

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered - Held over from ID 20373 (5/8/19) for additional information

Appeal ID: 20402	Project Address: 1534 N Blandena St
Hearing Date: 5/15/19	Appellant Name: Paul D. Wolfe
Case No.: B-012	Appellant Phone: 5039543065
Appeal Type: Building	Plans Examiner/Inspector: Geoffrey Harker
Project Type: commercial	Stories: 4 Occupancy: R-1, R-2 Construction Type: V-A
Building/Business Name: Overlook 8 Motel	Fire Sprinklers: Yes - NFPA 13 Throughout
Appeal Involves: Alteration of an existing structure, Reconsideration of appeal	LUR or Permit Application No.: 19-122517-CO
Plan Submitted Option: pdf [File 1] [File 2]	Proposed use: Apartment Housing / Motel (transient)

APPEAL INFORMATION SHEET

Appeal item 1

Code Section Scope and Administration – IRC/1/#3

Requires Four story structure with more than 2,000 sf total enclosed space and enclosed and /or habitable space on more than three levels shall have at least two exit doors to the exterior, each on a different level.

Proposed Design Permit 14-254719-CO and 14-254723-CO established a multifamily residential project of (2) buildings with (4) 4-story units in each building. Both buildings are permitted under the commercial code and equipped throughout with NFPA 13 fire sprinkler systems. The eastern building on the site includes the addresses 1518, 1520, 1522, and 1524 N Blandena Street. The western building on the site includes addresses 1528, 1530, 1534, and 1536 N Blandena Street. This appeal is in reference to permit 19-122517-CO for 1534 N Blandena (Also referred to as Unit 2W). Please note the unit layout for all 8 units is nearly identical. Permit 19-122517-CO proposed converting a single room on the ground floor of Unit 2W to R-1 motel/transient occupancy and includes applicable fire separations as required by the code for R-1 to R-2 occupancy separations.

Two exits will be provided from the main R-2 dwelling unit, at ground level, each exiting to a separate side of the building.

One exit path exits out the eastern “front” door into the center drive court. The second path of egress shall be through the adjacent R-1 transient occupancy unit to the exterior. Door 101 separating the R-2 and R-1 occupancies will be of 1-hour construction and will be equipped with panic hardware connected to the fire alarm with a sign stating, “EMERGENCY EXIT – Alarm will sound if door is opened.” The door hardware function will not allow it to be locked from either side; no operation hardware is proposed on the R-1 side of the door. A direct path of egress is provided

from door 101 to door 102 and emergency egress lighting of a minimum of 1 fc is provided. Door 102 will be equipped with an exit sign.

Reason for alternative Two separate exit doors, exiting to opposite sides of the building was approved for this structure under Appeal ID #10781 and #10784. Note that the appeal addresses for these two appeals are 1526 and 1532 N Blandena Street however under Permit 14-254719,23-CO they were applied to all 8 units within the project.

This proposed design maintains the egress route approved under those appeals for the new proposed configuration of two separate units within the same structure; a 4-story R-2 single family unit and a 1-story R-1 transient occupancy unit. The units are separated and adhere to all applicable fire and codes. The path of egress for the second exit has not changed in length from the prior approved appeals. Door 101 is now a rated door in a fire barrier tied directly to the fire alarm and is part of the fire separation of the two units, but remains in the same location and exit configuration as originally proposed and approved. The proposed design provides equivalent life-safety and will have the increased safety benefit of triggering the fire alarm in the event that door 101 is used.

APPEAL DECISION

Second exit from 4 story townhouse through separate R1 unit: Denied. Proposal does not provide equivalent Life Safety protection.

Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

Development Services

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APPEAL SUMMARY

Status: Decision Rendered - Reconsideration of ID 10765

Appeal ID: 10784

Project Address: 1532 N Blandena St

Hearing Date: 5/28/14

Appellant Name: Gabriel Dominek

Case No.: B-012

Appellant Phone: 503-380-6143

Appeal Type: Building

Plans Examiner/Inspector: Catherine Heeb

Project Type: commercial

Stories: 4 **Occupancy:** R-2 **Construction Type:** V-A

Building/Business Name: Overlook 8

Fire Sprinklers: Yes - throughout

Appeal Involves: Reconsideration of appeal

LUR or Permit Application No.:

Plan Submitted Option: pdf [File 1]

Proposed use: dwellings

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1021.1.4 Multistory Dwelling Units

Requires 1021.1.4.1 Limits multistory dwelling units to three floors with one exit.

Proposed Design The building will be equipped with an approved automatic sprinkler system of type NFPA 13 in accordance with Section 903.3.1.1 in place of NFPA 13R.

Two exits provided at ground level, each exiting to a separate side of the building.

The townhomes will be separated by a 2 hr demising partition in place of 1 hr per 2010 OSS Table 720-1(2), Item 14.1-5.

A smoke tight wall assembly and door will be provided at the second floor. The door will be on a magnetic hold-open and linked to the smoke detection system. In the event of fire/smoke this door will close and provide two distinct zones connecting no more than three stories.

Reason for alternative Due to site constraints it is unfeasible to add an exit above the ground level. The travel distance will not exceed 125 feet allowed under 1014.3. Upgrading the sprinkler system to NFPA 13, increasing the fire resistance of the common walls to 2 hours + providing a smoke tight enclosure at the second level to create distinct vertical zones of no more than three stories will provide equivalent life safety to occupants.

APPEAL DECISION

Exiting from 4th story of dwelling unit: Granted provided the common wall between dwelling units is constructed as a 2 hour Fire Barrier, units are sprinklered per NFPA 13, and smoke tight door is provided at 2nd floor.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.



1 Site Plan
A0.01 Scale: 3/16" = 1'-0"



DRAWING:

Site Plan

SHEET NO.:

A0.01

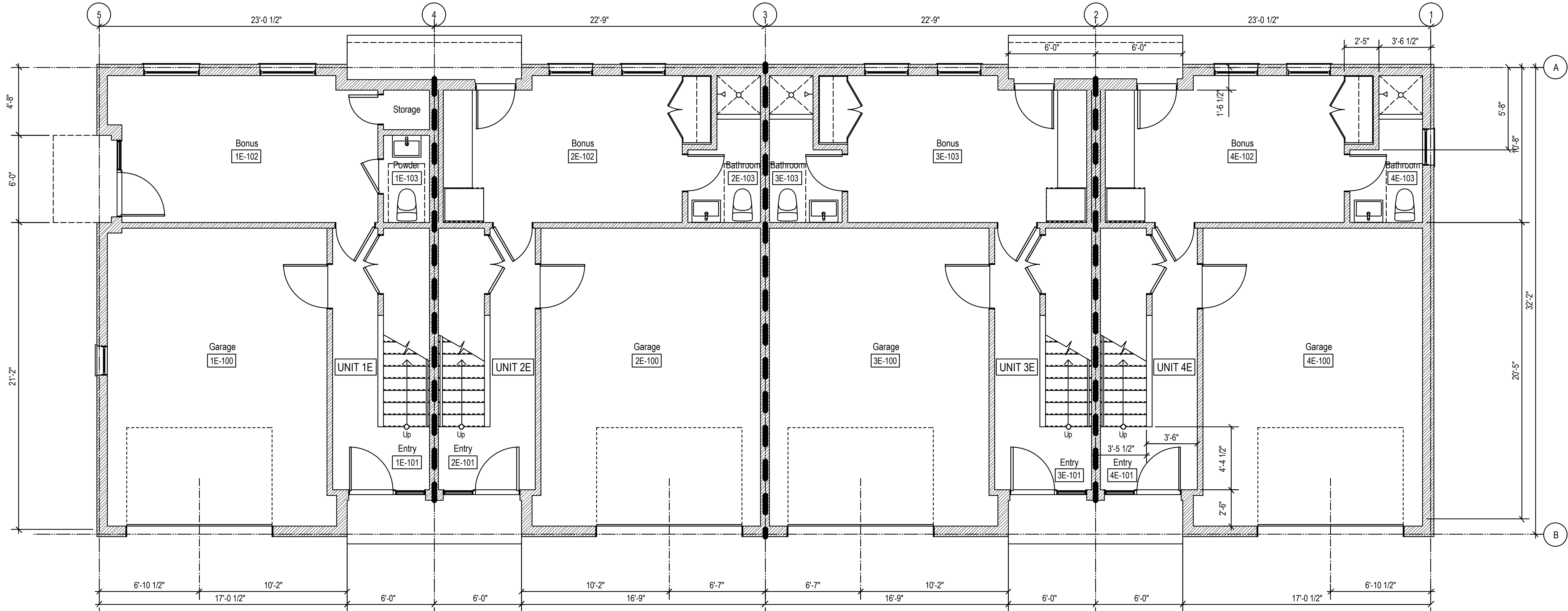
Budgeting Set

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014

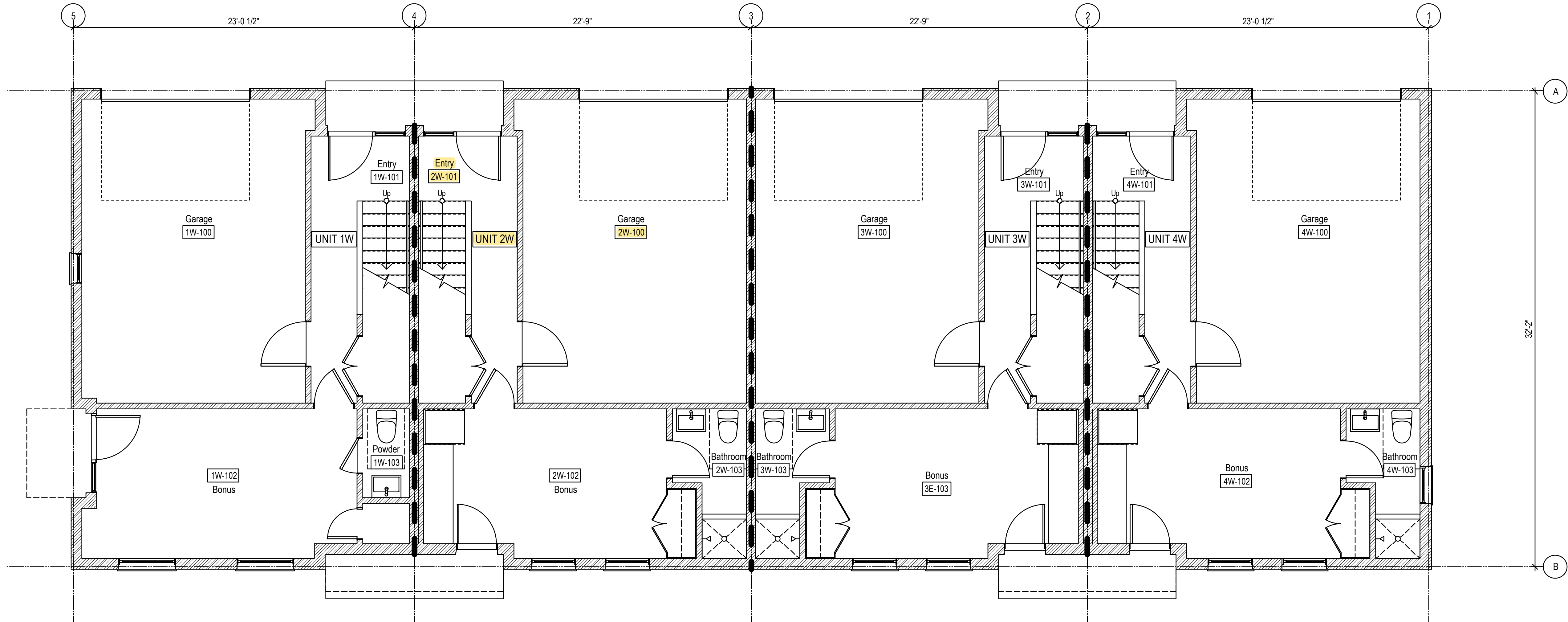
Overlook 8 Townhouses
JOB NO: 14-002
1526 + 1532 N Blandena, Portland OR 97217

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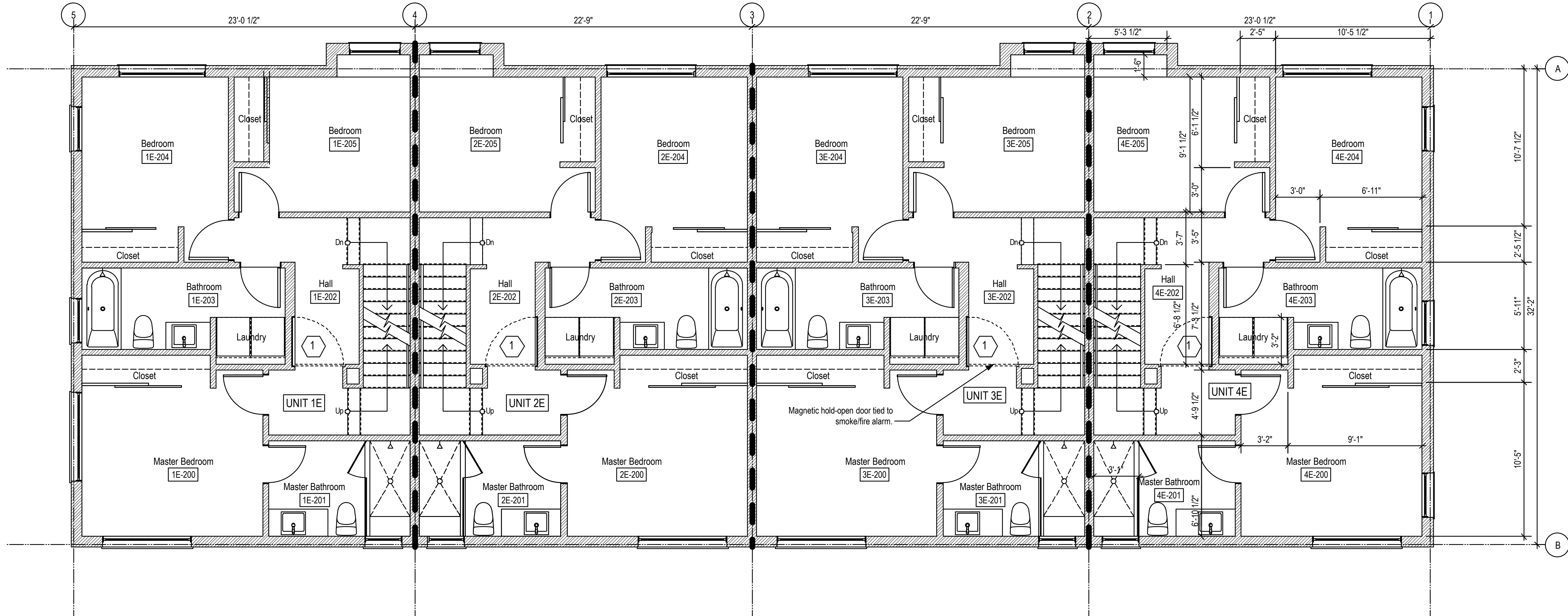
1 EAST BUILDING: First Floor Plan
Scale: 1/4" = 1'-0"



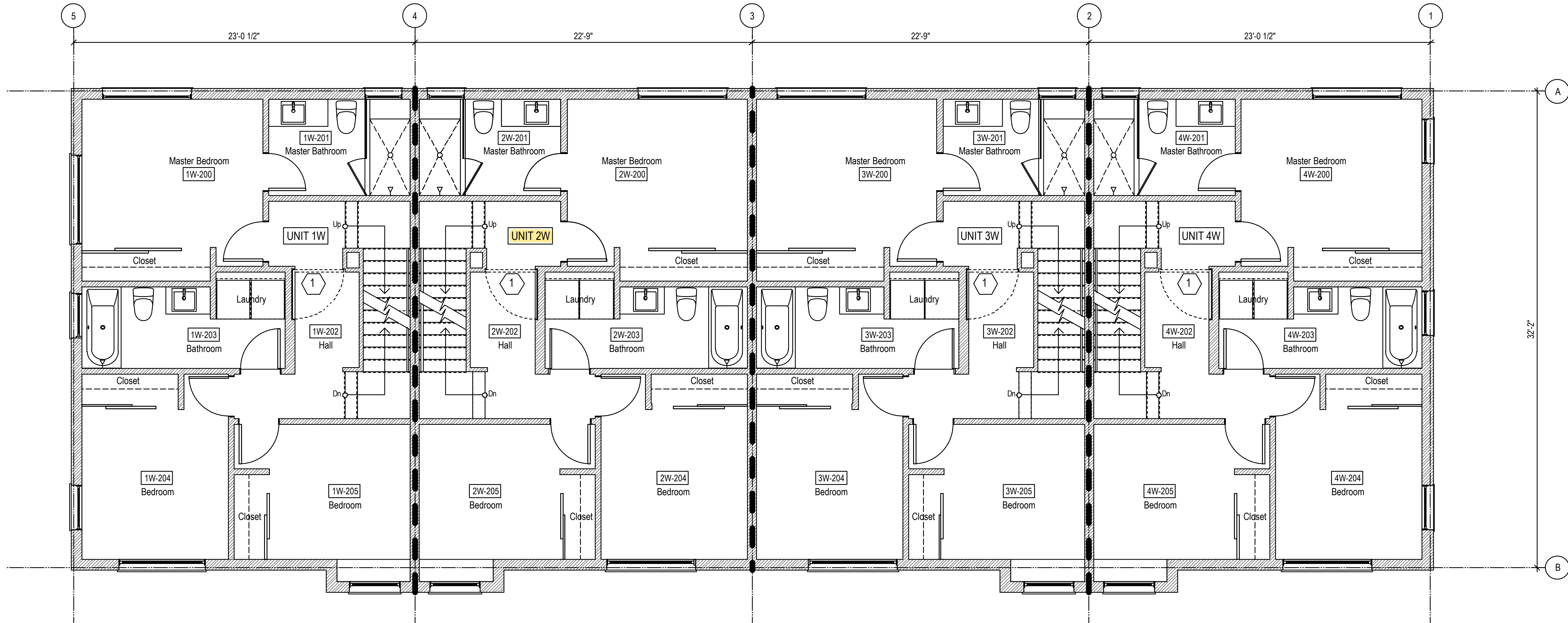
2 WEST BUILDING: First Floor Plan
Scale: 1/4" = 1'-0"

2-hour wall assembly per 2010 OSSC Table 720.1(2), Item number 14-1.5

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014



1 EAST BUILDING: Second Floor Plan
Scale: 1/4" = 1'-0"



2 WEST BUILDING: Second Floor Plan
Scale: 1/4" = 1'-0"

1 Smoke tight door on a magnetic hold-open and linked to the smoke detection system. In the event of fire/smoke this door will close and provide two distinct zones connecting no more than three stories.
2-hour wall assembly per 2010 OSSC Table 720.1(2), Item number 14-1.5

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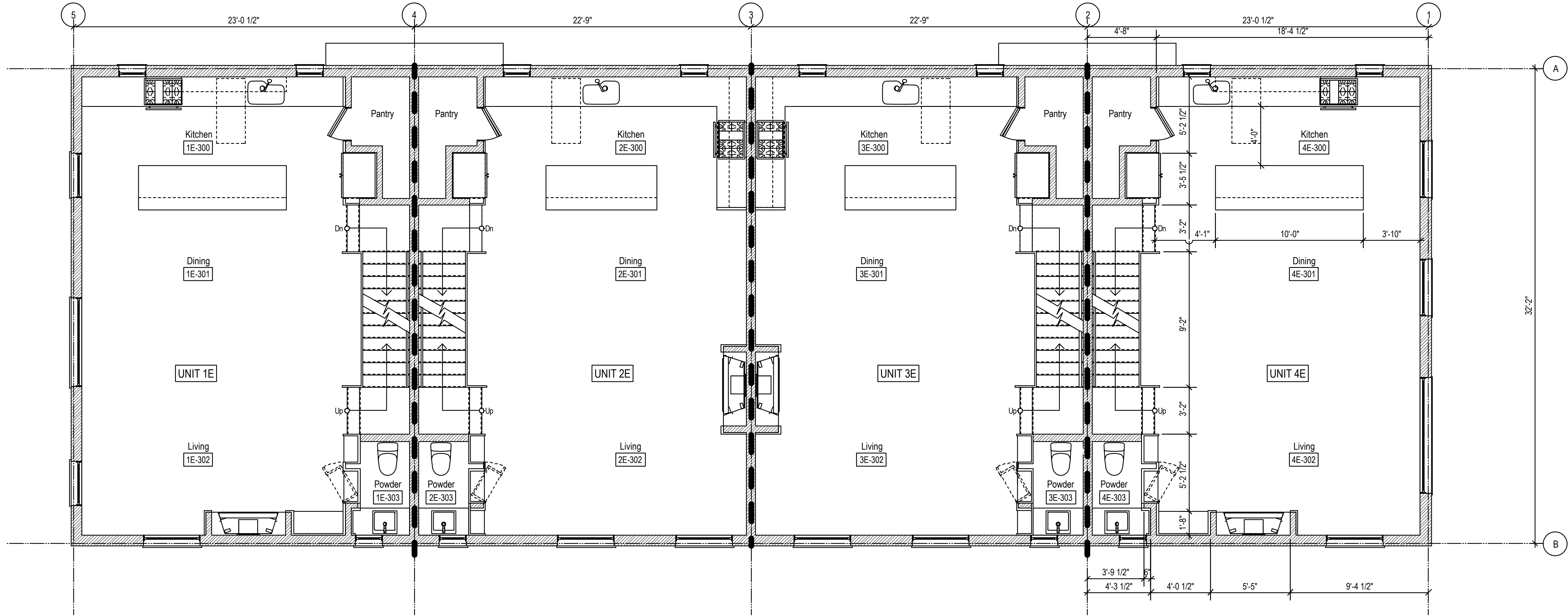
Budgeting Set

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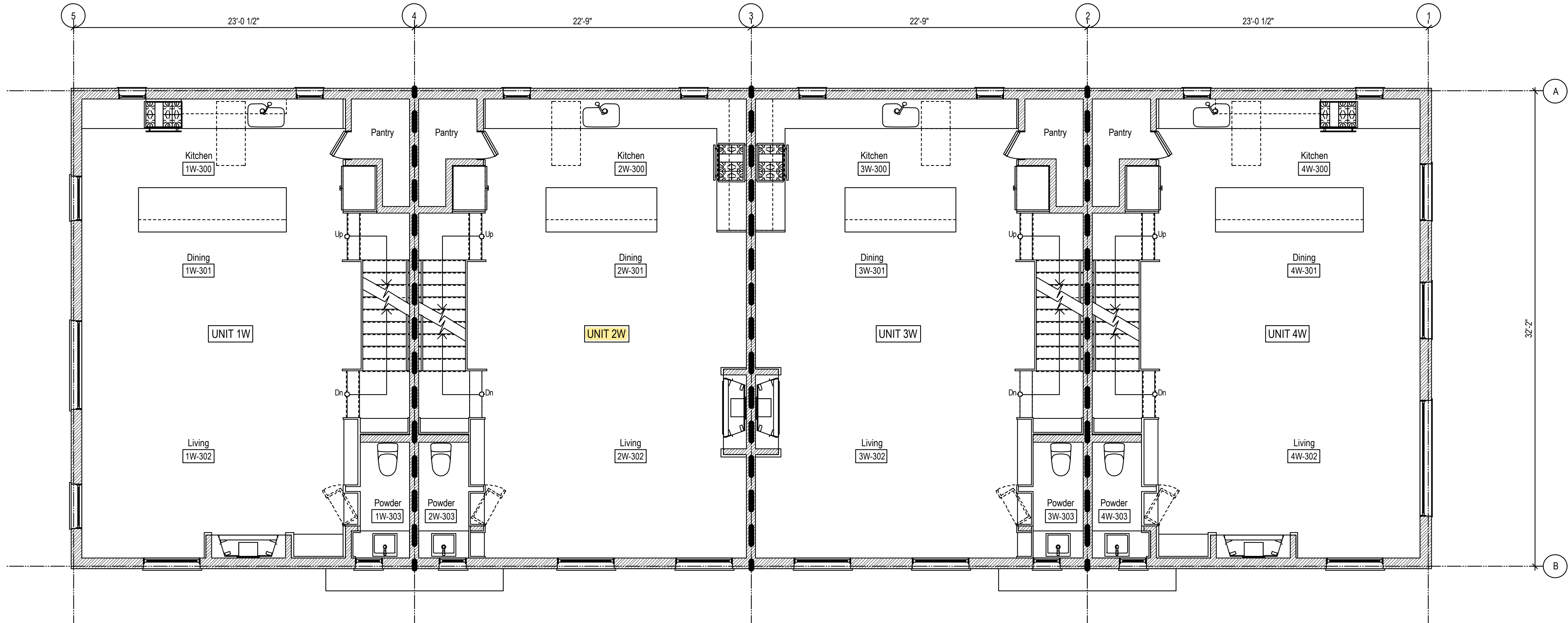
DRAWING:
SHEET NO.:

Second Floor Plans

A1.02



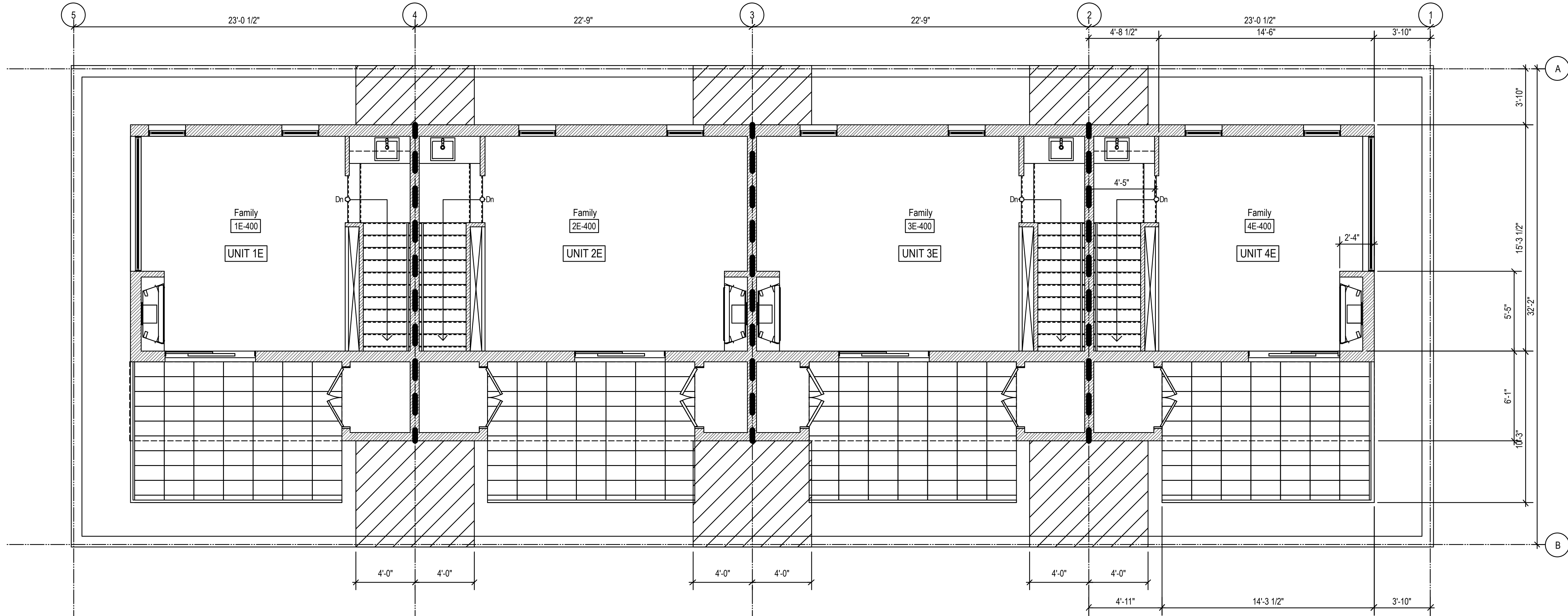
1 EAST BUILDING: Third Floor Plan
Scale: 1/4" = 1'-0"



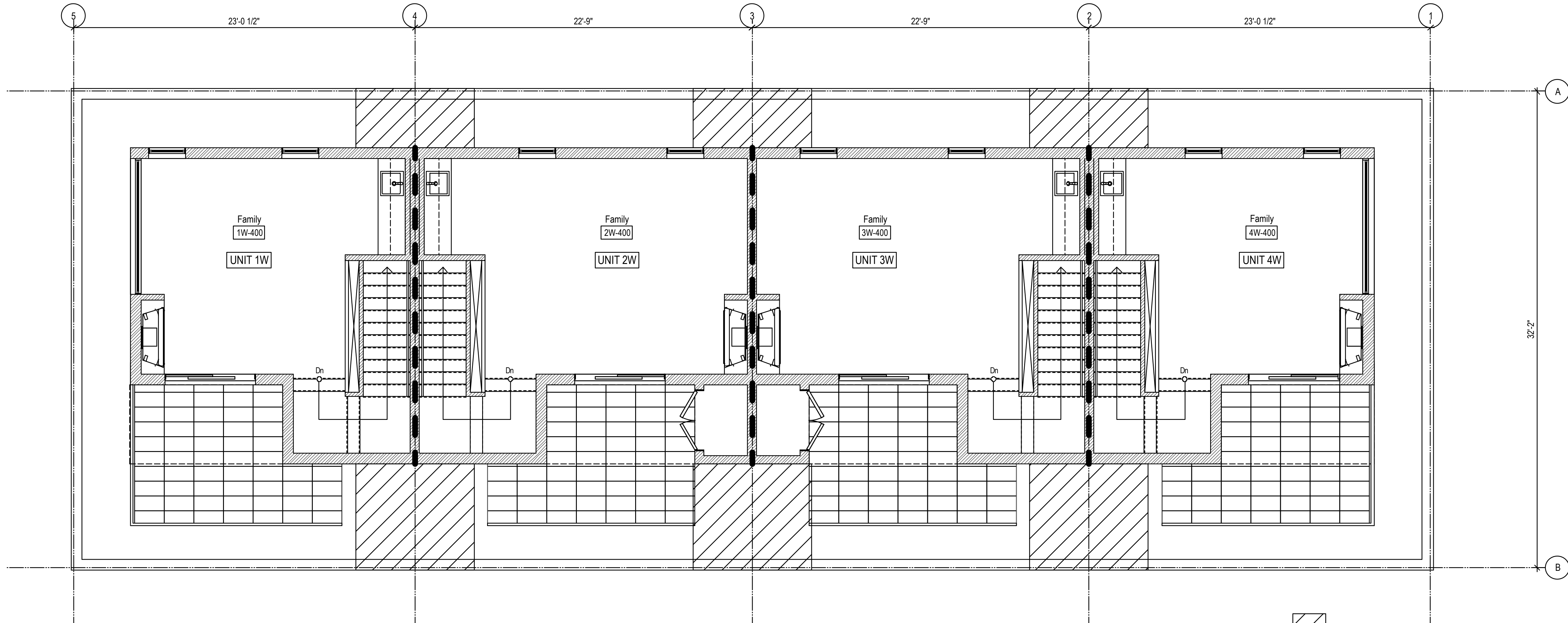
2 WEST BUILDING: Third Floor Plan
Scale: 1/4" = 1'-0"

2-hour wall assembly per 2010 OSSC Table 720.1(2), Item number 14-1.5

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014



1 EAST BUILDING: Fourth Floor/Deck Plan
A1.04 Scale: 1/4" = 1'-0"

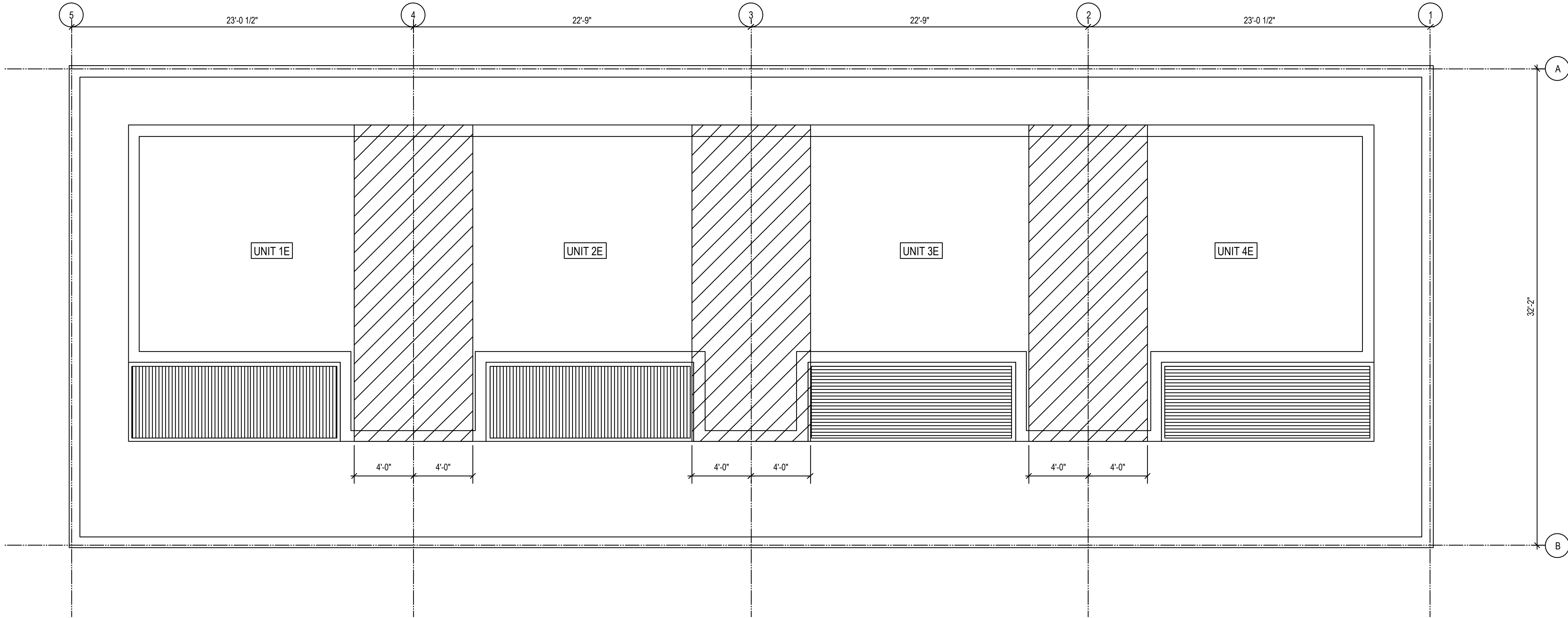


2 WEST BUILDING: Fourth Floor/Deck Plan
A1.04 Scale: 1/4" = 1'-0"

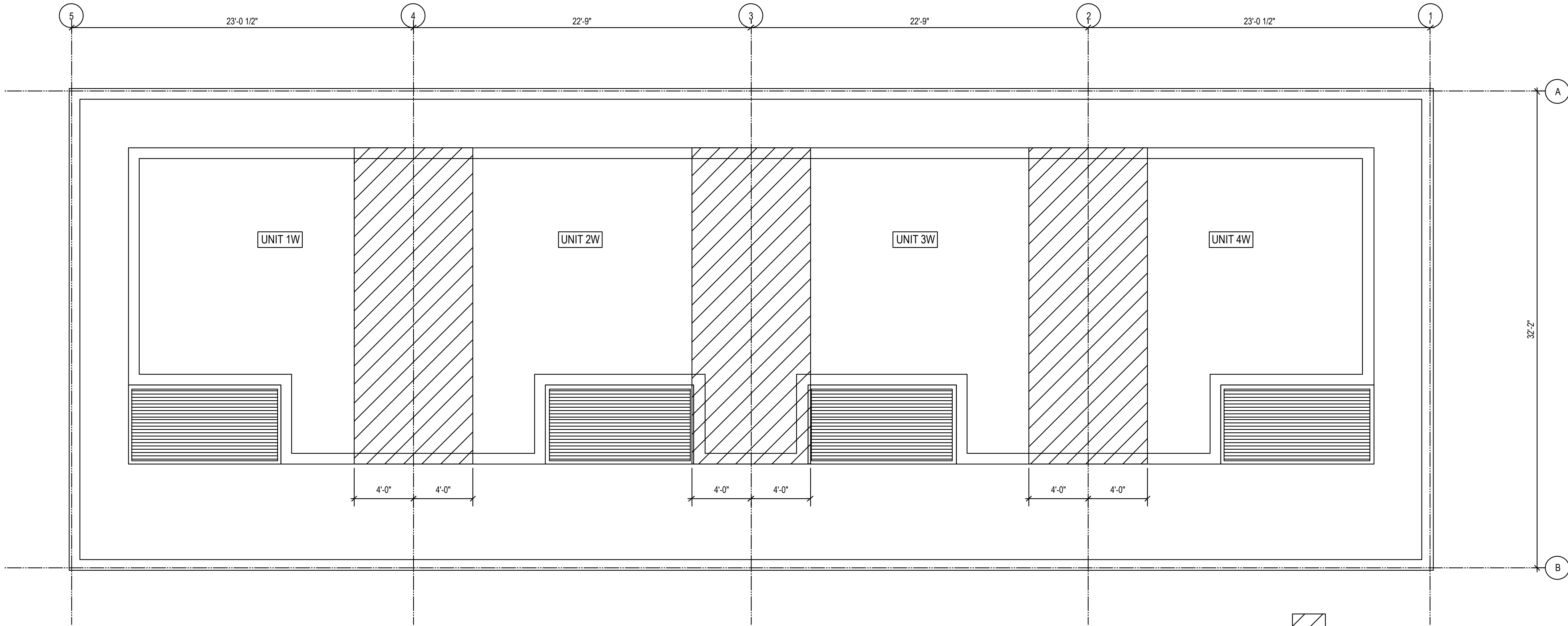
No penetrations this area, typ.

2-hour wall assembly per 2010 OSSC Table 720.1(2), Item number 14-1.5

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014



1 EAST BUILDING: Roof Plan
Scale: 1/4" = 1'-0"

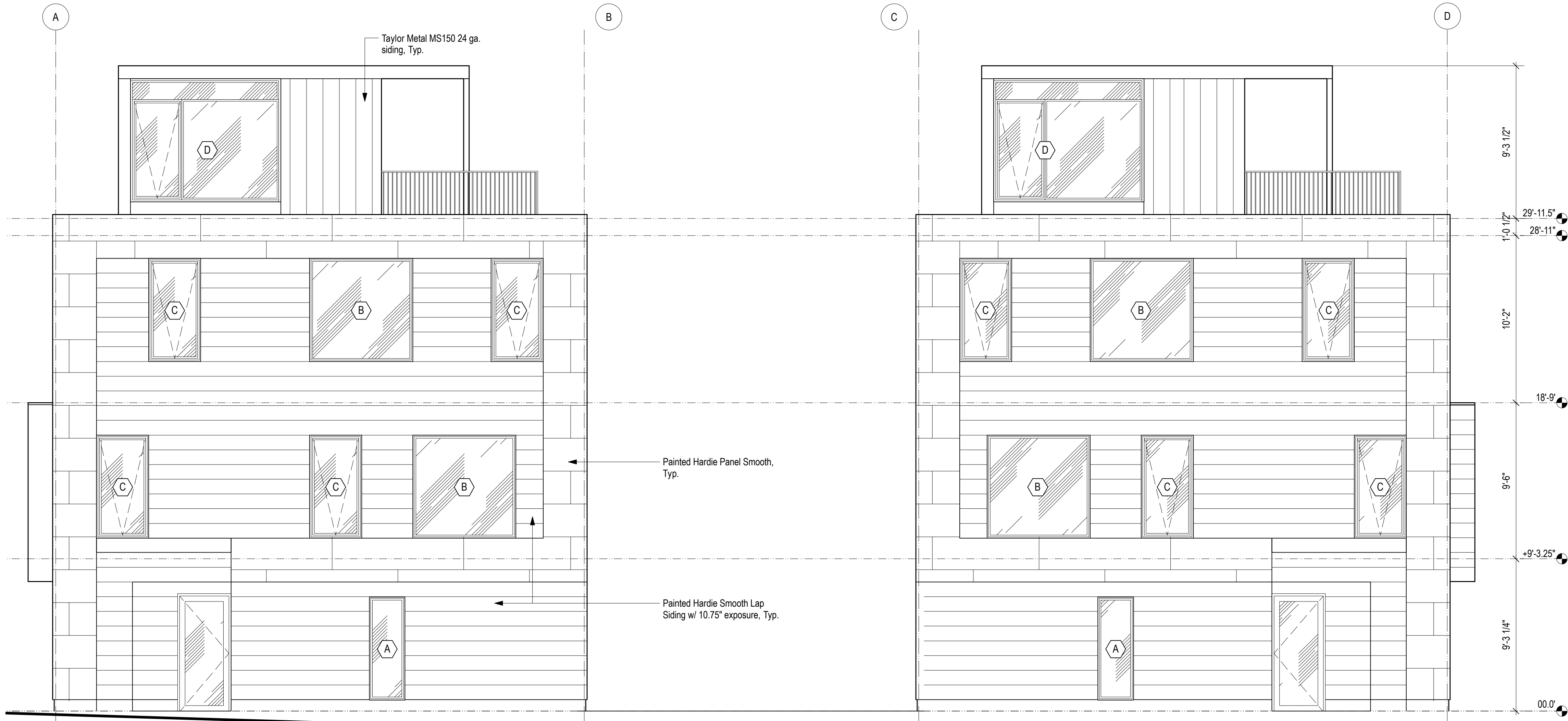


2 WEST BUILDING: Roof Plan
Scale: 1/4" = 1'-0"

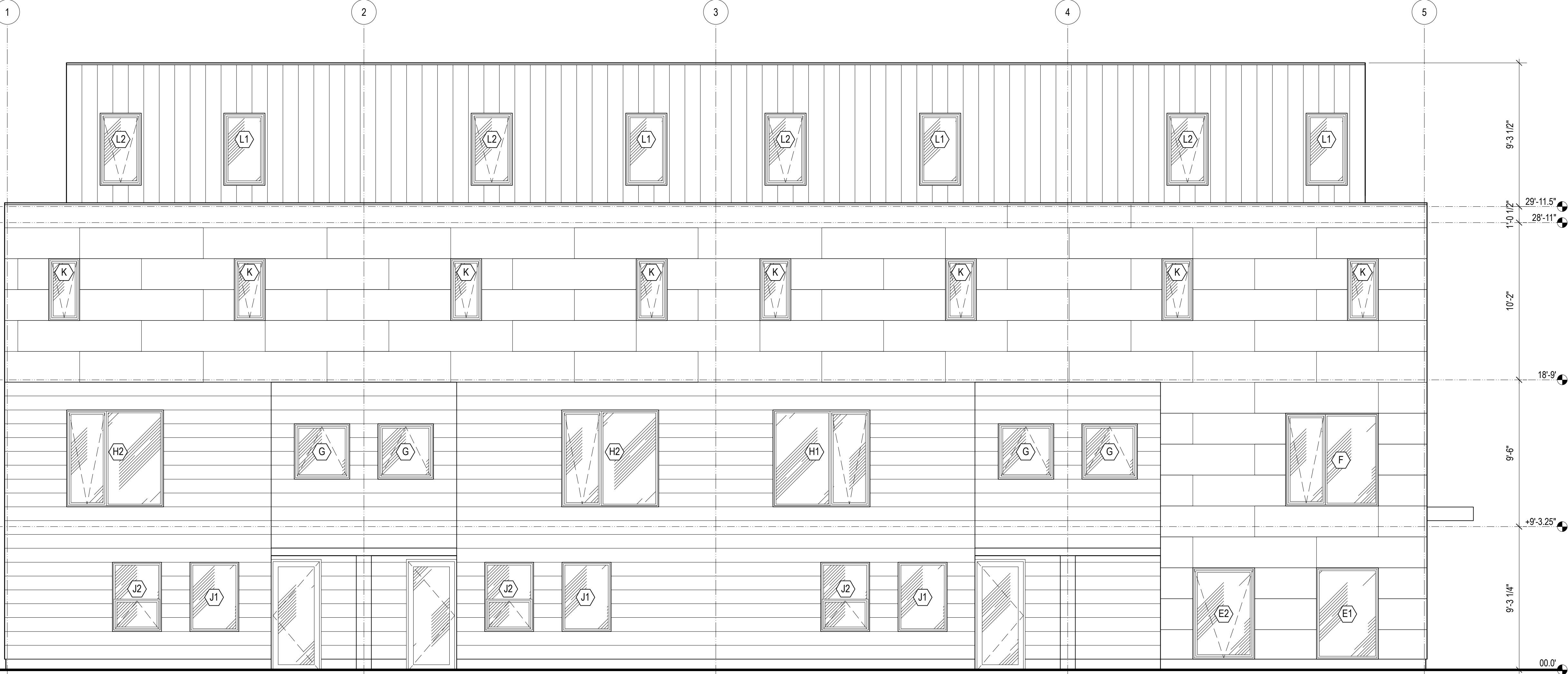


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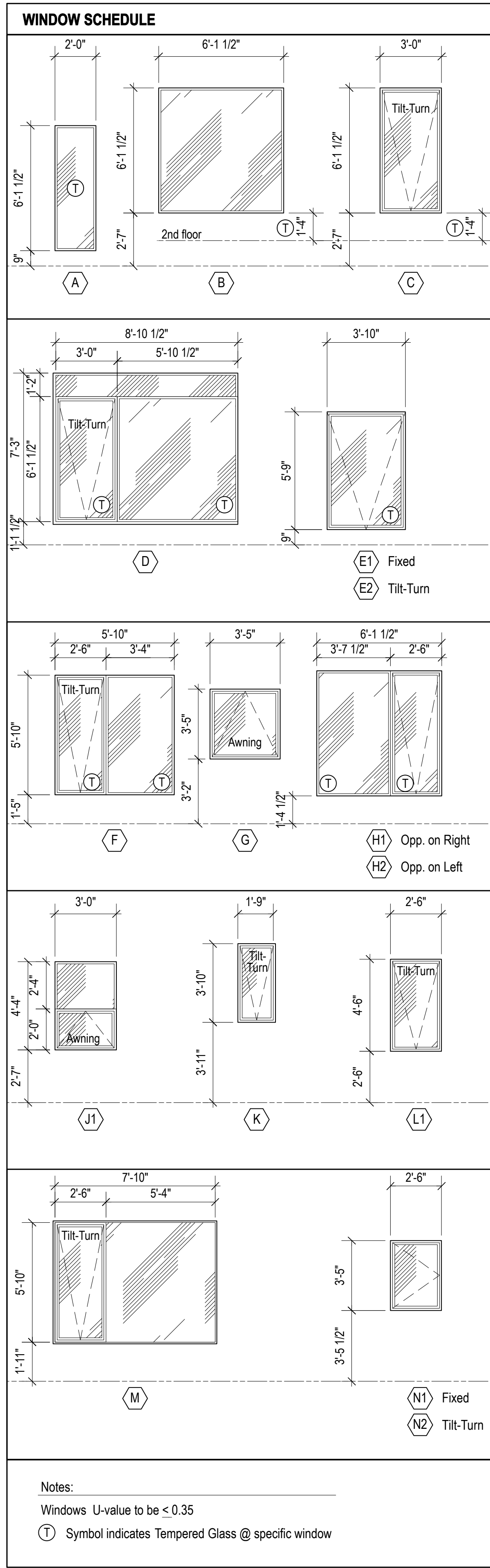
ISSUANCE	ISSUE DATE
Budget Set	05.12.2014

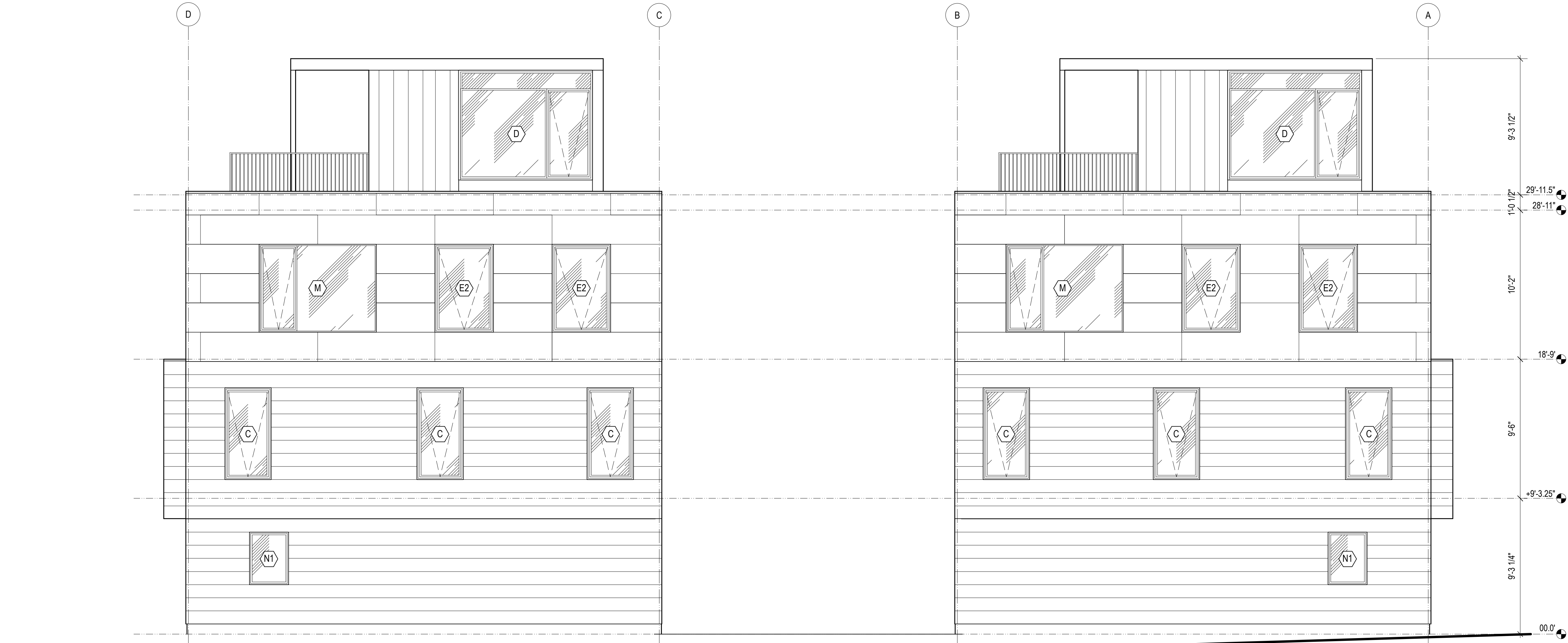


1 North Elevation
A2.01 Scale: 1/4" = 1'-0"



2 EAST BUILDING - East Elevation
A2.01 Scale: 1/4" = 1'-0"





1 South Elevation
Scale: 1/4" = 1'-0"



2 EAST BUILDING - West Elevation
Scale: 1/4" = 1'-0"

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014

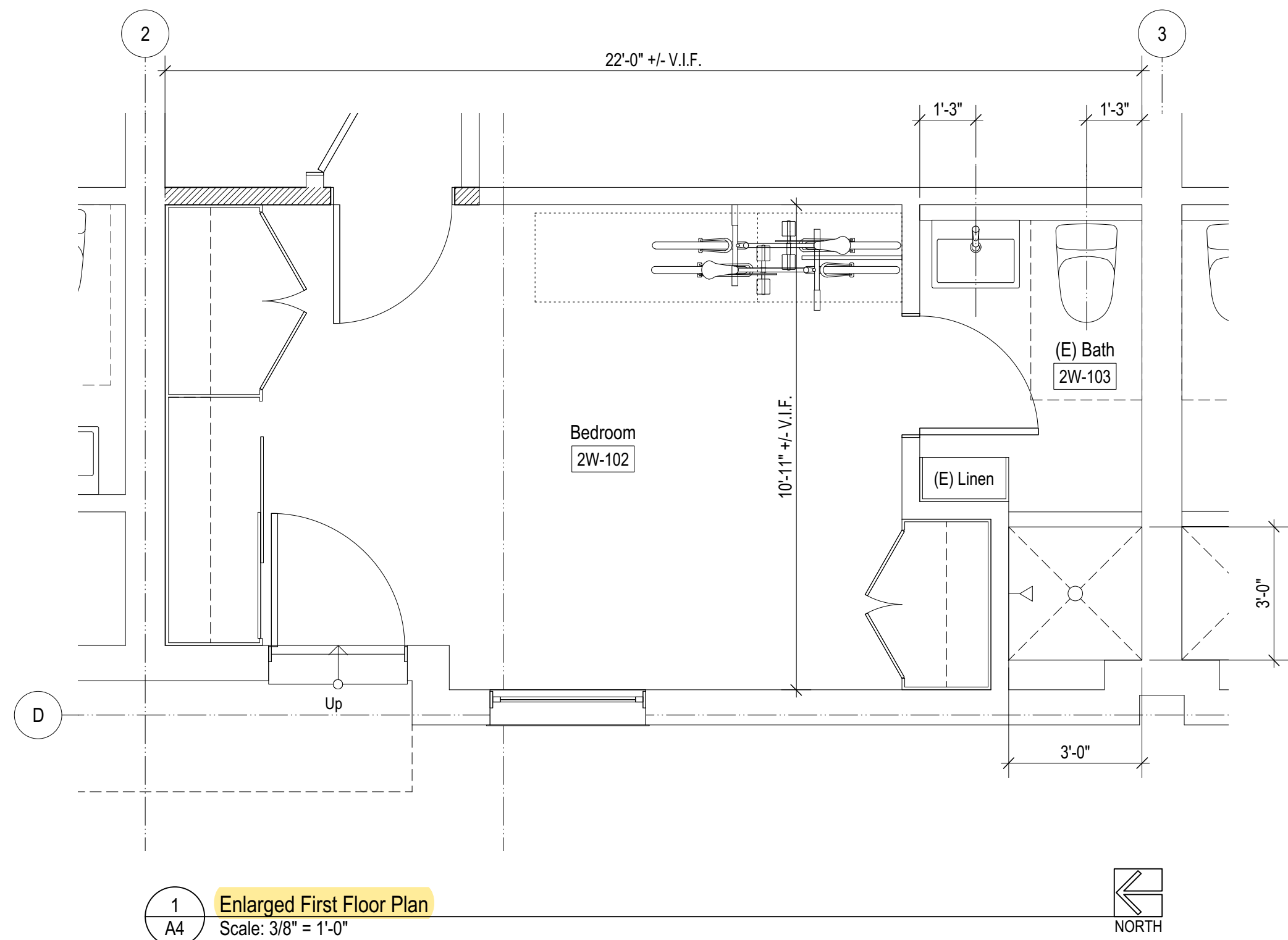
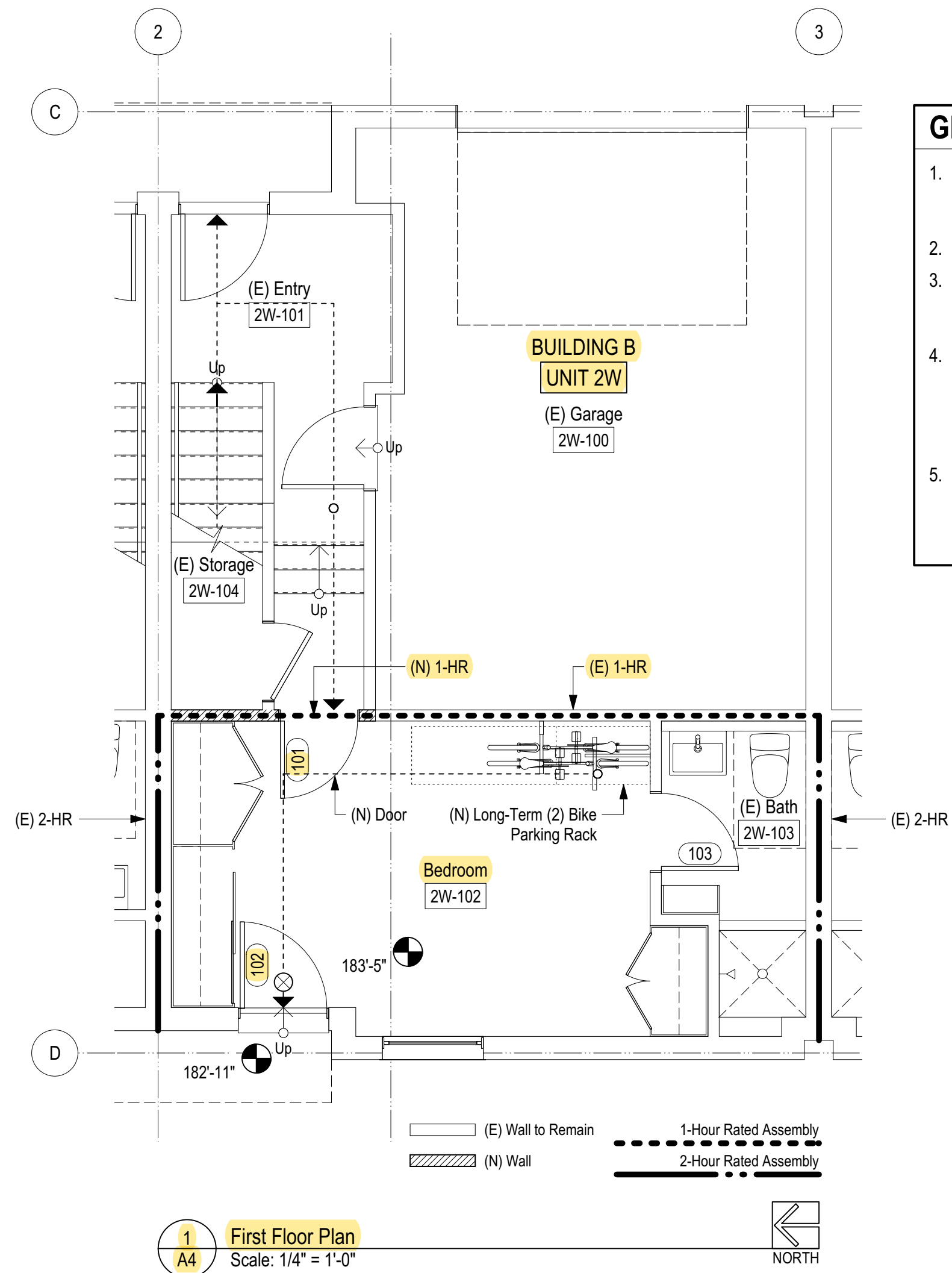
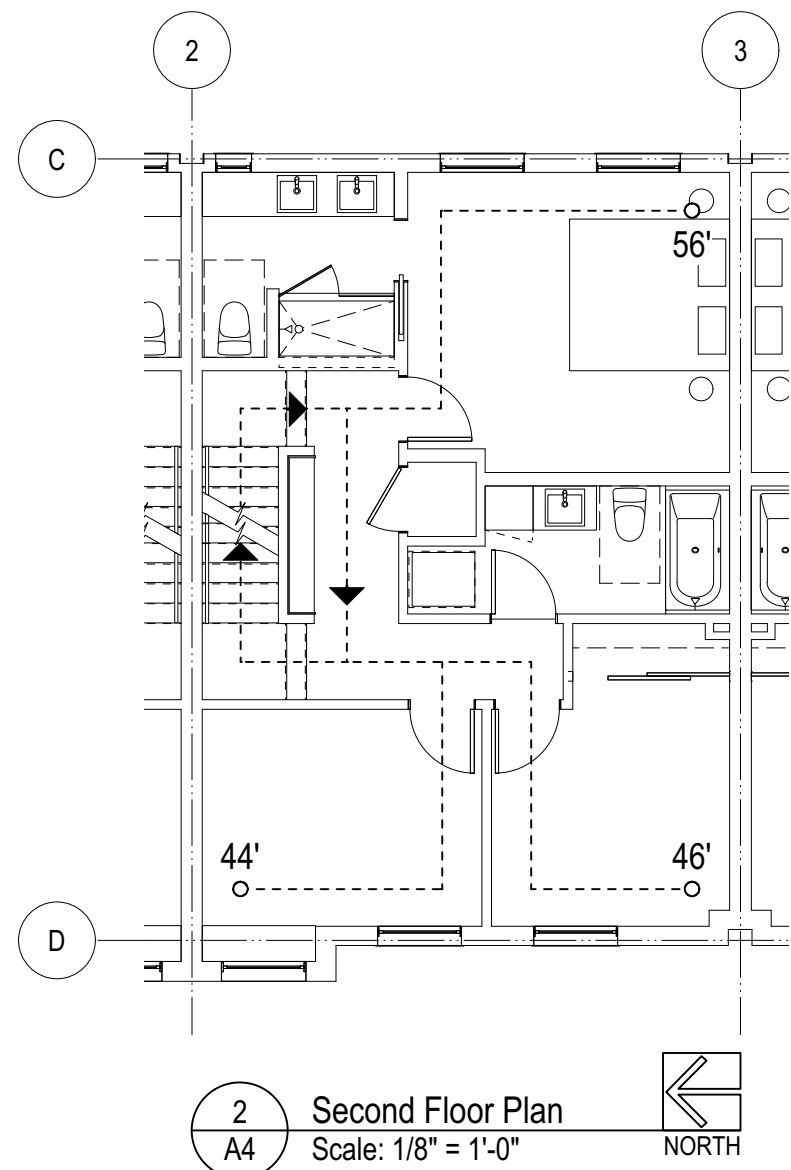


1 WEST BUILDING: West Elevation
Scale: 1/4" = 1'-0"



2 WEST BUILDING - East Elevation
Scale: 1/4" = 1'-0"

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014



All Items Require Submittals

- ## GENERAL NOTES
1. Existing Building: Contractor to field verify all building and overall dimensions as nec. and report discrepancies to Architect.
 2. All dimensions to face of finish (existing and new) U.N.O.
 3. Preserve existing walls as shown; repair or replace existing elements to remain when damaged or in poor condition. Report to Architect for approval of demo if necessary.
 4. In occupancies in Group R-1, curtains, draperies, hangings and other decorative materials suspended from walls or ceilings shall meet the flame propagation performance criteria of NFPA 701 in accordance with Section 806.2 or be noncombustible.
 5. In occupancies in Group R-1, interior walls and ceiling finishes shall have a flame spread index not greater than that specified in Table 803.9 for the group and location designated.

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Overlook 8 Motel

Project No. [19-002.1]

1534 N Blandena Street, Portland, OR 97217

ISSUE DATE: 04.15.2019	REVISION ISSUE	DATE

SSUE DATE: 04.15.2019

Permit Set

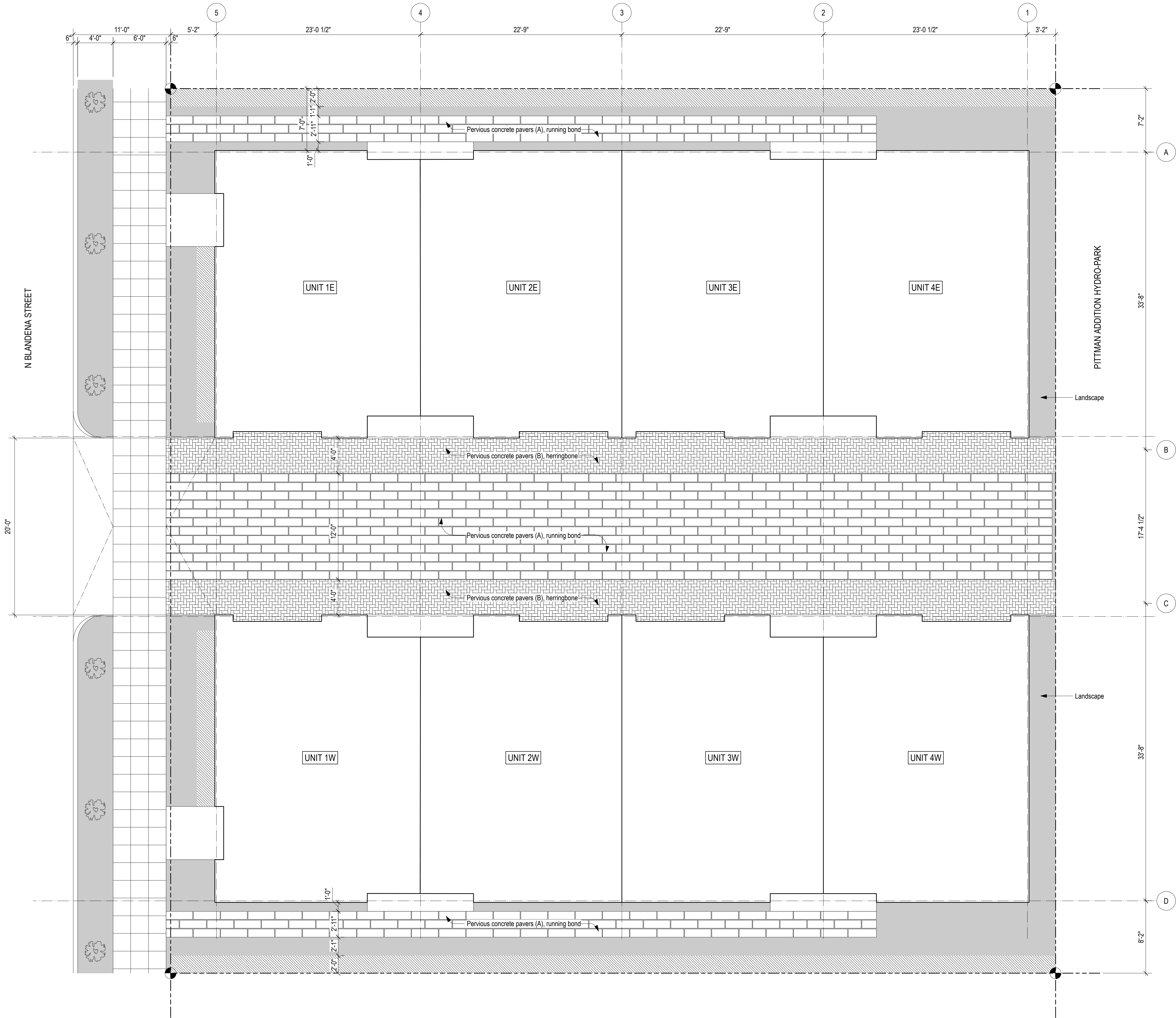
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Appeal Plans

DRAWING:

SHEET NO.:

BA-1



1 Site Plan
A0.01 Scale: 3/16" = 1'-0"



DRAWING:

SHEET NO.:

Site Plan

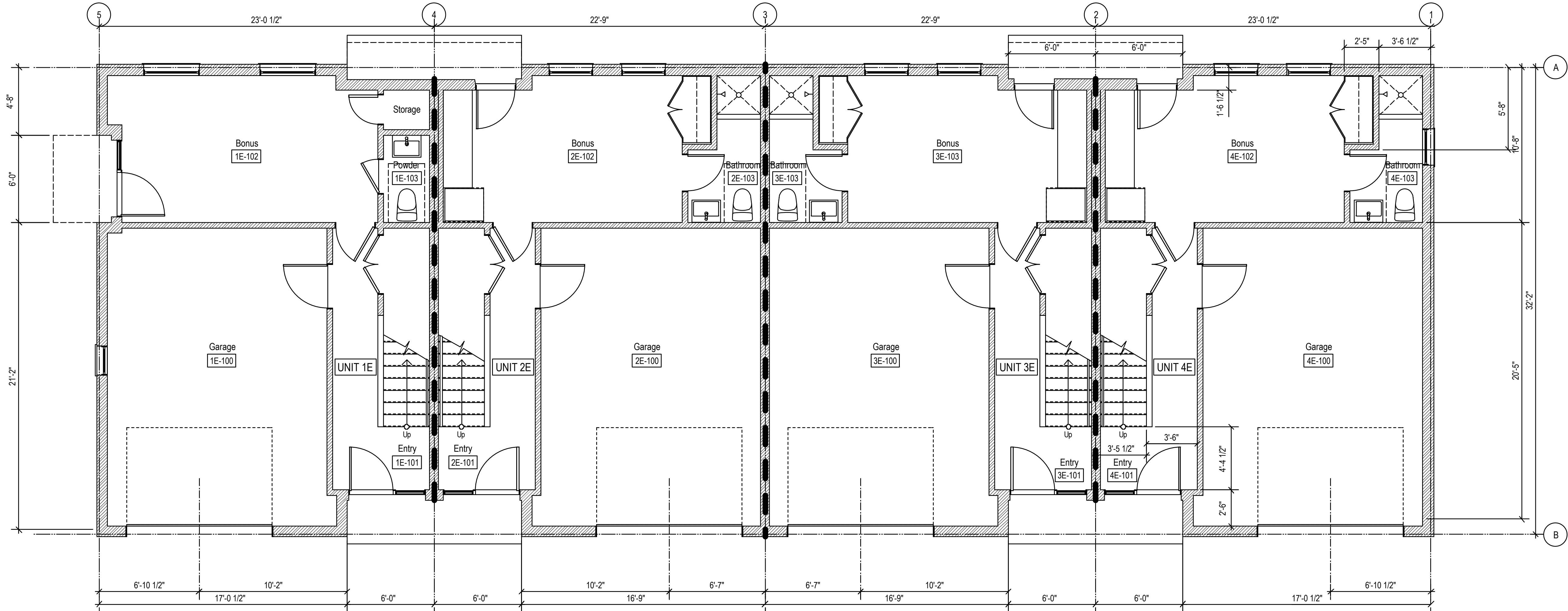
Budgeting Set

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014

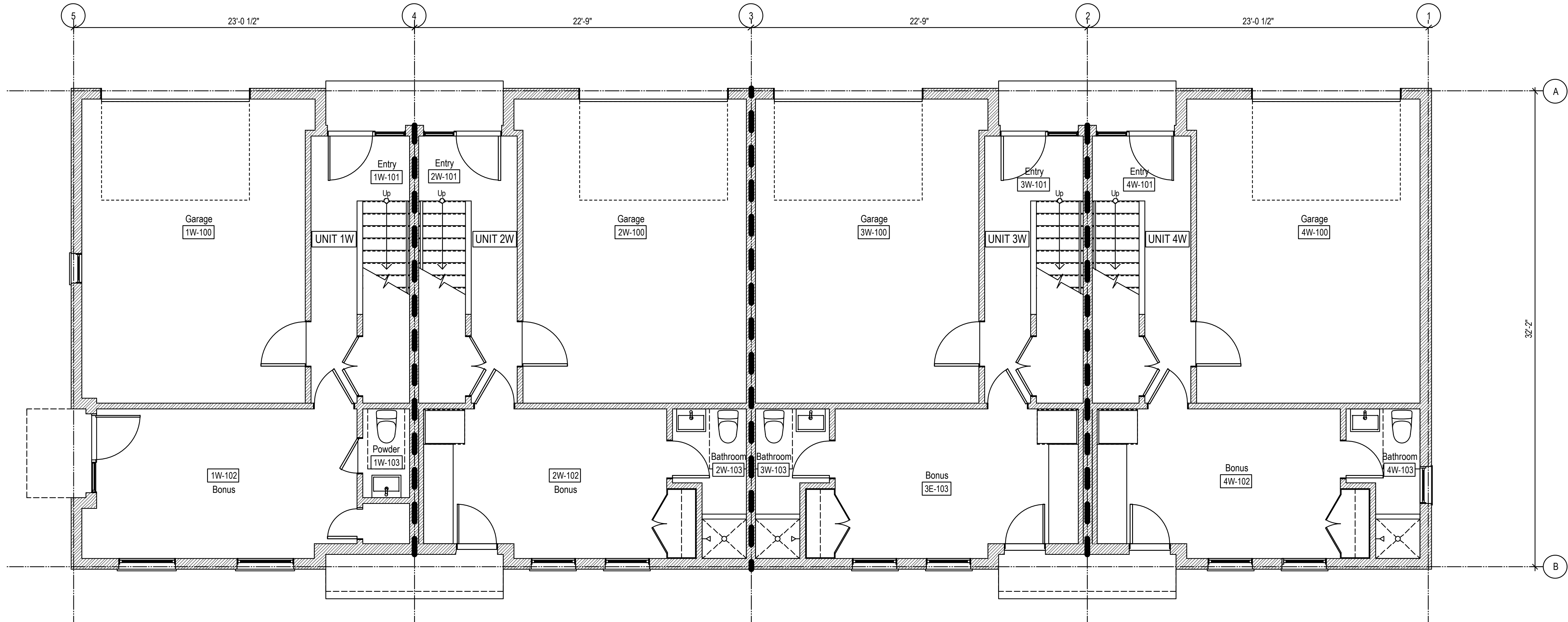
Overlook 8 Townhouses
JOB NO: 14-002
1526 + 1532 N Blandena, Portland OR 97217

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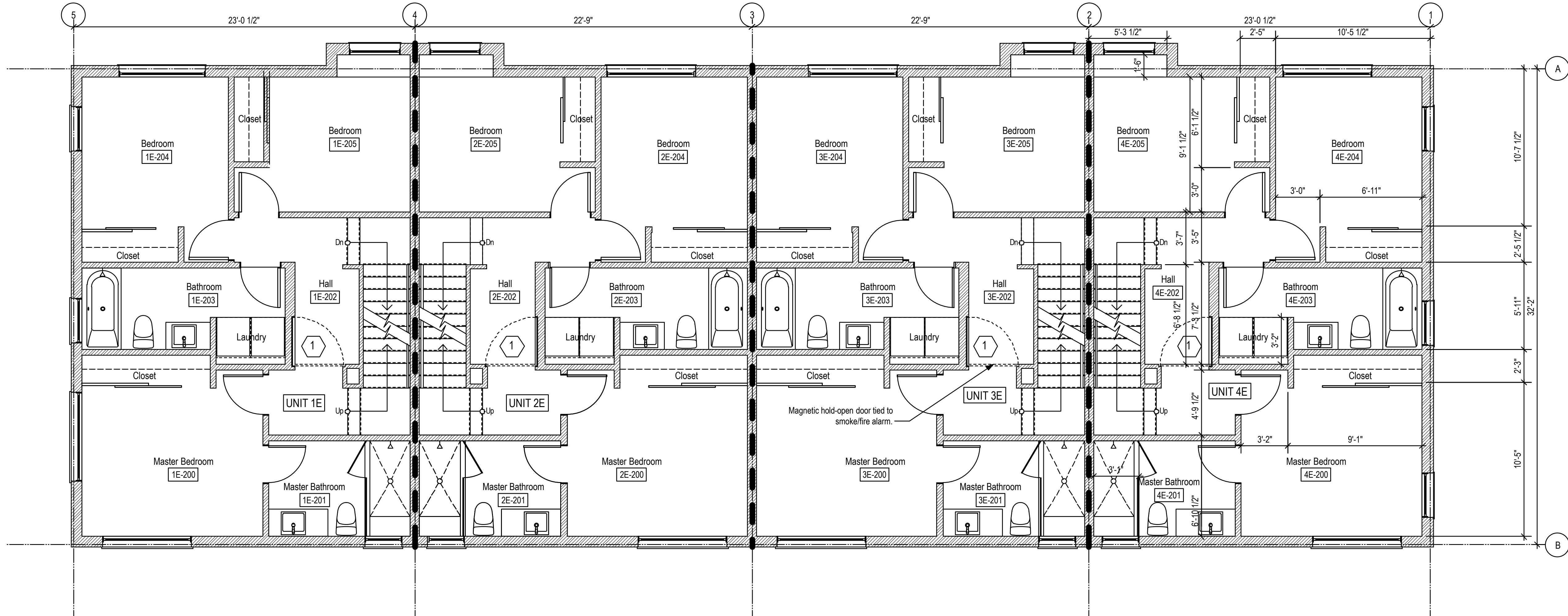
1 EAST BUILDING: First Floor Plan
Scale: 1/4" = 1'-0"



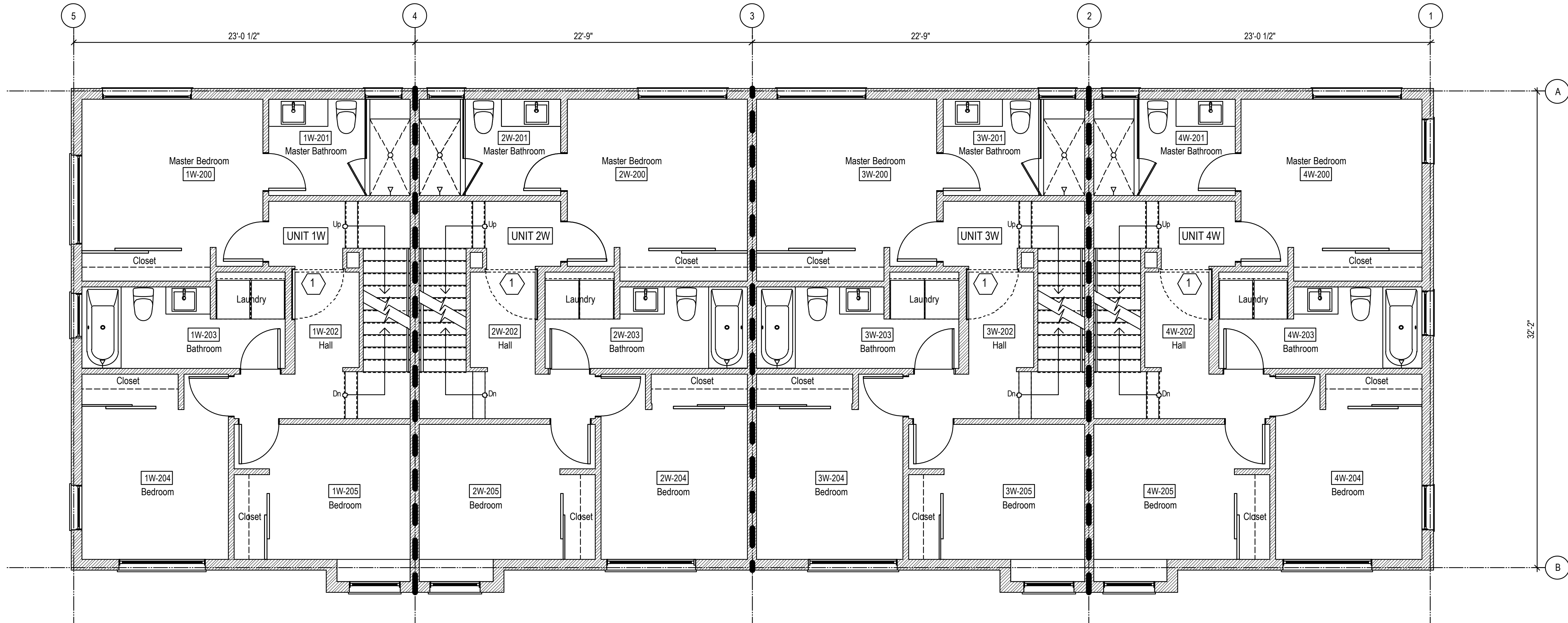
2 WEST BUILDING: First Floor Plan
Scale: 1/4" = 1'-0"

2-hour wall assembly per 2010 OSSC Table 720.1(2), Item number 14-1.5

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014



1 EAST BUILDING: Second Floor Plan
Scale: 1/4" = 1'-0"



2 WEST BUILDING: Second Floor Plan
Scale: 1/4" = 1'-0"

1 Smoke tight door on a magnetic hold-open and linked to the smoke detection system. In the event of fire/smoke this door will close and provide two distinct zones connecting no more than three stories.
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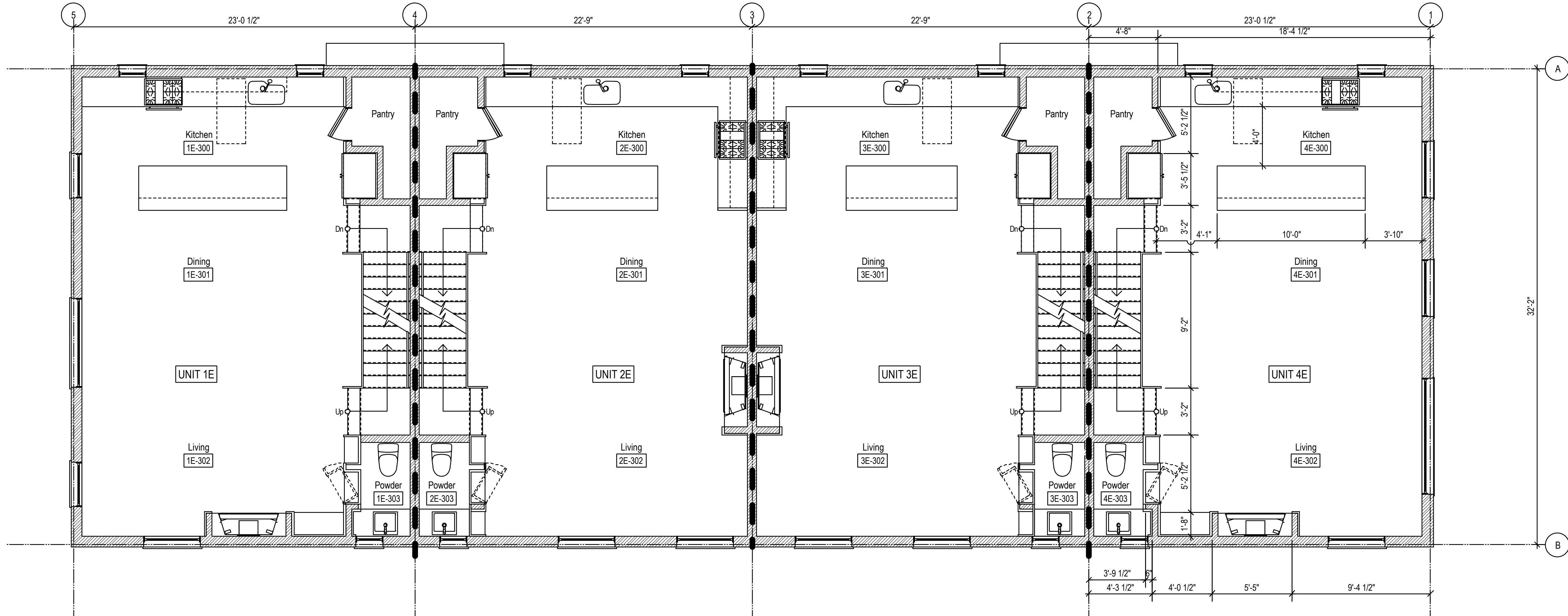
Budgeting Set

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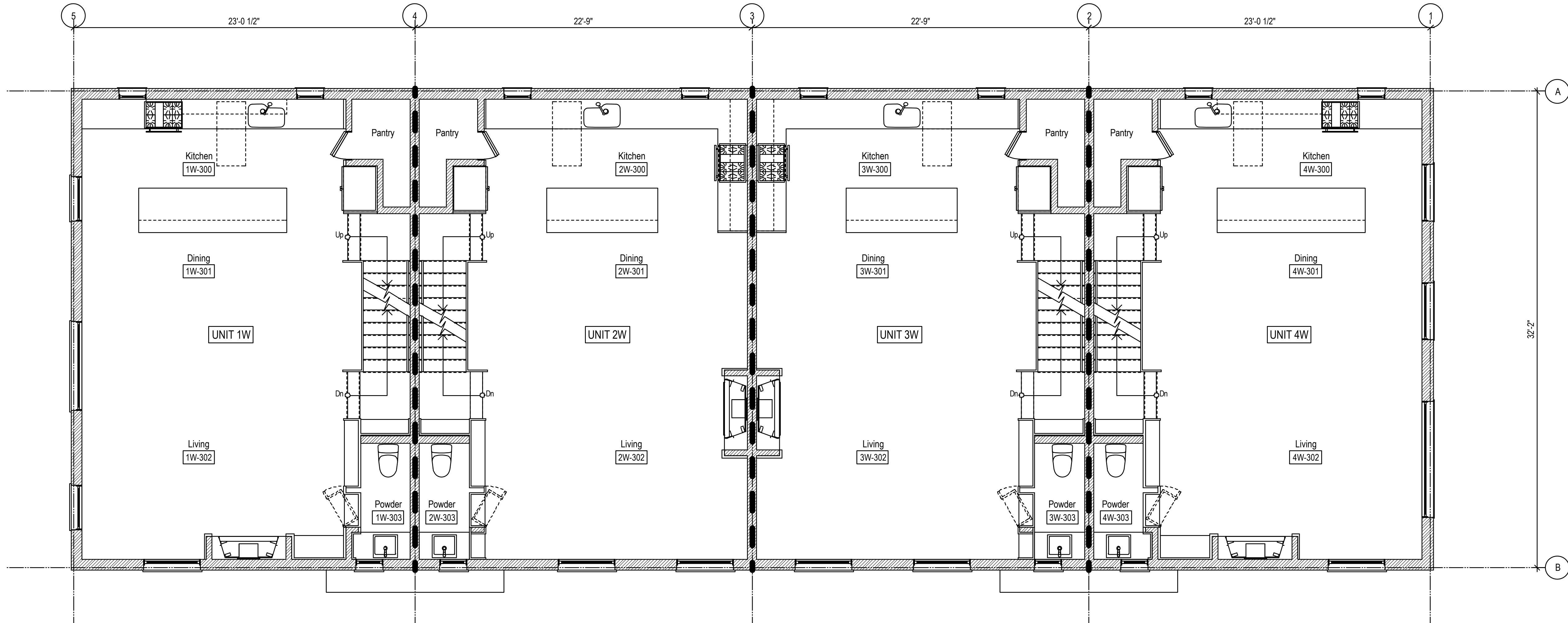
DRAWING:
SHEET NO.:

Second Floor Plans

A1.02



1 EAST BUILDING: Third Floor Plan
Scale: 1/4" = 1'-0"



2 WEST BUILDING: Third Floor Plan
Scale: 1/4" = 1'-0"

2-hour wall assembly per 2010 OSSC Table 720.1(2), Item number 14-1.5

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1526 + 1532 N Blandena, Portland OR 97217

ISSUANCE	ISSUE DATE
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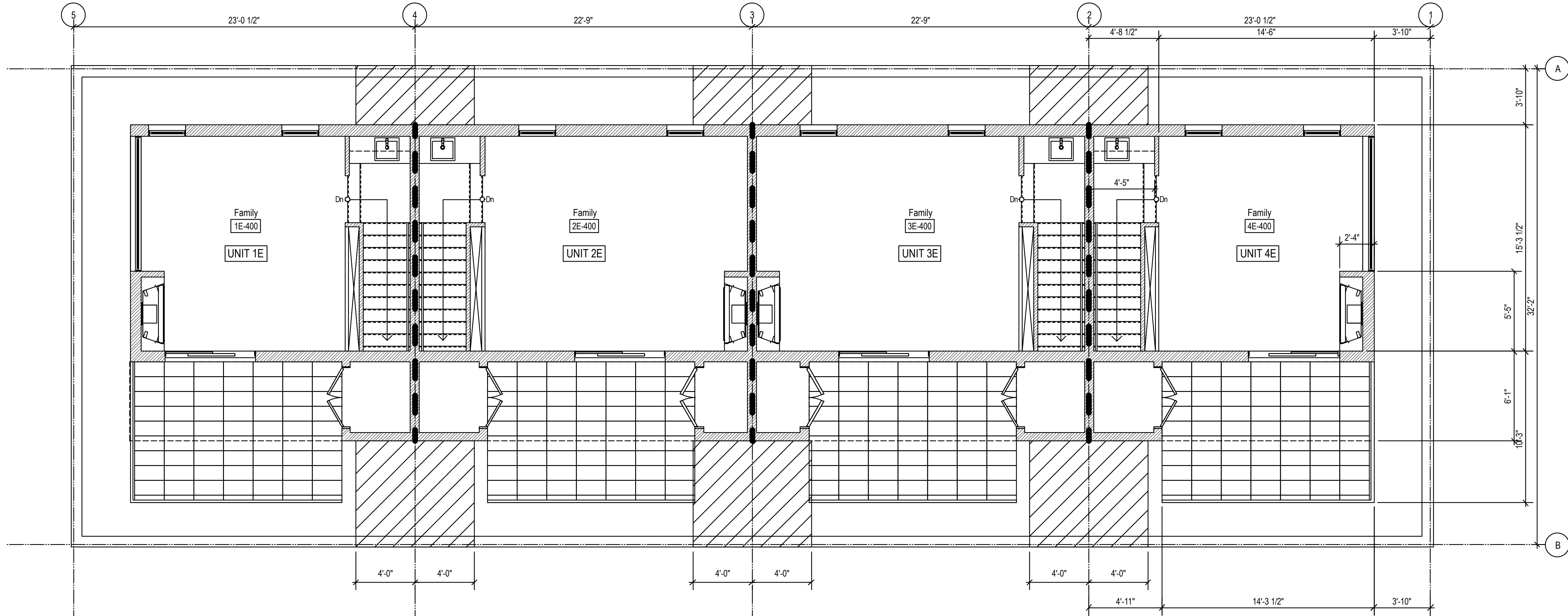
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Budgeting Set

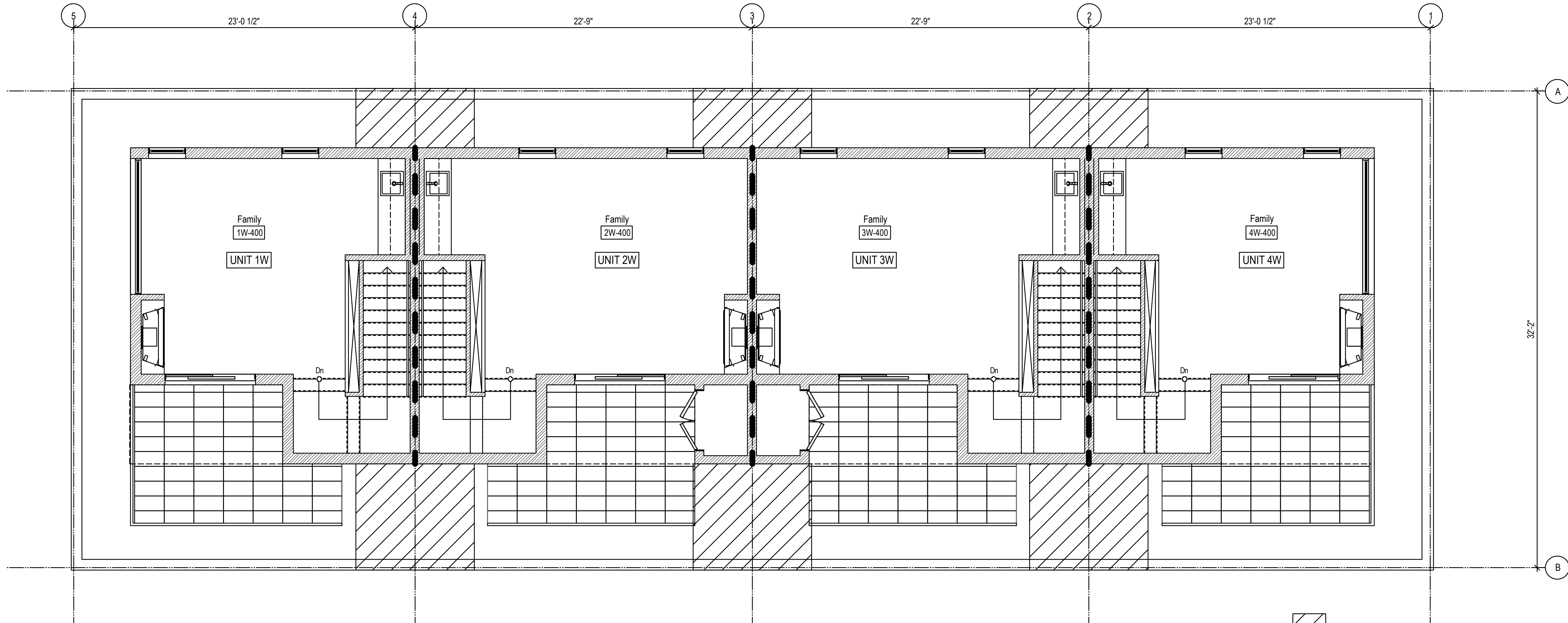
Third Floor Plans

SHEET NO.:

A1.03



1 EAST BUILDING: Fourth Floor/Deck Plan
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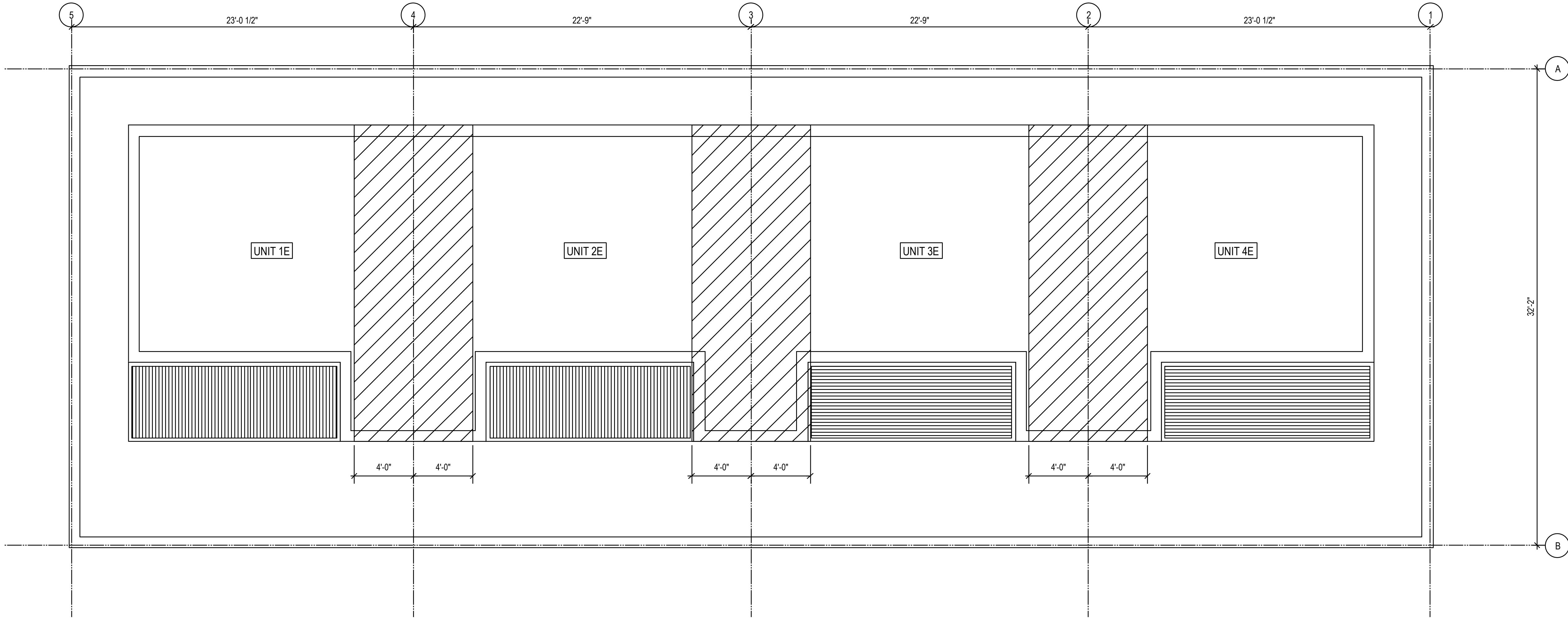


2 WEST BUILDING: Fourth Floor/Deck Plan
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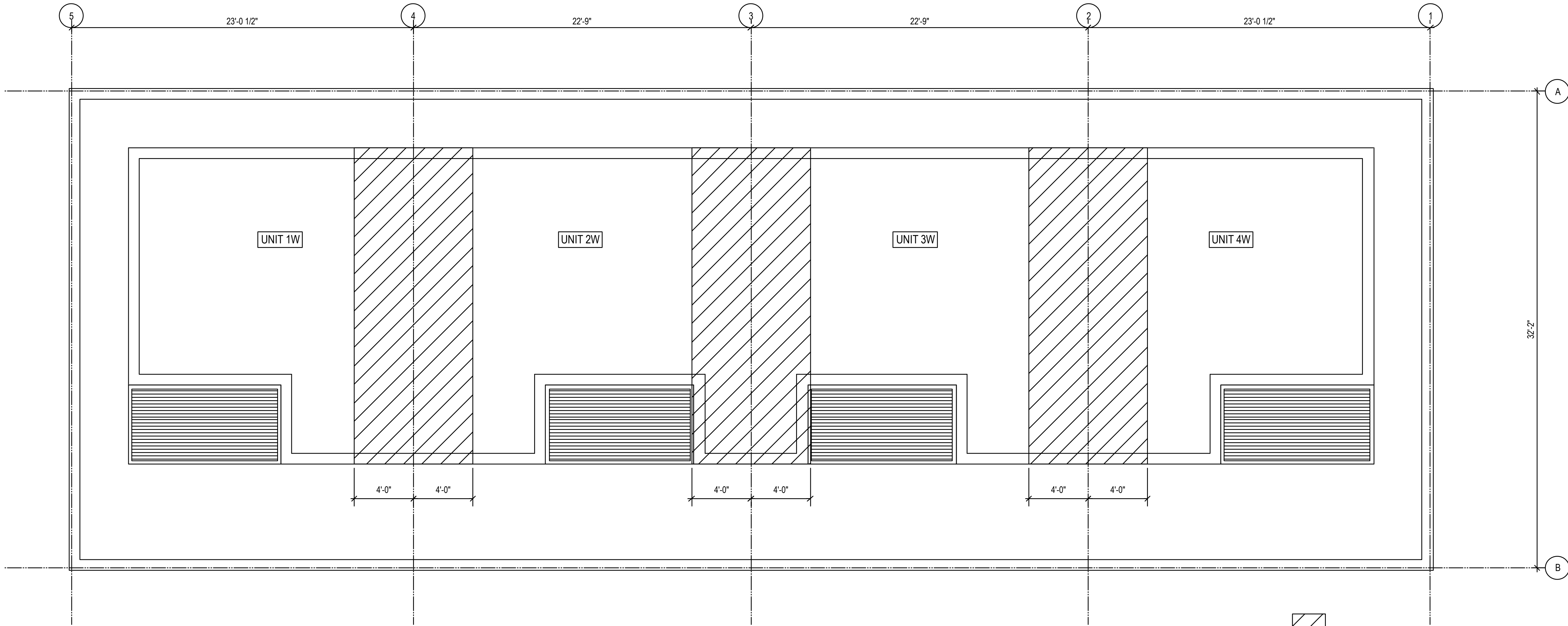
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2-hour wall assembly per 2010 OSSC Table 720.1(2), Item number 14-1.5

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014



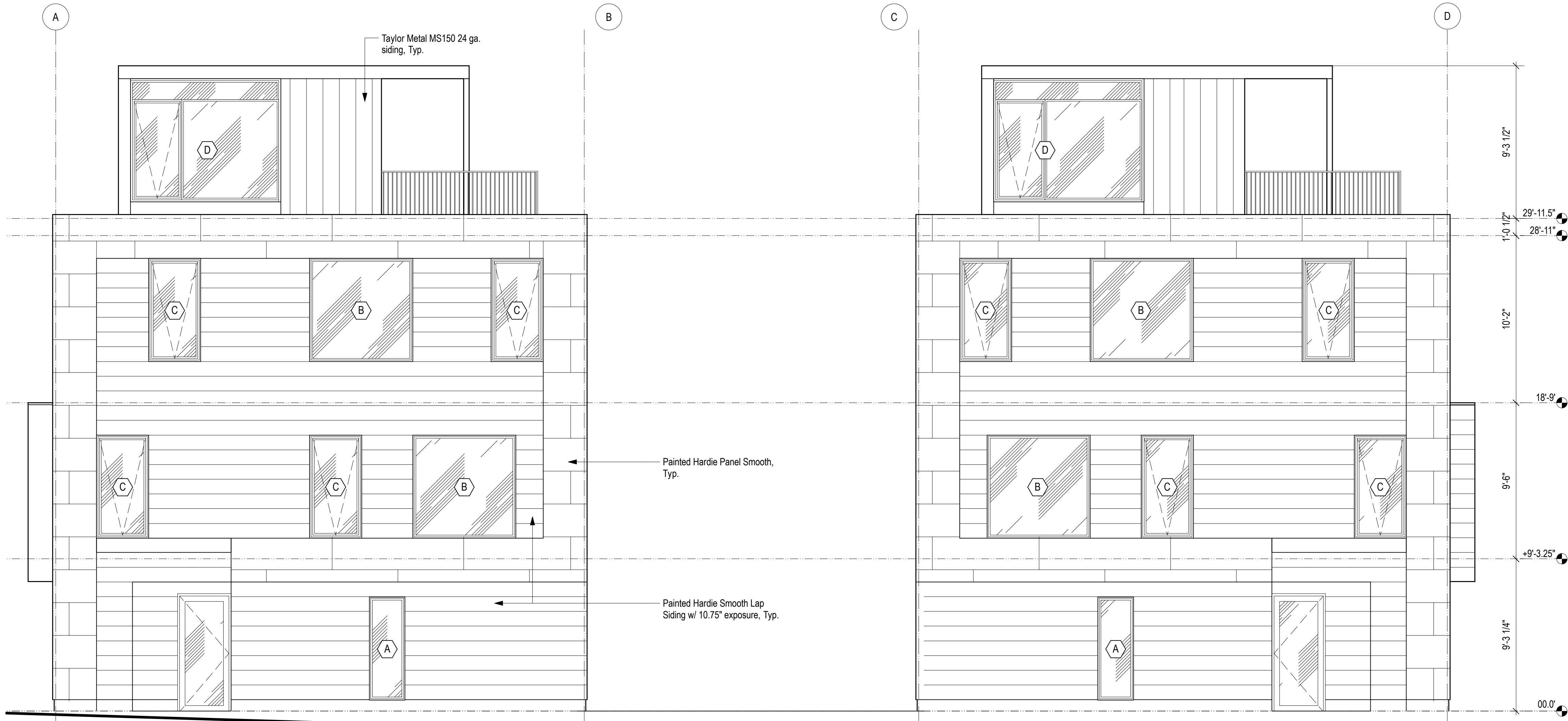
1 EAST BUILDING: Roof Plan
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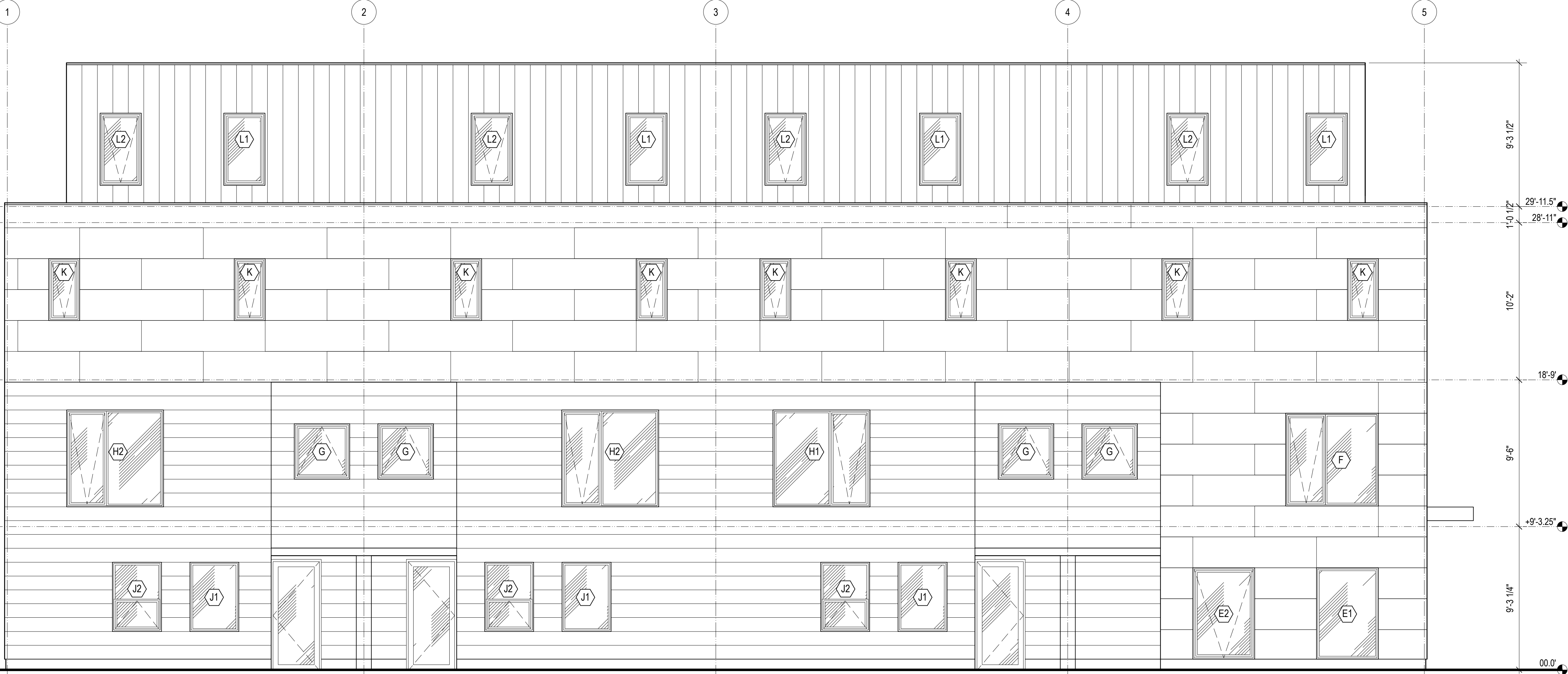
2 WEST BUILDING: Roof Plan
Scale: 1/4" = 1'-0"

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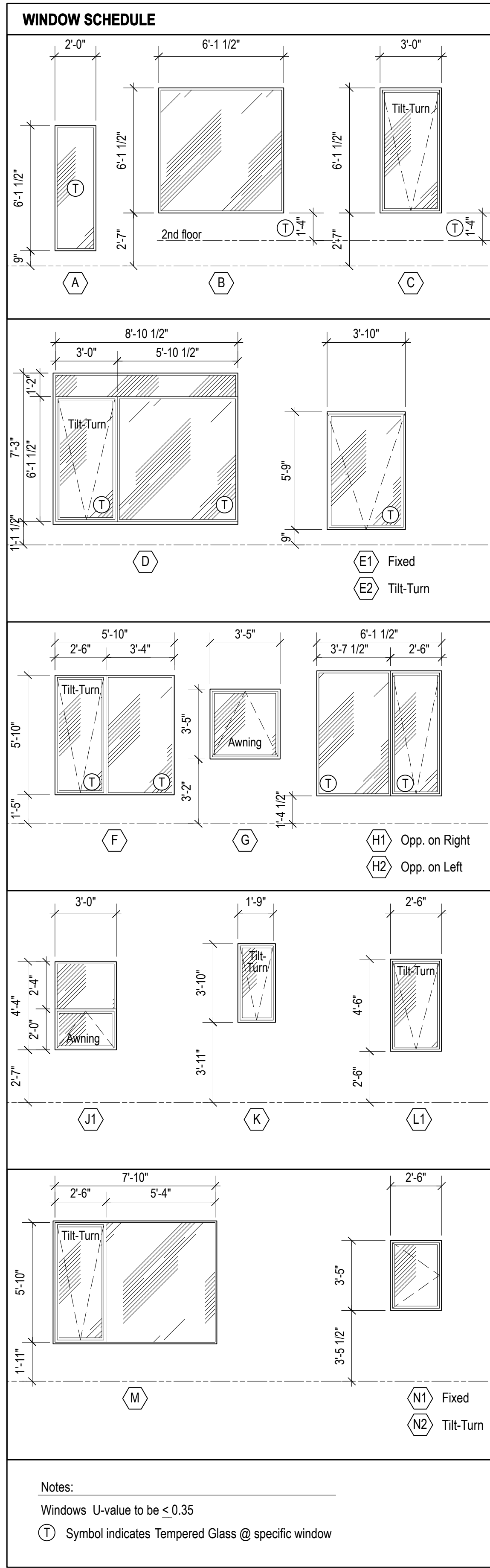
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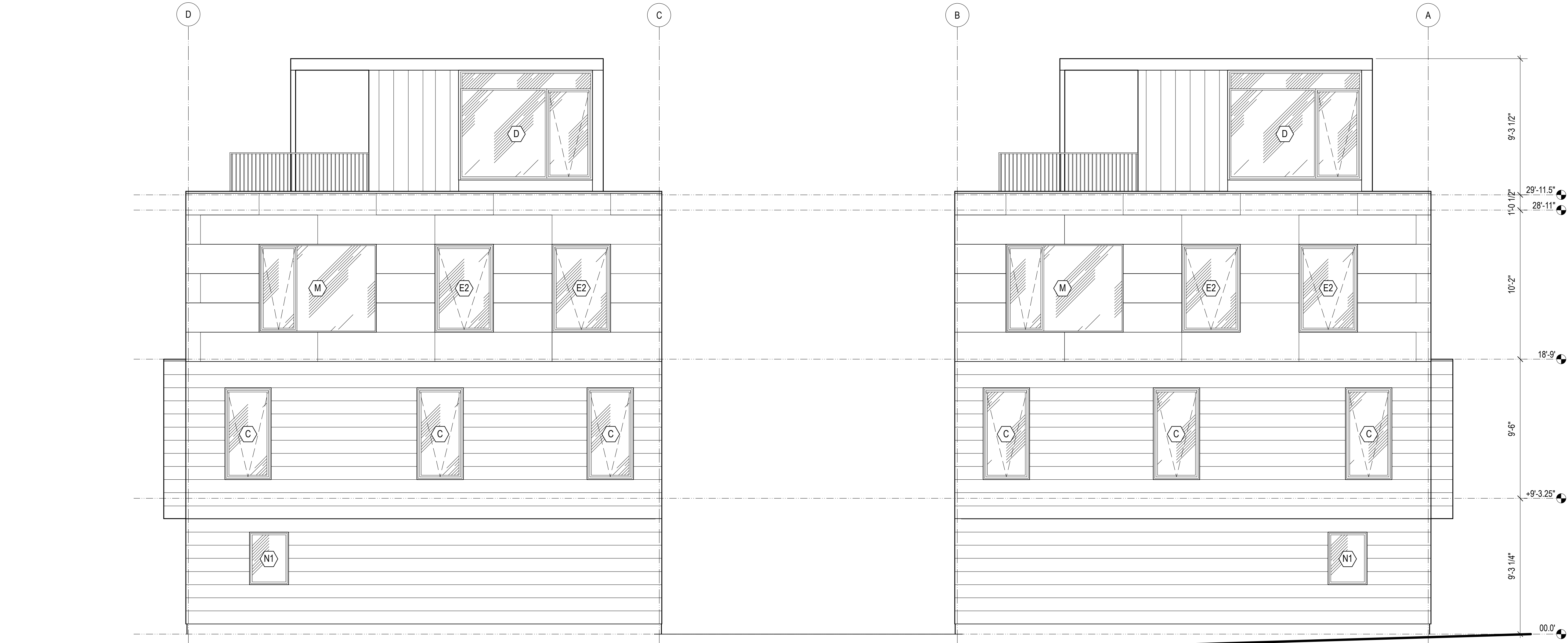


1 North Elevation
Scale: 1/4" = 1'-0"



2 EAST BUILDING - East Elevation
Scale: 1/4" = 1'-0"





1 South Elevation
Scale: 1/4" = 1'-0"



2 EAST BUILDING - West Elevation
Scale: 1/4" = 1'-0"

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014

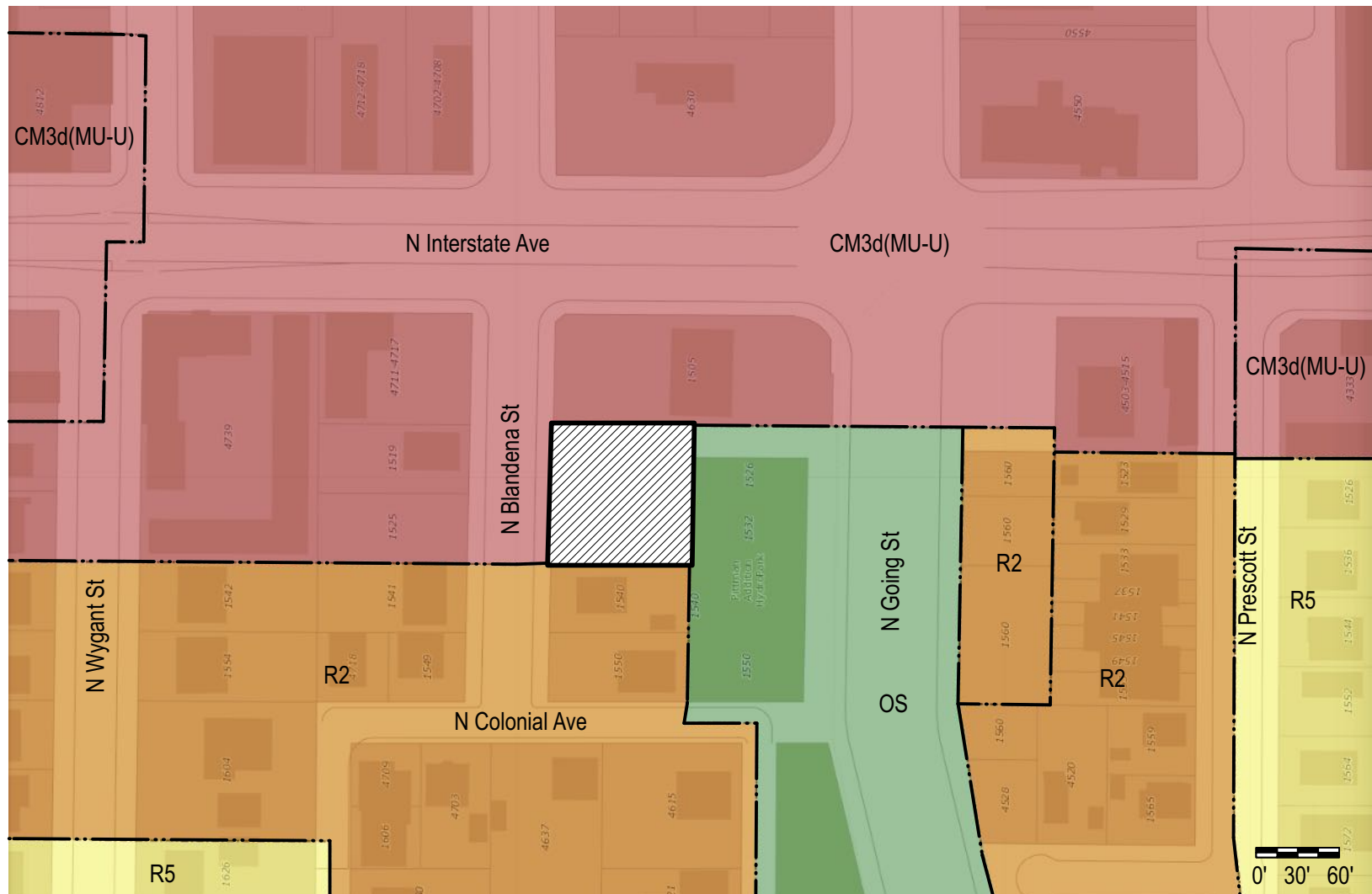


1 WEST BUILDING: West Elevation
Scale: 1/4" = 1'-0"



2 WEST BUILDING - East Elevation
Scale: 1/4" = 1'-0"

ISSUANCE	ISSUE DATE
Budget Set	05.12.2014



1
C1 Zoning Map



SITE



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 503.954.3065 o

PROJECT

Overlook 8 Motel
 1534 N Blandena Street, Portland, OR 97217

ISSUE DATE

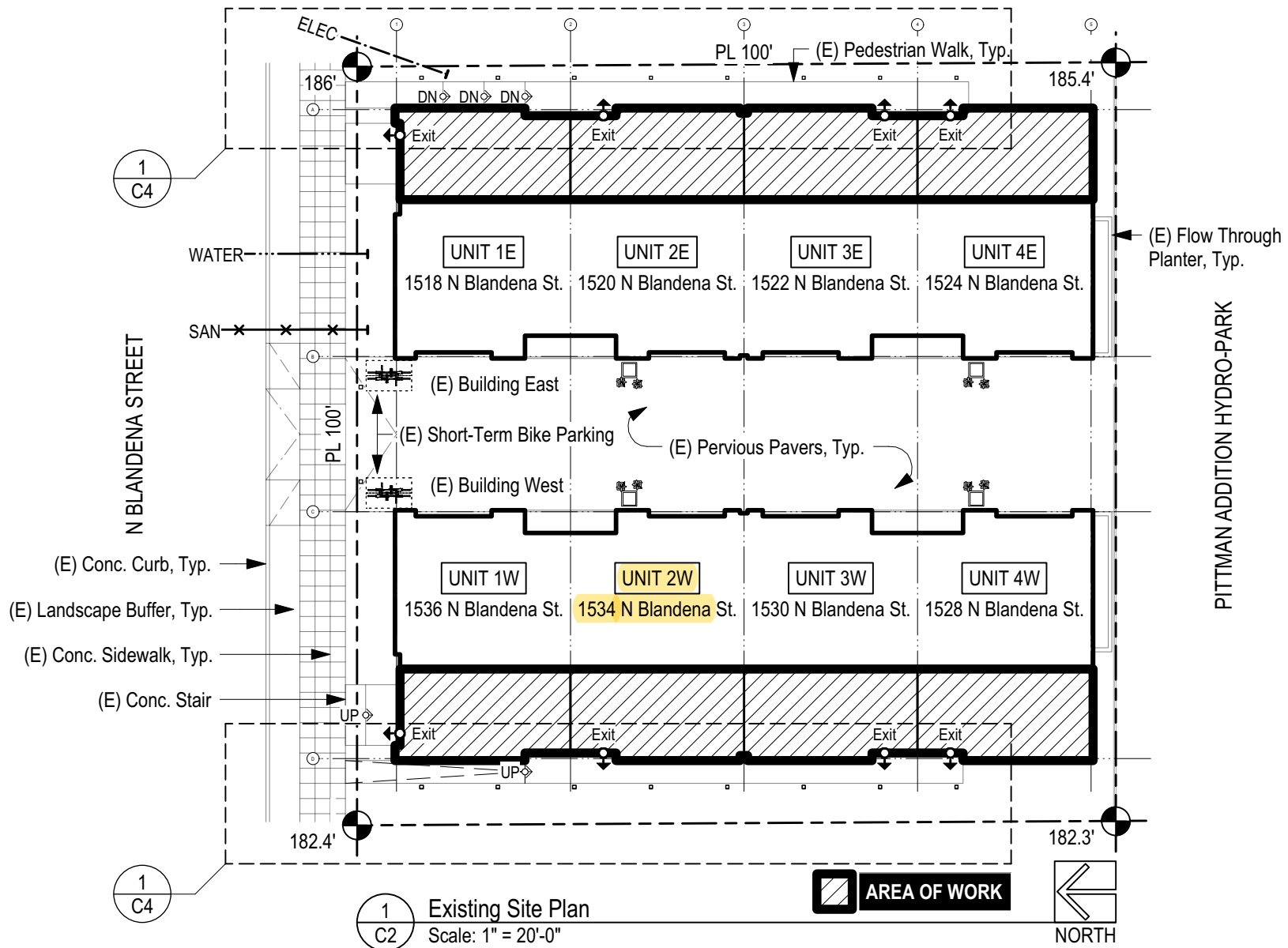
04.18.2019

DRAWING:

Zoning Map

SHEET NO.:

C1



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 503.954.3065 o

PROJECT

Overlook 8 Motel
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04.18.2019

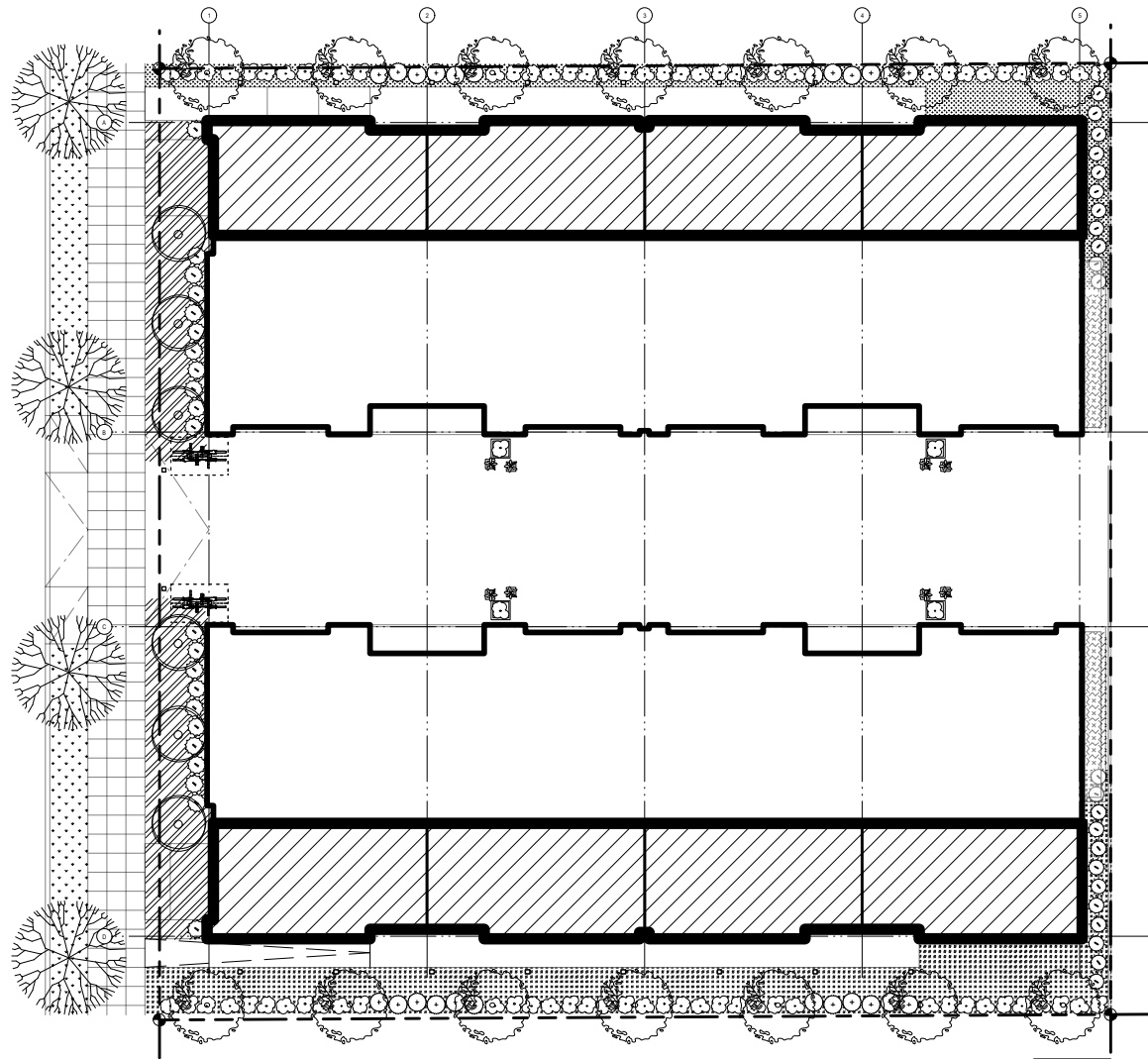
DRAWING:

Site Plan

SHEET NO.:

C2

Plant Legend			
	SYMBOL	[QUANTITY] SIZE	SCIENTIFIC NAME COMMON NAME
TREES			
PP		(4) 2.5"	<i>Parrotia Persica</i> Persian Ironwood
SJ		[14] 2"	<i>Syrax Japonicus</i> Japanese Snowbell
AC		[6] 2"	<i>Malus Fusca</i> Western Crabapple
SHRUBS			
SR		[24] 5 Gal, spaced as shown	<i>Sarcococca Ruscifolia</i> Fragrant Sweet Box
BS		[76] 5 Gal, spaced as shown	<i>Buxus Sempervirens</i> Graham Blandy Boxwood
EJ		[23] 5 Gal, spaced as shown	<i>Euonymus Japonicus</i> Green Spire
JV		[24] 5 Gal, spaced as shown	<i>Juniperus Virginiana</i> Skyrocket Juniper
GROUND COVER & GRASSES			
PM		1 Gal, tri-spaced, 18" O.C.	<i>Polystichum Munium</i> Western Sword Fern
PT		1 Gal, tri-spaced, 24" O.C.	<i>Pachysandra Terminalis</i> Japanese Pachysandra
TP		1 Gal, tri-spaced, 24" O.C.	<i>Thymus Pseudolanuginosus</i> Wooly Thyme
T			Turf
JP		1 Gal, tri-spaced, 12" O.C.	50% <i>Juncus Patens</i> Spreading Rush 50% <i>Polystichum Munium</i> Sword Fern



1 Existing Landscape Plan
C3 Scale: 1" = 20'-0"



DOMINEK ARCHITECTURE, LLC
2246 E Burnside Street, #A, Portland, Oregon 97214
503.954.3065 o

PROJECT

Overlook 8 Motel
1534 N Blandena Street, Portland, OR 97217

ISSUE DATE

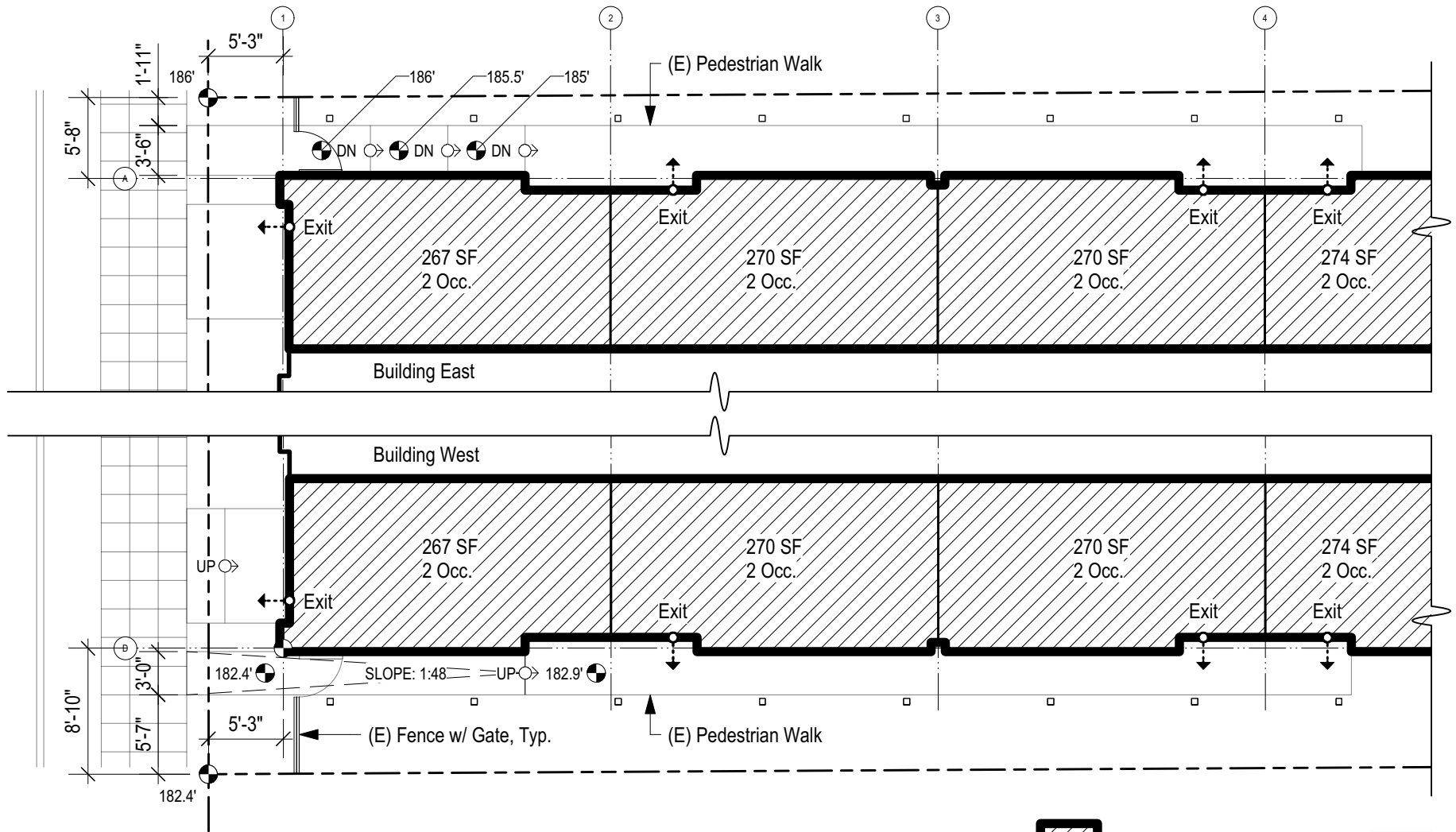
04.18.2019

DRAWING:

Existing Landscape
Plan

SHEET NO.:

C3



1 Enlarged Existing Partial Site Plan
C5 Scale: 3/32" = 1'-0"



AREA OF WORK *



NORTH

***NOTE:** ONLY tenants occupying areas of work will have access to the respective pedestrian walks along the east and west lot lines.

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ISSUE DATE

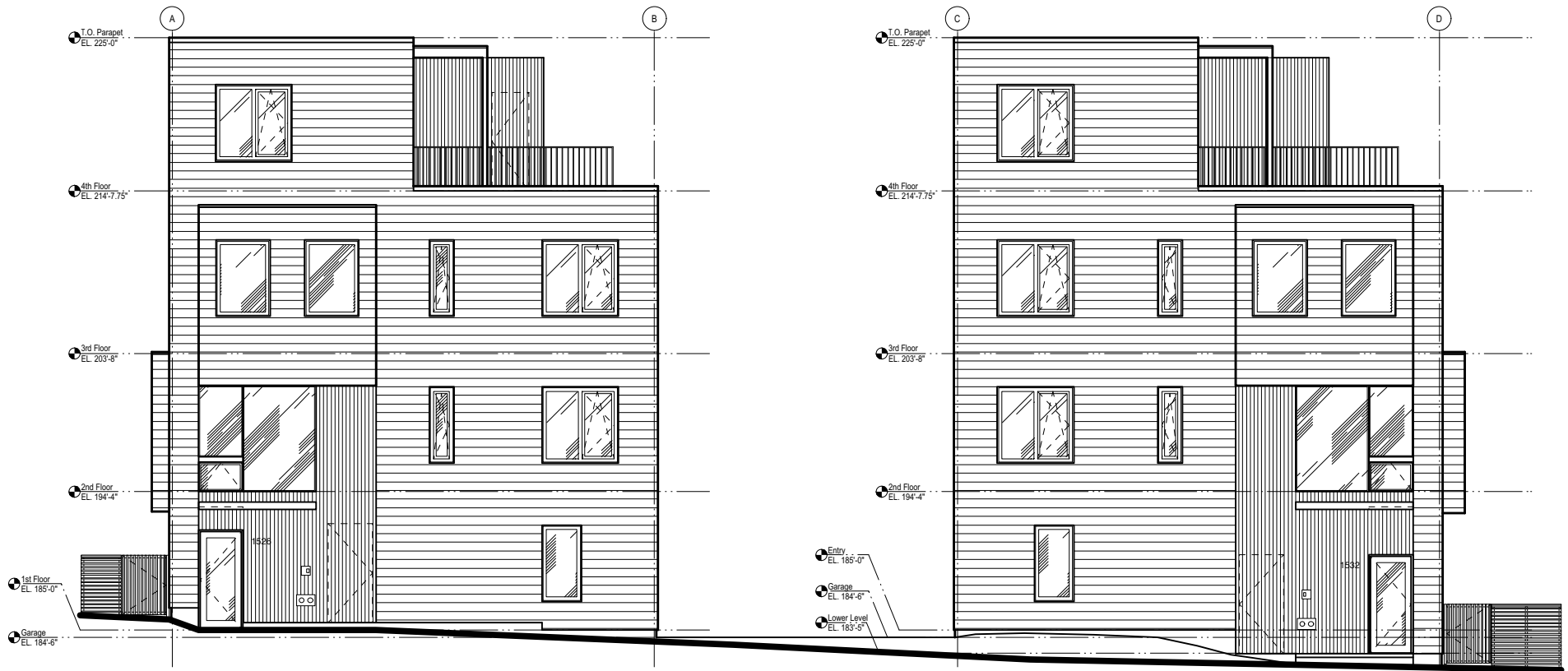
04.18.2019

DRAWING:

Enlarged Existing
Partial Site Plan

SHEET NO.:

C4



1 Existing North Elevations
C5 Scale: 3/32" = 1'-0"

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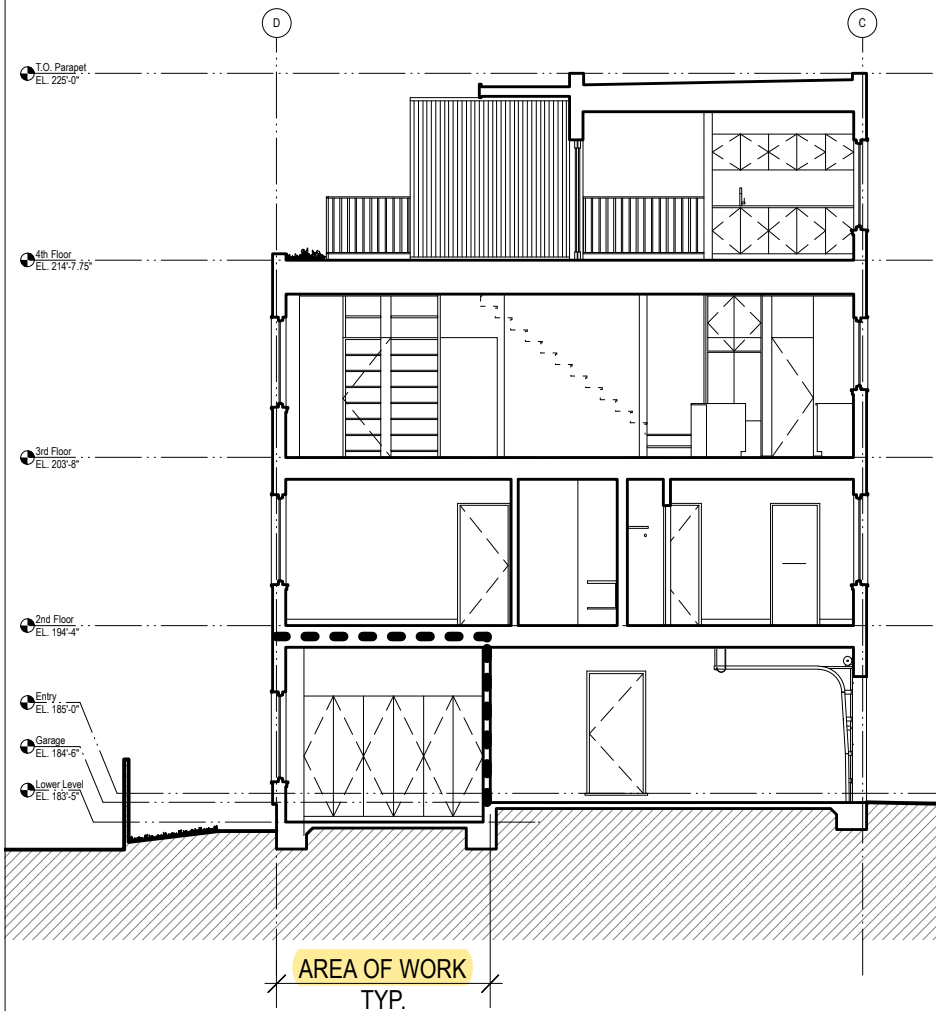
04.18.2019

DRAWING:

Existing North
Elevations

SHEET NO.:

C5



1 Building Section E-W
 C6 Scale: 3/32" = 1'-0"

(N) 1-Hour Rated Assembly

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ISSUE DATE

04.18.2019

DRAWING:

Building Section
 E-W

SHEET NO.:

C6