

# Development Services

## From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 20397	<b>Project Address:</b> 1417 NW 20th Ave
<b>Hearing Date:</b> 5/15/19	<b>Appellant Name:</b> Ross Determan
<b>Case No.:</b> B-008	<b>Appellant Phone:</b> 503-847-2129
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> David Bartley
<b>Project Type:</b> commercial	<b>Stories:</b> 6 <b>Occupancy:</b> A-3, B, M, R-2, S-1, S-2 <b>Construction Type:</b> I-A, III-A
<b>Building/Business Name:</b> Saltwood--North Building	<b>Fire Sprinklers:</b> Yes - Throughout
<b>Appeal Involves:</b> Erection of a new structure	<b>LUR or Permit Application No.:</b> 18-185663-LU
<b>Plan Submitted Option:</b> pdf [File 1] [File 2] [File 3]	<b>Proposed use:</b> Multi-family Residential and Retail

### APPEAL INFORMATION SHEET

#### Appeal item 1

<b>Code Section</b>	2014 OSSC, Table 601, Type IA
<b>Requires</b>	Per Table 601, for construction within a Type IA building, interior bearing walls are required to be 3-hour rated and interior floor construction is required to be 2-hour rated
<b>Proposed Design</b>	<p>The project is proposing two-level townhouse units that occur only within the Type IA portion of the building on Level 1 between the 3-hour rated Level 1 slab and the 3-hour rated Level 2 slab, with the Level 2 slab serving as the required 3-hr separation between the Type IA construction and Type IIIA construction for the floors above Level 2. Each townhouse unit has 2 levels with the upstairs portion exceeding the area allowed to be considered a mezzanine and thus their upstairs are considered a story (reference approved Appeal ID 20126). The units are equipped with an approved NFPA 13 automatic sprinkler system and will have all required smoke, Carbon Dioxide and audio/visual alarm detection provided.</p> <p>The project proposes the townhouse unit upper floor assembly and the associated bearing walls supporting the townhouse upper floors be 1-hour construction in lieu of the ratings prescribed in Table 601 for Type 1A construction for bearing walls and floors, as prescribed above. To offset this proposed reduction in rating, we propose exceeding baseline code by making the corridor and demising walls surrounding the townhouse units 1-hour Fire Barriers with 45-minute rated doors (where occurs), in lieu of ½ -hour rated corridor walls with 20-minute rated entry doors. See attached exhibits.</p>
<b>Reason for alternative</b>	Though technically too large to be considered mezzanines, the upper levels of the townhouses are constructed like a mezzanine with a double-height open-to-below area at the living rooms. The townhouse upper floors are supported entirely by non-combustible framed bearing walls that are completely independent of and do not contribute to the primary concrete structure of the Type IA

building. Each townhouse upper floor and associated bearing walls occur inside the 1-hour rated fire barriers proposed above, isolating them from the other adjacent areas of the building. The proposed townhouse dwelling units each have a low occupant load (each less than 5 occupants) and the occupants have familiarity with their unit and where the exits are located. Each townhouse unit provides two exits, with one directly to the exterior at grade. The project is fully equipped with an approved NFPA 13 automatic sprinkler system and all required smoke, Co2, and alarm detection systems. The proposed design offers substantial fire protection for the proposed use and meets the assumed intent of the code.

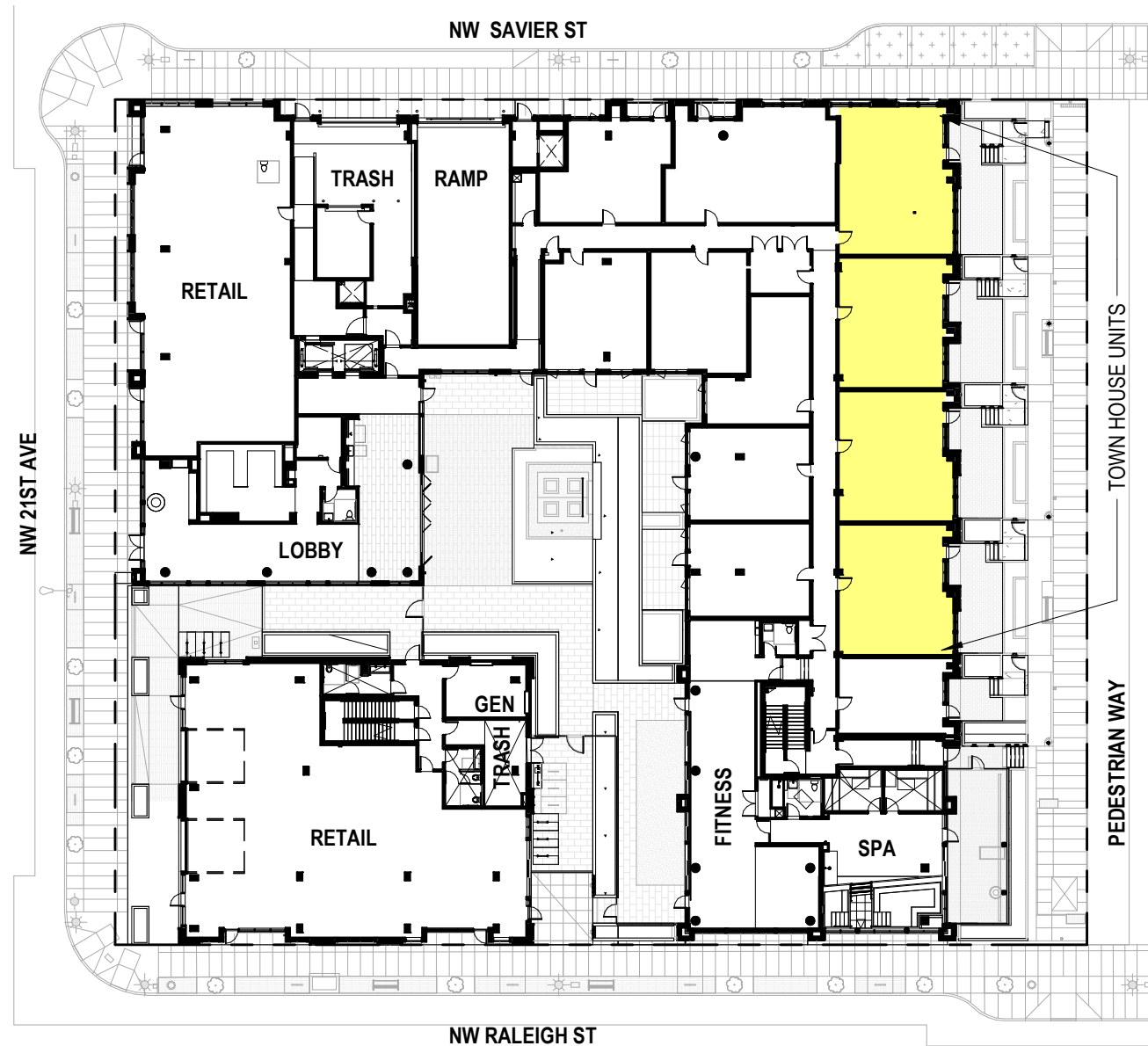
- See Appeal Exhibit 13.1: Site Plan and Legend
- See Appeal Exhibit 13.2: Plan Diagrams of Level 1 and Townhouse Upper Level
- See Appeal Exhibit 13.3: Code Section Diagram through Typical Townhouse

APPEAL DECISION

**Reduction in townhouse floor assembly and bearing walls from 2 hours to 1 hr: Denied. Proposal does not provide equivalent Life Safety protection.**

**Appellant may contact John Butler (503 823-7339) with questions.**

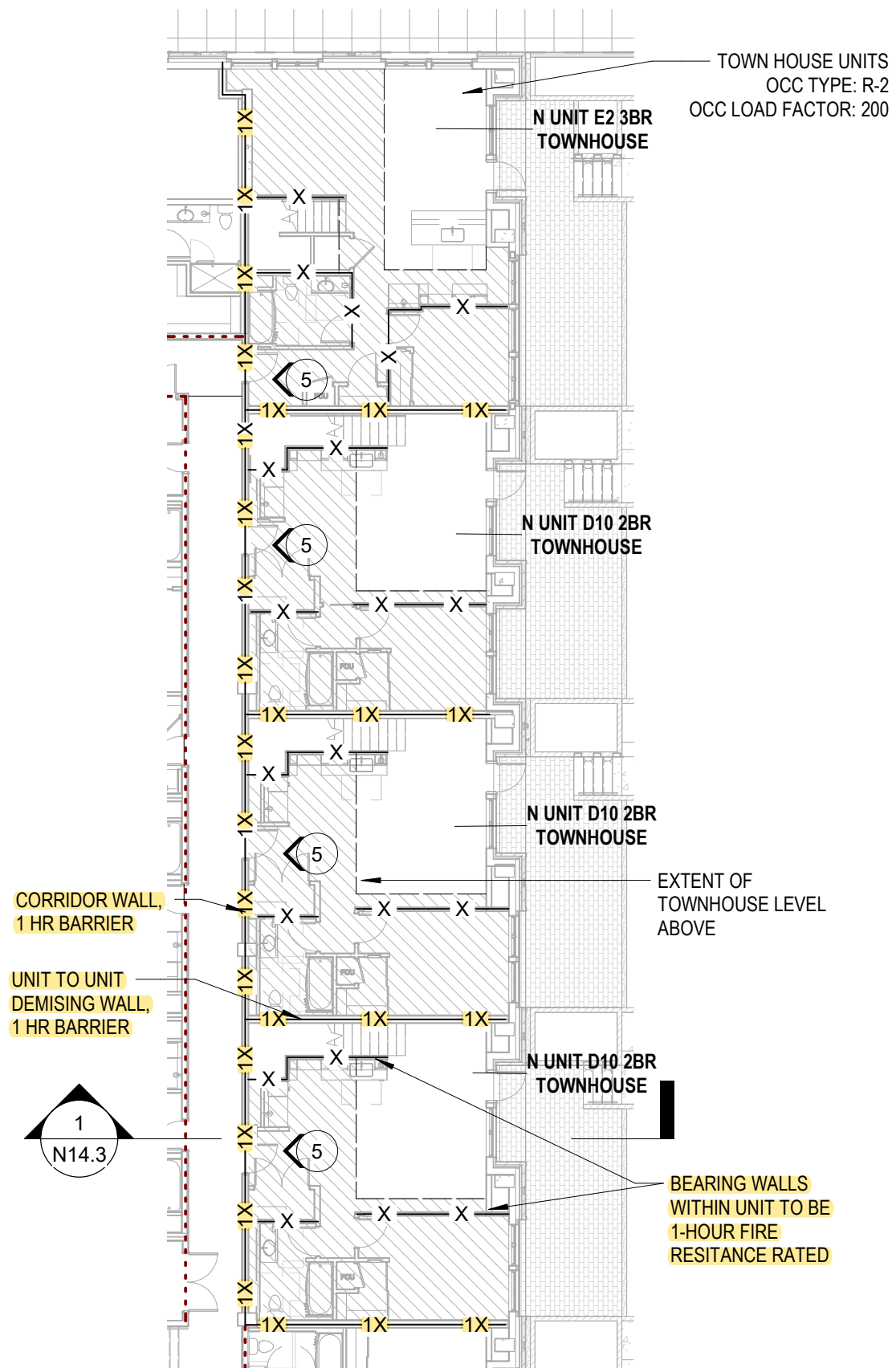
Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.



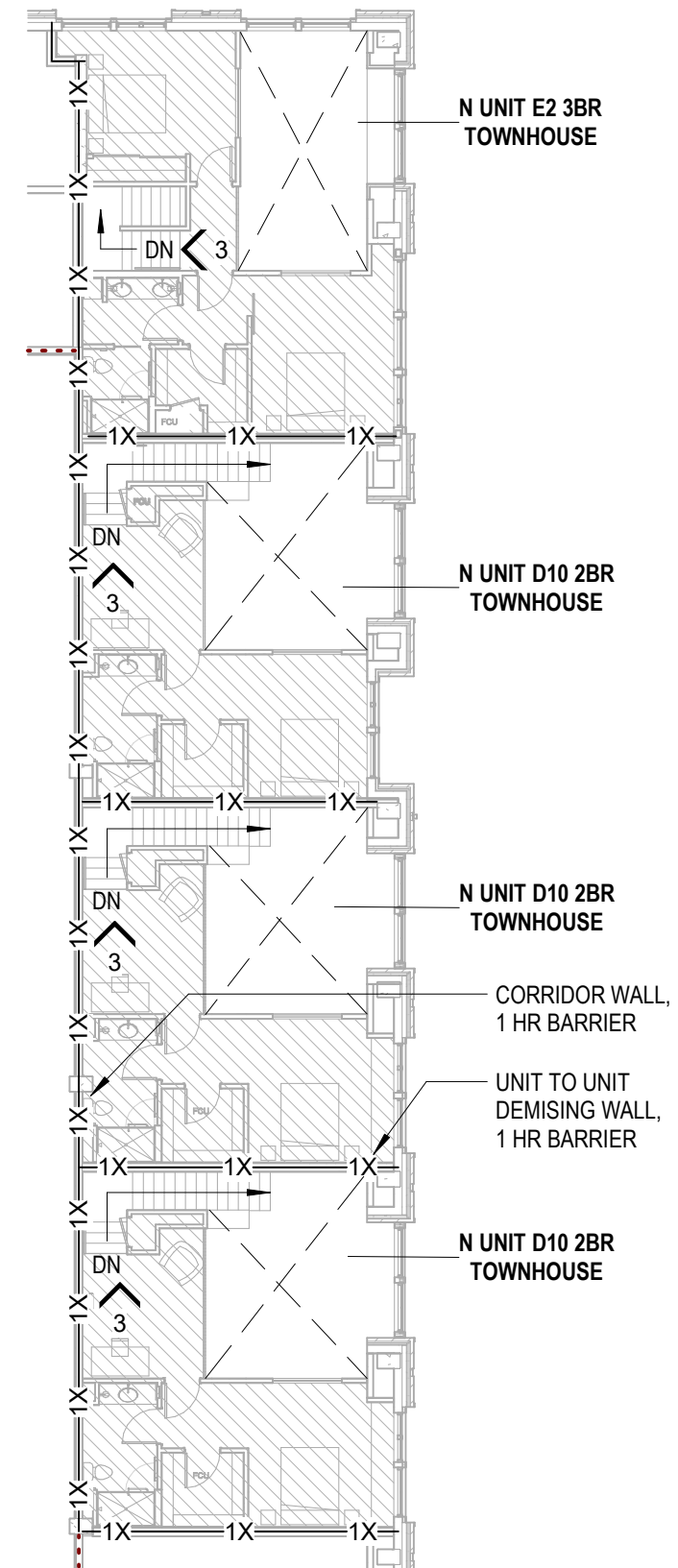
## LEGEND - CODE COMPLIANCE SYMBOLS

---	1/2 HOUR FIRE PARTITION
----	1 HOUR FIRE PARTITION
-1X-1X-1X-	1 HOUR FIRE BARRIER
-X-X-X-	1 HOUR FIRE RESISTANCE RATED CONSTRUCTION
-XXX-XXX-XXX-	3 HOUR FIRE RESISTANCE RATED CONSTRUCTION
555➤	OCCUPANT LOAD AT OPENING
(555)➤	CUMULATIVE OCCUPANT LOAD AT OPENING
➤	BUILDING EXIT

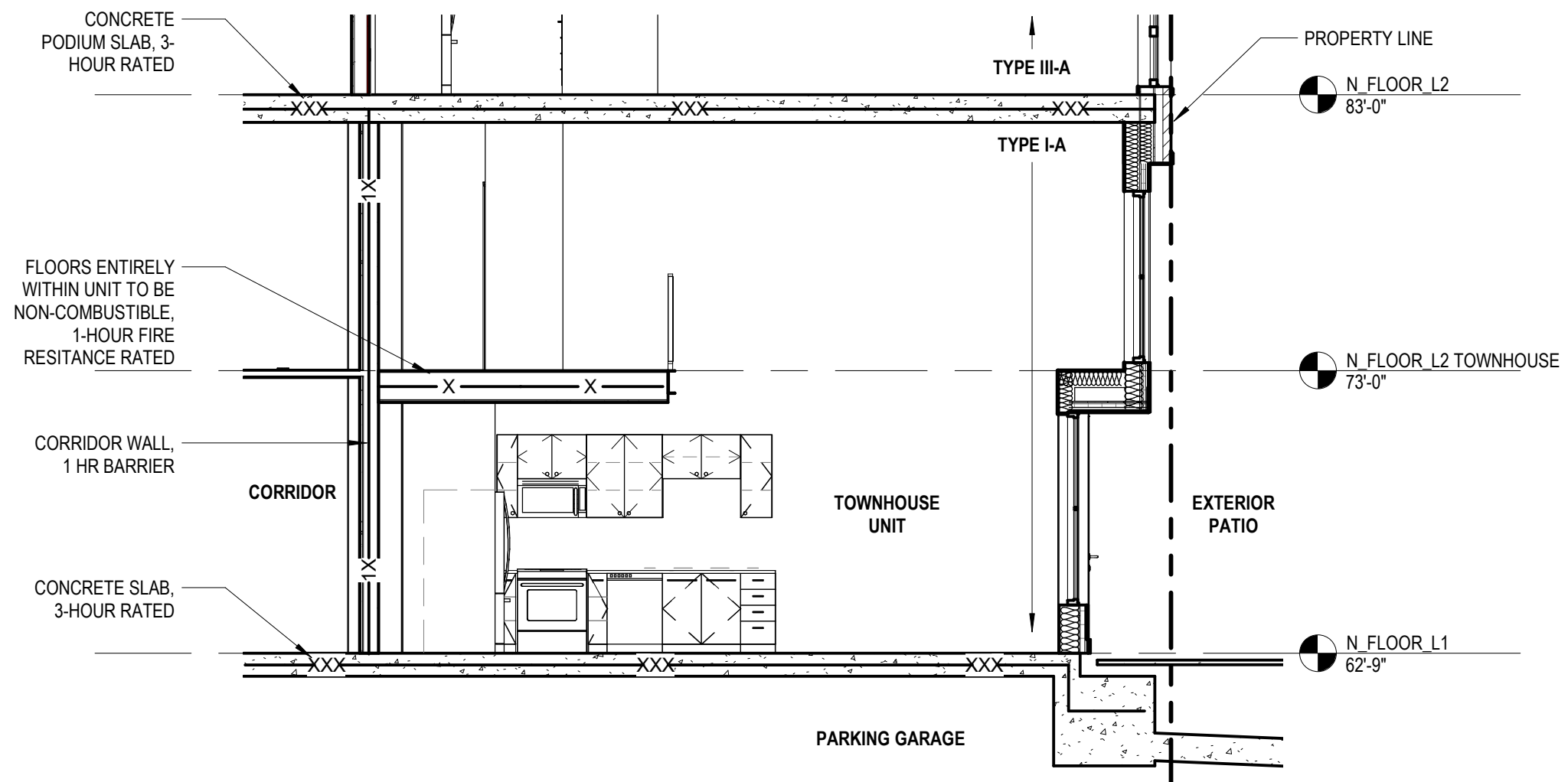
① SITE PLAN  
1" = 40'-0"



② TOWNHOUSE LEVEL 1 PLANS  
1/16" = 1'-0"



① TOWNHOUSE UPPER LEVEL PLANS  
1/16" = 1'-0"



① TOWNHOUSE SECTION  
3/16" = 1'-0"