

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20248	Project Address: 1423 NE Liberty St
Hearing Date: 4/17/19	Appellant Name: Robin Koch
Case No.: B-005	Appellant Phone: 5032301293
Appeal Type: Building	Plans Examiner/Inspector: Rodney Jennings
Project Type: residential	Stories: 1 Occupancy: R-3 Construction Type: V-B
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: 19-119991-LU
Plan Submitted Option: pdf [File 1]	Proposed use: Single family residential

APPEAL INFORMATION SHEET

Appeal item 1

Code Section R302

Requires Fire-resistant construction for walls less than 3 ft. to property line.

Proposed Design The owner plans to permit the continued use of the living space that was converted from a garage before she purchased the property at the address above. The western wall is 1' – 4" from property line with no eave. I propose to add two layers of 5/8" fire-rated gypsum board to the interior of the studs of the west wall rather than remove siding to add to the exterior.

Reason for alternative Removing siding will be more difficult and costly. The wall is currently unfinished so access is sufficient from the interior of the room.

APPEAL DECISION

Alternate one hour assembly for West wall of existing garage within three feet of property line: Granted provided:

- Two layers of Type X gypsum are installed on the interior side of the wall continuous to the top of the double top plate.
- Two layers of 2x blocking are provided between the top of the double top plate and underside of the roof sheathing, beveled where required, to fit tight against the sheathing.
- No openings including eave vents may be installed in the soffit and no openings including windows, roof vents or skylights may be installed in that portion of the wall or roof that is within three feet of the property line.
- The underside of the roof adjacent to the property line is provided with one layer of 5/8" Type X gypsum board installed directly against the underside of the roof sheathing with support provided by a

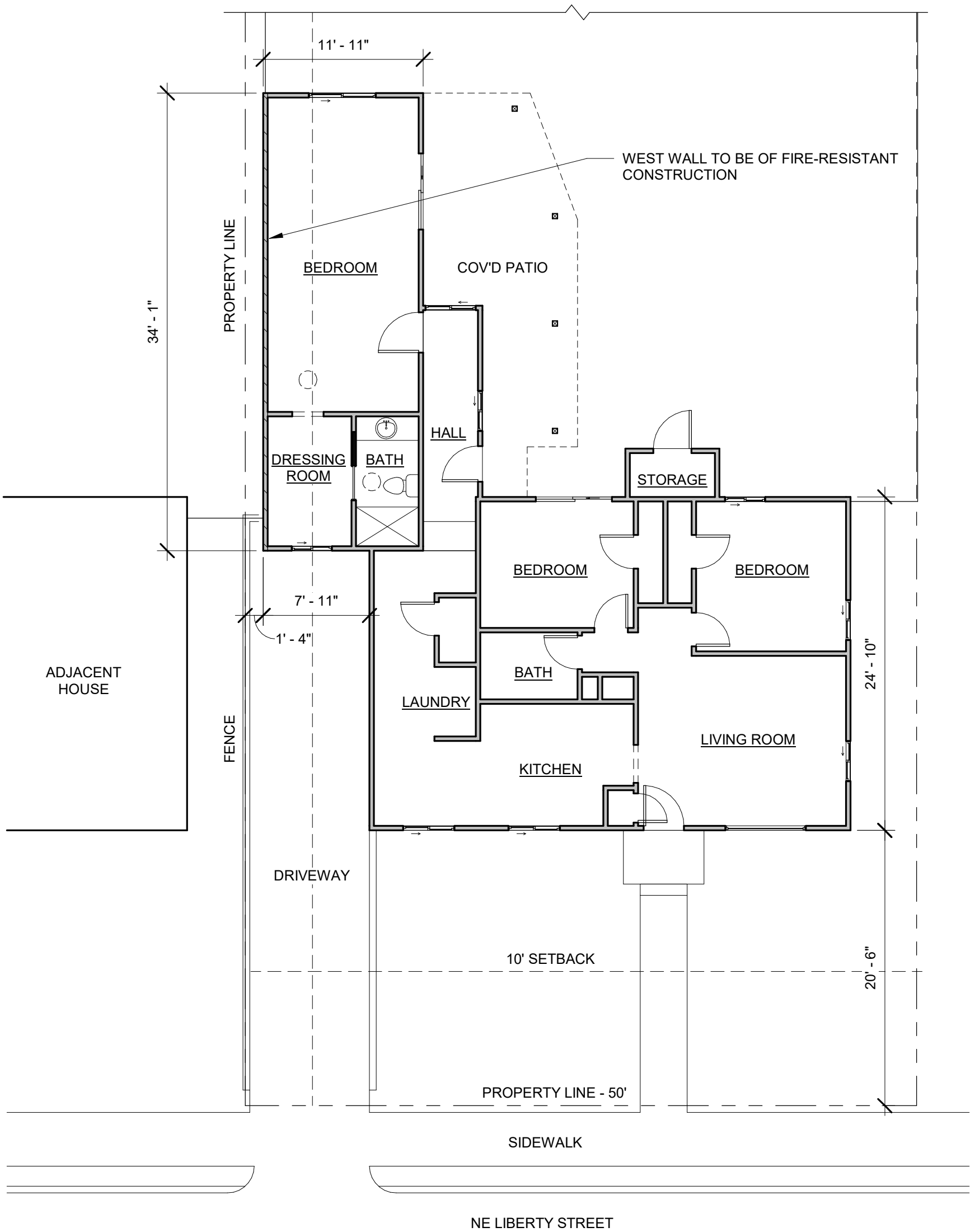
minimum of 2 x ledgers attached to the side of the roof framing members for a minimum distance of four feet measured from the inside face of the finished wall surface.

e. No built elements including gutters and footings may cross the property line and stormwater must remain and be disposed of on site.

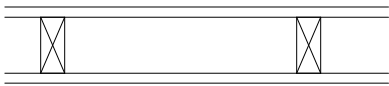
Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

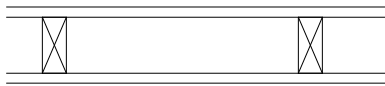


1 SITE PLAN
1/8" = 1'-0"



UL U305

- Gypsum Board - 5/8 in. thick gypsum board applied horizontally or vertically
- Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC, effectively firestopped
- Gypsum Board - 5/8 in. thick gypsum board, applied horizontally or vertically



PROPOSED FIRE-RESISTANT WALL ASSEMBLY

- Existing Lap Siding
- Existing Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC, effectively firestopped
- Two Layers Gypsum Board - 5/8 in. thick gypsum board, applied horizontally or vertically

1423 NE LIBERTY STREET
PORTLAND, OR 97211
ZONE: R-5
LOT AREA: 5,000 SF
BUILDING COVERAGE: 1,368 SF

STORIES: 1
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
FIRE SPRINKLERS: NO
PROPOSED USE: SINGLE-FAMILY RESIDENTIAL