

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Hold for Additional Information

Appeal ID: 20396	Project Address: 2446 NW 28th Ave
Hearing Date: 5/15/19	Appellant Name: Andrea Young
Case No.: B-007	Appellant Phone: 5038632404
Appeal Type: Building	Plans Examiner/Inspector: David Bartley
Project Type: commercial	Stories: 1 Occupancy: Mixed (F-1, S-1, S-2, B) Construction Type: V-B
Building/Business Name:	Fire Sprinklers: Yes - Throughout building
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: 17-229160
Plan Submitted Option: pdf [File 1] [File 2]	Proposed use: Mixed Use

APPEAL INFORMATION SHEET

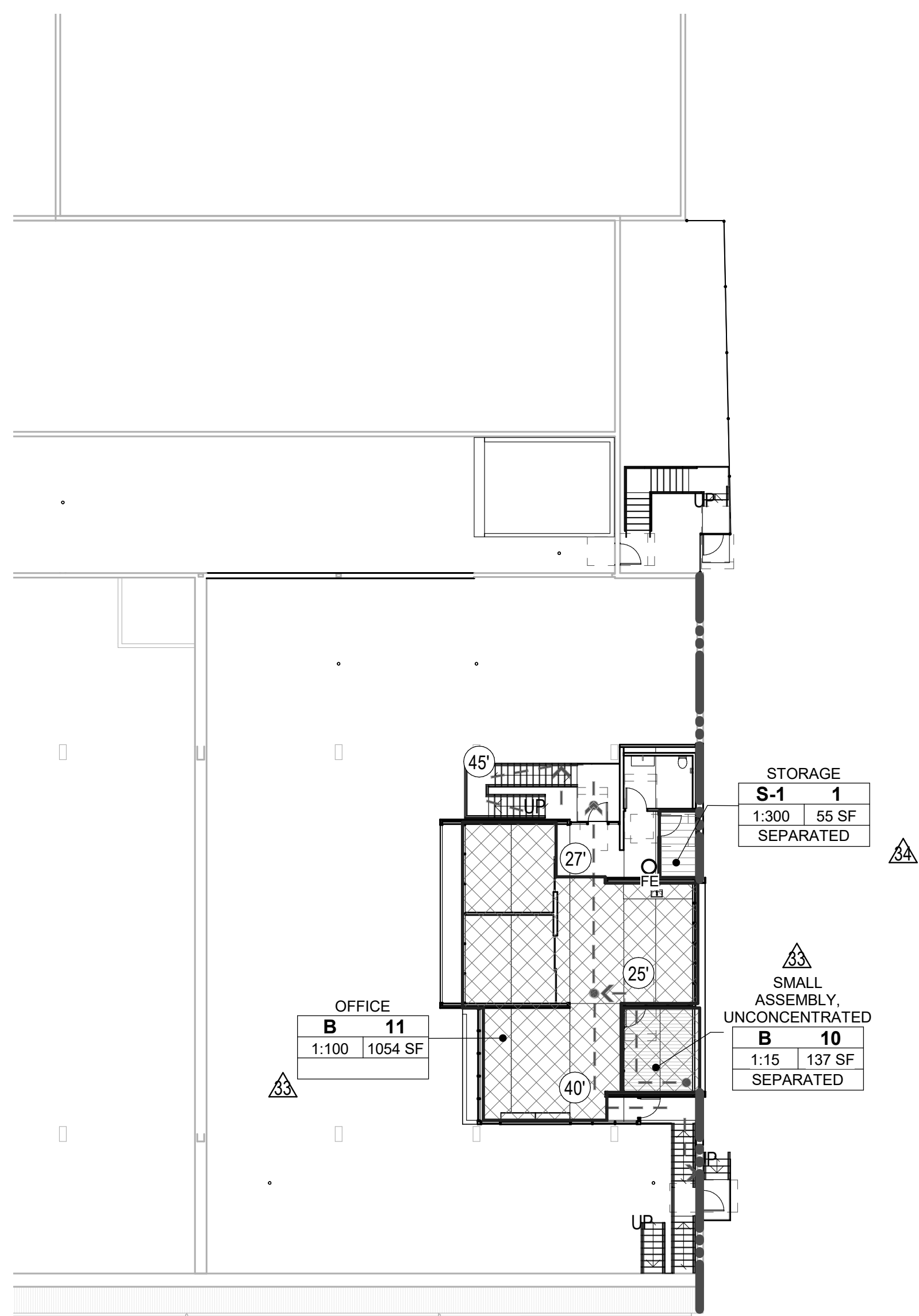
Appeal item 1

Code Section	OSSC 716.5
Requires	OSSC 716.5: Per table 716.5, the minimum fire door and fire shutter assembly rating for "other fire barriers" is ¾ hour. Sidelight/transom also required to be ¾ hour.
Proposed Design	<p>The door in question is located between two occupancy classifications and in a 1-hour rated dividing wall required per Table 508.4 (F-1 & S-2, reference attached Life Safety Plan, A0.12). Therefore per table 716.5, doors in fire barrier are required to be ¾ hour. We are proposing two doors in 1-hour rated wall:</p> <p>3' x 7' Hollow metal swing door, rated 1-hour, on a closer 12' x 14' Sectional door, non-rated (reference attached cut-sheets for product options)</p> <p>While the sectional door is not rated, the proposed fire protection would be provided by full water curtain created through (2) additional Fire Marshal approved sprinkler heads on both sides of door installed per NFPA 13. Sprinklers are to be installed a minimum of 4 inches and maximum of 24 inches from the opening spaced at 6 feet on center. Sprinklers will be capable of wetting entire surface. In conjunction with the water curtain, the sectional door will close automatically by the actuation of fire alarm. The wall and swing door will maintain required rating. The proposed water curtain is only for the 12' door opening.</p> <p>Neither door is part of prescribed egress path for the individual occupancy areas (reference attached Life Safety Plan, A0.12). F-1 space as shown in plan, has two exits leading to exterior and to property line to the east, S-2 space has one exit leading outside to exterior loading area to the north.</p>
Reason for alternative	

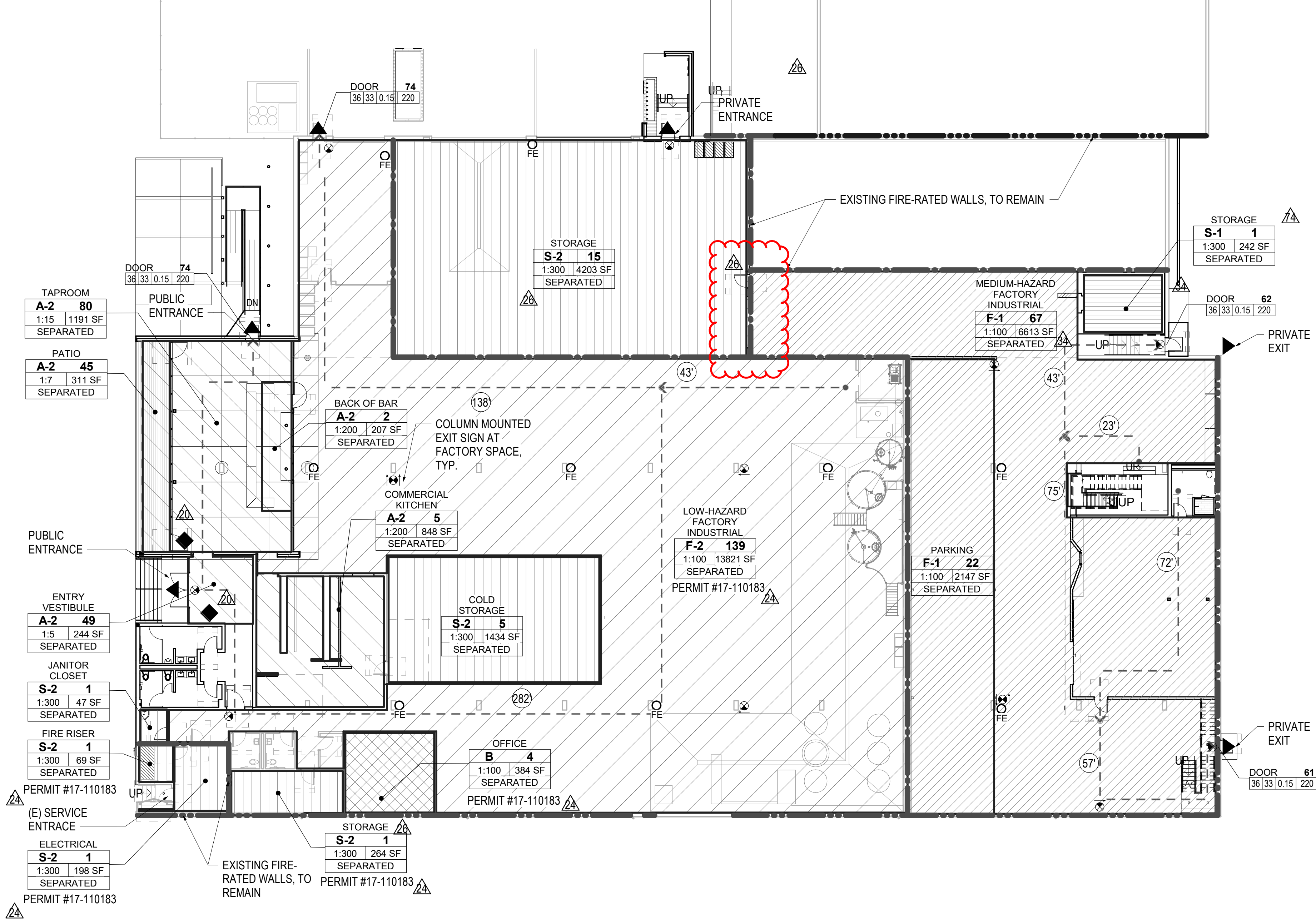
Water curtain sprinkler systems are an effective alternate in protecting penetrations in fire barriers and are an approved means of protecting exterior glazing assemblies (Exception to 705.8.2). The entire building is fully protected by NFPA 13 sprinklers. The proposed water curtain sprinkler heads will be in addition to the existing sprinkler system. The proposed non-rated sectional door will be protected by additional sprinklers heads installed on each side to create water curtain at the door opening. The proposed fire sprinkler water curtain will provide equivalent protection as the ¾ hour rated assembly.

APPEAL DECISION

Alternate 3/4 hour fire rated assembly: Hold for additional information.
Appellant may contact John Butler (503 823-7339) with questions.



2 PLAN, LIFE SAFETY - LEVEL 02
A0.12 1/16" = 1'-0"



1 PLAN, LIFE SAFETY - LEVEL 01
A0.12 1/16" = 1'-0"

TRAVEL DISTANCES

LEVEL	OCCUPANCY	COMMON PATH OF TRAVEL	TRAVEL DISTANCE
01 - TI	F-2	90 FEET	< 100 FEET MAX
01	F-1	72 FEET	< 100 FEET MAX
02	B	25 FEET	< 100 FEET MAX

SEISMIC UPGRADE MATRIX OF OCCUPANCIES

YEAR	OCCUPANCY	AREA	OCCUPANT LOAD
2017 JULY	TAPROOM	A-2	1191 SF
	PATIO	A-2	311 SF
	BACK BAR	A-2	207 SF
	ENTRY VESTIBULE	A-2	244 SF
	KITCHEN & COLD STORAGE	A-2	848 SF
	COLD STORAGE (BREWERY)	S-2	1434
	OFFICE	B	384 SF
	MECHANICAL	S-2	264 SF
	ELECTRICAL	S-2	198 SF
	FIRE RISER	S-2	69 SF
	JANITORY CLOSET	S-2	47 SF
	WORK AREA (BREWERY)	F-2	13821 SF
	(PRIVATE) STORAGE	S-2	4203 SF
	(PRIVATE) GARAGE	F-1	9044 SF
2017 FEBRUARY	(PRIVATE) WORKSPACE/STORAGE	S-1	55 SF
	(PRIVATE) OFFICE	B	1054 SF
	(PRIVATE) BALCONY	B	137 SF
			460 TOTAL
			5
2015	OFFICE	B (F-2 ACC)	451 SF
	WORK AREA	F-2	195430 SF
	ELECTRICAL	S-2	186 SF
	FIRE RISER	S-2	57 SF
	STORAGE (EXISTING)	S-1	2985 SF
1978	OFFICE	B (F-2 ACC)	3770 SF
	WORK AREA	F-2	37410 SF
	STORAGE	S-1	2985 SF
			423 TOTAL

* THIS ACCOUNTS FOR ALL THE RECORDS THAT WE HAVE ON THE EXISTING BUILDING
** FEBRUARY 2017 CALCULATIONS DO NOT INCLUDE AREA THAT WAS SHELLED DURING THAT PERMIT

FIRE AND LIFE SAFETY LEGEND

---	FIRE - 0.5 HR
---	FIRE - 1 HR
---	FIRE - 2 HR
---	FIRE - 3 HR
---	FIRE - 4 HR
---	FIRE SMOKE BARRIER - 1 HR
---	FIRE SMOKE PARTITION
EXIT SIGN	EXIT SIGN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
SC	STANDPIPE CABINET
BUILDING EXIT	BUILDING EXIT
OCCUPANT LOAD SIGN	OCCUPANT LOAD SIGN
TRAVEL DISTANCE	TRAVEL DISTANCE
EGRESS PATH	EGRESS PATH
EXIT COMPONENT	EXIT COMPONENT
OCCUPANT LOAD	OCCUPANT LOAD
OCCUPANT CAPACITY	OCCUPANT CAPACITY
OCCUPANCY LOAD FACTOR	OCCUPANCY LOAD FACTOR
WIDTH REQUIRED	WIDTH REQUIRED
WIDTH PROVIDED	WIDTH PROVIDED
SPACE NAME	SPACE NAME
OCCUPANCY GROUP	OCCUPANCY GROUP
OCCUPANCY LOAD	OCCUPANCY LOAD
CALCULATED AREA	CALCULATED AREA
OCCUPANCY SEPARATION	OCCUPANCY SEPARATION
OCCUPANCY LOAD FACTOR	OCCUPANCY LOAD FACTOR

NW 28th

2444 NW 28th Avenue
Portland, OR 97210

Drawing Title

LIFE SAFETY PLANS

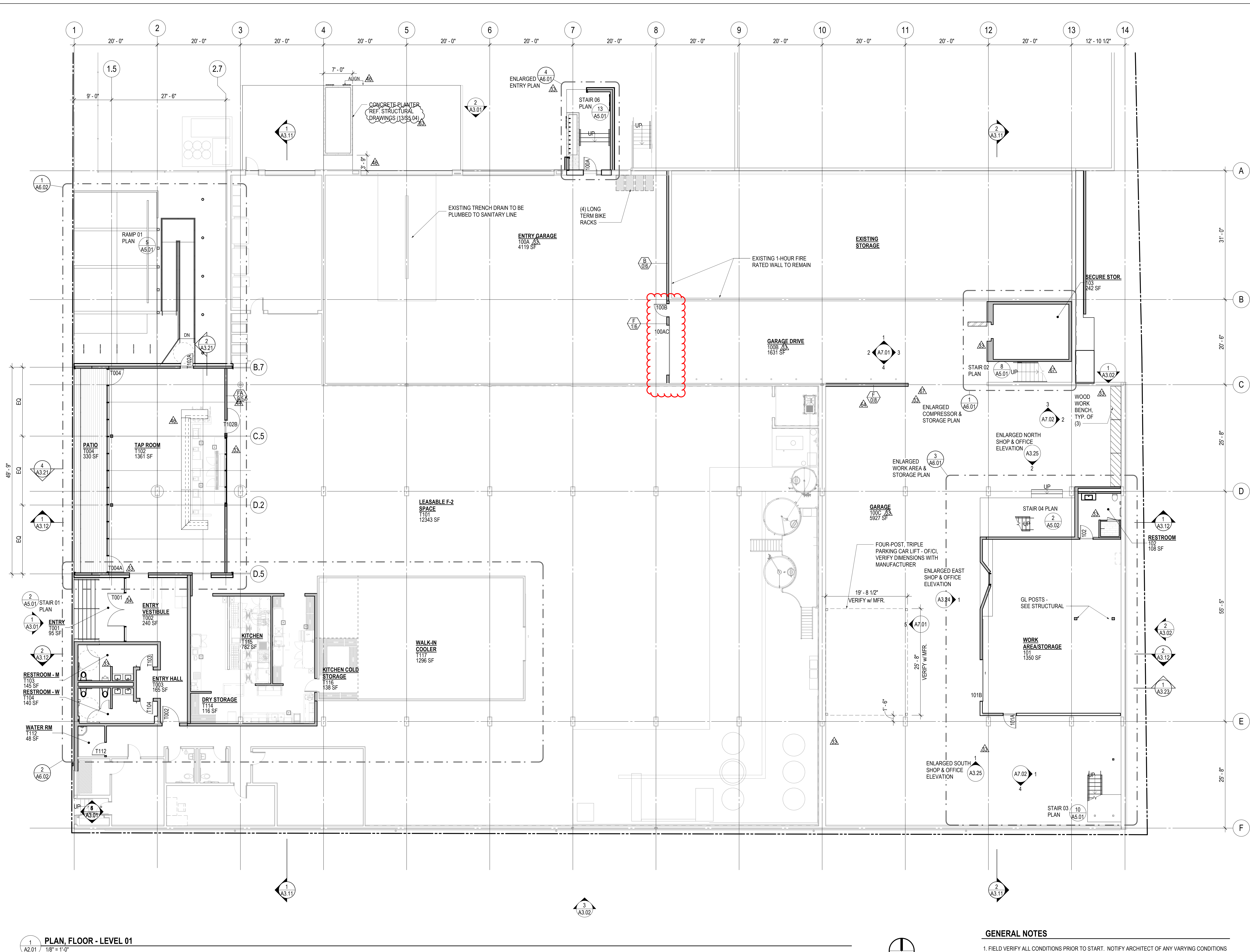


Date: OCTOBER 10, 2017
Job No: P23298
Drawn By: Author
Checked By: Checker

Drawing No.

A0.12

CONSTRUCTION SET



1 PLAN, FLOOR - LEVEL 01
1/8" = 1'-0"

GENERAL NOTES

1. FIELD VERIFY ALL CONDITIONS PRIOR TO START. NOTIFY ARCHITECT OF ANY VARYING CONDITIONS THAT WILL AFFECT INDICATED LOCATIONS AND REQUIRE MODIFICATIONS.
2. COORDINATE PATCH AND REPAIR WORK REQUIRED FOR ACCESS OF OTHER TRADES.
3. REF. STRUCTURAL FOR FRAMING INFORMATION.
4. ARCHITECTURE SHEETS GOVERN LOCATION & DIMENSIONS.
5. FURNITURE IS SHOWN FOR REFERENCE ONLY.
6. NO SURFACE MOUNTED EXPOSED CONDUIT OR ELECTRICAL PATHWAY SHALL BE VISIBLE ON INTERIOR OR EXTERIOR FINISHED SURFACES.

LEGEND - PLANS

- EXISTING CONDITIONS TO REMAIN
- SCOPE OF NEW WORK
- L8, IN-GRADE UPLIGHT (FOR REFERENCE ONLY - INSTALLED IN PHASE 1 PERMITTING)
- HVAC SUPPLY FLOOR DIFFUSER
- FUTURE WORK (NOT IN CONTRACT, NOT INCLUDED IN PERMIT)

NW 28th

2444 NW 28th Avenue
Portland, OR 97210

Drawing Title

PLAN, FLOOR -
LEVEL 01



Date: OCTOBER 10, 2017

Job No: P23298

Drawn By: Author

Checked By: Checker

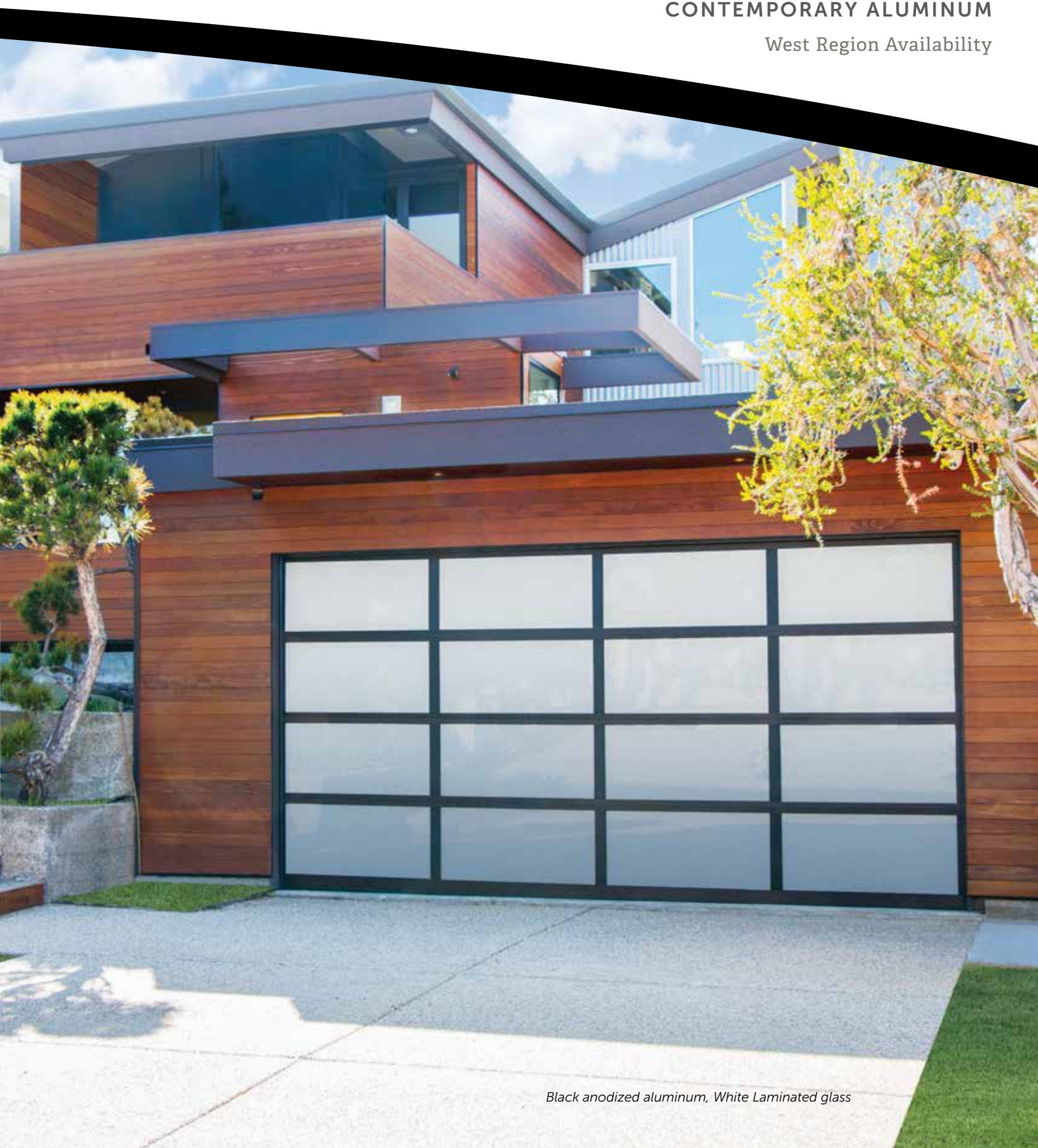
Drawing No.

A2.01

CONSTRUCTION SET

CONTEMPORARY ALUMINUM

West Region Availability

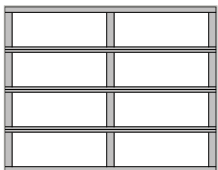


Black anodized aluminum, White Laminated glass

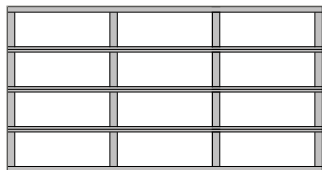


1 Select the Platform

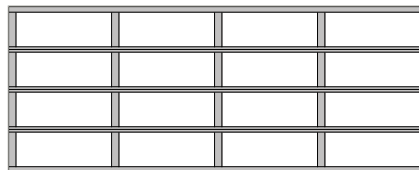
Standard Frames



8' Wide (2 panel)*

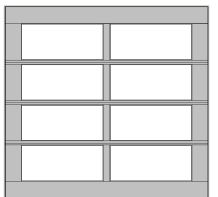


9'-12' Wide (3 panel)

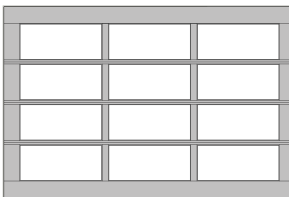


Over 12' Wide (4 panel)

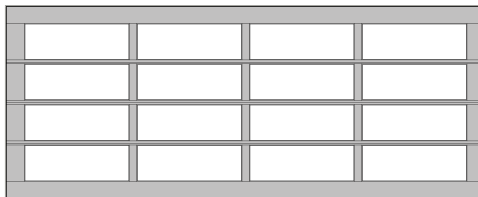
Double-wide Frames



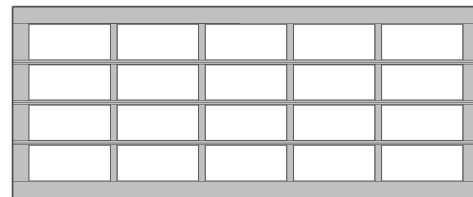
8' Wide (2 panel)*



9'-12' Wide (3 panel)



Over 12' Wide (4 panel)



18' Wide (5 panel)**

Due to the weight of this door, it is only offered in the Double-wide frame.

*2 panel wide is optional for 9' doors.

Panel spacing drawings shown are for illustrative purposes only and do not reflect actual stile and rail dimensions.

If 6" frame is ordered, other doors must be ordered from that grouping to match and may incur an additional upcharge.

See dealer for details.

**4-panel wide is optional for 18' wide doors.

If you are ordering a 16'3" or wider door as well as a single door, check with your dealer to ensure that the door frames match.



Dark Bronze powder coated aluminum, Satin Etched glass

2

Choose your Color

Anodized Finishes



Clear (Standard)

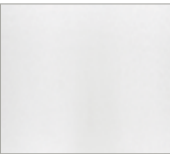


Bronze



Black

Powder Coat Finishes



White



Dark Bronze



Black

RAL Powder Coat Finishes

Select from approximately 200 powder coat color options to best match your home.



Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your Wayne Dalton dealer for accurate color matching.



3 Choose your Glass



1/8" Clear Glass



Green Tinted



Gray Tinted



Bronze Tinted



Satin Etched



White Laminated



Obscure

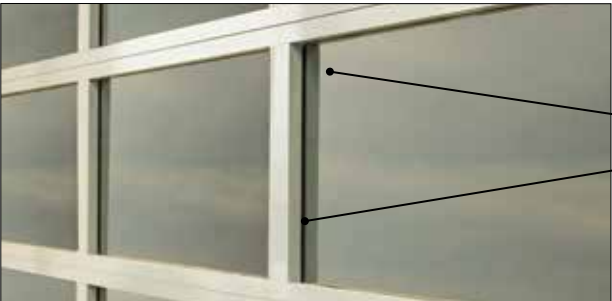
Custom glass also available. See dealer for details.
Most panel styles are also available in both single pane and insulated configurations.

stylish. colorful. contemporary.

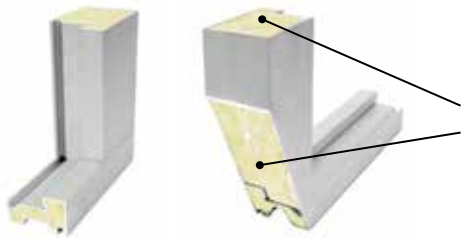
Wayne Dalton Contemporary Aluminum doors, constructed with a rugged, anodized aluminum frame, feature equal panel spacing for a clean modern look.

PERFORMANCE FEATURES

- Tongue-and-groove joints provide a great weather barrier
- Flexible vinyl bottom seal helps prevent dirt and elements from entering your garage
- Choose a 25,000 cycle spring for almost twice the life of a standard torsion spring
- Reinforcing fins on all top sections and as needed on intermediate sections, provide years of smooth, trouble-free operation. (The fins are the extruded part of the door section that are not visible through the glass)



Aluminum rails and stiles are designed with non-beveled edges and straight lines to create a true contemporary style.



Optional polyurethane insulation adds R-value* of up to 4.36.

R-VALUES OF INSULATED 8800	9X7 DOOR	16X7 DOOR	9X8 DOOR	16X8 DOOR
1/2" insulated glass Solar Ban 70XL argon filled (R=3.125)	4.36	4.36	4.23	4.23
1/2" insulated glass (R=1.75) with polyurethane filled rails and stiles	3.18	3.17	3.02	3.02
1/2" insulated glass Low E (R=2.38) with polyurethane filled rails and stiles	3.73	3.71	3.59	3.58



Model 8800 offers a five-year limited warranty on the aluminum and one-year limited warranty on the glass. See full text of warranty for details.

* Wayne Dalton uses a calculated door section R-value for our insulated doors.

AFTER

BEFORE



Clear anodized aluminum, White Laminated glass



Garage Door Design Center

To see this door on your home, visit **wayne-dalton.com**, or download our app, and try our Garage Door Design Center. Upload a photo of your home and experiment with panel designs, color options, window styles and decorative hardware designs. Instant curb appeal awaits you with just a click of your mouse.

Wayne Dalton
GARAGE DOORS

DISTRIBUTED BY:

2501 S. State Hwy. 121 Bus., Ste 200
Lewisville, TX 75067

wayne-dalton.com



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CLOPAY COMMERCIAL – MODELS 902, 903 architectural series

Clopay®



CONSTRUCTION
2 1/8"
THICKNESS

WARRANTY
5YR
LIMITED
CONSTRUCTION

*Model 903 with Insulated Glass and Bottom
Insulated Aluminum Panel, Powder-Coated Frame*

ALUMINUM FULL-VIEW DOORS

Clopay Aluminum Full-View doors offer designers the flexibility to let varying degrees of light in while complementing the surrounding structure. A wide selection of standard and custom glazing types make a bold statement in retail and store environments.

- 2-1/8" (54 mm) thick construction, 6063-T5 extruded aluminum alloy with integral reinforcing fin for maximum durability.
- Exclusive, capped rail construction helps seal out the elements and adds to door durability.
- Tongue-and-groove meeting rail.
- Available in a wide variety of powder-coated and anodized finish colors.
- Many glazing options available, including thermal glass, Low-E glass and polycarbonate panels in various colors.
- Model 902 features 44" (1.1 m) on center panel spacing with limited glazing options. Model 903 is fully customizable and features equal panel spacing.

clopaycommercial.com



Integral reinforcing
fin adds durability
and strength.

OPTIONS

GLASS/PANEL OPTIONS



Full View



Solid Aluminum

CUSTOM POWDER COAT

Powder coat available in a variety of finishes, colors as well as custom formulations to complement your building design.

GLASS/PANEL OPTIONS



Clear Glass



Gray Tinted Glass



Bronze Tinted Glass



Mirrored Glass*



Obscure Glass



White Laminate Glass*



Frosted Glass or Acrylic



Clear Acrylic



Gray Acrylic



White Acrylic



Clear Polycarbonate



Bronze Polycarbonate



Clear Anodized (Aluminum Panel)

FRAME/SOLID PANEL COLOR OPTIONS



Clear Aluminum (Anodized)



Standard White



Bronze (Painted)



Chocolate (Painted)



Bronze (Anodized)†



Black (Anodized)†



Dark Bronze (Anodized)†

*Mirrored and laminate not available in 1/2".

† Additional cost and lead time may apply.

Glass thickness available in 1/8", 1/4" and 1/2". Low-E available on insulated glass. Tri-wall polycarbonate thickness available in 1/2". Panels can be aluminum to match the aluminum frame. Glass/acrylic panels may be combined with aluminum panels. Due to the anodizing process, slight color variation may occur. Custom powder coat, Color Blast® and anodized finish available. The use of "Bronze (Painted)" is recommended for a more consistent bronze finish color.

Acrylic windows require special cleaning. Never use products that contain ammonia or petroleum products to clean acrylic. Please visit clopaydoor.com/acrylic for complete details.

See your Clopay Dealer for details.

FEATURES

STANDARD HARDWARE

TPE astragal in aluminum retainer

Commercial 10-ball steel rollers (nylon tires available)

Steel step plate and lift handle

Galvanized steel end stiles

Inside slide lock for increased security

2" (50.8 mm) or 3" (76.2 mm) track

10,000 cycle springs

Galvanized aircraft cable with minimum 7:1 safety factor

Variety of track configurations to meet building specifications

MATERIALS AND CONSTRUCTION

Panel Thickness 2-1/8" (54 mm)

Exterior Surface 6062-T5 extruded aluminum alloy with integral reinforcing fin

Max Width 24'2" (7.4 m)

Max Height 20' (6.1 m)

Exterior Colors Standard White, Bronze and Chocolate Painted. Clear, Bronze, Black and Dark Bronze Anodized. Custom paint available.

Limited Warranties* 5-year limited finish warranty
1-year hardware warranty

*For full warranty details see the 902, 903 official warranty document, posted on www.clopaydoor.com.

For special sizes, applications and options, consult Commercial Information Assistance (CIA) at 1-800-526-4301.



For more information on these and other Clopay products, call 1-800-526-4301 or visit clopaycommercial.com



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HEAVY-DUTY HARDWARE (where not standard)



Double-end hinge



3" Track



High performance hardware features 10 gauge end hinges, heavy-duty top bracket and 3" sealed roller with 5/8" stem.

HIGH CYCLE SPRINGS



25,000, 50,000 or 100,000 cycle springs available.

MULLIONS

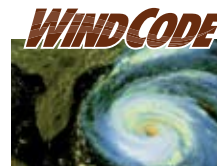


Carry-away, roll-away or swing-up mullions are available on select sizes.

EXHAUST PORT



Can be cut into any type of sectional door. Available in select sizes.



WindCode® reinforcement available up to W1 design pressure (DP) 14 PSF, depending on size. Doors tested 50% greater than DP.



Upgrade your standard door with industrial-grade components.

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CMDC-903-11_REV1018