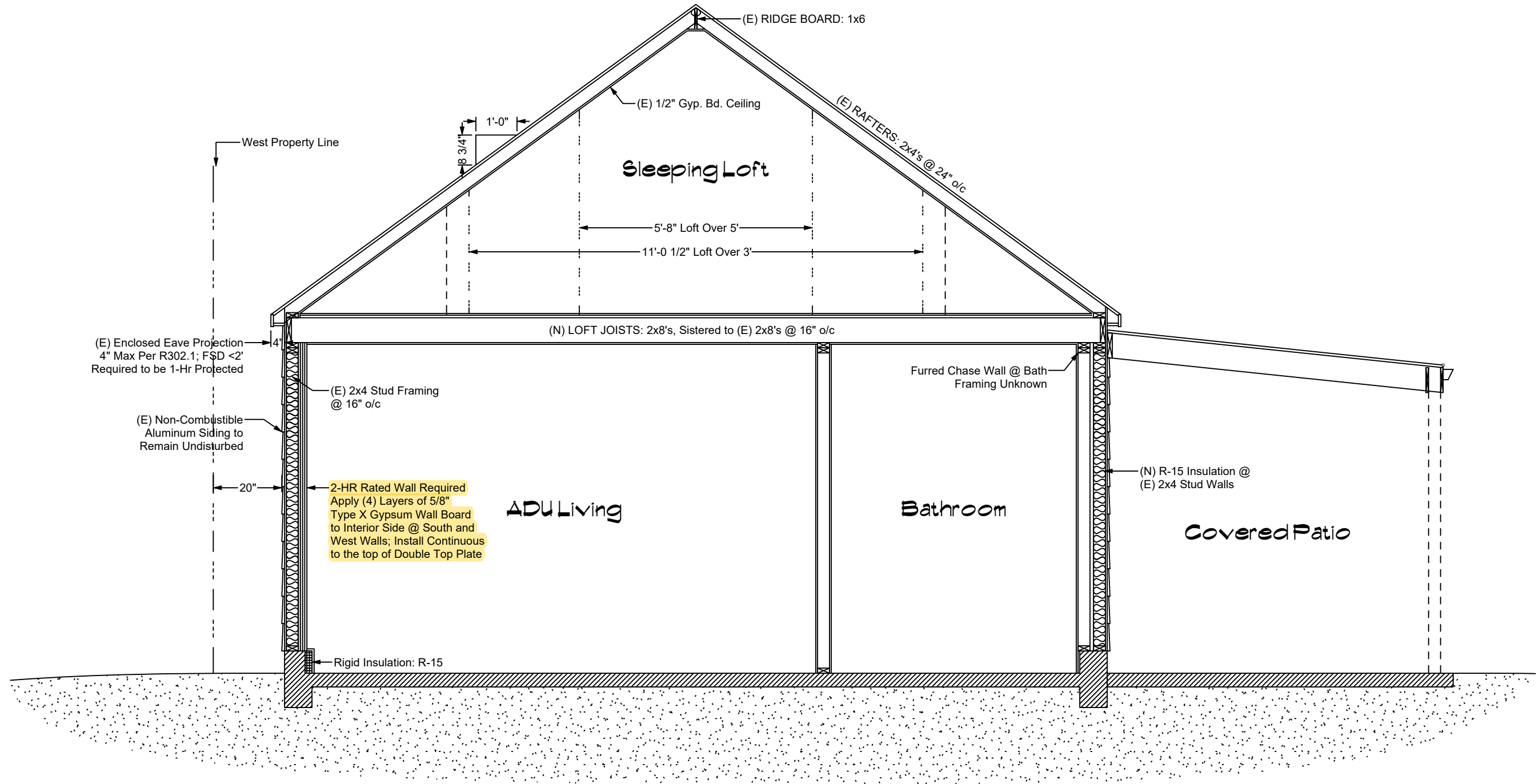
DWK

Scale

3/8" = 1' @ 11"x17"

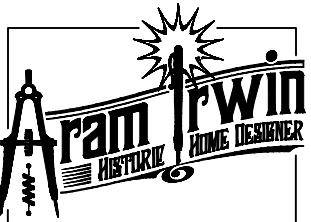
A3.0

02/03



1 Section, Existing & New, (E-W)
A3.0 Scale: 3/8" = 1'

APPEALS: EXHIBIT B



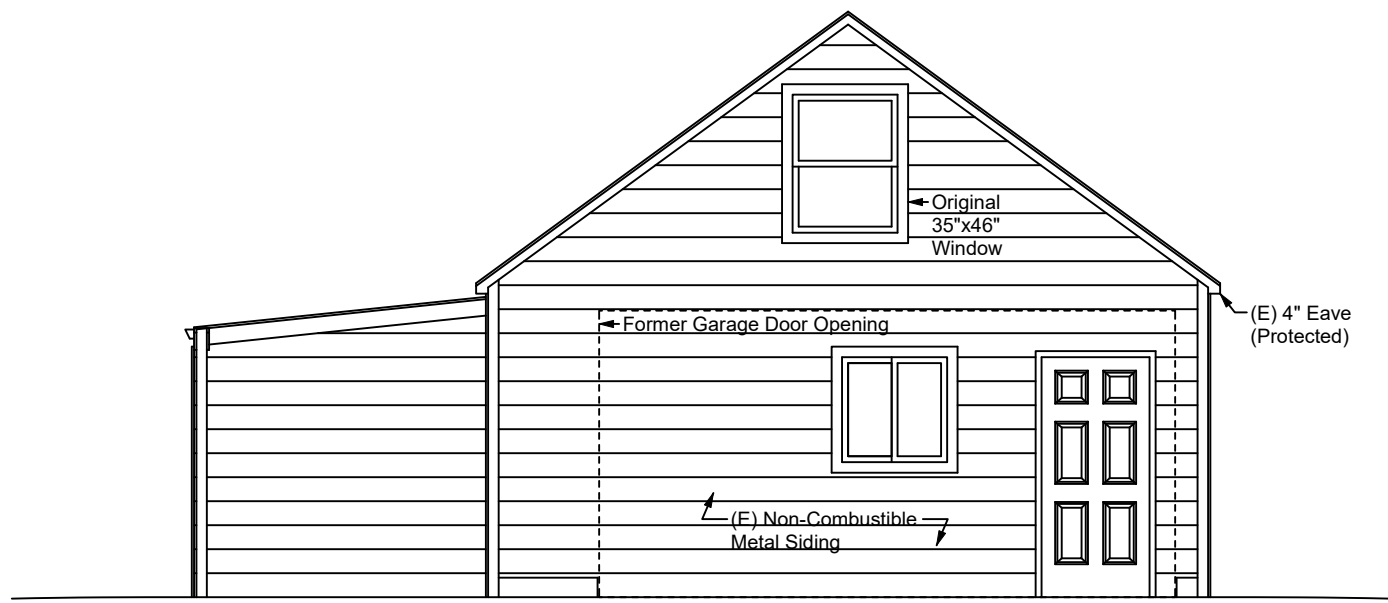
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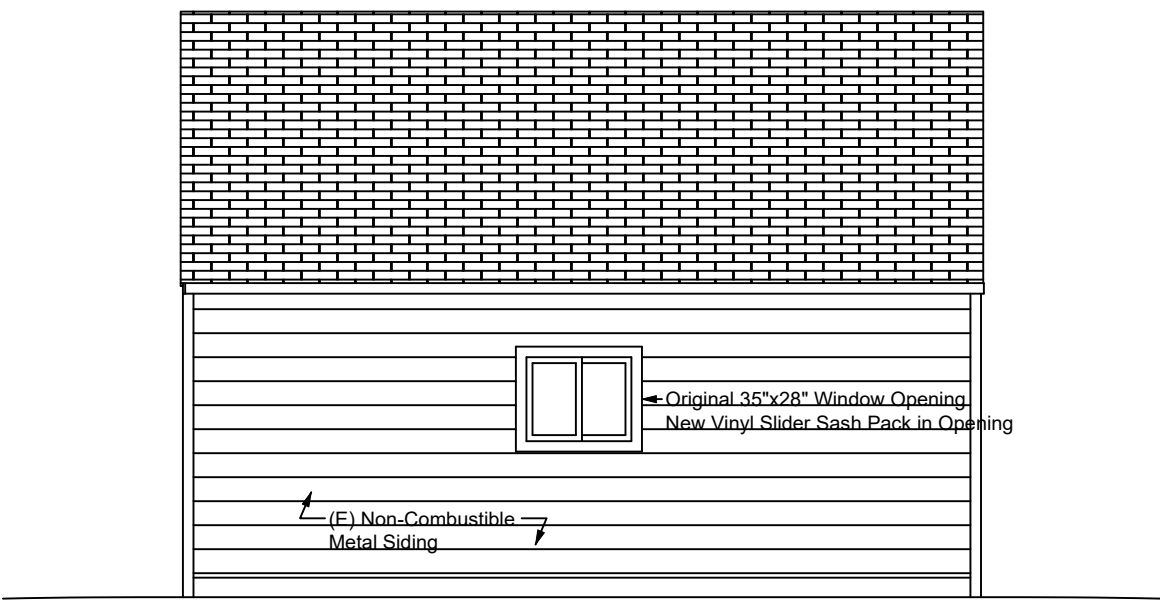
Legal	Project
	Samuelson Garage Studio # 2306 SE CARUTHERS RD

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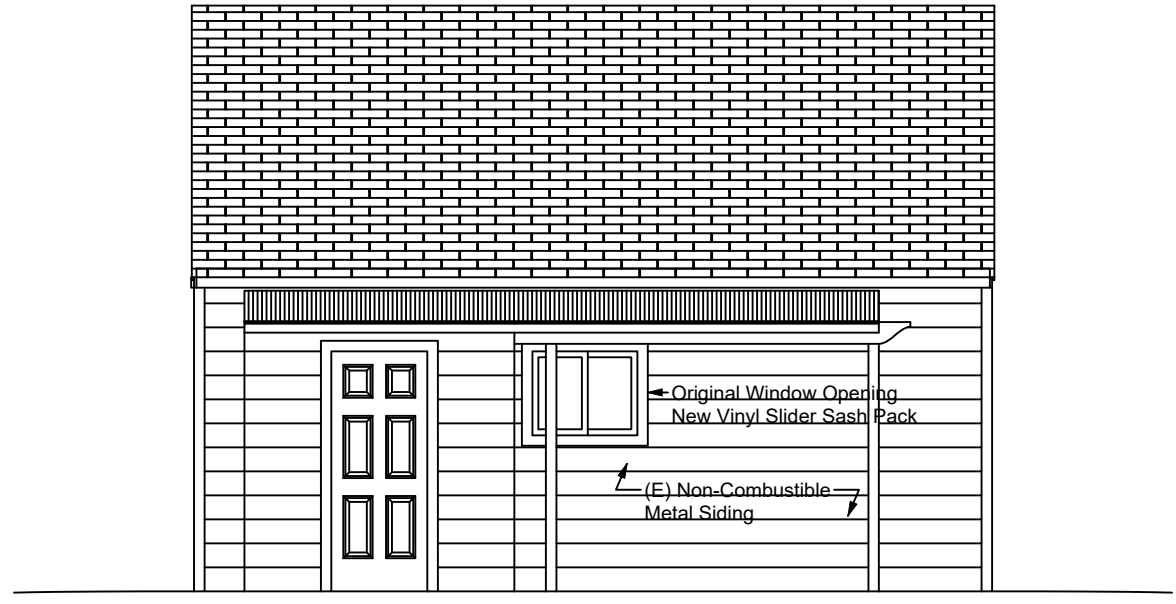
Application #: TBD	
Title Elevations, Existing & New (N), (E), (S), (W)	
Version Appeal	
Date 05-07-19	Updated By DWK
Scale 3/16" = 1' @ 11"x17"	



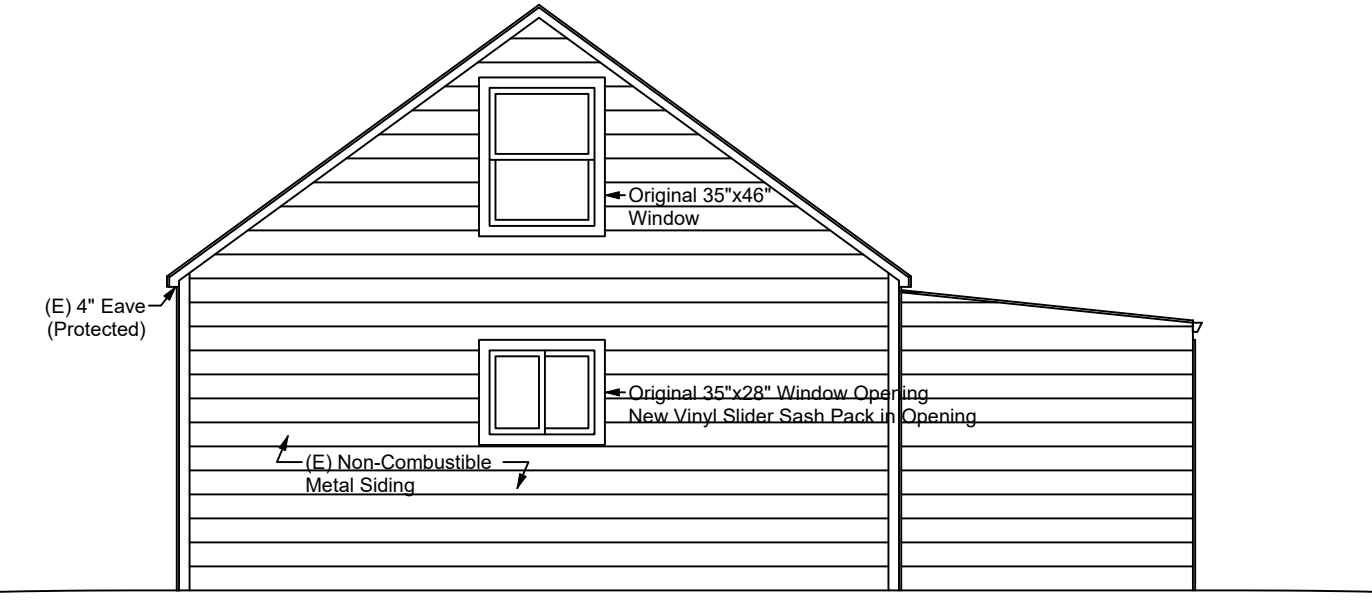
1 Elevation, (E) & (N), North
A4.0 Scale: 3/16" = 1' 0' 2' 4'



2 Elevation, (E) & (N), West
A4.0 Scale: 3/16" = 1' 0' 2' 4'



3 Elevation, (E) & (N), East
A4.0 Scale: 3/16" = 1' 0' 2' 4'



4 Elevation, (E) & (N), South
A4.0 Scale: 3/16" = 1' 0' 2' 4'