

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20243	Project Address: 1435 NW Northrup St
Hearing Date: 4/17/19	Appellant Name: John Jamiel
Case No.: B-003	Appellant Phone: 5032200668
Appeal Type: Building	Plans Examiner/Inspector: Steven Mortensen, Amit Kumar
Project Type: commercial	Stories: 2 Occupancy: A-3, B, S-1 Construction Type: III-B
Building/Business Name:	Fire Sprinklers: Yes - Throughout
Appeal Involves: occ Change from S-1 to A-3	LUR or Permit Application No.: 19-107451-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Office

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	COP Title 24.85.040
Requires	<p>Per the Life Safety Plans Reviewer checksheet comments:</p> <p>The whole building area and occupant load analysis on Sheet A0.04 indicates more than 150 occupants have been added to the building, and more than 1/3 of the building has cumulatively changed occupancy to a higher relative hazard class, compared with the 2004 baseline. Therefore a seismic upgrade is triggered per COP Title 24.85.040.</p>
Proposed Design	This building code appeal is to request approval to not provide this requirement based on the fact that a full OSSC seismic upgrade was previously provided in permit 11-145472-CO.
Reason for alternative	This building code appeal is to request approval to not provide this requirement based on the fact that a full OSSC seismic upgrade was previously provided in permit 11-145472-CO.

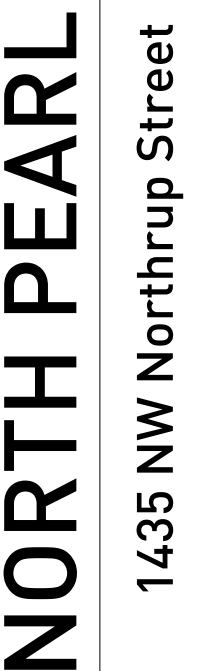
APPEAL DECISION

Omission of seismic upgrades: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs,

including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



WHOLE BUILDING FLOOR AREA ANALYSIS			
AREAS OF OCCUPANCIES AS OF 2004		AREAS OF OCCUPANCIES IN THIS PERMIT	
BASEMENT		BASEMENT	
OCCUPANCY	SF	OCCUPANCY	SF
S-1	5,454sf	S-1	1,991sf
		A-3	2,140sf
		B	1,323sf
LEVEL 01		LEVEL 01	
OCCUPANCY	SF	OCCUPANCY	SF
F-1	4,814sf	F-1	0sf
B	788sf	B	9,302sf
S-1	3,700sf	S-1	0sf
LEVEL 02		LEVEL 02	
OCCUPANCY	SF	OCCUPANCY	SF
F-1	6,432sf	F-1	0sf
B	2,670sf	B	9,302sf
S-1	200sf	S-1	0sf

TOTAL AREA CHANGE		
BASEMENT 2,140sf (S-1 to A-3) + 1,323sf (S-1 to B) = 3,463sf	LEVEL 01 4,814sf (F-1 to B) + 3,700sf (S-1 to B) = 8,514sf	LEVEL 02 6,432sf (F-1 to B) + 200sf (S-1 to B) = 6,632sf
TOTAL BUILDING AREA: 24,058sf (Basement + Level 01 + Level 02)		
TOTAL AREA OF OCCUPANCY CHANGE TO A HIGHER RELATIVE HAZARD CLASS: 3,463sf (Basement Change) + 8,514sf (Level 01 Change) + 6,632sf (Level 02 Change) = 18,609sf		
TOTAL PERCENTAGE OF OCCUPANCY THAT HAS CHANGED TO A HIGHER RELATIVE HAZARD CLASS: 19,866sf / 24,058sf = 77.35%		

No.	Date	Description
1	2/8/2019	City Comments #
2	Date 2	City Comments #

WHOLE BUILDING AREA & OCCUPANT LOAD ANALYSIS

A0.04

Date: 4.9.2019