

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Hold for Additional Information

Appeal ID: 20217	Project Address: 1620 SW TAYLOR
Hearing Date: 4/10/19	Appellant Name: ERIC HOFFMAN
Case No.: B-015	Appellant Phone: 503-715-5847
Appeal Type: Building	Plans Examiner/Inspector: JEFF DONNELLY
Project Type: commercial	Stories: 3 Occupancy: B Construction Type: IIIB
Building/Business Name: HARSCH MANAGEMENT OFFICES	Fire Sprinklers: Yes - CEILING
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: 2019-114560-000-00-FA
Plan Submitted Option: pdf [File 1] [File 2]	Proposed use: OFFICE

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 2014 OSSC 1004.1.2.

Requires 1004.1.2 AREAS WITHOUT FIXED SEATING. THE NUMBER OF OCCUPANTS SHALL BE COMPUTED AT THE RATE OF ONE OCCUPANT PER UNIT OF AREA AS PRESCRIBED IN TABLE 1004.1.2. FOR AREAS WITHOUT FIXED SEATING, THE OCCUPANT LOAD SHALL NOT BE LESS THAN THAT NUMBER DETERMINED BY DIVIDING THE FLOOR AREA UNDER CONSIDERATION BY THE OCCUPANT LOAD FACTOR ASSIGNED TO THE FUNCTION OF THE SPACE AS SET FORTH IN TABLE 1004.1.2.

EXCEPTION: WHERE APPROVED BY THE BUILDING OFFICIAL, THE ACTUAL NUMBER OF OCCUPANTS FOR WHOM EACH OCCUPIED SPACE, FLOOR OR BUILDING IS DESIGNED, ALTHOUGH LESS THAN THOSE DETERMINED BY CALCULATION, SHALL BE PERMITTED TO BE USED IN THE DETERMINATION OF THE DESIGN OCCUPANT LOAD.

Proposed Design BREAK-ROOM AREA – THE AREA IS A KITCHEN/BREAK ROOM FOR EMPLOYEES TO EAT MEALS BROUGHT TO WORK. THE SPACE WILL NOT AT ANY POINT BE USED FOR MEETINGS OR ASSEMBLY PURPOSES.

THE AREA OF THE SPACE IS 419 SF. PER TABLE 1004.1.2, THE SPACE WOULD BE CLASSIFIED AS AN ASSEMBLY OCCUPANCY WITH 15 NET SQUARE FEET PER OCCUPANT.

419 SF / 15 NSF = 28 OCCUPANTS.

HOWEVER, DUE TO THE ACTUAL FUNCTION OF THE AREA, WE ARE PROPOSING THAT THE BREAK ROOM BE CONSIDERED A NON-SIMULTANEOUS USE OF THE PRIMARY B OCCUPANCY. AT NO POINT ARE NEW OCCUPANTS BEING ADDED TO THE OVERALL

TENANT SPACE DUE TO THE BREAK ROOM – BUT RATHER THE OCCUPANT LOAD SHIFTS FROM ONE AREA TO ANOTHER AT LUNCH AND BREAK TIMES.

THIS PROPOSAL WILL SEEK TO LIMIT THE DESIGN OCCUPANT LOAD TO 4 OCCUPANTS FOR THIS SPACE.

Reason for alternative SINCE THE BREAK ROOM WILL BE USED NON-SIMULTANEOUSLY BY THE SAME OCCUPANTS AS THE MAIN OFFICE AREAS, THE OCCUPANT LOAD SHOULD BE APPROPRIATELY CALCULATED THE SAME AS THE LOAD OF THE OFFICE AREAS WITHOUT INCLUDING THE OCCUPANT LOAD INCREASE OF AN ASSEMBLY AREA. THIS RESULTS IN A TOTAL OCCUPANT LOAD OF 48 FOR THE ENTIRE TENANT SPACE. PER TABLE 1015.1, ONE EXIT ACCESS DOORWAY IS SUFFICIENT.

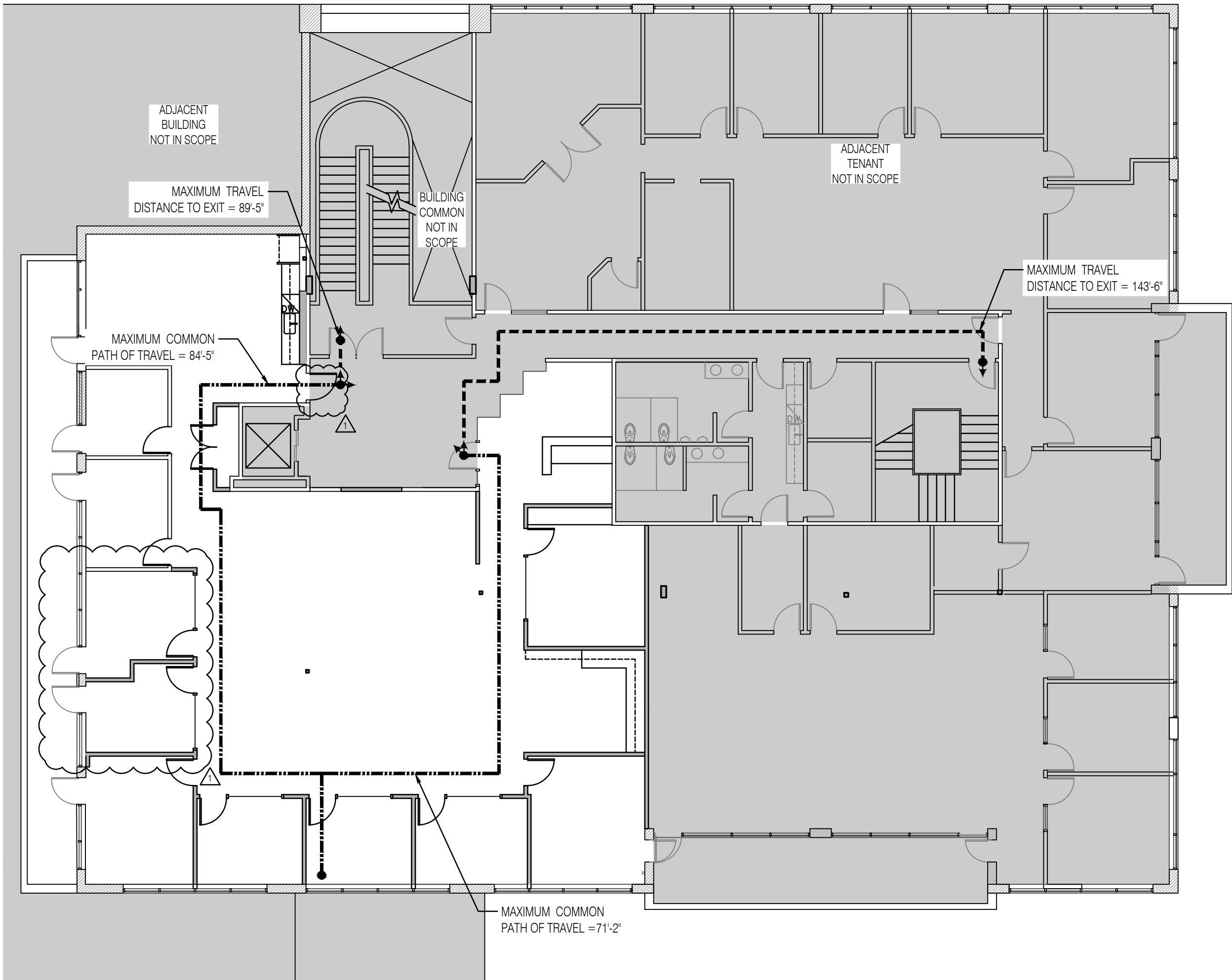
APPEAL DECISION

Single exit tenant improvement with reduction in occupant load based on non-simultaneous use: Hold for additional information.

Appellant may contact John Butler (503 823-7339) with questions.

HARSCH MANAGEMENT OFFICES

1620 SW TAYLOR
PORTLAND, OR 97205



01. EGRESS PLAN

ORIGINAL SCALE: 3/32" = 1'-0"

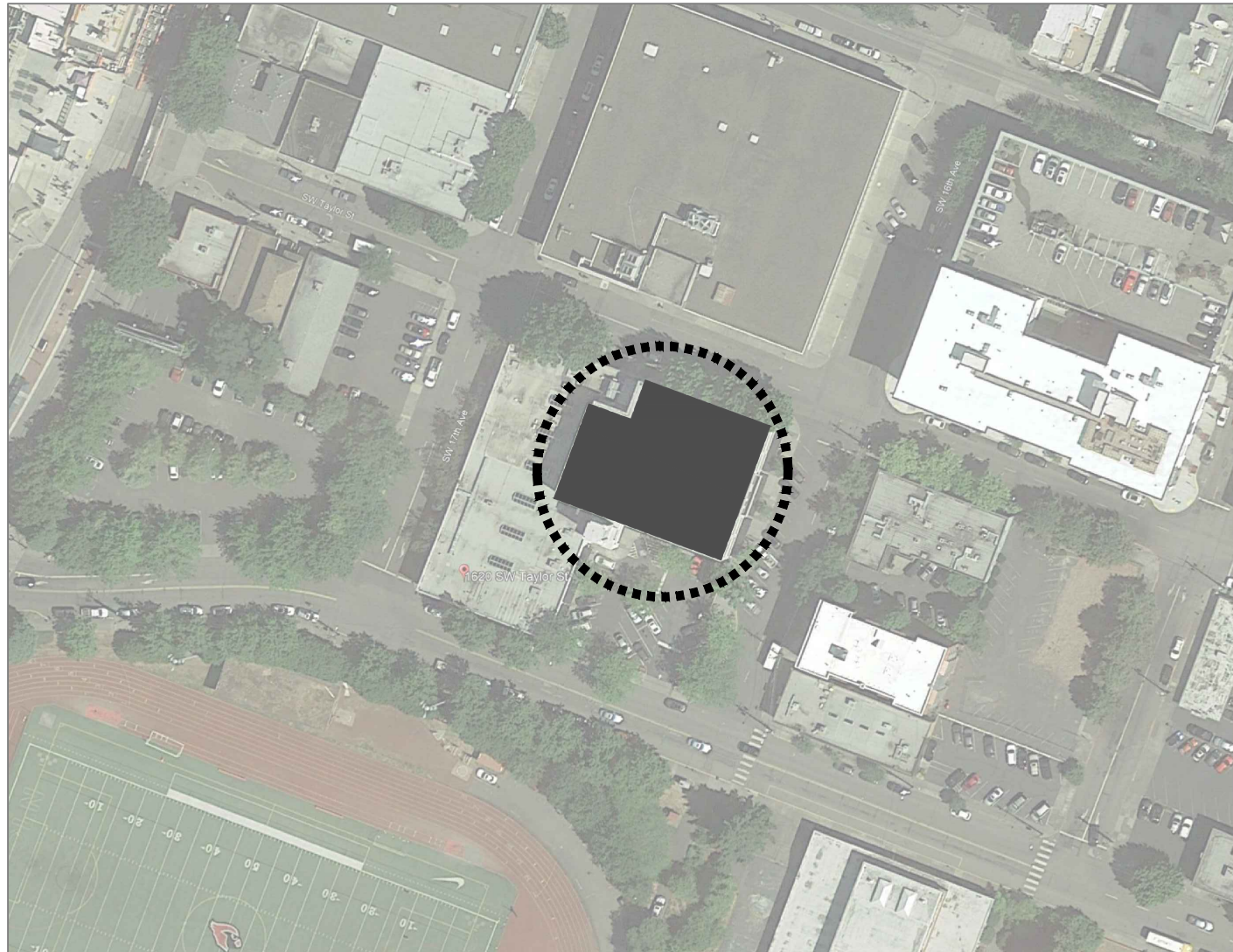
EGRESS CALCULATIONS

OCCUPANT LOAD (PER OSSC TABLES 1004.1.2 & 1015.1):			
B OCCUPANCY = 3,693 SF / 100	=	37 OCCUPANTS	
EXITS REQUIRED PER CODE	=	TOTAL OCC < 49 - 1 REQUIRED EXIT; 2 PROVIDED, THUS OK	
TRAVEL DISTANCES (PER OSSC TABLE 1016.2 & 1014.3):			
MAX ALLOWED TRAVEL DIST TO EXIT	=	200'-0"	
MAX ACTUAL TRAVEL DIST TO EXIT	=	143'-6", THUS OK	
MAX ALLOWED COMMON PATH	=	100'-0"	
MAX ACTUAL COMMON PATH	=	84'-5", THUS OK	
EXIT WIDTH (PER OSSC SECTION 1005.3.2):			
REQUIRED EXIT WIDTH	=	37 OCC*10.2" (36" MIN) = 7.4", THUS 36" REQUIRED	
EXIT WIDTH PROVIDED	=	72", THUS OK	

PLUMBING FIXTURE REQUIREMENTS

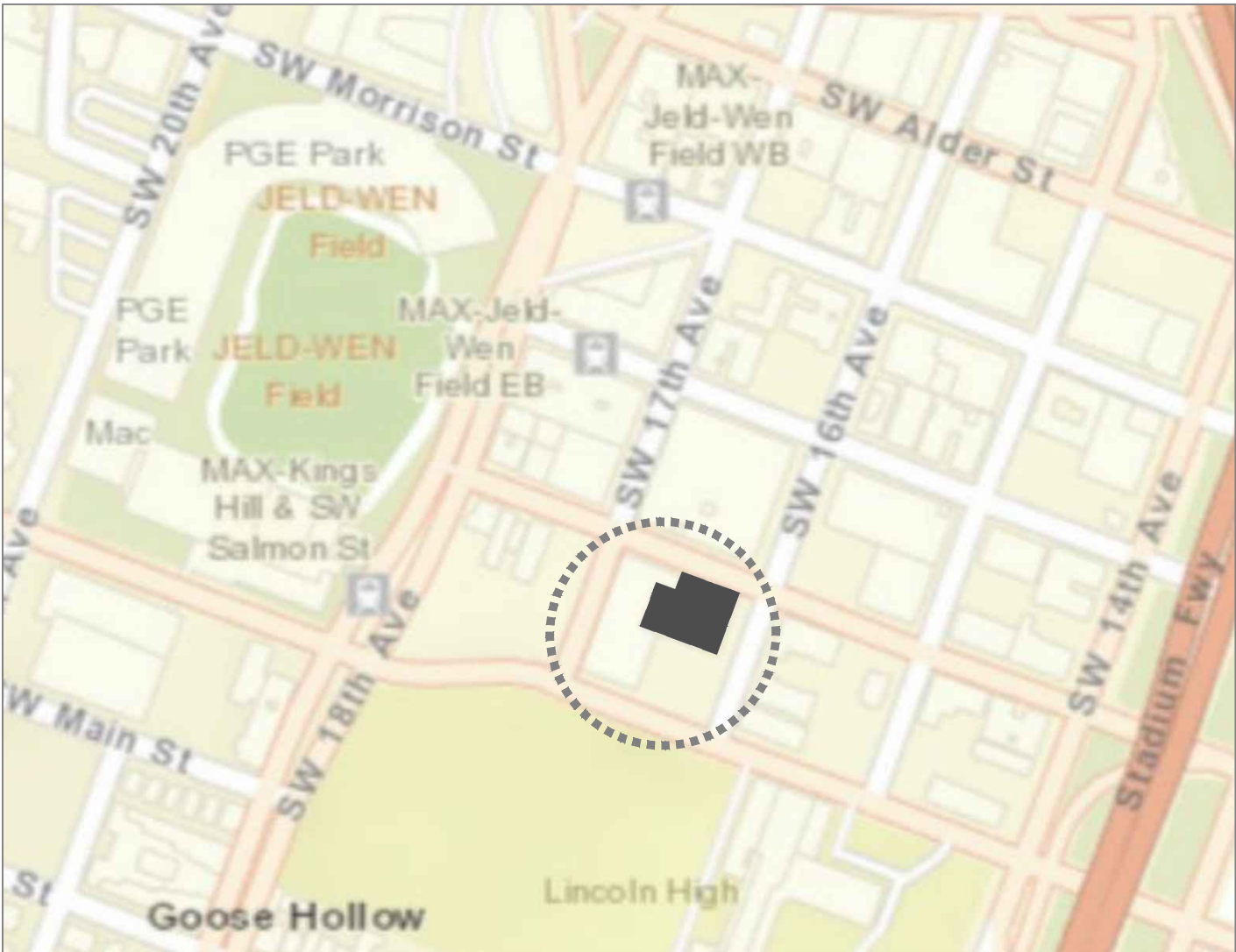
PER OSSC TABLE 2902.1	
3,693 SF OF BUSINESS GROUP B SPACE	
3,693 SF/ 100 OCC = 37 PERSONS =	19 FEMALE AND 18 MALE
TOTAL WATER CLOSETS REQUIRED:	1 PER 25 OCCUPANTS FOR THE FIRST 50 AND 1 PER 50 OCCUPANTS THEREAFTER = 1 MALE WATER CLOSET & 1 FEMALE WATER CLOSET REQUIRED
WATER CLOSETS PROVIDED:	2 MALE WATER CLOSETS (1 ACCESSIBLE), 2 MALE URINALS, & 2 FEMALE WATER CLOSETS (1 ACCESSIBLE) PROVIDED, THUS OK
TOTAL LAVATORIES REQUIRED:	1 PER 40 OCCUPANTS FOR THE FIRST 80 AND 1 PER 80 OCCUPANTS THEREAFTER = 1 MALE LAVATORY & 1 FEMALE LAVATORY REQUIRED
LAVATORIES PROVIDED:	2 MALE LAVATORIES (1 ACCESSIBLE) & 2 FEMALE LAVATORIES PROVIDED, THUS OK

MAPS



02. VICINITY MAP

ORIGINAL SCALE: N.T.S.



03. SITE MAP

ORIGINAL SCALE: N.T.S.

PROJECT DESCRIPTION

TENANT IMPROVEMENT WORK TO AN EXISTING OFFICE BUILDING IN PORTLAND, OR. TO INCLUDE, BUT NOT LIMITED TO, NEW CONFERENCE ROOM, NEW BREAK ROOM, NEW OFFICES, & NEW RECEPTION AREA.

LINCOLN PLACE FACILITIES PERMIT #15-170352-FC

CODE REVIEW

BASED ON 2014 OSSC EDITION, STATE OF OREGON STRUCTURAL SPECIALTY CODE

CONSTRUCTION TYPE:	IIIB
SPRINKLERED:	YES
GROSS AREA OF BUILDING:	103,744 GSF
BUILDING OCCUPANCIES:	B/M
NUMBER OF STORIES:	WEST SIDE OF LOBBY: 2 EAST SIDE OF LOBBY: 3

AREA OF TENANT WORK: 3,693 SF

TENANT OCCUPANCY: B

BLDG IS SMOKE DETECTED, ALARMED AND FIRE SPRINKLERED WITH PENDANT STYLE LIGHT HAZARD SPRINKLERS. THERE ARE NO IRRITATING SUBSTANCES IN USE. MAINTAIN SPRINKLER COVERAGE IN ALL NEW AND EXISTING SPACES.

PROJECT VALUATION AND ACCESSIBILITY UPGRADES

25% OF THE PROJECT BUDGET TO BE ALLOCATED TO UPGRADES PERTAINING TO ACCESSIBILITY AND UNIVERSAL ACCESS.

PROJECT BUDGET	TBD
25% FOR UPGRADES:	NONE NEEDED

BUILDING IS CURRENTLY ADA COMPLIANT, AS ARE THE RESTROOMS, CONVEYANCE, ENTRY, APPROACH AND PARKING.

PROJECT TEAM

CLIENT: HARSCH INVESTMENT PROPERTIES
1430 SW BROADWAY ST.
PORTLAND, OR 97201
PHONE: 503-242-2900
CONTACT: STEVE BARRAGAR

ARCHITECT: SUM DESIGN STUDIO + ARCHITECTURE
231 SE 12TH AVE. PORTLAND, OR 97214
PH / FX: 503.715.5847
CONTACT: ERIC HOFFMAN

CONTRACTOR: PACIFIC CREST STRUCTURE
17750 SW UPPER BOONES FERRY ROAD
DURHAM, OR 97224
PHONE: 503.968.8949
CONTACT: ALAN VOLM

SEPARATE SUBMITTALS

SUBMITTAL APPROVAL

THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING SUBMITTALS:

ELECTRICAL SERVICE DESIGN
MECHANICAL SYSTEM DESIGN
PLUMBING SERVICE DESIGN
FIRE ALARM (WHERE APPLICABLE)
SPRINKLER

SHEET INDEX

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A1.31	REFLECTED CEILING PLAN
A2.00	INTERIOR ELEVATIONS
A5.00	INTERIOR DETAILS
A5.01	CEILING DETAILS
A5.02	CASEWORK DETAILS
A6.00	DOOR SCHEDULE

sum

DESIGN STUDIO
+ architecture

231 se 12th avenue
portland, oregon 97214
sumdesignstudio.com
503.715.5847 ph | fax



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IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECT AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY, OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL USE FOR WHICH THEY WERE PREPARED. A REPRODUCTION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION, PUBLICATION OR RELEASE BY ANY METHOD IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS & SPECIFICATIONS REMAIN IN THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONFLICT WITH THESE PLANS & SPECIFICATIONS SHALL CONSTITUTE FINAL EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

PROJECT NUMBER: 18009

PLOT DATE: 190128

TEAM: CFE, ESH, HCB

REVISION LOG:

△	01/28/2019	REV1: CLIENT CHANGE REQUESTS

SHEET:

COVER SHEET

A0.01

ABBREVIATIONS

&	AND	FLUOR.	FLUORESCENT	OBS.	OBSCUR
@	AT	F.S.	FULL SIZE	OFF.	OFFICE
ACT.	ACOUSTIC	FURN.	FURNISH		
A.F.F.	ABOVE FINISHED FLOOR	FTG.	FOOTING	PR.	PAIR
ALUM.	ALUMINUM	F.O.I.C.	FINISHED BY OWNER,	PLAST.	PLASTER
ARCH.	ARCHITECT(URAL)		INSTALLED BY CONTRACTOR	P.L.	PLASTIC LAMINATE
AVG.	AVERAGE	F.A.	FIRE ALARM	PLBG.	PLUMBING
L	ANGLE	F.B.	FLAT BAR	PLYWD.	PLYWOOD
APPROX.	APPROXIMATE	F.D.	FLOOR DRAIN	> OR PL.	PLATE
ADJ.	ADJUSTABLE	F.E.	FIRE EXTINGUISHER	P.T.	PRESERVATIVE TREATED
AGGR.	AGGREGATE	F.F.E.	FINISHED FLOOR ELEVATION	PART. BD.	PARTICLE BOARD
ASB.	ASBESTOS	F.H.C.	FIRE HOSE CABINET	PTN.	PARTITION
ASPH.	ASPHALT	FLASH'G.	FLASHING	QTY.	QUANTITY
		F.O.C.	FACE OF CONCRETE	Q.T.	QUARRY TILE
BM.	BEAM	F.O.F.	FACE OF FINISH	RAD.	RADIUS
BD.	BOARD	F.S.	FULL SIZE	REF.	REFERENCE
BLDG.	BUILDING	FURR.	FURRING	REINF.	REINFORCE
BLT-IN	BUILT-IN	FUT.	FUTURE	RESIL.	RESILIENT
BITUM.	BITUMINOUS			REQ'D	REQUIRED
BLK.	BLOCK	GALV.	GALVANIZED	REV.	REVISION
BLKG.	BLOCKING	GA.	GAUGE	R.	RISER
BOT.	BOTTOM	GEN'L	GENERAL	RJ	REVEAL JOINT
BRK.	BRICK	GL.	GLASS	RM.	ROOM
		GYP.BD.	GYPSUM BOARD	R.O.	ROUGH OPENING
C.J.	CONTROL JOINT	G.W.X.	GYPSUM BOARD (TYPE X)	R.D.	ROOF DRAIN
CAB.	CABINET	GL. BM.	GLULAM BEAM	REDWD.	REDWOOD
CLG.	CEILING	GND.	GROUND	REFR.	REFRIGERATOR
C.L. or <	CENTER LINE	GR.	GRADE	RGTR.	REGISTER
CER.	CERAMIC				
CLR.	CLEAR	H.B.	HOSE BIBB	SCH.	SCHEDULE
C.W.	COLD WATER	HDCP.	HANDICAPPED	SECT.	SECTION
COL.	COLUMN	HDWR.	HARDWARE	SHT.	SHEET
CONC.	CONCRETE	HDWD.	HARDWOOD	SIM.	SIMILAR
C.M.U.	CONC. MASONRY UNIT	HGT.	HEIGHT	S.C.	SOLID CORE
CONST.	CONSTRUCTION	H.C.	HOLLOW CORE	SPEC(S).	SPECIFICATION(S)
CONT.	CONTINUOUS	HORIZ.	HORIZONTAL	SQ. or	SQUARE
CONTR.	CONTRACTOR	H.W.	HOT WATER	S.S.	STAINLESS STEEL
C.T.	CERAMIC TILE	H.M.	HOLLOW METAL	STD.	STANDARD
C.B.	CATCH BASIN	HDBD.	HARDBOARD	STL.	STEEL
CEM.	CEMENT	H.R.	HANDRAIL	SUSP.	SUSPENDED
C.I.	CAST IRON	HGR.	HANGER	SYS.	SYSTEM
CLO.	CLOSET	IN. or *	INCH(ES)	S.V.	SHEET VINYL
ONTR.	COUNTER	INSUL.	INSULATION	S.	SOUTH
CONN.	CONNECTION	INT.	INTERIOR	SHR.	SHOWER
CORR.	CORRIDOR	I.D.	INSIDE DIAMETER	SHTG.	SHEATHING
CTR.	CENTER	JT.	JOINT	STA.	STATION
CTSK.	COUNTERSUNK	JAN.	JANITOR	STOR.	STORAGE
		KIT.	KITCHEN	SYM.	SYMMETRICAL
DEMO.	DEMOLITION			TEL.	TELEPHONE
DET.	DETAIL	LAV.	LAVATORY	TEMP.	TEMPERATURE
DIA. or ~	DIAMETER	LTG.	LIGHTING	T&G	TONGUE AND GROOVE
DIM.	DIMENSION	LIN.	LINEAR	T.	TREAD
DR.	DOOR	LB. or #	POUND	TYP.	TYPICAL
DN.	DOWN	LAB.	LABORATORY	T.O.	TOP OF
DWG.	DRAWING	LAM.	LAMINATE	T.C.	TOP OF CURB
D.F.	DRINKING FOUNTAIN			TER.	TERRAZZO
DBL.	DOUBLE	MFR.	MANUFACTURE	THK.	THICK
DEPT.	DEPARTMENT	M.O.	MASONRY OPENING	TOIL.	TOILET
DWR.	DRAWER	MATL.	MATERIAL	T.P.	TOP OF PAVEMENT
D.S.	DOWNSPOUT	MTL.	METAL	T.V.	TELEVISION
D.S.P.	DRY STANDPIPE	MAX.	MAXIMUM	T.W.	TOP OF WALL
		MECH.	MECHANICAL		
EA.	EACH	MIN.	MINIMUM	UNF.	UNFINISHED
ELEC.	ELECTRIC	MISC.	MISCELLANEOUS	UR.	URINAL
E.W.C.	ELEC. WATER COOLER	MULL.	MULLION	U.N.O.	UNLESS NOTED OTHERWISE
EQ.	EQUAL	MEMB.	MEMBRANE	V.P.	VENEER PLASTER
EQUIP.	EQUIPMENT	MH.	MANHOLE	V.T.R.	VENT THRU ROOF
(E) OR EXIST.	EXISTING	MTD.	MOUNTED	VERT.	VERTICAL
EXT.	EXTERIOR	NAT.	NATURAL	V.C.T.	VINYL COMPOSITION TILE
ELEV.	ELEVATION	NOM.	NOMINAL	VEST.	VESTIBULE
	EAST	N.I.C.	NOT IN CONTRACT		
EMER.	EMERGENCY	N.T.S.	NOT TO SCALE	WCT.	WAINSCOT
ENCL.	ENCLOSURE	NO. or #	NUMBER	W.C.	WATER CLOSET
E.P.	ELECTRICAL PANELBOARD	N.	NORTH	WP.	WATERPROOF
		O.C.	ON CENTER	WT.	WEIGHT
FDN.	FOUNDATION	OPG.	OPENING	W.	WIDTH / WEST
F.E.C.	FIRE EXTINGUISHER CAB.	OPP.	OPPOSITE	W/O	WITHOUT
FAB.	FABRICATE	O.D.	OUTSIDE DIAMETER	WD.	WOOD
FT. or '	FOOT or FEET			W.I.	WROUGHT IRON
FIN.	FINISH				
FP.	FIREPROOF				

GENERAL NOTES

THESE DRAWINGS DESCRIBE TENANT IMPROVEMENTS FOR AN OFFICE SUITE IN PORTLAND, OR.

1. THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THIS BUILDING PRIOR TO COMMENCEMENT OF ANY WORK. ANY VISIBLE CONFLICTS OR OTHER ELEMENTS WHICH MAY ADVERSELY IMPACT THE WORK OF THIS CONTRACT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.

2. THESE DRAWINGS HAVE BEEN ASSEMBLED FOR USE AT THEIR CURRENT SIZE. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR WORK NOT CONFORMING TO THESE DOCUMENTS DUE TO REDUCED DRAWINGS BEING USED FOR ESTIMATING OR CONSTRUCTION PURPOSES.

3. UNLESS OTHERWISE NOTED, DIMENSIONS, PLACEMENTS AND ALIGNMENTS SHOWN ARE ALL CRITICAL FOR THE INSTALLATION OF FURNITURE AND EQUIPMENT AS WELL AS FOR THE USE OF THE SPACE BY OCCUPANTS. ACTUAL INSTALLED AND FINISHED DIMENSIONS MAY VARY UPWARD BY 1/4" BUT MAY NOT VARY DOWNWARD. WHERE +/- IS INDICATED VARIATION OF UP TO 3" SHALL BE ALLOWABLE. ALIGNMENTS OF NEW AND EXST CONDITIONS SHALL BE FINISHED TO A SMOOTH AND MONOLITHIC APPEARANCE (GAP SHALL BE OVERLAPPED TO AN INSIDE OR OUTSIDE CORNER WHERE PRACTICABLE TO AVOID CRACKING).

4. THE CONTRACTOR SHALL LAYOUT ALL OF THE WORK PRIOR TO PROCEEDING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES WITH THE LAYOUT. SUCH INSPECTION SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO CONFORM TO THE INTENT OF THE CONTRACT DOCUMENTS.

5. PREPARATION OF THE EXISTING SPACE SHALL INCLUDE THE REMOVAL OF ALL ITEMS EXTRANEEOUS TO THE NEW USE. EXISTING SURFACES TO BE RETAINED SHALL BE REPAIRED TO SMOOTH AND MONOLITHIC APPEARANCE, READY TO RECEIVE NEW FINISHES. REMOVALS SHALL INCLUDE (BUT NOT BY WAY OF LIMITATION): ALL EXISTING RECEPTACLES, (POWER/TELEPHONE/DATA AND RELATED WIRE AND CABLE), BOXES, CONDUIT, WALKER DUCT AND RELATED MISC FIXTURES, CONNECTORS AND ACCESSORIES WHICH WILL NOT BE REQD FOR THE CONSTRUCTION OF THE NEW SPACE. ALL OPENINGS AND DAMAGE SHALL BE REPAIRED TO PROVIDE LIKE NEW APPEARANCE. SEAL SLAB PENETRATIONS ABOVE AND BELOW AND FIRE WALL PENETRATIONS TO MAINTAIN FIRE AND ACOUSTIC INTEGRITY.

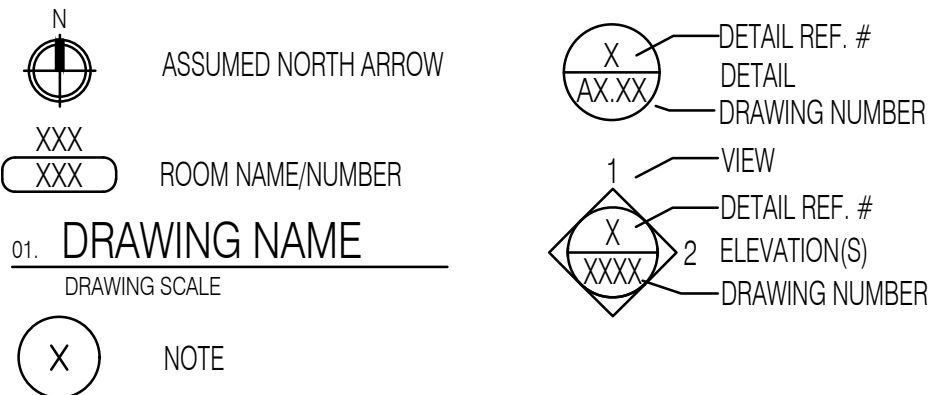
6. ALL WORK SHALL CONFORM WITH APPLICABLE CODES, RULES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT AND CONFORM TO ALL PERTINENT SECTIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA).

7. TELEPHONE AND COMPUTER WIRING: REFER TO RESPONSIBILITIES LEGEND REGARDING INSTALLATION OF TELEPHONE AND COMPUTER WIRING. SEE ELEC/TEL/DATA PLAN FOR SCOPE OF WORK REGARDING JUNCTION BOXES, PULL STRINGS AND BOX ELIMINATORS FOR THIS PROJECT. WHERE TELEPHONE/DATA CABLING IS NOT INCLUDED IN THIS CONTRACT AND WILL BE PROVIDED BY OTHERS (TENANT'S SEPARATE SUB-CONTRACTOR) THE CONTRACTOR SHALL NOTIFY THE TENANT NO LESS THAN TEN (10) DAYS PRIOR TO THE DATE REQUIRED FOR THE INSTALLATION OF TELEPHONE/DATA CABLE.

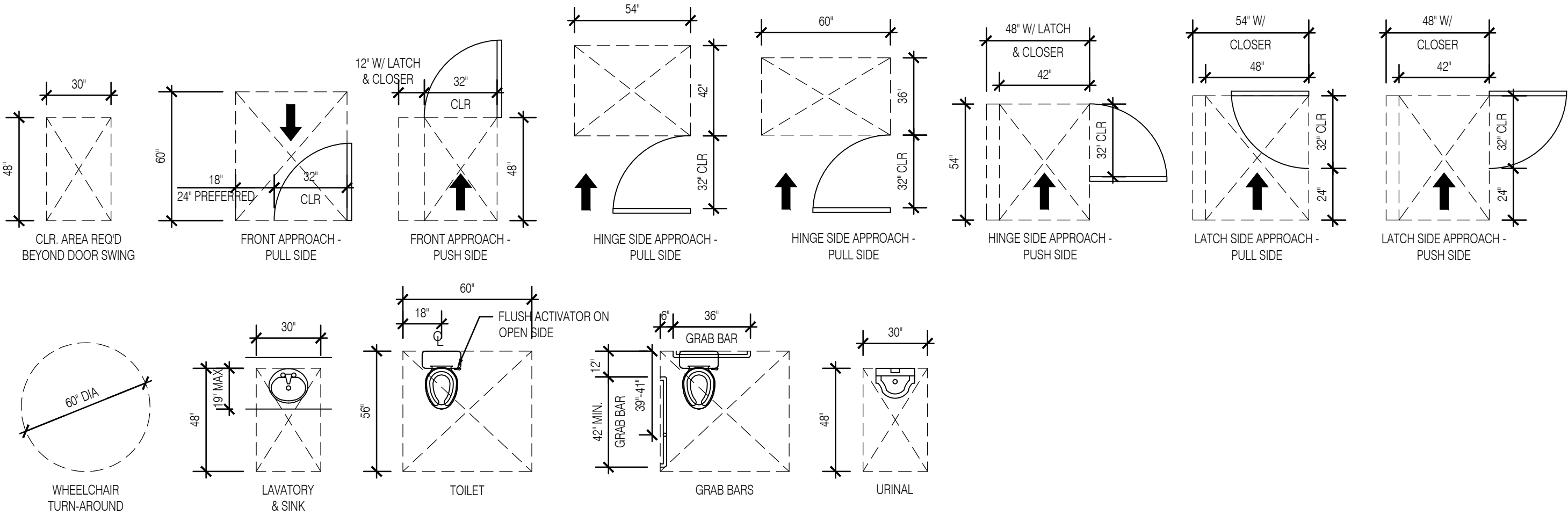
8. ALL SURFACES AND MATERIALS NEW AND EXISTING SHALL BE THOROUGHLY PREPARED SMOOTH, CLEAN, LEVEL AND EVEN. BY COMMENCING FINISH INSTALLATION THE FINISH CONTRACTOR SIGNIFIES ITS ACCEPTANCE OF THE SUBSTRATE AND THEREBY ASSUMES RESPONSIBILITY FOR THE QUALITY OF THE INSTALLATION.

9. NOT USED.

SYMBOLS LEGEND



REQUIRED FLOOR CLEARANCES



10. SPECIFICATIONS OF MATERIAL AND EQUIPMENT BY THE USE OF NAME, MODEL NUMBER, AND/OR GENERAL DESCRIPTION SHALL BE USED AS A GUIDE ONLY AND SHALL NOT EXCLUDE ALL OF THE REQUIRED & APPROPRIATE ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

11. COORDINATE INSTALLATIONS WITH EQUIPMENT DIMENSIONS, INCLUDING EQUIPMENT TO BE INSTALLED BY THE TENANT.

12. ALL WORK SHALL CONFORM TO STANDARDS OF THE INDUSTRY FOR FIRST QUALITY WORKMANSHIP AND MATERIALS AND SHALL STRICTLY CONFORM TO MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

13. MATERIALS ARE SPECIFIED BY NAME, MODEL NUMBER AND DESCRIPTION WHERE PRACTICABLE IN ORDER TO AVOID INACCURACIES. THE CONTRACTOR SHALL REVIEW ALL SPECIFICATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THESE DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK.

14. FLOOR MATERIAL CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS EXCEPT WHERE NOTED. SEE THRESHOLD DETAILS FOR SPECIAL CONDITIONS (IF ANY).

15. BLOCKING AND GROUNDS AT AREAS WHICH HAVE MILLWORK, SHELVING, AND TENANT FURNISHED FURNITURE WALL CABINETS INDICATED ON THE DRAWINGS SHALL BE INCLUDED WITH THE WORK. ALL WOOD BLOCKING SHALL BE FIRE TREATED.

16. THE CONTRACTOR SHALL, PRIOR TO COMMENCING WORK ON THE PROJECT, COMPLETE A THOROUGH SURVEY OF THE GLASS, GLAZING AND WINDOW FILM (IF ANY) AT THE EXISTING PERIMETER WINDOWS AND REPORT TO THE LANDLORD AND ARCHITECT ANY DAMAGED PRE-EXISTING CONDITIONS. REPAIRS OF ANY DAMAGES WHICH ARE NOT REPORTED PRIOR TO COMMENCING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

17. EXISTING DOORS, FRAMES, BASE AND TRIM WHICH IS SCHEDULED TO REMAIN SHALL UNLESS OTHERWISE NOTED BE PAINTED TO MATCH NEW DOORS, FRAMES AND TRIM. REMOVE LOOSE OR DAMAGED PAINT AND THOROUGHLY PREPARE SURFACES TO RECEIVE NEW FINISHES AND AS-NEW APPEARANCE.

18. RETAINED BASE BUILDING ITEMS SUCH AS CONVECTOR COVERS, SHALL BE PREPARED FOR REPAINTING AND SHALL BE REPAINTED WITH MOHAIR ROLLER IN COLOR MATCHING WALLS(UNLESS OTHERWISE NOTED). EXISTG WINDOW MULLIONS SHALL BE TOUCHED-UP AT ALL SCRATCHES, GOUGES, DINGS AND BLEMISHES, RETURNING THEM TO LIKE-NEW APPEARANCE. OTHER RETAINED ITEMS (SUITE ENTRANCES, ETC..) WHERE INDICATED SHALL BE TOUCHED UP OR REFINISHED AS REQD TO DELIVER THEM IN LIKE NEW CONDITION.

19. FIRE SUPPRESSION SYSTEM: CONTRACTOR SHALL MODIFY EXISTING FIRE SUPPRESSION SYSTEM CONSISTENT WITH REQUIREMENTS OF CODE, NEW USE, NFPA, AND OWNERS INSURANCE UNDERWRITER. SUBMIT SHOP DRAWINGS FOR APPROVAL OF BUILDING'S ENGINEER.

- f SPRINKLER HEAD TYPES:
 - AT (E) GWB CEILING: EXPOSED SPRINKLER HEAD
 - AT NEW GWB CEILING: FULLY RECESSED FLUSH MTD TYPE WITH WHITE COVER PLATES
 - AT SUSP ACOUSTIC TILE CEILING: CENTERING NOT REQUIRED, MAINTAIN MIN 6" FR GRID.

END OF GENERAL NOTES.



IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL, SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECT, UNDER THEIR EXCLUSIVE PROFESSIONAL LIABILITY, AND ANY REPRODUCTION THEREOF BY ANY MEANS, THE ORIGINAL, SIGNED AND SEALED DOCUMENTS SHALL PREVAIL.

PROJECT NUMBER: 18009

PLOT DATE: 190128

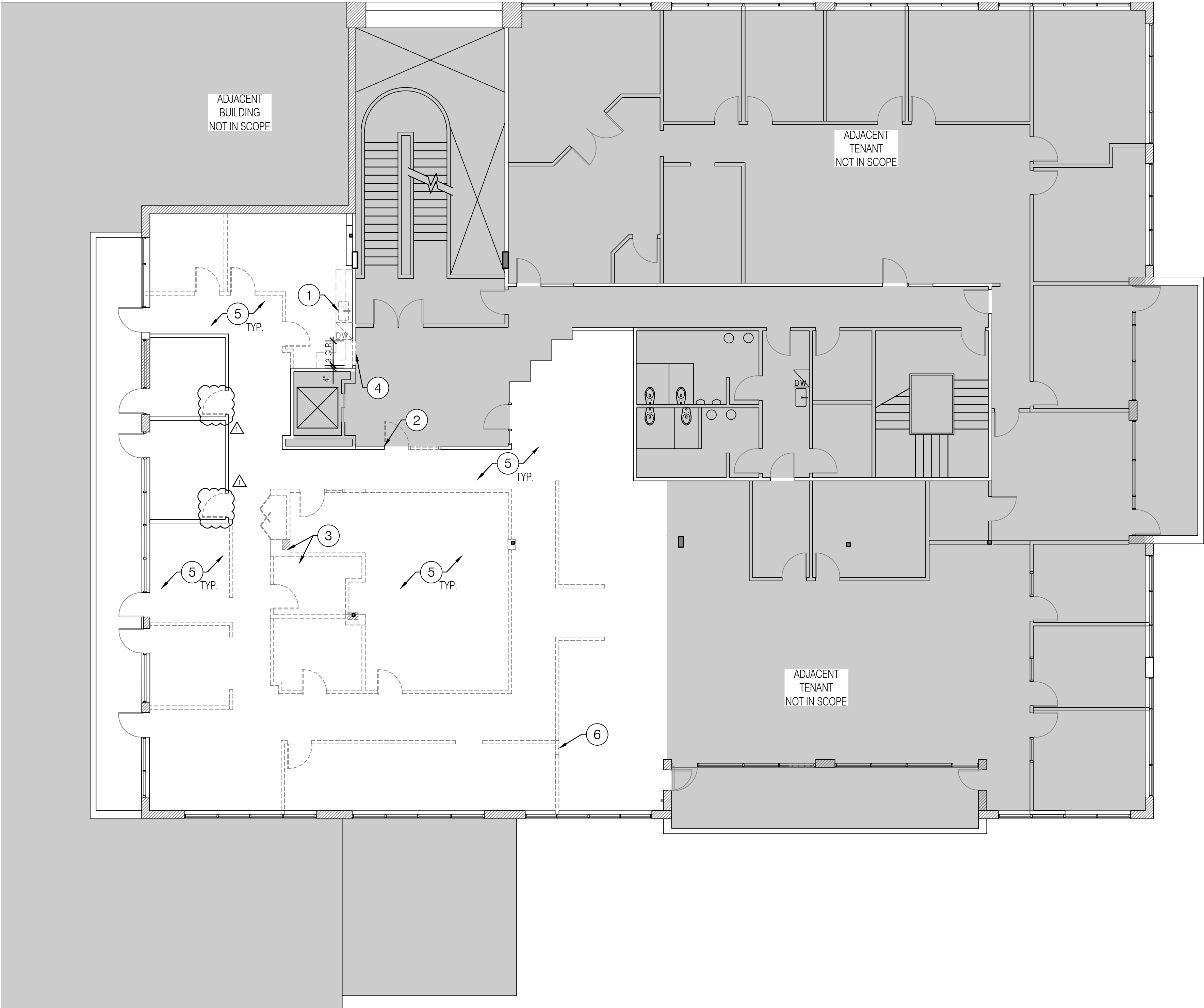
TEAM: CFE, ESH, HCB

REVISION LOG:

Δ	01/28/2019	REV1: CLIENT CHANGE REQUESTS

SHEET:

GENERAL NOTES



01. DEMO PLAN
ORIGINAL SCALE: 1/8" = 1'-0"

DEMO PLAN NOTES

1. PATCH/REPAIR EXISTING CONSTRUCTION IN AREAS OF DEMO & NEW WORK AS REQUIRED. FINISH TO MATCH EXISTING ADJACENT, U.N.O.
2. ALL DEMO DEBRIS SHALL BE REMOVED FROM THE SITE & DISPOSED OF IN ACCORDANCE WITH LOCAL, REGIONAL, AND STATE REGULATIONS.
3. CONTRACTOR TO VERIFY UTILITY LOCATION PRIOR TO START OF WORK. DO NOT DISRUPT EXISTING UTILITIES TO REMAIN. IN THE EVENT EXISTING UTILITIES ARE DISRUPTED OR DAMAGED, THE CONTRACTOR WILL REPAIR/REPLACE THOSE UTILITIES AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR TO PROVIDE SHORING, BRACING, SUPPORTS, AND PROTECTION AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE PROJECT AND PROTECT EXISTING WORK FROM DAMAGE IN THE EVENT EXISTING WORK IS DISRUPTED OR DAMAGED, THE CONTRACTOR WILL REPAIR/REPLACE SUCH WORK AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR IS REQUIRED TO VISIT SITE AND ACCEPT ON SITE CONDITIONS.
6. ALL ELEC./DATA TO REMAIN ON EXISTING PERIMETER WALLS. VERIFY WITH DESIGNER ON SITE BEFORE REMOVING.
7. REMOVE EXISTING CARPETING THROUGHOUT. PREPARE FLOOR FOR NEW CARPET.

SHEET KEY

- EXISTING STRUCTURE TO REMAIN
- DEMO WALL
- EXISTING DOOR TO REMAIN
- DEMO DOOR

DEMO KEY NOTES

- 1 DEMO (E) BREAK ROOM COUNTERS AND PLUMBING FIXTURES- PREPARE ALL DRAINS AND WATER LINES FOR (N)
- 2 DEMO (E) ENTRY DOORS- PATCH, REPAIR AND PREPARE FOR (N) WALL FILL- SAVE DOOR FOR REUSE
- 3 REMOVE (E) I.T. AND DATA EQUIPMENT. DEMO WALL AND REMOVE SHELVING
- 4 DEMO (E) WALL. PATCH, REPAIR, AND PREPARE FOR (N) OPENING.
- 5 DEMO (E) FLOORING. THROUGHOUT
- 6 REMOVE (E) I.T. CONDUIT- COORDINATE W/ ARCHITECT, IF REQUIRED

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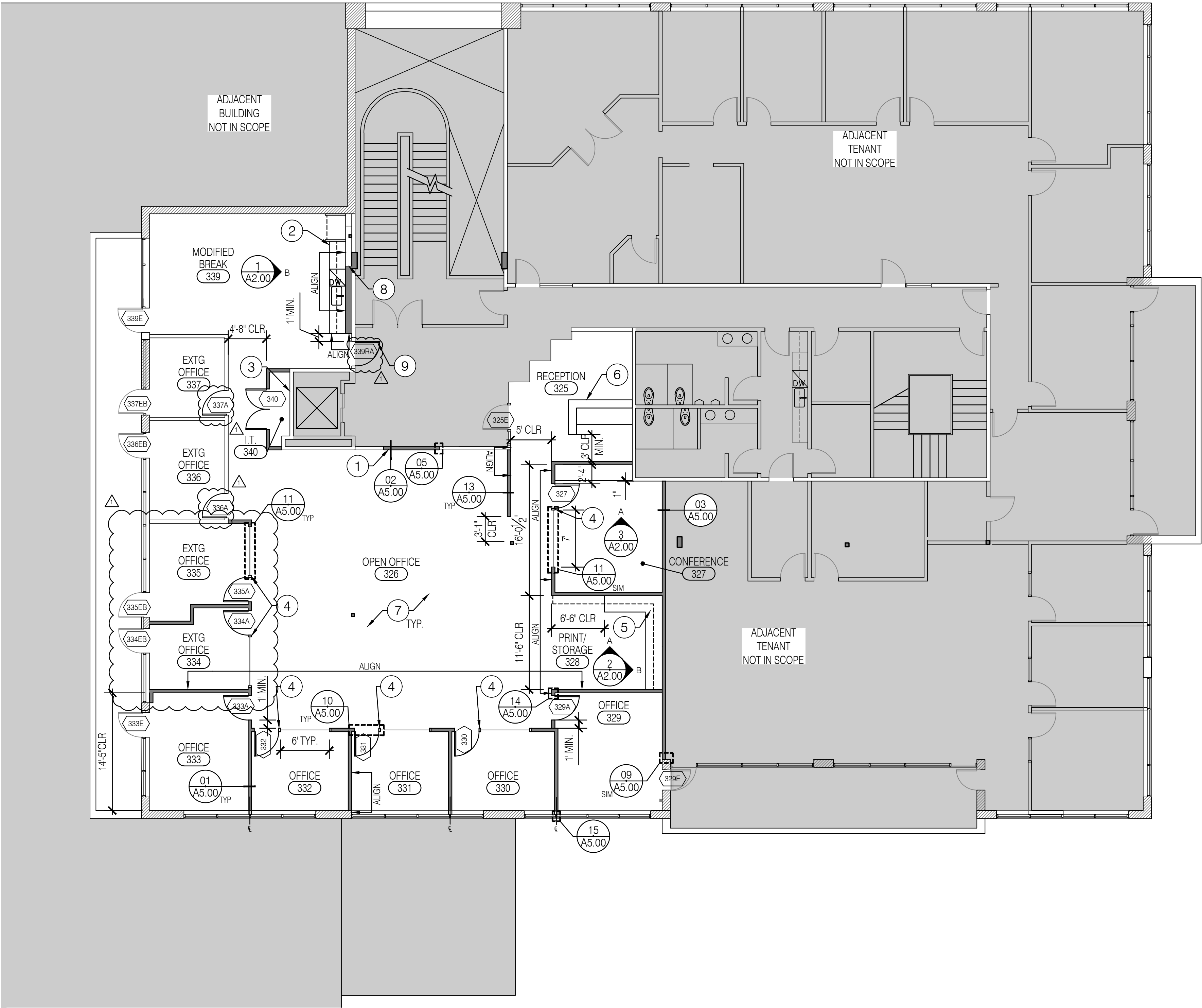
REVISION LOG:

△	01/28/2019	REV1: CLIENT CHANGE REQUESTS

SHEET:

DEMO PLAN

A1.00



01. FLOOR PLAN
ORIGINAL SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES

1. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF ANY KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGNER PRIOR TO MANUFACTURE OF ANY CABINETRY MILLWORK AND ANY OTHER SPECIAL ITEMS REQUIRING CUSTOM SHOP FABRICATED WORK.
3. DIMENSIONS ARE TO FACE OF WALL, U.N.O.
4. IF REQUIRED, ANY ADDITIONAL STRUCTURAL ENGINEERING WILL BE PROVIDED BY A LICENSED STRUCTURAL ENGINEER.
5. REPAINT NEW WALLS AND DOORS TO MATCH TENANTS NEW WALL COLOR FINISHES.
6. EXISTING EGRESS LIGHTING TO REMAIN IN EXISTING CONDITION IN CORRIDORS.
7. ALL NEW PARTITION CONSTRUCTION AND BRACING TO MATCH EXISTING BUILDING STANDARDS.
8. NEW DOORS, HARDWARE, FRAMES, AND RE-LITES TO BE BUILDING STANDARDS, U.N.O.

SHEET KEY

- EXISTING STRUCTURE TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING DOOR SYMBOL - SEE SHEET A6.01 FOR TYPES
- EXISTING DOOR TO BE SAVED FOR RELOCATION SYMBOL - SEE SHEET A6.01 FOR TYPES
- NEW DOOR SYMBOL - SEE SHEET A6.01 FOR TYPES

FLOOR PLAN KEY NOTES

1. FILL IN (N) WALL - SMOOTH AND PAINT TO MATCH ADJACENT
2. (N) BREAK ROOM: SEE ELEVATIONS
3. (N) I.T. CLOSET TO BE PREPARED FOR TENANTS EQUIPMENT
4. (N) BUILDING STANDARD DOOR WITH FRAMELESS RELITE
5. (N) PRINT/COPY ROOM: SEE ELEVATIONS
6. RELOCATE (E) RECEPTION DESK
7. (N) FLOORING THROUGHOUT
8. (N) WALL PORTION TO BE FLURRED - ALIGN WITH (E)
9. (E) GLASS ENTRY DOOR - RELOCATED TO BE REUSED IN THIS LOCATION

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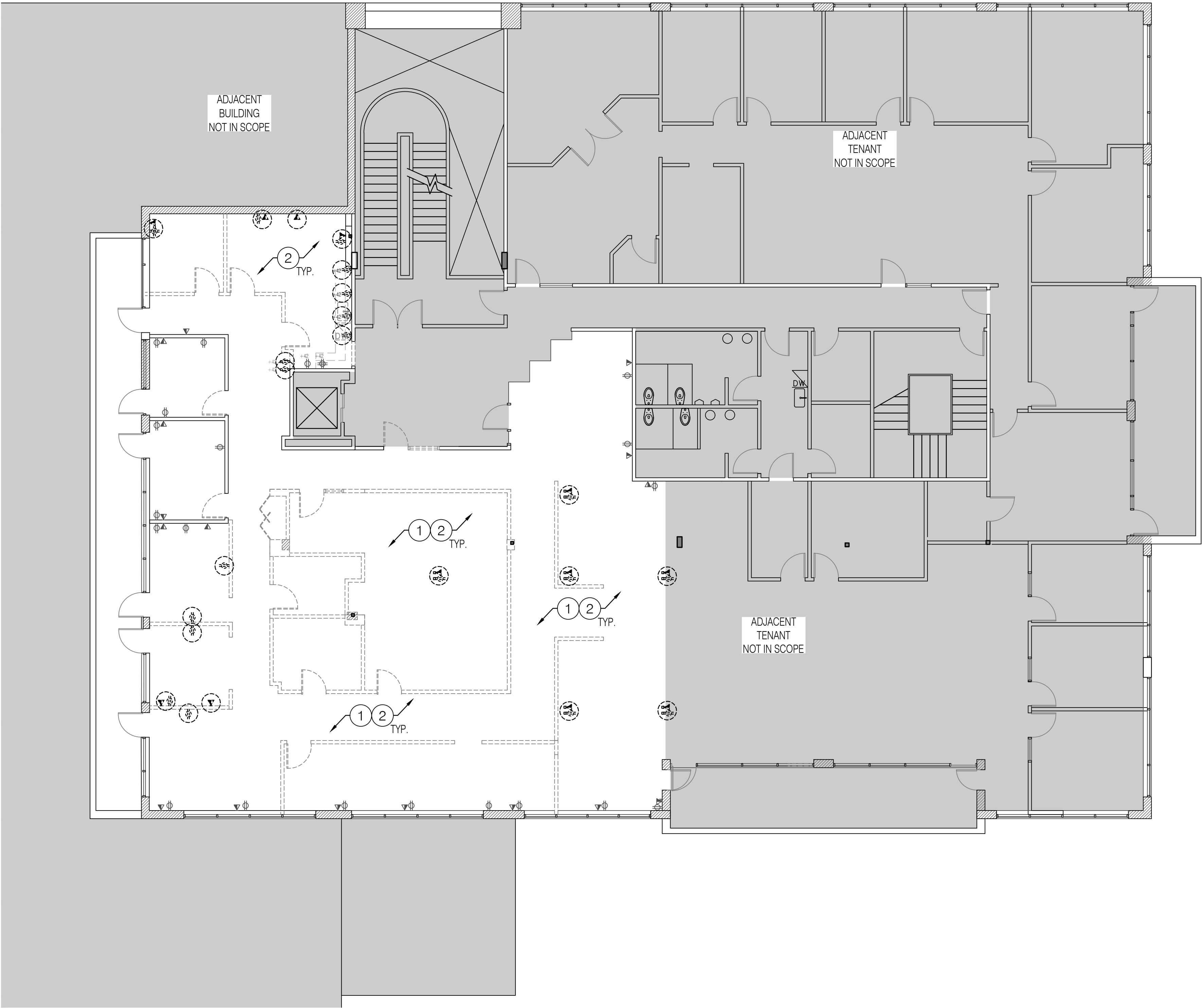
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SHEET:

FLOOR PLAN

A1.10



01. DEMO POWER/DATA PLAN
ORIGINAL SCALE: 1/8" = 1'-0"

DEMO ELECTRICAL PLAN NOTES

1. ALL ELECTRICAL SHOWN IS EXISTING U.N.O. AS DEMO. EXISTING OUTLETS TO REMAIN ON EXISTING PERIMETER WALLS WHERE NOT COVERED BY NEW WALLS. REUSE EXISTING WHERE POSSIBLE.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGNER PRIOR TO MANUFACTURE OF ANY CABINETRY MILLWORK AND ANY OTHER SPECIAL ITEMS REQUIRING CUSTOM SHOP FABRICATED WORK.
3. ALL DEMO WORK TO BE PATCHED AND REPAIRED.

SHEET KEY

- EXISTING STRUCTURE TO REMAIN
- DEMO WALL
- EXISTING DOOR TO REMAIN
- DEMO DOOR

DEMO ELECTRICAL LEGEND

- EXISTING
 - (E) OUTLET TO REMAIN
 - (E) OUTLET INSTALLED AT HEIGHT INDICATED (XX) A.F.F. TO REMAIN
 - (E) GFCI (E) DUPLEX OUTLET WITH GFCI (N+ INDICATED 42" AFF OR 60" U.N.O.) TO REMAIN
 - (E) DATA PORT TO REMAIN
 - (E) DUPLEX OUTLET TO REMAIN
 - (E) CORE DRILLED OUTLET TO REMAIN
 - (E) CORE DRILLED DATA TO REMAIN
- DEMO (E) OUTLET
- DEMO (E) OUTLET AT HEIGHT INDICATED (XX) A.F.F.
- DEMO (E) DATA PORT
- DEMO (E) CORE DRILLED OUTLET
- DEMO (E) CORE DRILLED DATA PORT

DEMO KEY NOTES

1. ALL CORE-DRILLED OUTLETS AND DATA PORTS TO BE REMOVED TO BE PATCHED SMOOTH TO MATCH (E) FLOORING
2. ALL (E) FACE PLATES TO BE REMOVED. POWER AND DATA REMOVED TO SOURCE AND WALL-PATCHED

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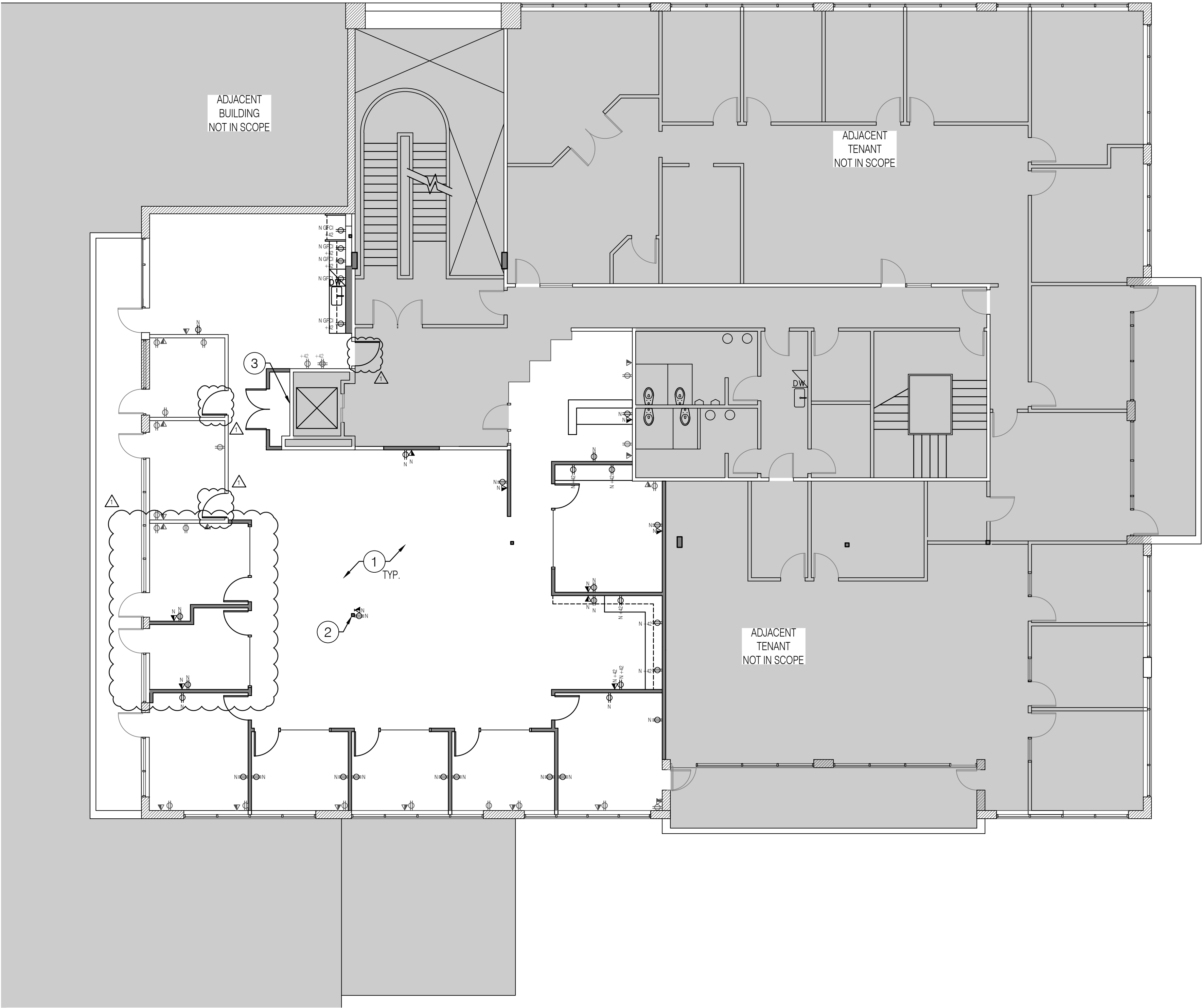
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SHEET:

DEMO POWER/DATA
PLAN

A1.20



01. POWER/DATA PLAN
ORIGINAL SCALE: 1/8" = 1'-0"

ELECTRICAL PLAN NOTES

1. ALL ELECTRICAL SHOWN IS EXISTING U.N.O. WITH AN "N" FOR NEW. EXISTING OUTLETS TO REMAIN ON EXISTING PERIMETER WALLS WHERE NOT COVERED BY NEW WALLS. NEW OUTLETS AND DATA INDICATED ARE FOR SPECIFIC ADDITIONAL LOCATIONS IN ADDITION TO STANDARDS. PROVIDE DATA AND ELECTRICAL TO SUPPORT EQUIPMENT NEEDS. CONTRACTOR TO VERIFY AND REUSE EXISTING WHERE POSSIBLE.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGNER PRIOR TO MANUFACTURE OF ANY CABINETRY MILLWORK AND ANY OTHER SPECIAL ITEMS REQUIRING CUSTOM SHOP FABRICATED WORK.
3. DIMENSIONS ARE TO FACE OF WALL, U.N.O.
4. IF REQUIRED, ANY ADDITIONAL STRUCTURAL ENGINEERING WILL BE PROVIDED BY A LICENSED STRUCTURAL ENGINEER.
5. ALL NEW COVER PLATES TO BE BUILDING STANDARD.
6. VACANCY SENSORS TO BE INSTALLED THROUGHOUT.
7. ELECTRICAL ONLY SHOWN IN AREAS OF WORK.
8. ALL NEW OUTLETS IN KITCHEN AREA SHALL BE ON SEPARATE CIRCUITS TO PREVENT OVERLOADING.

SHEET KEY

- EXISTING STRUCTURE TO REMAIN
- NEW WALL

ELECTRICAL LEGEND

- EXISTING
- (E) OUTLET TO REMAIN
- (E) OUTLET AT HEIGHT INDICATED (XX) A.F.F. TO REMAIN
- (E) DATA PORT TO REMAIN
- (E) DUPLEX OUTLET TO REMAIN
- (E) CORE DRILLED OUTLET TO REMAIN
- (E) CORE DRILLED DATA TO REMAIN
- (N) OUTLET AT 19' A.F.F.
- (N) OUTLET INSTALLED AT HEIGHT INDICATED (XX) A.F.F.
- (N) DUPLEX OUTLET WITH GFCI (N+ INDICATED 42" AFF, U.N.O.) TO REMAIN
- (N) DATA PORT AT 19' A.F.F.
- (N) CORE DRILLED OUTLET
- (N) CORE DRILLED DATA PORT

DEMO KEY NOTES

1. ALL (N) OUTLETS AND DATA PORTS TO BE COORDINATED WITH (N) FURNITURE SYSTEMS, IF REQUIRED
2. (N) POWER AND DATA SUPPLY TO BE INSTALLED FROM CEILING AT (E) COLUMN TO FEED WORKSTATIONS. VERIFY REQUIREMENTS WITH TENANT AND FURNITURE VENDOR
3. VERIFY WITH TENANT I.T. SPECIALIST REQUIREMENT FOR I.T. EQUIPMENT

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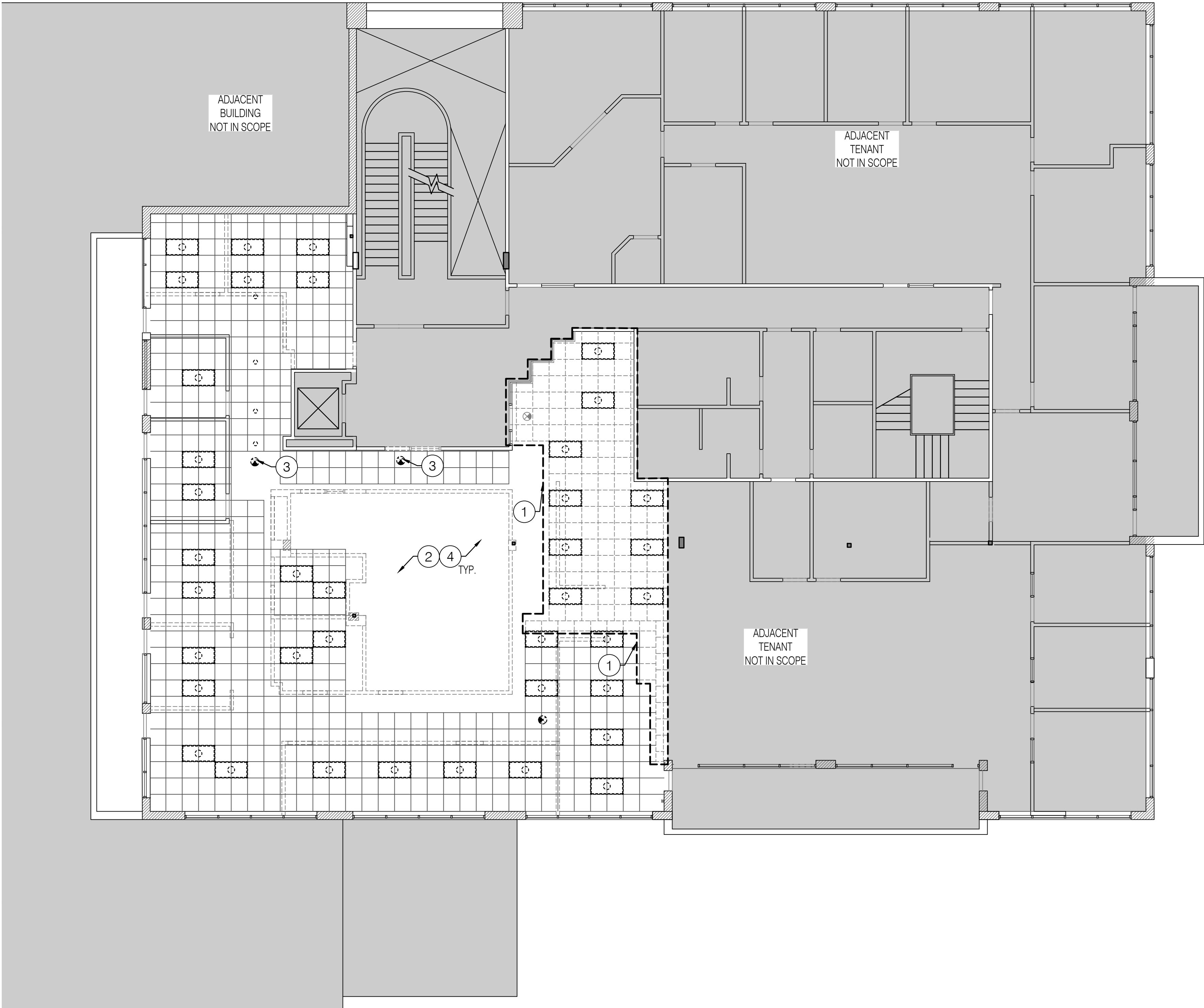
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SHEET:
POWER/DATA PLAN

A1.21



01. REFLECTED CEILING PLAN
ORIGINAL SCALE: 1/8" = 1'-0"

DEMO CEILING PLAN GENERAL NOTES

1. PATCH/REPAIR EXISTING CONSTRUCTION IN AREAS OF DEMO & NEW WORK AS REQUIRED. FINISH TO MATCH EXISTING ADJACENT, U.N.O.
2. ALL DEMO DEBRIS SHALL BE REMOVED FROM THE SITE & DISPOSED OF IN ACCORDANCE WITH LOCAL, REGIONAL, AND STATE REGULATIONS.
3. CONTRACTOR TO VERIFY UTILITY LOCATION PRIOR TO START OF WORK. DO NOT DISRUPT EXISTING UTILITIES TO REMAIN. IN THE EVENT EXISTING UTILITIES ARE DISRUPTED OR DAMAGED, THE CONTRACTOR WILL REPAIR/REPLACE THOSE UTILITIES AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR TO PROVIDE SHORING, BRACING, SUPPORTS, AND PROTECTION AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE PROJECT AND PROTECT EXISTING WORK FROM DAMAGE IN THE EVENT EXISTING WORK IS DISRUPTED OR DAMAGED, THE CONTRACTOR WILL REPAIR/REPLACE SUCH WORK AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR IS REQUIRED TO VISIT SITE AND ACCEPT ON SITE CONDITIONS.
6. EXISTING CEILING GRID TO BE REMOVED FOR NEW WALLS. NEW WALLS TO EXTEND ABOVE FINISHED CEILING.
7. EXISTING RETURN AIR SYSTEM TO BE MODIFIED AS NEEDED PER NEW LAYOUTS.

DEMO CEILING PLAN KEY

- NEW CEILING
- (E) 24"x24" ACT SUSPENDED CEILING- GRID TO REMAIN, TILES TO BE REMOVED
 - DEMO (E) 24"x24" ACT SUSPENDED CEILING GRID
 - DEMO (E) FLUORESCENT FIXTURE
 - DEMO (E) GRID RECESSED FIXTURE

SHEET KEY

- EXISTING STRUCTURE TO REMAIN
- DEMO WALL
- (E) EXISTING
- (E) EXIT SIGN TO REMAIN
- REMOVE (E) EXIT SIGN AND SAVE FOR REUSE
- PORTION OF CEILING TO INDICATE DEMO (E) SUSPENDED CEILING TILES AND GRID

DEMO CEILING PLAN KEY NOTES

1. DEMO (E) CEILING GRID AND TILES WITHIN THE HIGHLIGHTED AREA- PREPARE ADJACENT GRID FOR (N)
2. DEMO (E) CEILING TILES, THROUGHOUT. (E) GRID TO REMAIN- TO BE CLEANED AND PREPARED FOR (N) ACOUSTIC CEILING TILES
3. REMOVE (E) EXIT SIGN AND SAVE FOR REUSE
4. DEMO ALL (E) CEILING RECESSED LIGHTING AND SURFACE-MOUNTED TRACK LIGHTING, THROUGHOUT

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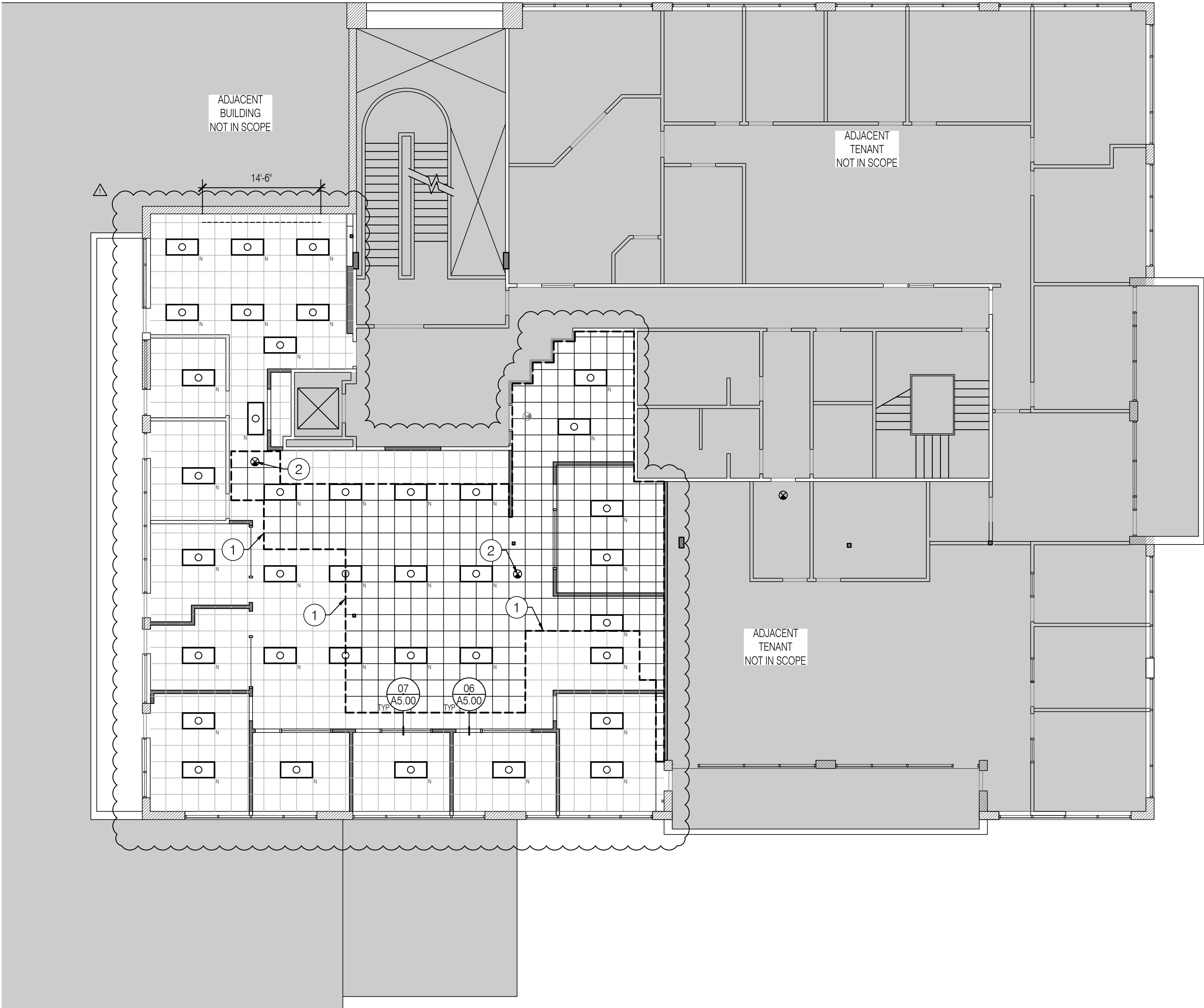
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**DEMO
CEILING PLAN**

A1.30



01. REFLECTED CEILING PLAN
ORIGINAL SCALE: 1/8" = 1'-0"

CEILING PLAN GENERAL NOTES

1. CONTRACTOR TO RESWITCH/RECIROUT LIGHT FIXTURES AND SWITCHES AS NEEDED; REUSE/RELOCATE EXISTING SWITCHES WHERE POSSIBLE. PROVIDE SEPARATE SWITCHING FOR ALL ENCLOSED SPACES. VERIFY WITH ARCHITECT.
2. ALL NEW LIGHT SWITCHES ARE TO BE LOCATED PER DETAIL 2/A6.01. MULTIPLE SWITCHES SHOULD BE GANGED TOGETHER UNLESS NOTED OTHERWISE.
3. ALL REQUIRED EXIT SIGNS SHOULD CONFORM WITH ALL APPLICABLE CODES.
4. CONTRACTOR SHALL PROVIDE EMERGENCY LIGHTING, STROBE LIGHTS, AND AUDIOVISUAL ALARMS TO MEET ALL APPLICABLE CODES. SEE CEILING PLAN FOR LOCATION OF LIGHTING ON EMERGENCY BACKUP, WHERE OCCURS.
5. ALL FIXTURE DIMENSIONS FROM CENTER OF FIXTURE; U.N.O.
6. WHERE FINISH GYP. BD. IS TO ALIGN, TAPE JOINT AND REFINISH.
7. CONTRACTOR TO ENSURE ALL MECHANICAL UNITS AND DUCTWORK ARE HELD TIGHT TO STRUCTURE. CONTRACTOR TO SUBMIT MECHANICAL DRAWINGS TO DESIGNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
8. CONTRACTOR TO RELOCATE EXISTING HVAC AND SPRINKLER HEADS AS REQUIRED TO MEET ALL APPLICABLE CODES.

CEILING PLAN KEY

- NEW CEILING**
- (E) 24"x24" ACT SUSPENDED CEILING- GRID TO REMAIN, TILES TO BE REMOVED
 - (N) 24"x24" ACT SUSPENDED CEILING GRID; AREA INDICATED WITH DASHED LINE
 - (N) 24"x48" RECESSED DIRECT/INDIRECT LED FIXTURE
MANUFACTURER: LITHONIA LIGHTING
SERIES: 2AVL4
STYLE: AVANTE

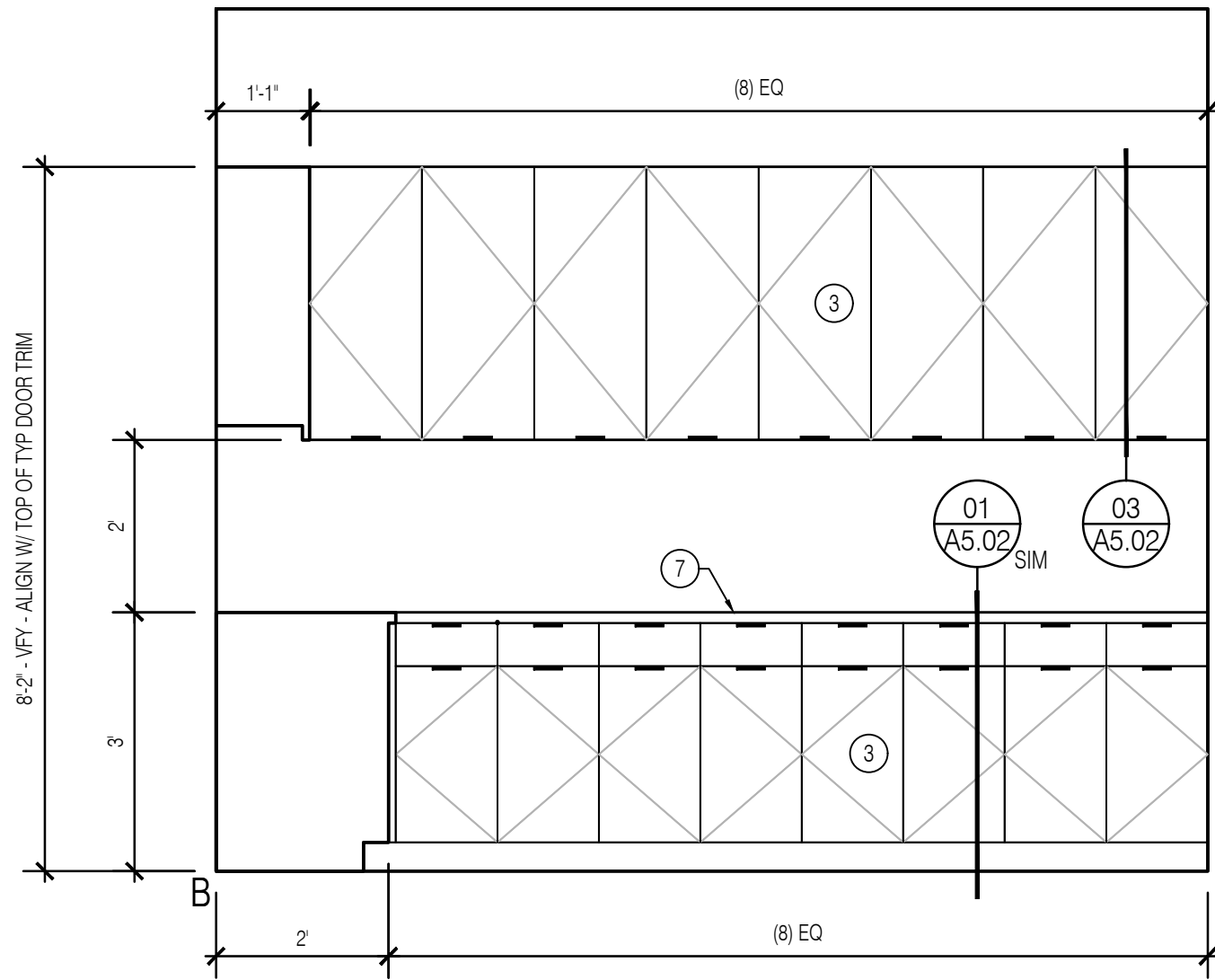
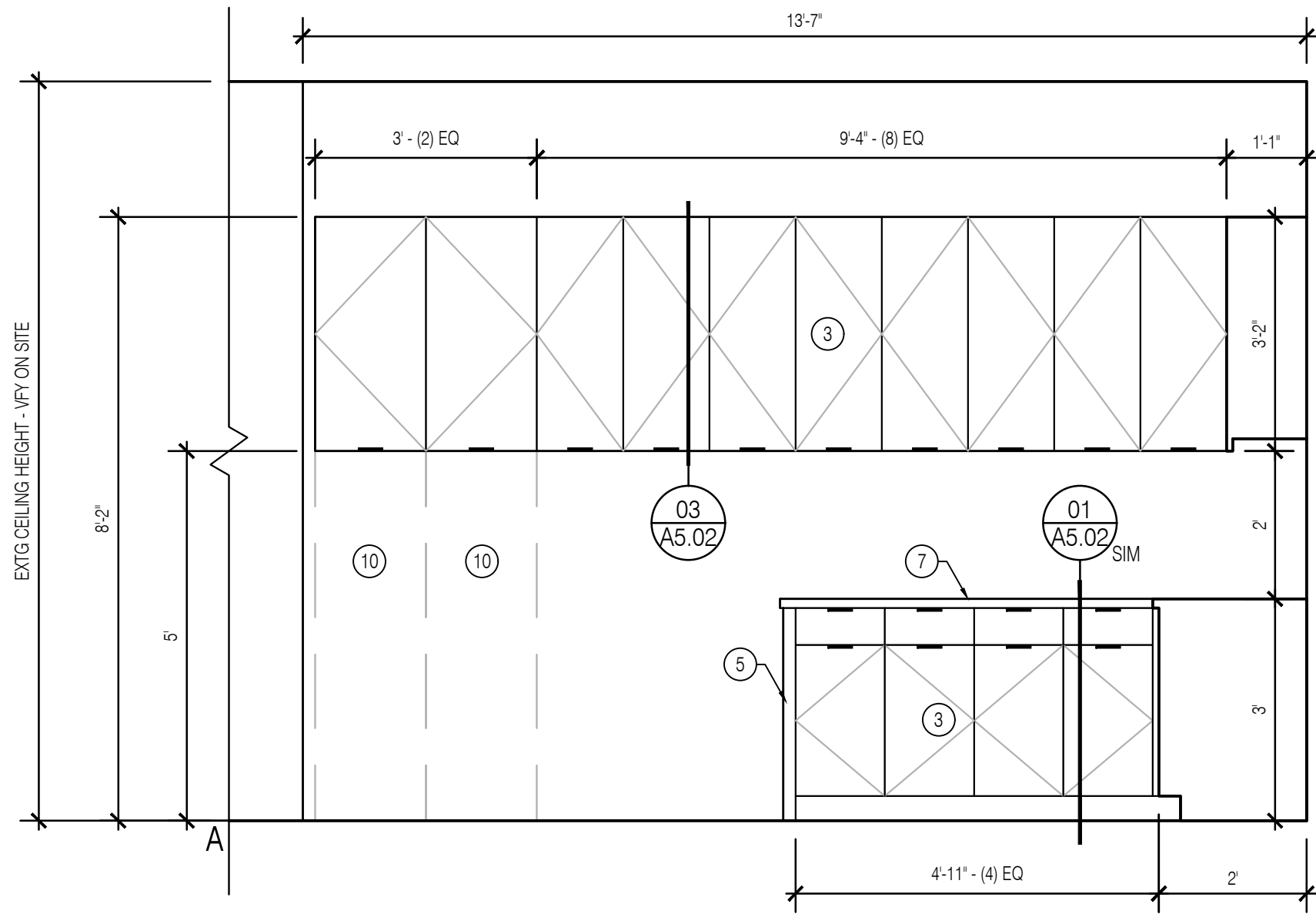
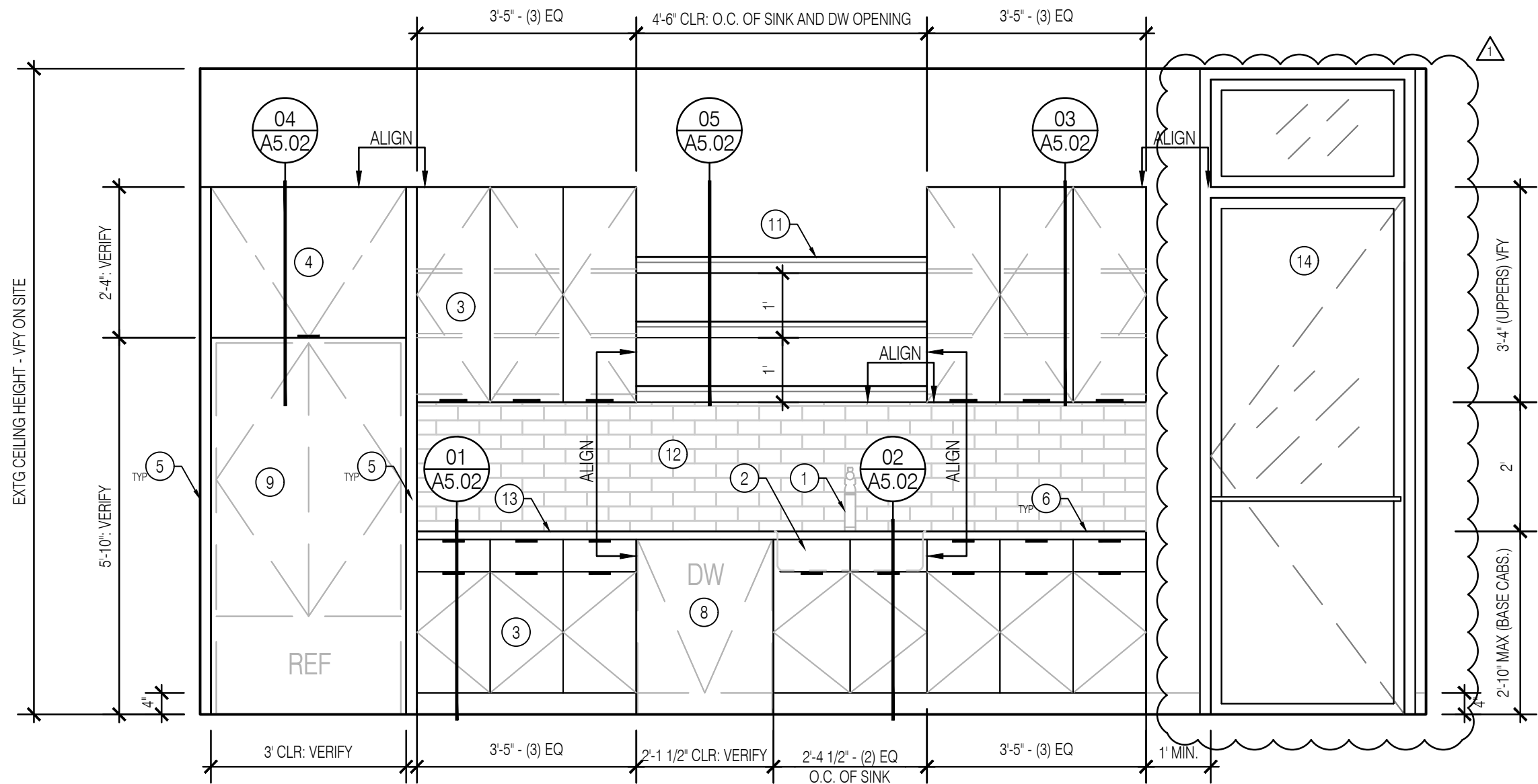
SHEET KEY

- EXISTING STRUCTURE TO REMAIN
- NEW WALL
- (E) EXISTING
- (E) EXIT SIGN TO REMAIN
- PORTION OF CEILING TO INDICATE INSTALLATION OF (N) SUSPENDED CEILING TILES AND GRID
- (N) UNDERCOUNTER LIGHTING: PRIMA- 55-T4 (LENGTH SHOWN ON CEILING PLAN). SUPPLIED AND INSTALLED BY CONTRACTOR. FIXTURE ON DIMMER.

CEILING PLAN KEY NOTES

1. (N) GRID AND SUSPENDED CEILING TILE TO ALIGN WITH (E) CEILING GRID, AS SHOWN, THROUGHOUT
2. INSTALL (E) REUSED EXIT SIGN IN (N) LOCATION FOR EGRESS

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GENERAL NOTES

1. ALL FINISHES TO MATCH EXISTING BUILDING STANDARDS AND/OR EXISTING TENANT SPACE.
2. CONTRACTOR TO VERIFY CEILING HEIGHTS ONCE DEMO IS COMPLETED. CONTRACTOR TO PROVIDE HEIGHTS TO DESIGNER BEFORE INSTALLATION OF CABINETRY.

KEY NOTES

- 1 KITCHEN FAUCET PER PLUMBING SCHEDULE - A6.00
- 2 KITCHEN SINK PER PLUMBING SCHEDULE - A6.00
- 3 PLAM CASEWORK PER FINISH SCHEDULE - TBD
- 4 REFRIGERATOR DEPTH UPPER CABINET. PLAM TO MATCH ADJACENT CASEWORK PER A7.00
- 5 2" END PANEL. PLAM TO MATCH ADJACENT CASEWORK
- 6 SOLID SURFACE COUNTERTOP PER FINISH SCHEDULE - TBD
- 7 PLAM COUNTERTOP PER FINISH SCHEDULE - TBD
- 8 DISHWASHER PER EQUIPMENT SCHEDULE - A6.00
- 9 REFRIGERATOR PER EQUIPMENT SCHEDULE - A6.00
(N) WATER LINE TO BE INSTALLED FOR ICE MAKER
- 10 SHELVING FURNISHED AND INSTALLED BY TENANT
- 11 (N) SOLID DOUGLAS FIR SHELVING- SCRIBE SHELF SIDES TO ADJACENT UPPER CABINETS PER DETAIL - A5.02
- 12 TILE BACKSPLASH PER FINISH SCHEDULE - TBD
- 13 (N) WATER LINE TO BE INSTALLED FOR OWNER FURNISHED COFFEE MACHINE. COORDINATE LOCATION WITH DESIGNER BEFORE INSTALLATION
- 14 (N) RELOCATED DOOR - A1.01

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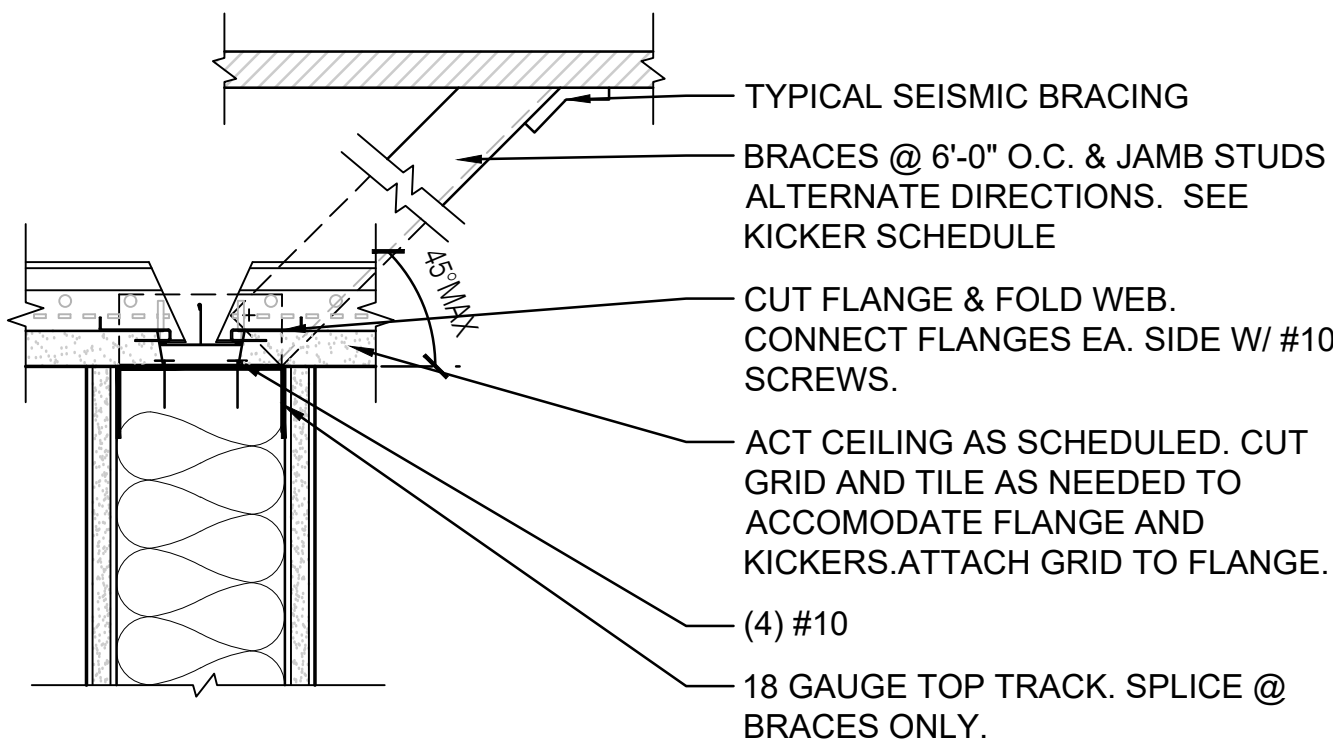
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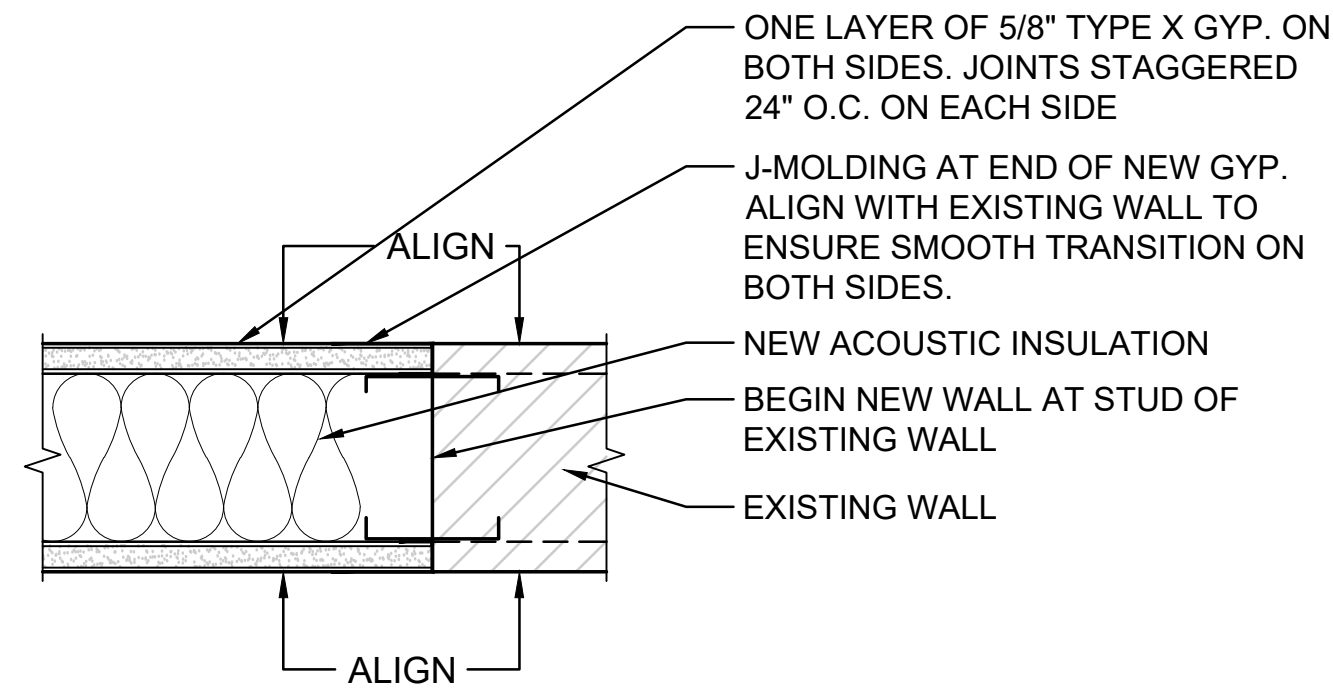
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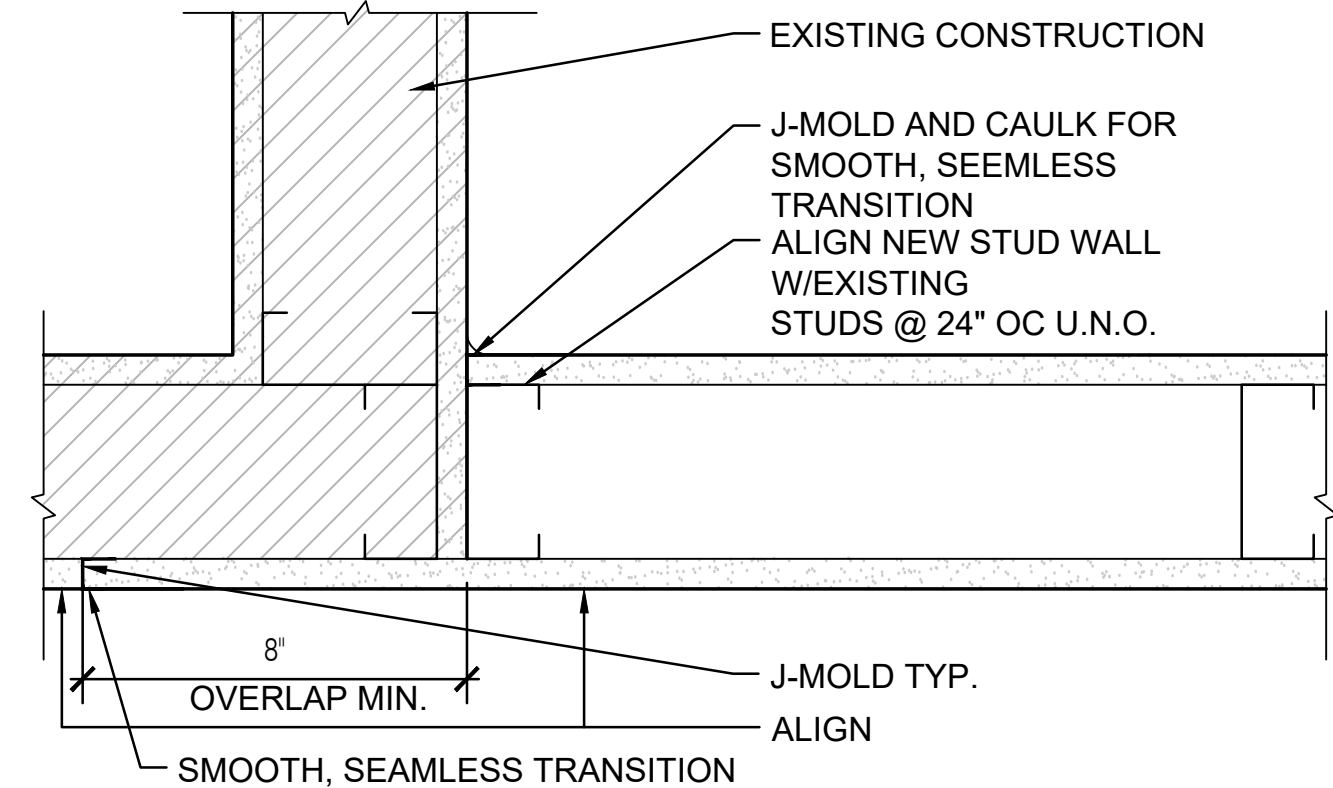
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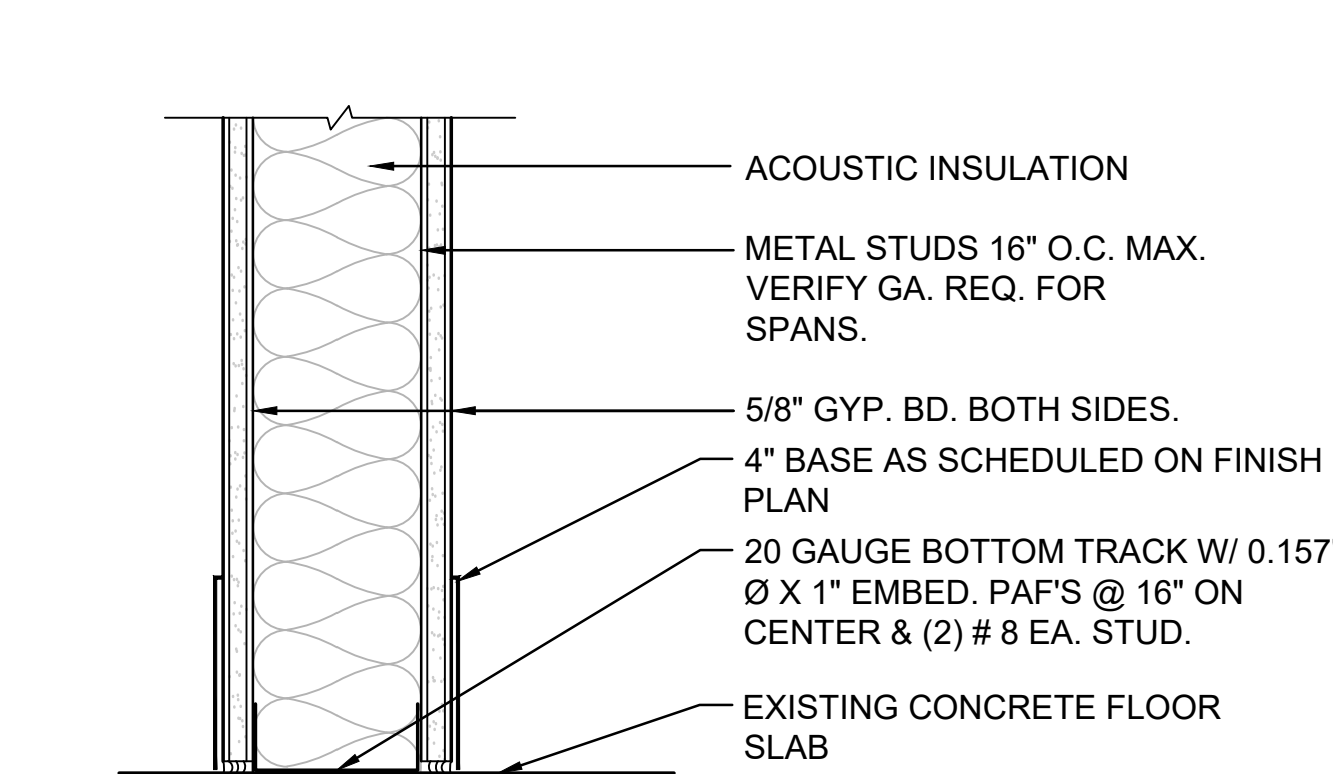
01 PARTITION WALL AT ACT CEILING
ORIGINAL SCALE: 3' = 1'-0"



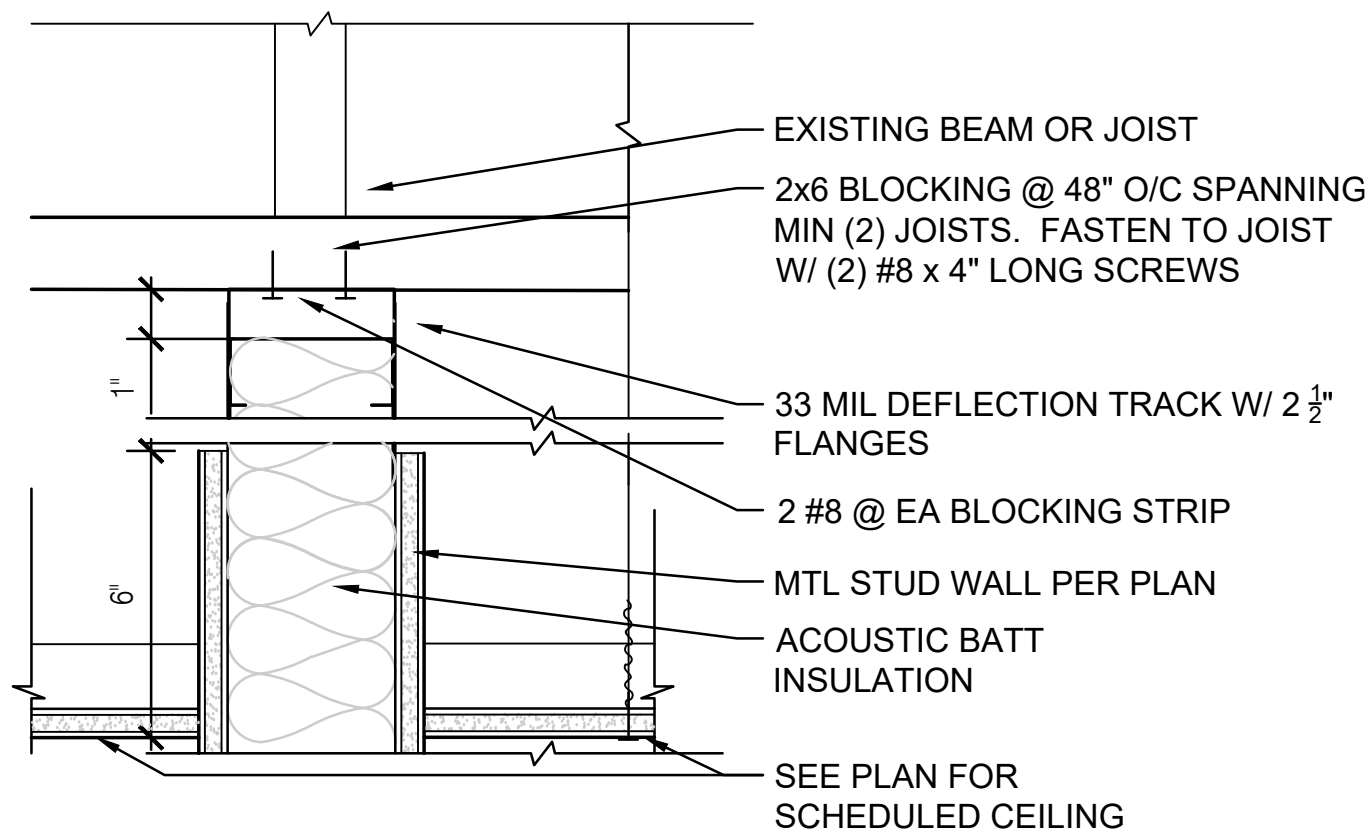
05 NEW INFILL WALL
ORIGINAL SCALE: 3' = 1'-0"



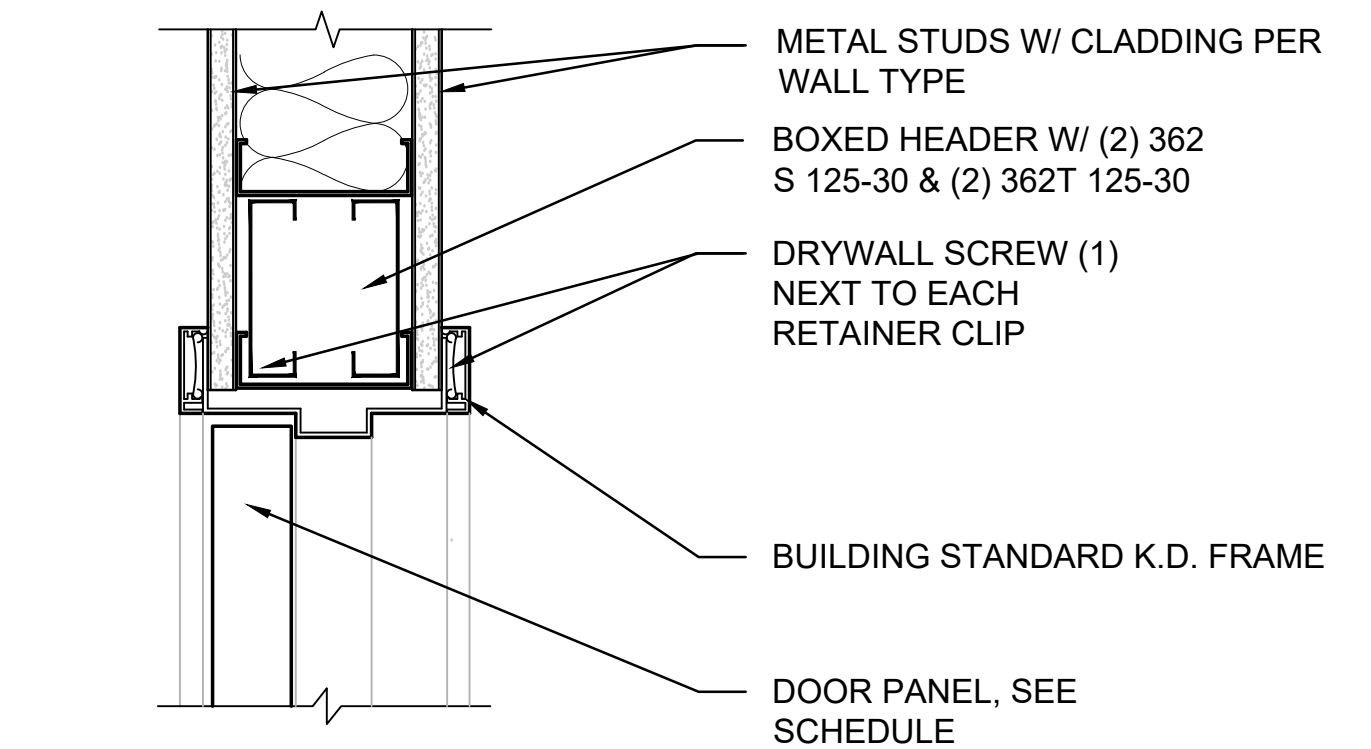
09 NEW WALL AT EXISTING CORNER
ORIGINAL SCALE: 3' = 1'-0"



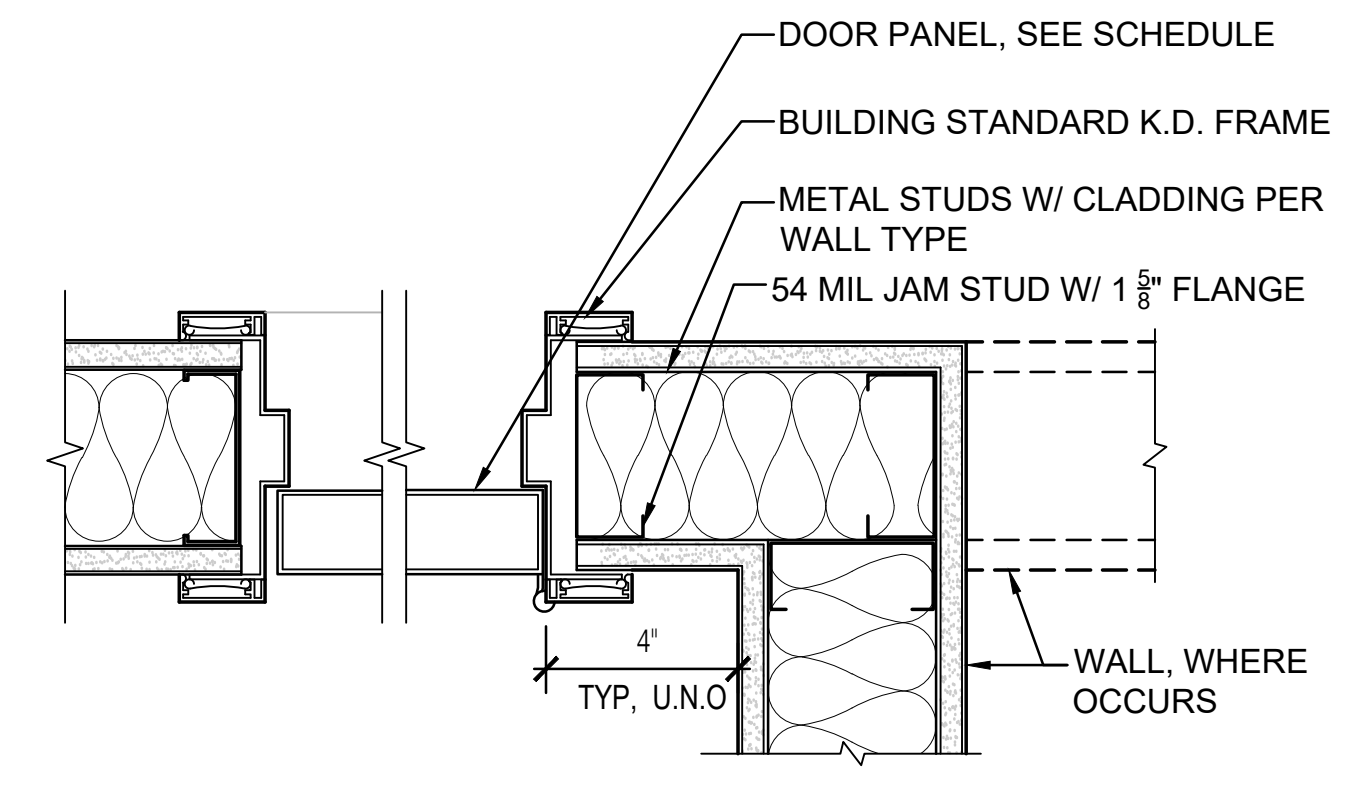
13 TYPICAL WALL BASE
ORIGINAL SCALE: 3' = 1'-0"



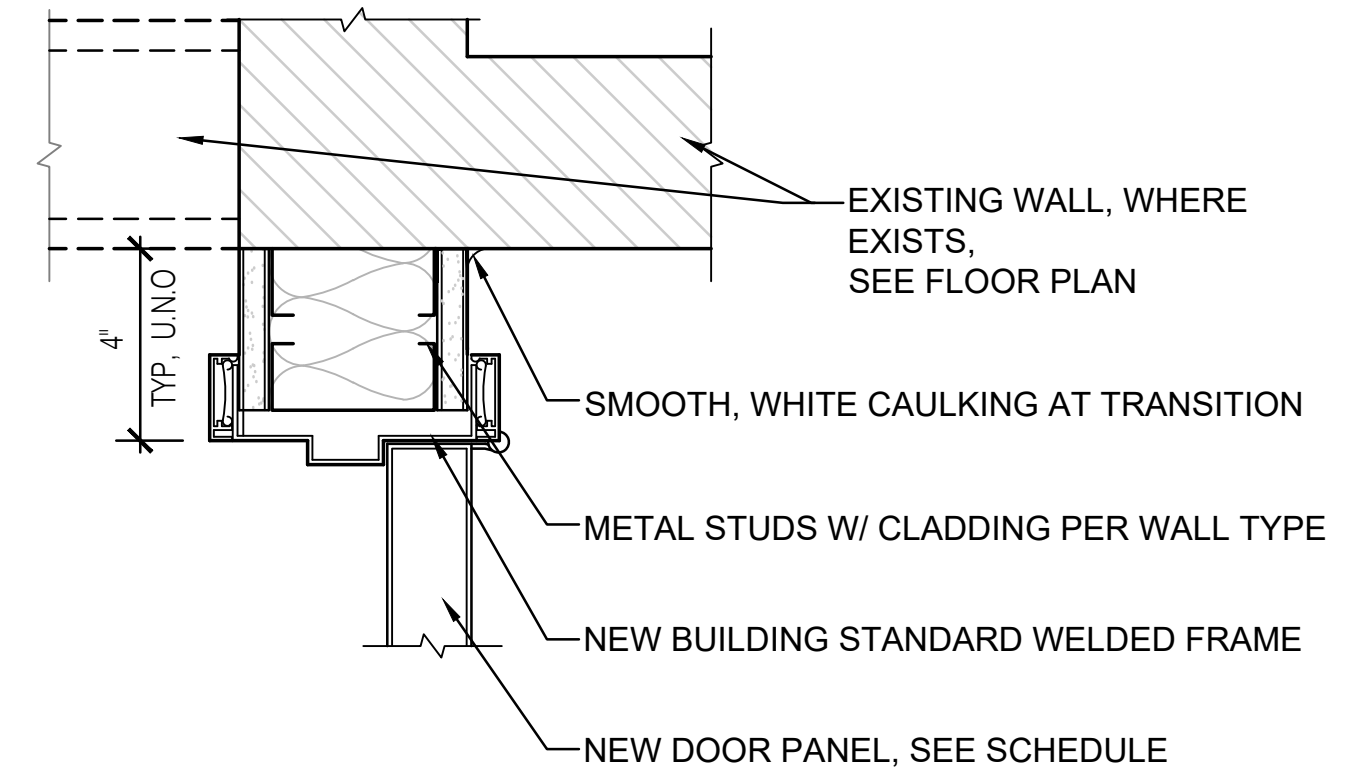
02 WALL HEAD PARALLEL TO STRUCTURE
ORIGINAL SCALE: 3' = 1'-0"



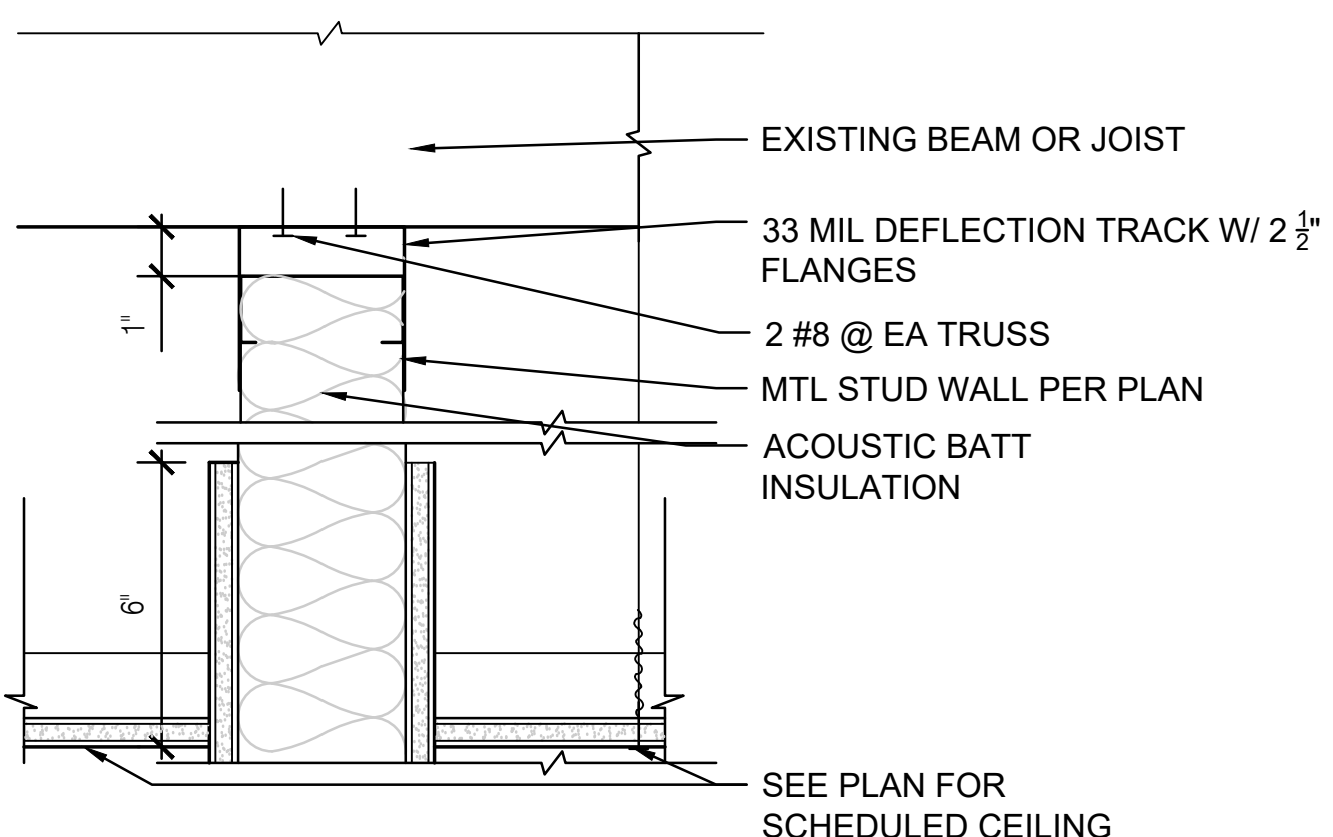
06 DOOR HEAD
ORIGINAL SCALE: 3' = 1'-0"



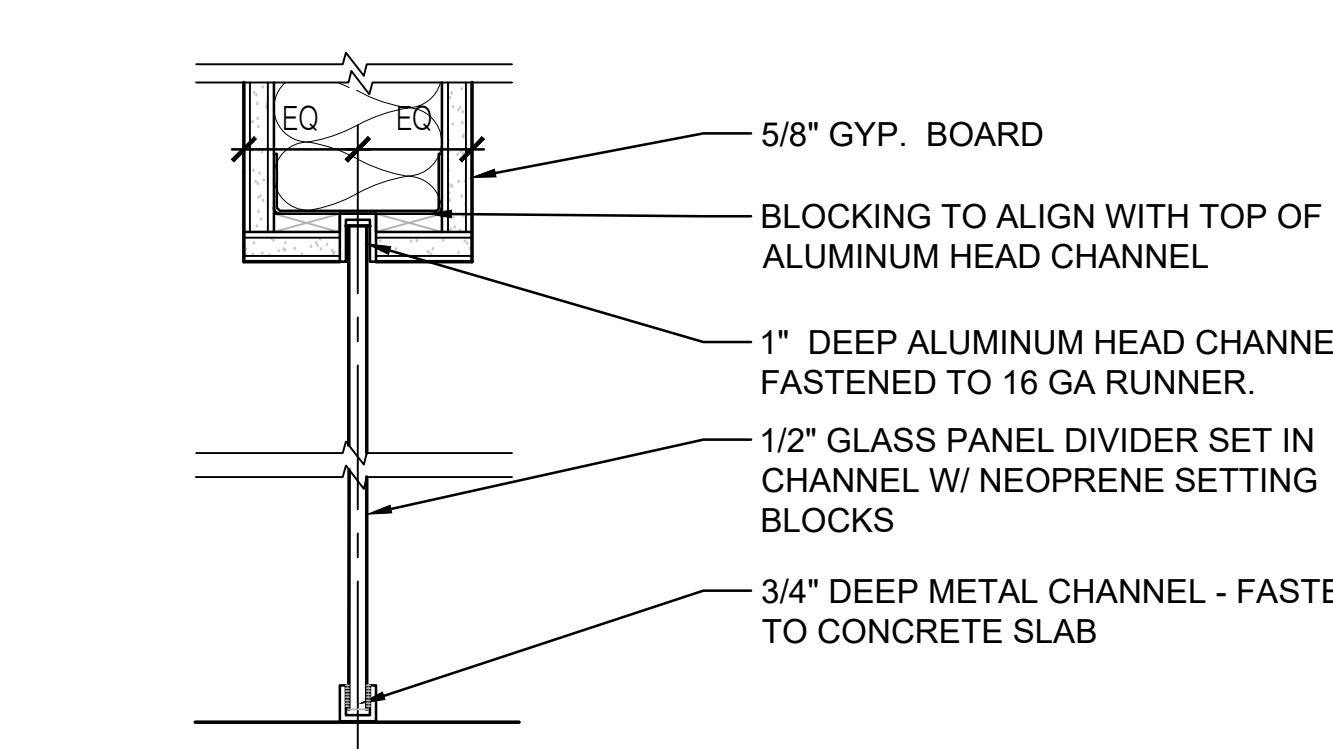
10 DOOR JAMBS
ORIGINAL SCALE: 3' = 1'-0"



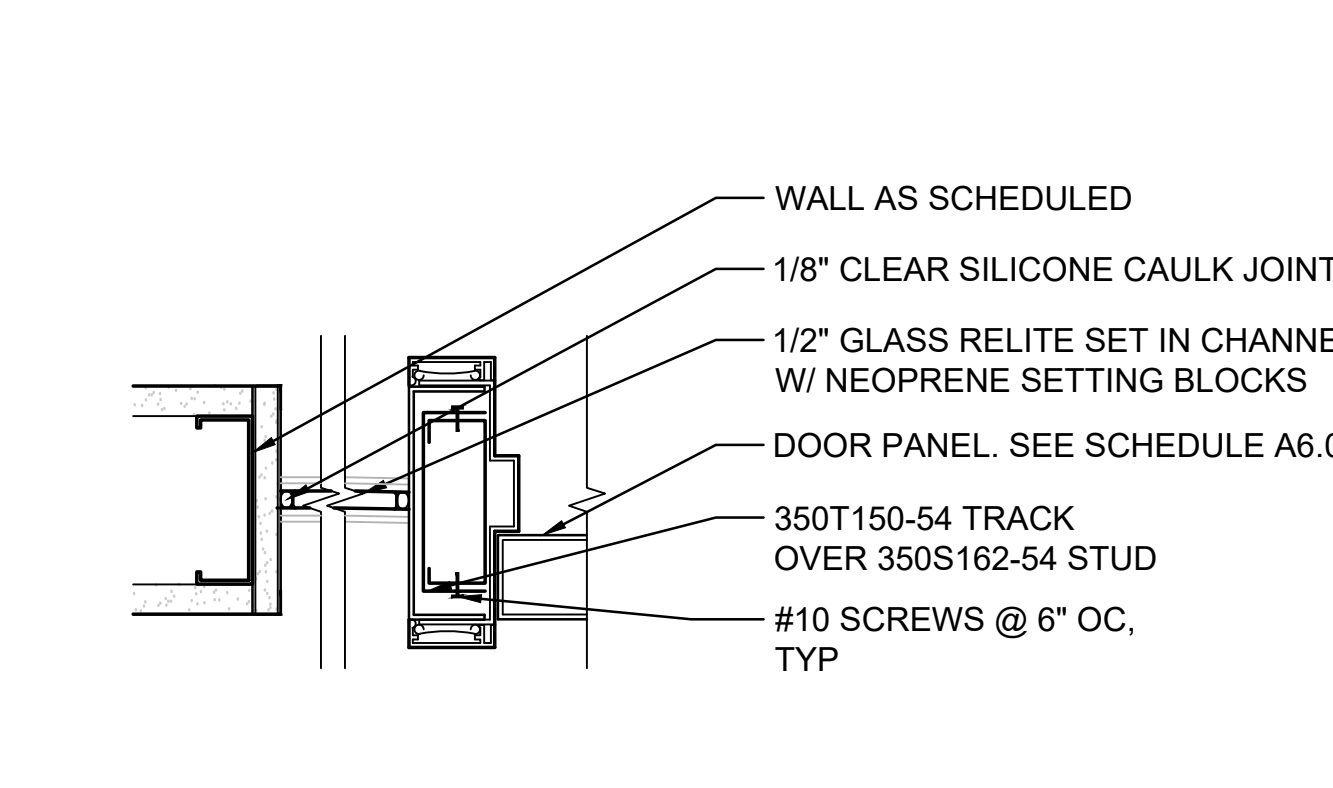
14 DOOR JAMB AT CORNER
ORIGINAL SCALE: 3' = 1'-0"



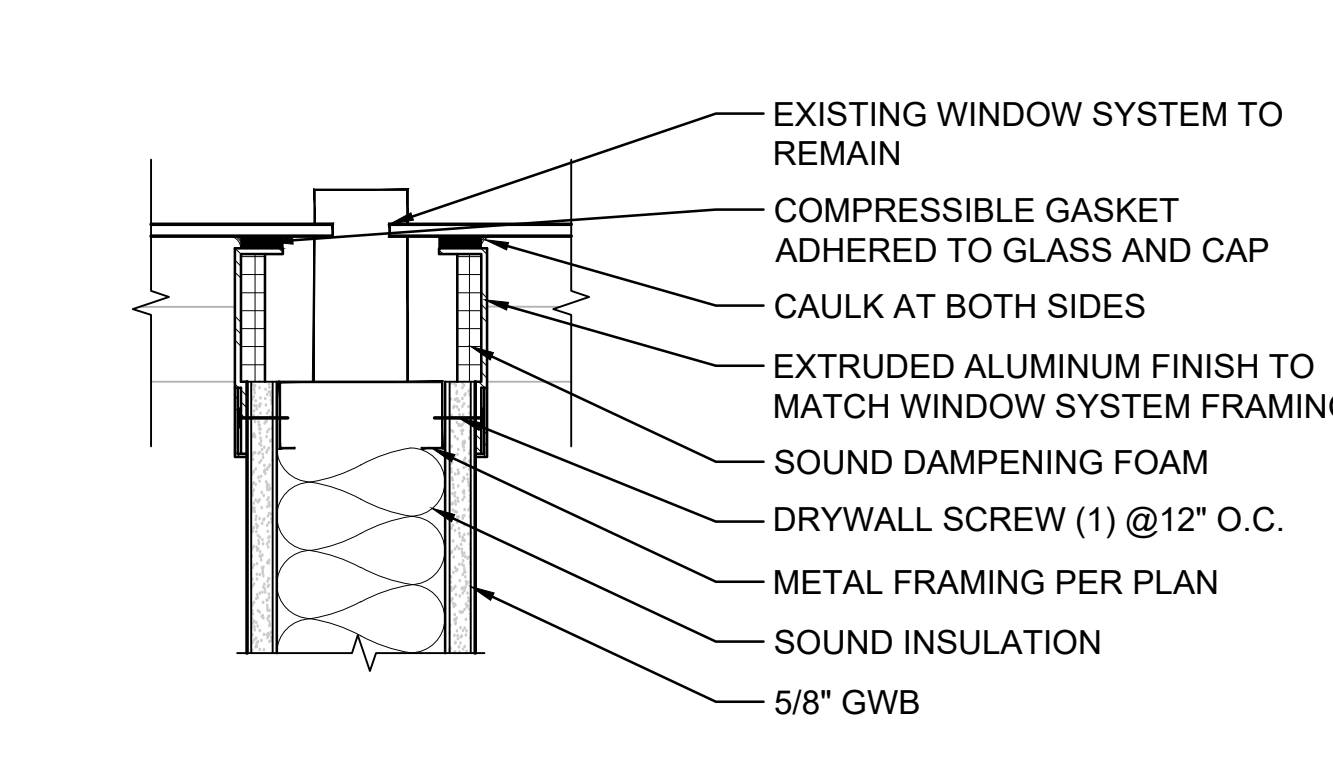
03 WALL HEAD PERPENDICULAR TO STRUCTURE
ORIGINAL SCALE: 3' = 1'-0"



07 FRAMELESS RELITE HEAD AND SILL
ORIGINAL SCALE: 3' = 1'-0"



11 FRAMELESS RELITE JAMBS
ORIGINAL SCALE: 3' = 1'-0"




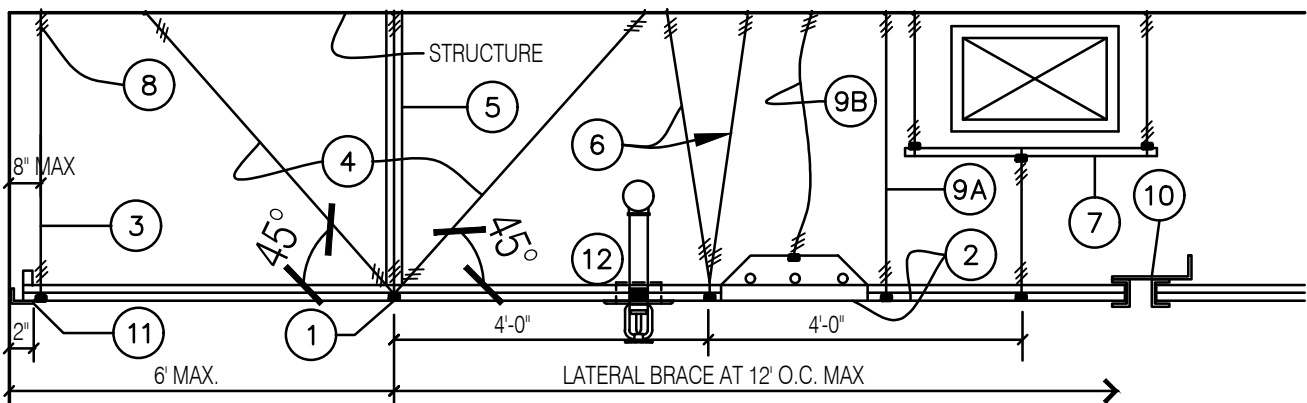
15 NEW WALL AT EXISTING WINDOW MULLION
ORIGINAL SCALE: 3' = 1'-0"

GENERAL NOTES

- ALL METAL STUDS OR FURRING STRIPS SHALL BE 16" O.C. TO MEET DEFLECTION CRITERIA L/240 MIN., L/360 IS ACCEPTABLE.
- ALL METAL STUDS SHOULD BE 20 GAUGE, U.N.O. (33 MIL MIN @ 3 5/8" FULL HT WALLS > = 14'-0" IN T.)
- ALL GYPSUM WALL BOARD TO BE 5/8" TYPE X, U.N.O.
- WHERE OCCUR, ALL FIRE RATED PARTITIONS SHALL COMPLY WITH THE "FIRE RESISTANT DESIGN MANUAL" PUBLISHED BY THE E GYPSUM ASSOCIATION AND/OR THE LOCAL GOVERNING BUILDING CODES. CONSTRUCTION PROCEDURES MUST SATISFY ALL REQUIREMENTS OF THE GOVERNING AUTHORITIES TO ACHIEVE THE FIRE RATING INDICATED. ALL PENETRATIONS OF THE FIRE PARTITION SHALL BE PROTECTED BY EQUIVALENT FIRE RATED DAMPERS, LABELED DOOR, FRAMES, HARDWARE, ETC.
- WHERE OCCUR, FIRE EXTINGUISHER CABINETS AND ELECTRICAL PANELS TO BE FLUSH MOUNTED IN THE FIRE RATED WALLS. VERIFY LOCATION WITH FIRE DISTRICT CHIEF.
- AT ALL WET/DAMP AREAS USE TYPE "WR" GYPSUM WALLBOARD PER MANUFACTURES RECOMMENDATIONS.
- ABOVE ALL ACOUSTIC PARTITIONS PROVIDE 4'-0" WIDE ACOUSTICAL BATT INSULATION AT CEILING EACH SIDE OF PARTITION, U.N.O.
- DRYWALL SCREWS ARE NOT ACCEPTABLE FOR ANY METAL TO WOOD OR METAL TO METAL CONNECTIONS.
- IN EVERY CASE WHERE METAL FRAMING CONNECTS TO WOOD, INSTALL WITH 1 1/4" TYPE S OVAL HEAD SCREWS OR 8D NAILS. PROVIDE 1/2" DIA. WASHERS AT ALL PULL OUT CONNECTIONS. PULL OUT CONNECTIONS ARE WHEN SCREW OR NAIL IS IN VERTICAL ORIENTATION.
- IN EVERY CASE WHERE METAL FRAMING CONNECTS TO METAL FRAMING, INSTALL WITH #10 SHEET METAL SCREWS. ALL CONNECTIONS TO BE SHEAR WITH SCREWS IN HORIZONTAL ORIENTATION.
- STEEL ANGLES ARE 25 GA GALV. BREAK SHAPE WITH 2" LEGS. FABRICATE LONG LENGTHS AND FIELD CUT TO APPROPRIATE LENGTHS.

KICKER SCHEDULE:	
Lmax	KICKER MEMBER SIZE
12'	362S 162-33
15'	362S 162-43
18'	362S 200-43
24'	BACK TO BACK 362S 162-43 W/#8 @ 12" O.C.

PROJECT NUMBER:		18009
PLOT DATE:		190128
TEAM:		CPE, ESH, HCB
REVISION LOG:		
	01/28/2019	REV1: CLIENT CHANGE REQUESTS



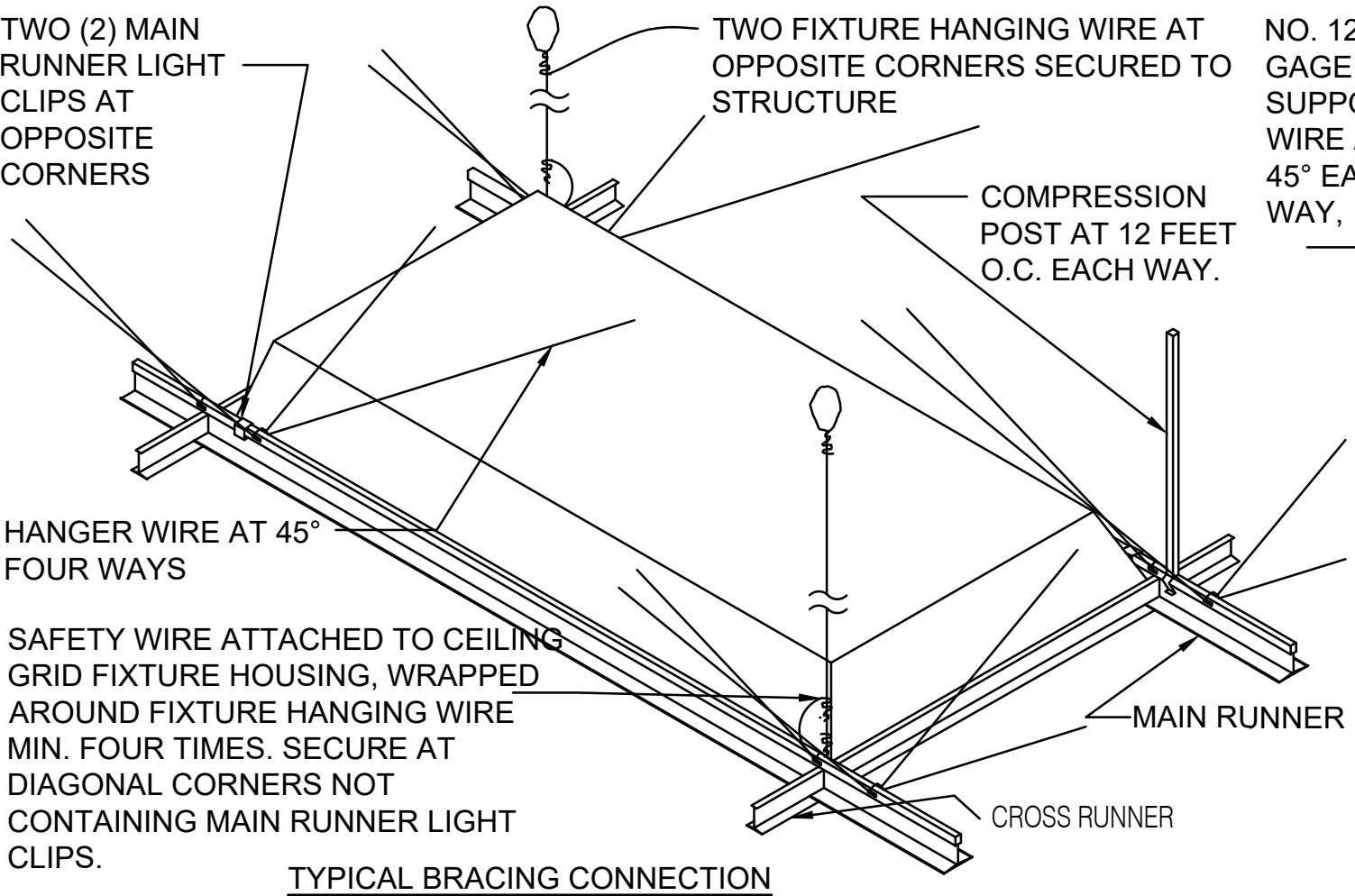
GRID SYSTEMS REQUIREMENTS:

- GRID SYSTEM RATING: HEAVY DUTY.
- DESIGN REQUIREMENTS: CEILING MUST BE DESIGNED PER STATE OF OREGON 2010 STRUCTURAL SPECIALTY CODE FOR SEISMIC CATEGORIES D,E,& F, ASCE 7-02 OR -05, CISCA RECOMMENDATION FOR SEISMIC ZONES 3&4.

INSTALLATION:

- MAIN RUNNERS: 4 FEET O.C., SUPPORTED WITH NO. 12 GA. WIRES AT 4 FEET O.C. (OR NO. 10 GA. WIRES AT 5 FEET O.C.). HANGER ATTACHMENT TO BE DESIGNED TO SUPPORT NOT LESS THAN 200 POUNDS.
- CROSS RUNNERS: RUNNERS SUPPORTED BY MAIN RUNNERS AND CAPABLE OF CARRYING DESIGN LOAD WITH DEFLECTION EQUAL TO 1/360 OF ITS SPAN OR LESS.
- HANGER WIRE SYSTEM TO BEGIN WITHIN 8 INCHES OF PERIMETER WALL.
- GRID LATERAL FORCE BRACING: BEGIN WITHIN 6 FEET OF PERIMETER AND WITHIN 2 INCHES OF CROSS RUNNER INTERSECTION. (A.) FOUR (4)-NO. 12 GA. WIRES SECURED TO MAIN RUNNER AND SPLAYED 90 DEGREES FROM EACH OTHER IN PLAN AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM CEILING PLANE. (B.) BRACE AT 12 FEET O.C. EACH WAY.
- COMPRESSION STRUT AT EACH LATERAL GRID BRACING LOCATION. STRUT TO BE ADEQUATE TO RESIST VERTICAL FORCE COMPONENT INDUCED BY BRACING WIRES, SPACED 12 FEET ON CENTER IN BOTH DIRECTIONS. STRUT TO BE COMPATIBLE WITH SUSPENSION SYSTEM.
- SYSTEM HANGERS MORE THAN 1:6 OUT OF PLUMB, PROVIDE COUNTER SLOPE HANGERS.
- WHERE HANGER WIRES ARE NOT POSSIBLE DUE TO OBSTRUCTIONS, PROVIDE TRAPEZE OR EQUIVALENT DEVICE. TRAPEZE SUSPENSION FOR SPANS EXCEEDING 48 INCHES TO BE MINIMUM OF BACK-TO-BACK 1-1/4 INCH COLD ROLLED CHANNELS.
- EACH HANGER WIRE ANCHOR TO STRUCTURE CAPABLE OF CARRYING 100 POUNDS MINIMUM.
- LIGHT FIXTURE SUPPORT: DETAIL 6
 - WITH SUSPENSION SYSTEMS, NO. 12 GA. HANGERS TO BE ATTACHED TO GRID MEMBERS WITHIN 3" OF EACH CORNER OF EACH FIXTURE - TANDEM FIXTURES MAY USE COMMON WIRES.
 - LIGHT FIXTURES WEIGHING LESS THAN 56 LBS. REQUIRE (2)-NO. 12 GA. SLACK WIRES FROM FIXTURE HOUSING TO STRUCTURE ABOVE.
 - LIGHT FIXTURES IN EXCESS OF 56 LBS. TO BE SUPPORTED DIRECTLY FROM STRUCTURE ABOVE, WIRES MUST BE TAUT.
 - LIGHT FIXTURES TO BE POSITIVELY ATTACHED TO GRID SYSTEM. ATTACHMENT DEVICE TO CARRY 100 PERCENT OF LIGHT FIXTURE WEIGHT ACTING IN ANY DIRECTION.
- PROVIDE SEISMIC JOINTS WHERE CEILING AREA EXCEEDS 2,500 SQ. FT. OR PROVIDE FULL HEIGHT PARTITION.
- 2 INCH CLOSURE ANGLE AT PERIMETER OF EACH 2,500 SF SUSPENDED CEILING SYSTEM, (2) SIDES TO BE ATTACHED TO ADJACENT WALLS (PER DETAIL 2), (2) OPPOSITE ADJACENT SIDES TO BE UNATTACHED (PER DETAIL 3).
- WHERE SPRINKLER HEADS AND OTHER PENETRATIONS OCCUR, PROVIDE 2 INCH OVERSIZED ESCUTCHEON OR ADAPTER TO ALLOW AT LEAST 1 INCH MOVEMENT IN ALL HORIZONTAL DIRECTIONS, OR PROVIDE STANDARD ESCUTCHEON AND PENETRATIONS WITH FLEXIBLE HEAD CONNECTION.

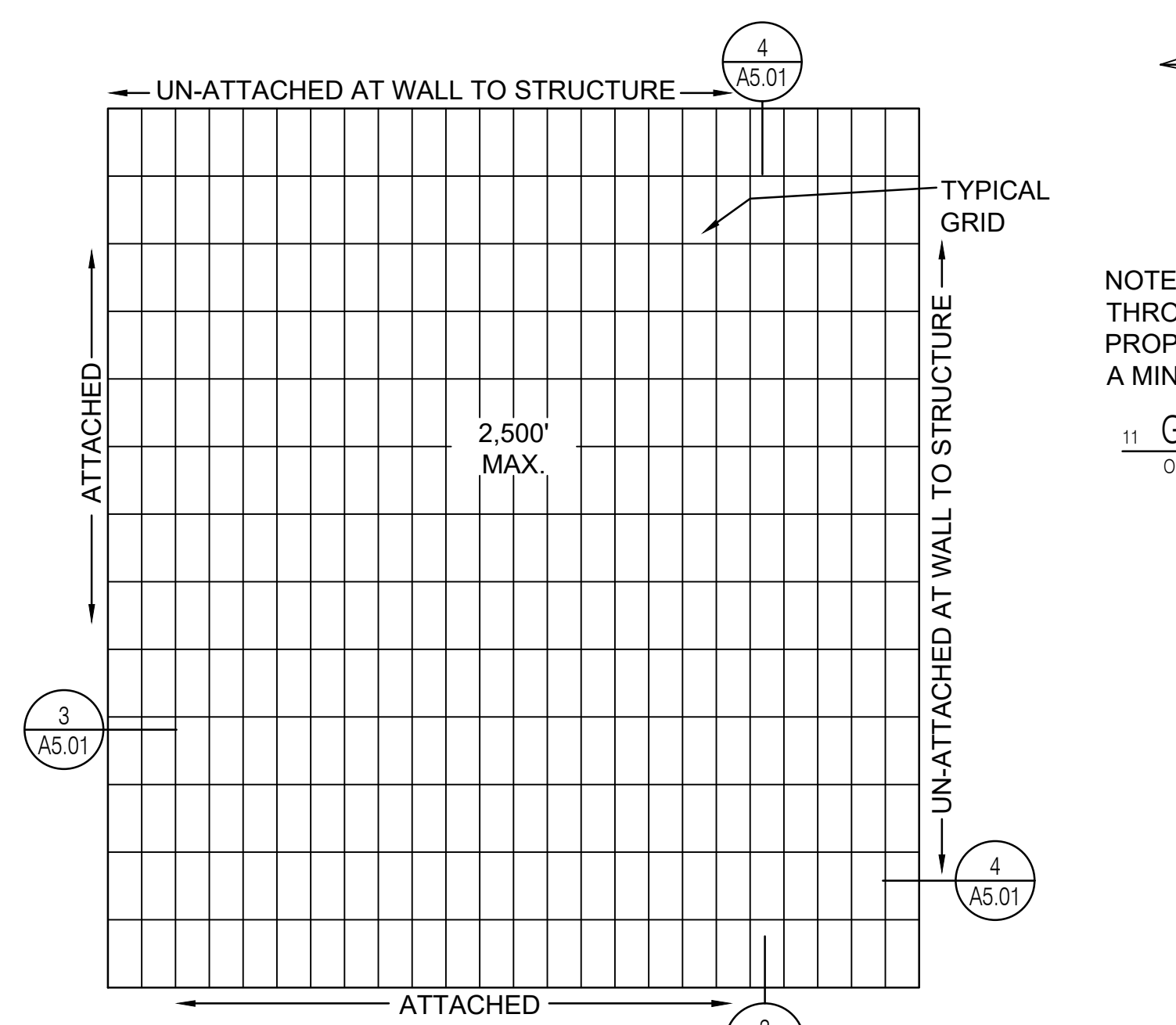
13 **SUSPENDED CEILING NOTES**
ORIGINAL SCALE: 3/31/28" = 1'-0"



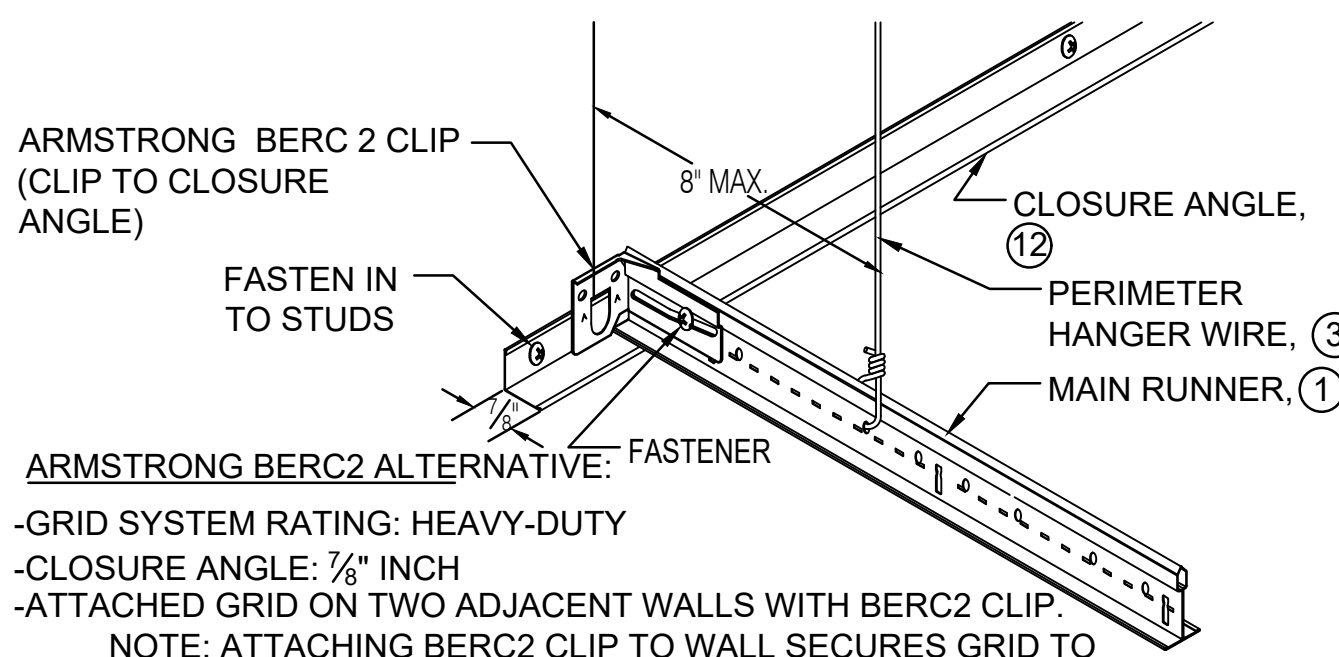
TYPICAL BRACING CONNECTION

NOTE: REQUIREMENTS ARE FOR LIGHT FIXTURES WEIGHING 56LB OR LESS. LIGHT FIXTURES WEIGHING MORE THAN 56LB TO BE INDEPENDENTLY SUPPORTED FROM STRUCTURE.

06 **LIGHT FIXTURE SUPPORT**
ORIGINAL SCALE: 3" = 1'-0"



14 **TYPICAL SUSPENDED CEILING PLAN**
ORIGINAL SCALE: 3" = 1'-0"



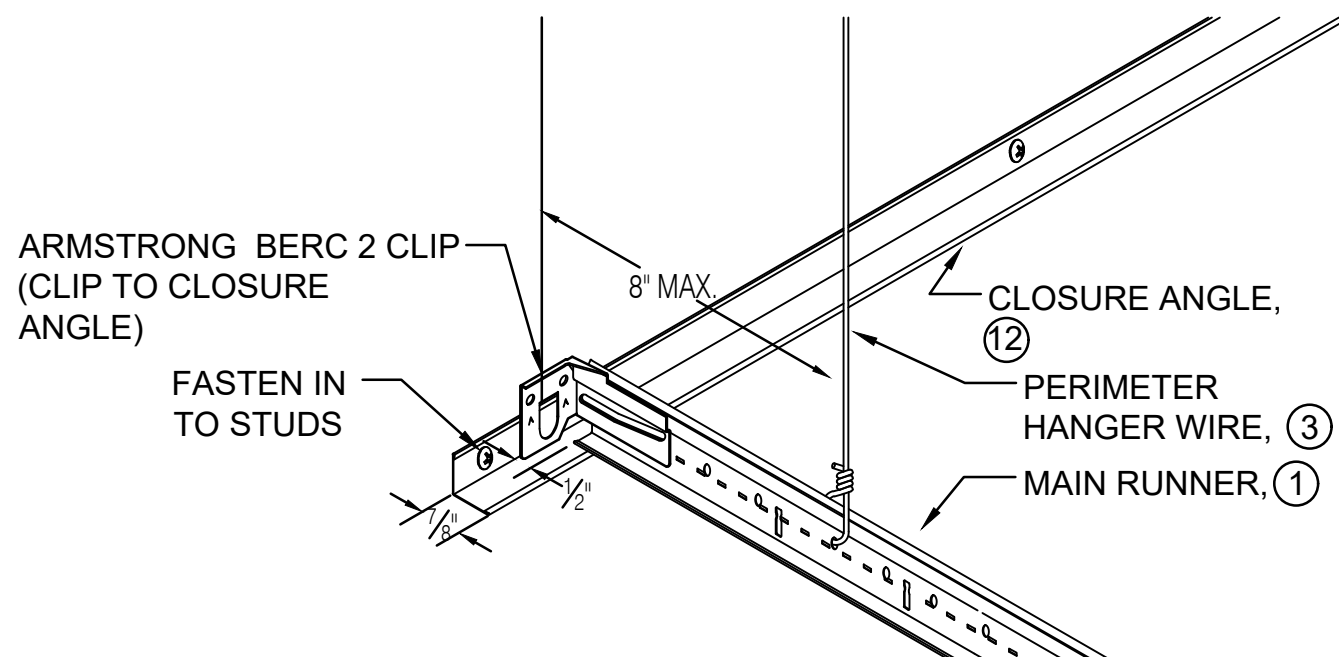
ARMSTRONG BERC2 ALTERNATIVE:

- GRID SYSTEM RATING: HEAVY-DUTY
- CLOSURE ANGLE: 1/8" INCH
- ATTACHED GRID ON TWO ADJACENT WALLS WITH BERC2 CLIP.

NOTE: ATTACHING BERC2 CLIP TO WALL SECURES GRID TO CLOSURE ANGLE AND ELIMINATES NEED FOR POP RIVETS THROUGH VISIBLE PART OF CLOSURE ANGLE.

- PROVIDE 1/2 INCH CLEARANCE ON UNATTACHED ENDS, WITH BERC2 CLIP.
- PROVIDE BERC2 CLIP AT ALL FOUR WALL.S

03 **ALT SEISMIC JOINT - ARMSTRONG SYSTEM (ATTACHED)**
ORIGINAL SCALE: 3" = 1'-0"

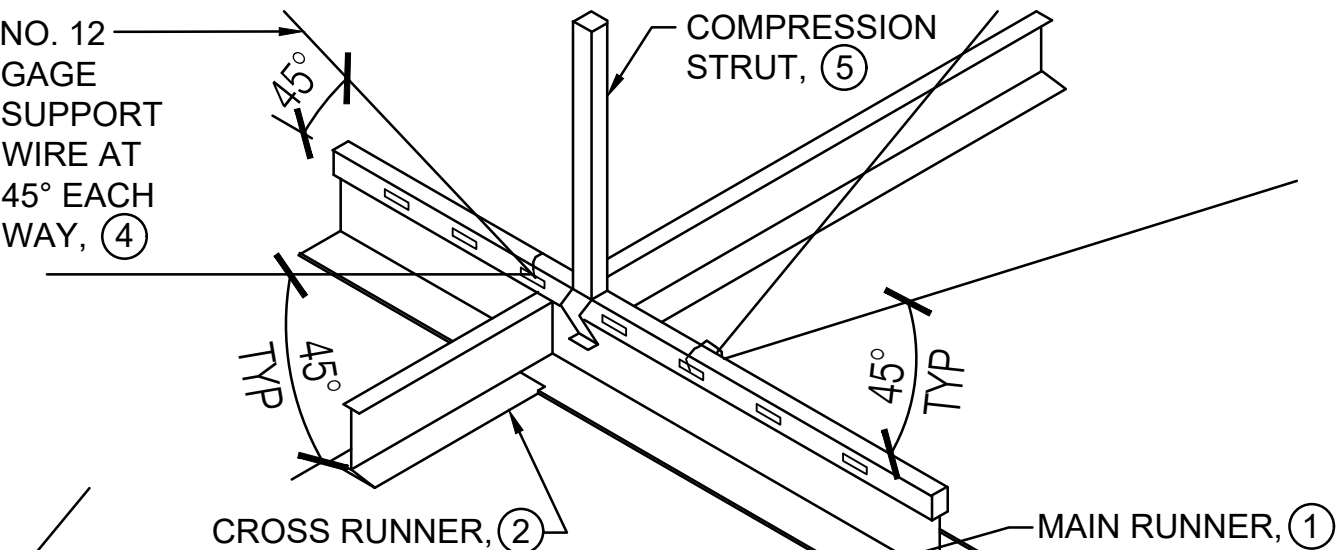


ARMSTRONG BERC2 CLIP (CLIP TO CLOSURE ANGLE)

NOTE: ATTACHING BERC2 CLIP TO WALL SECURES GRID TO CLOSURE ANGLE AND ELIMINATES NEED FOR POP RIVETS THROUGH VISIBLE PART OF CLOSURE ANGLE.

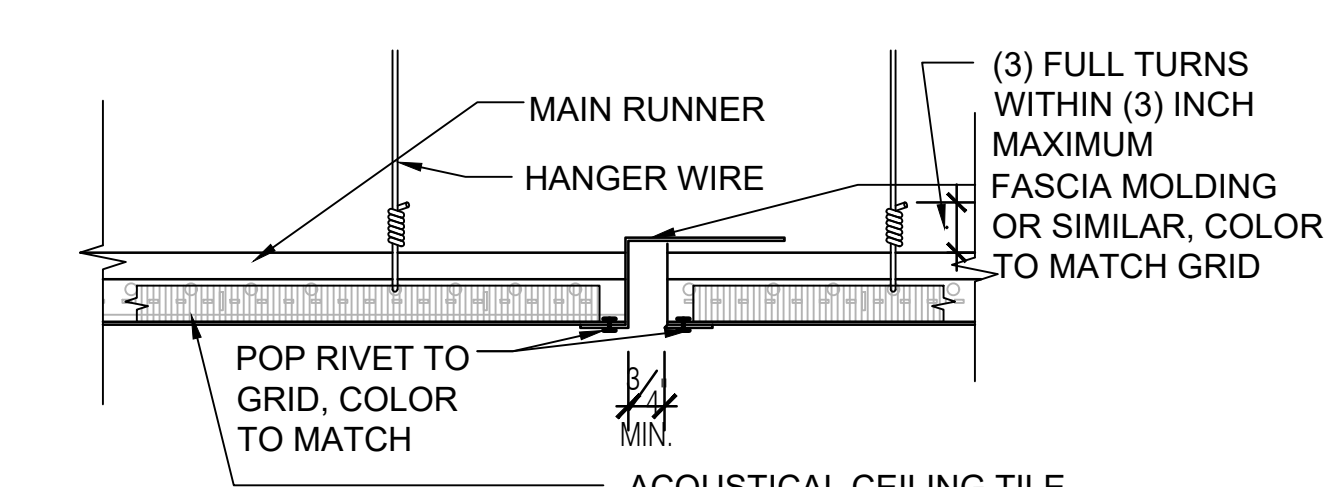
- PROVIDE 1/2 INCH CLEARANCE ON UNATTACHED ENDS, WITH BERC2 CLIP.
- PROVIDE BERC2 CLIP AT ALL FOUR WALL.S

04 **ALT SEISMIC JOINT - ARMSTRONG SYSTEM (UNATTACHED)**
ORIGINAL SCALE: 3" = 1'-0"



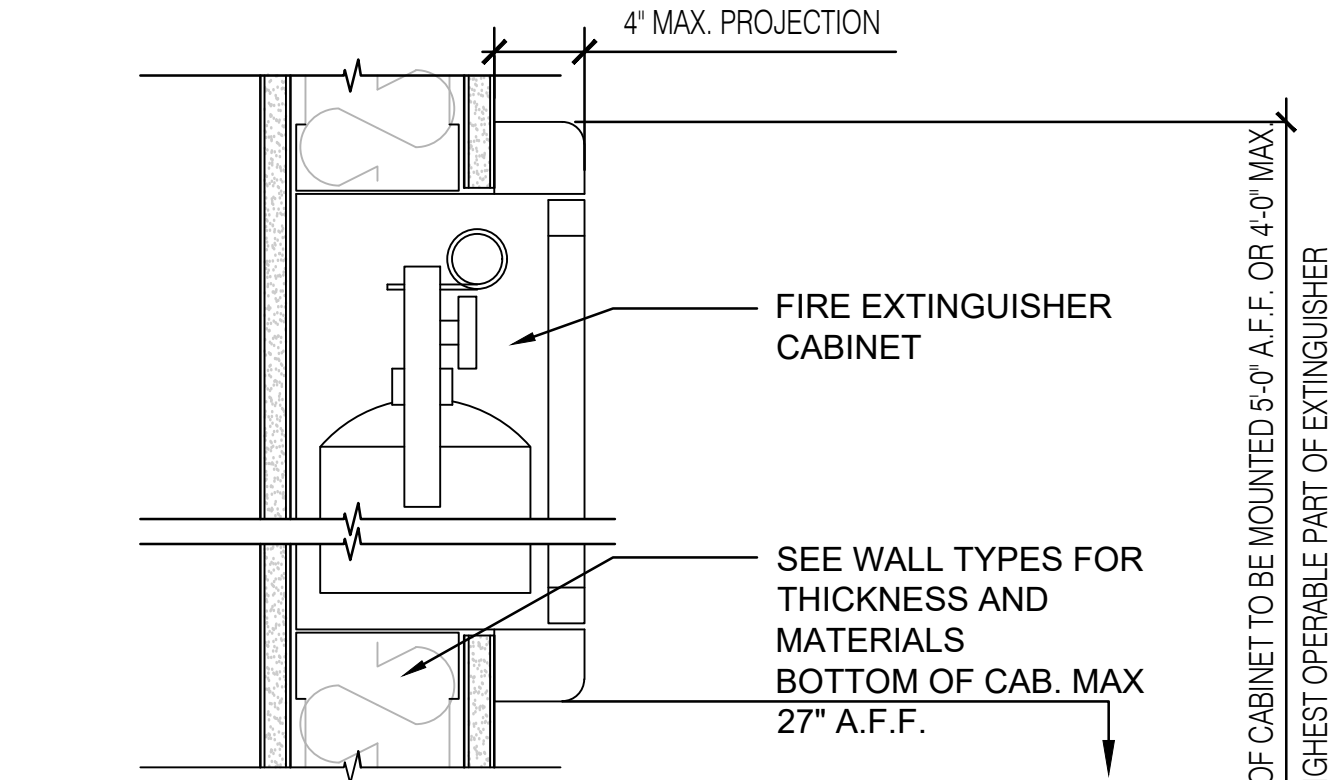
MAXIMUM RECOMENDED LENGTHS FOR VERTICAL STRUTS	
EMT CONDUIT	
1/2" EMT CONDUIT	UP TO 5'-10"
3/4" EMT CONDUIT	UP TO 7'-8"
1" EMT CONDUIT	UP TO 9'-9"
METAL STUD	
SINGLE 1 5/8" METAL STUD (20 GAUGE)	UP TO 12'
BACK TO BACK 1 5/8" METAL STUD (20 GAUGE)	UP TO 15'
SINGLE 2 1/2" METAL STUD (20 GAUGE)	UP TO 13'-6"
BACK TO BACK 2 1/2" METAL STUD (25 GAUGE)	UP TO 15'

07 **GRID LATERAL FORCE BRACING**
ORIGINAL SCALE: 3" = 1'-0"

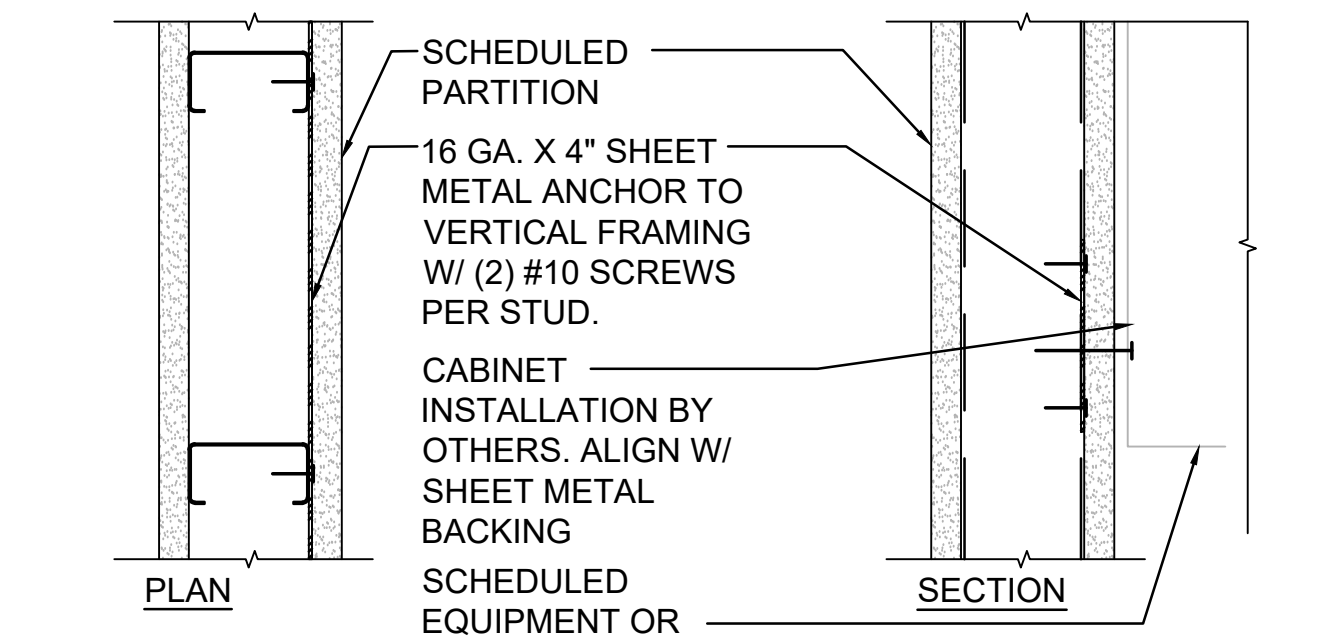


NOTE: REQUIRED BETWEEN EACH 2,500 SF CEILING AREA OR PROVIDE WALL THROUGH CEILING GRID. IF A SEISMIC SEPARATION IS REQUIRED, AN APPROVED PROPRIETARY JOINT MAY BE USED. THE AMOUNT OF FREE MOVEMENT SHALL BE A MINIMUM OF 3/4 INCH.

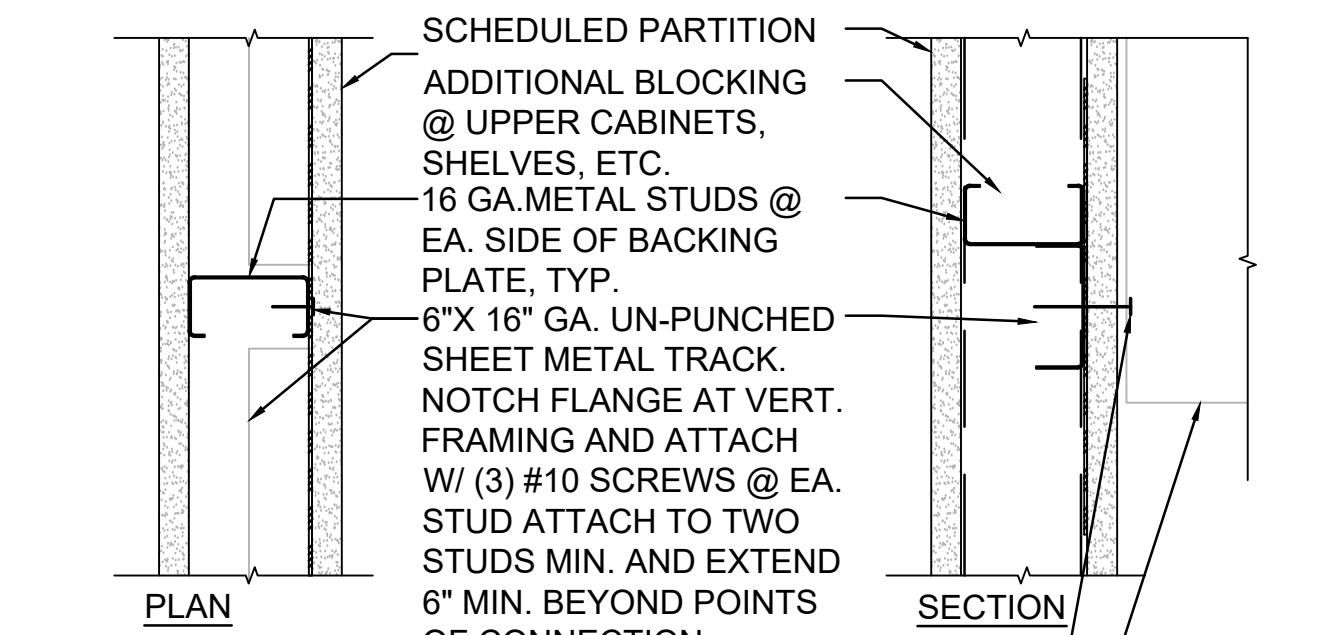
11 **GRID SEISMIC JOINT**
ORIGINAL SCALE: 3" = 1'-0"



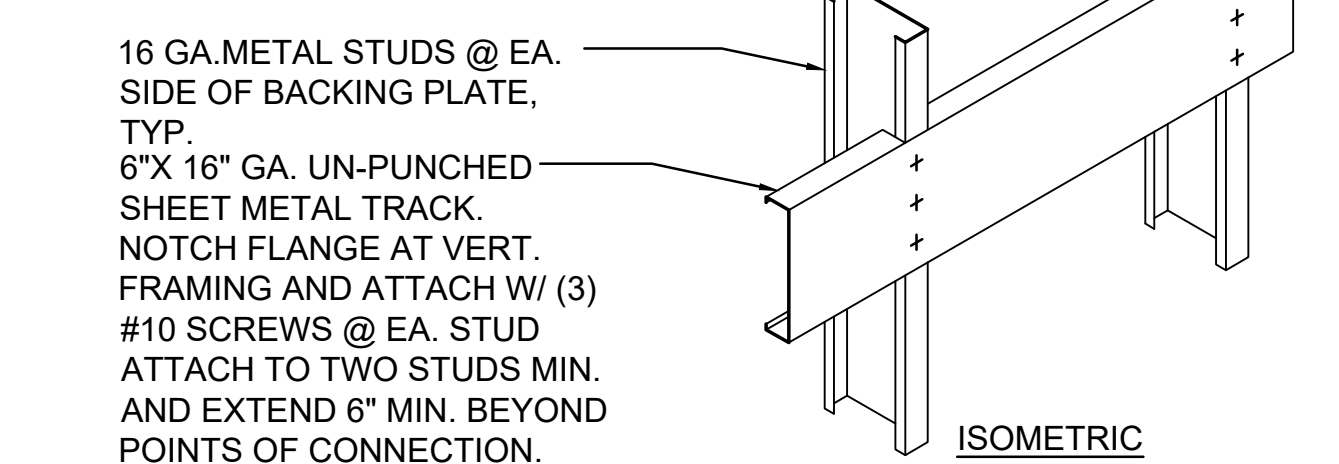
15 **SEMI-RECESSED FIRE CABINET**
ORIGINAL SCALE: 3" = 1'-0"



(A) **TYPICAL WALL BACKING FOR OBJECTS UNDER 25 LBS/ LINEAL FT.**



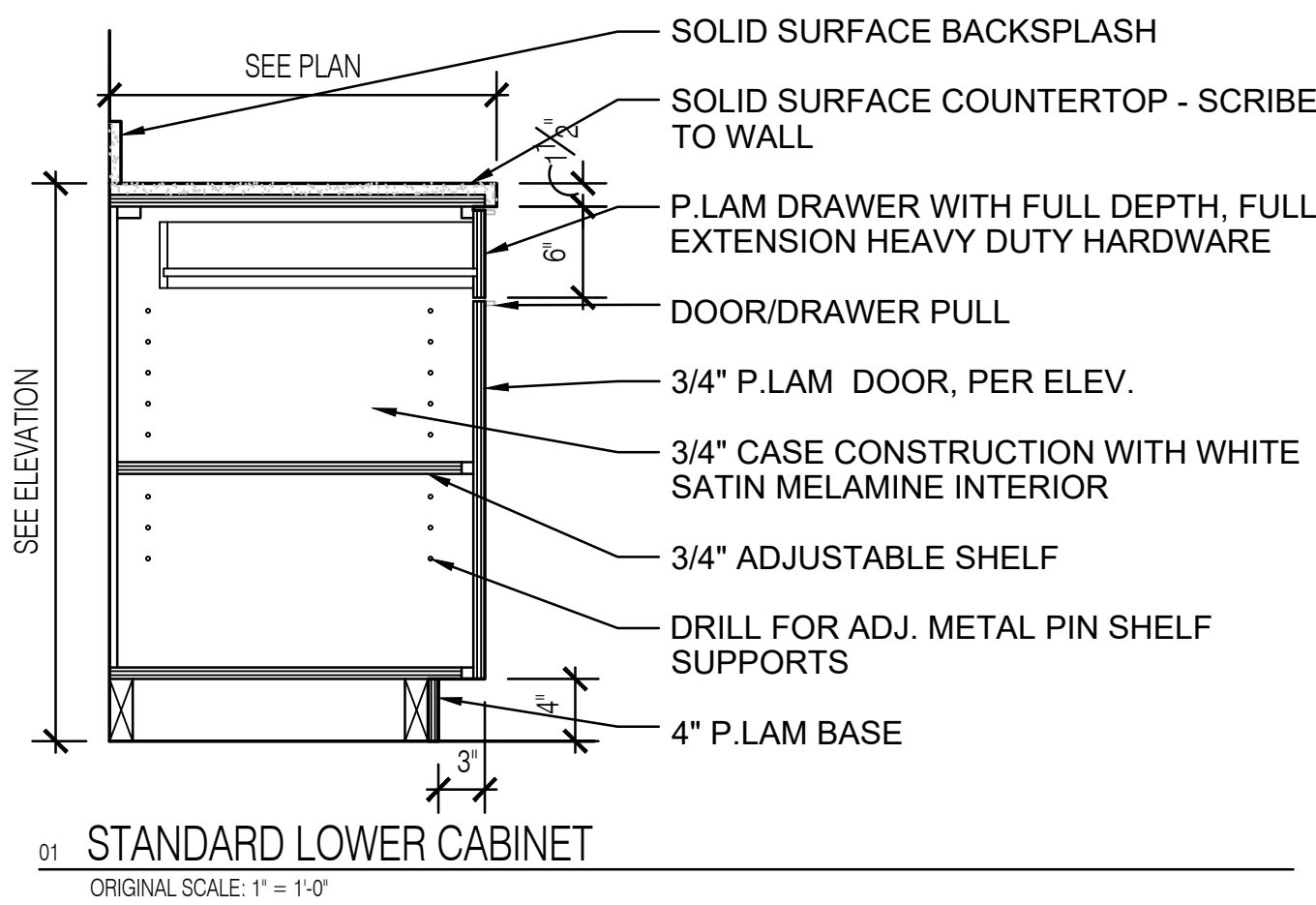
(B) TYPICAL WALL BACKING FOR OBJECTS W/ MAXIMUM VERTICAL LOAD OF 100 LBS/ LINEAL FT. OR 250 LBS POINT LOAD



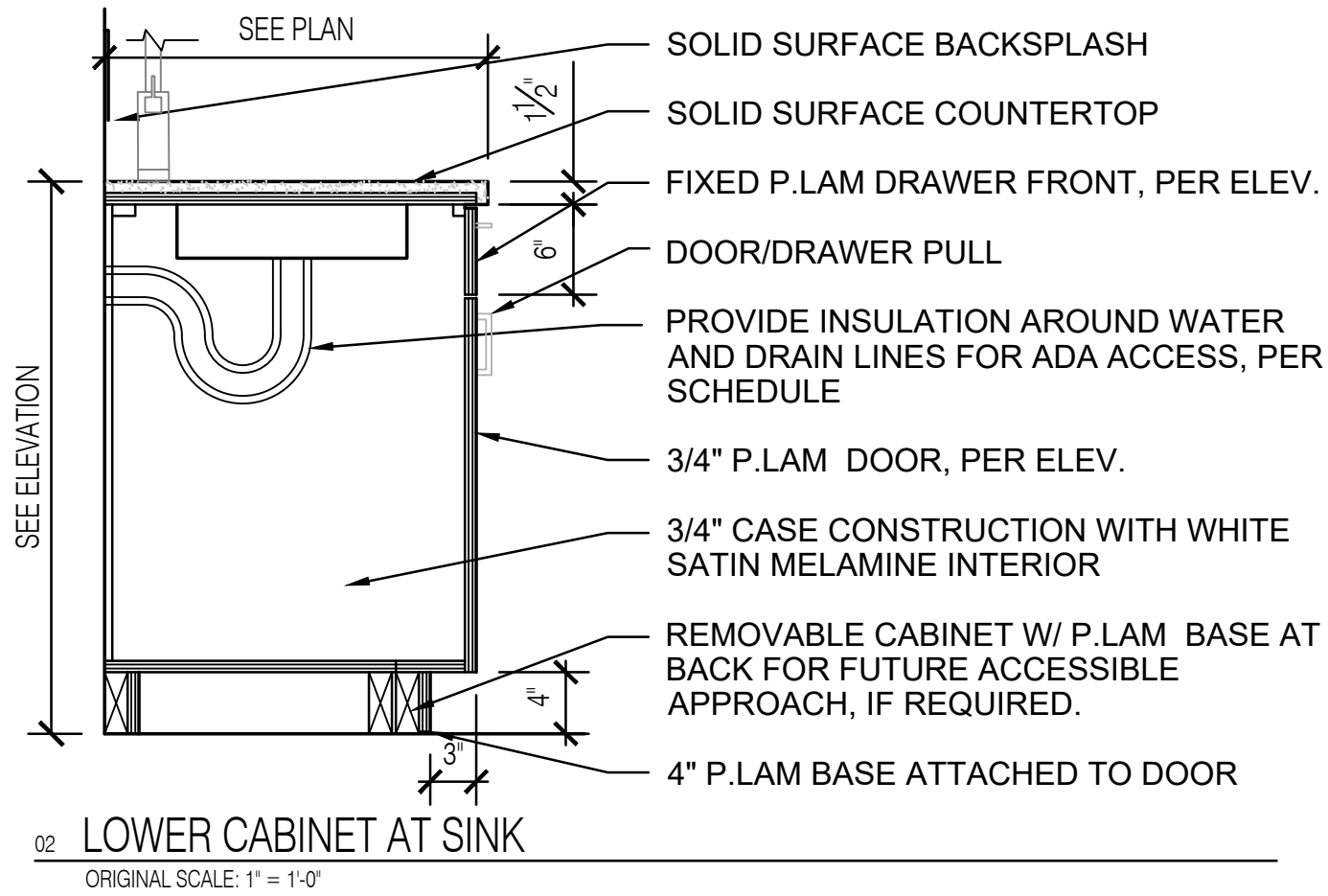
NOTE:

- COORDINATE BACKING PLATE LOCATION WITH ACCESSORY MANUFACTURER MOUNTING INSTRUCTIONS.
- SEE STRUCTURAL ENGINEER FOR BLOCKING FRAMING FOR HEAVIER LOADING.
- PROVIDE BACKING AT ITEMS SUCH AS SHELVING, MILLWORK, RESTROOM FIXTURES, HANDRAILS, GRAB BARS, SIGNAGE AND TOILET ACCESSORY ANCHORAGES, ETC. AS REQUIRED FOR PROPER ATTACHMENT AND AS REQUIRED BY THE G.C.

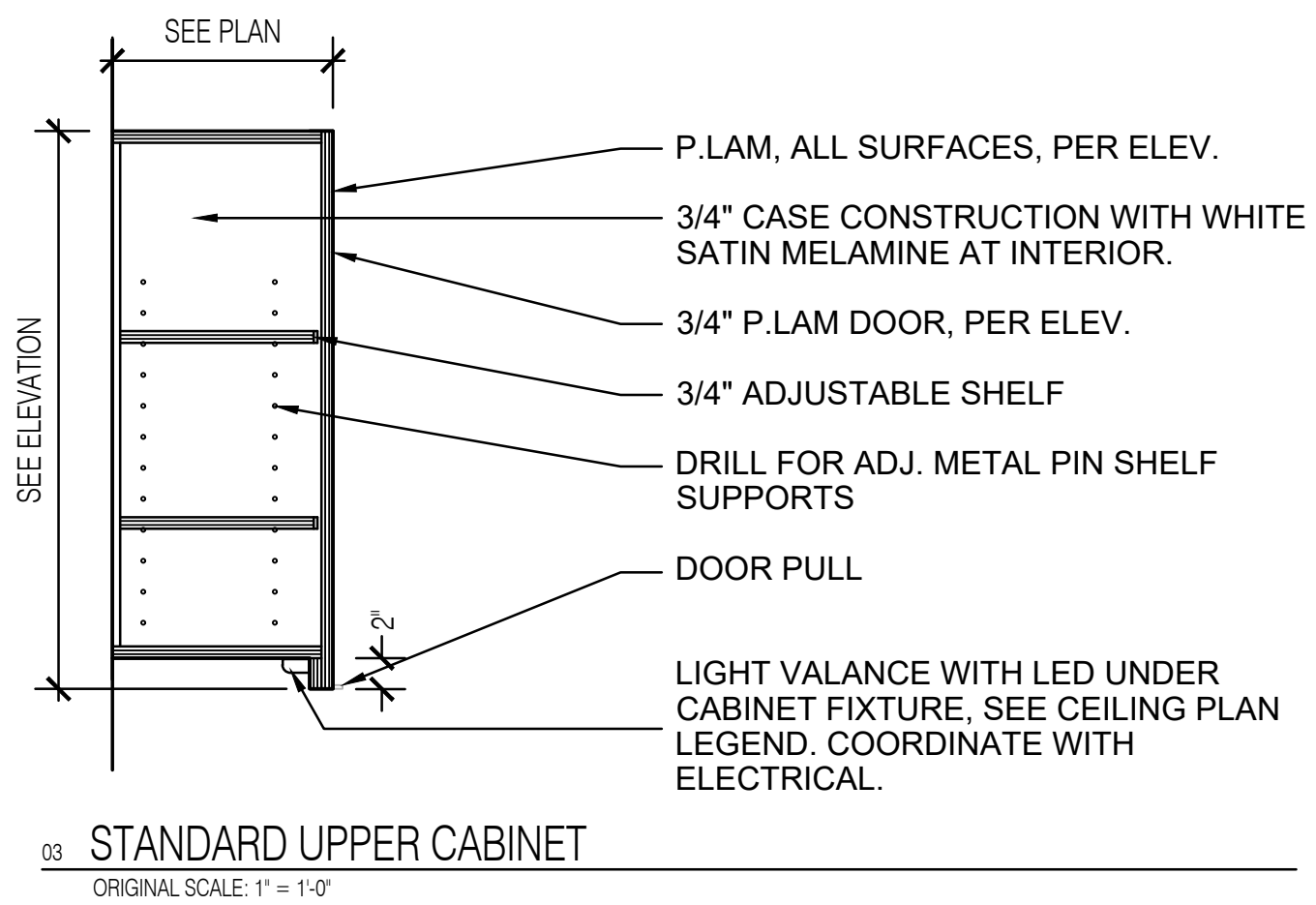
16 **TYPICAL BACKING PLATE DETAIL**
ORIGINAL SCALE: 3" = 1'-0"



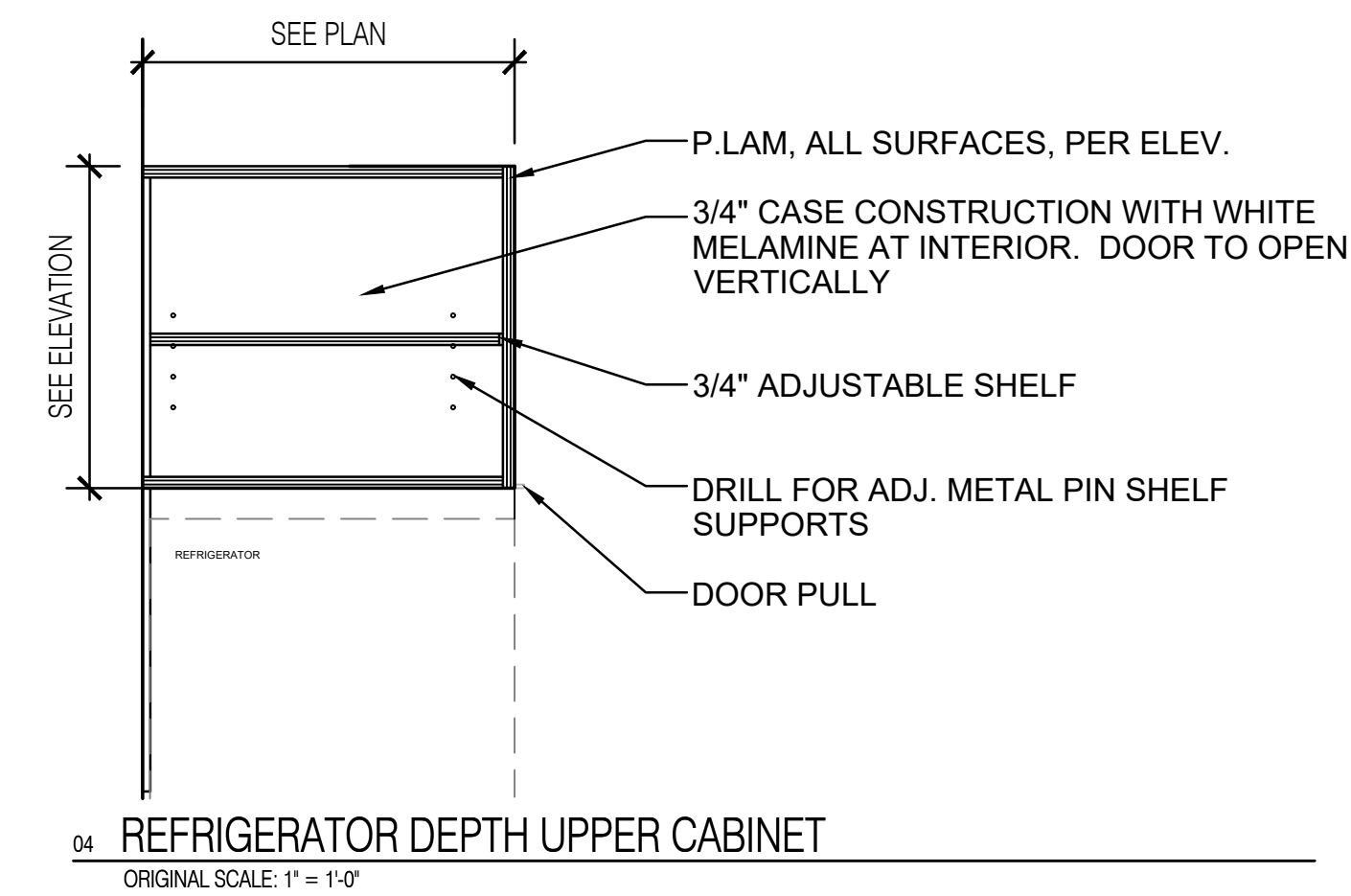
01 STANDARD LOWER CABINET
ORIGINAL SCALE: 1" = 1'-0"



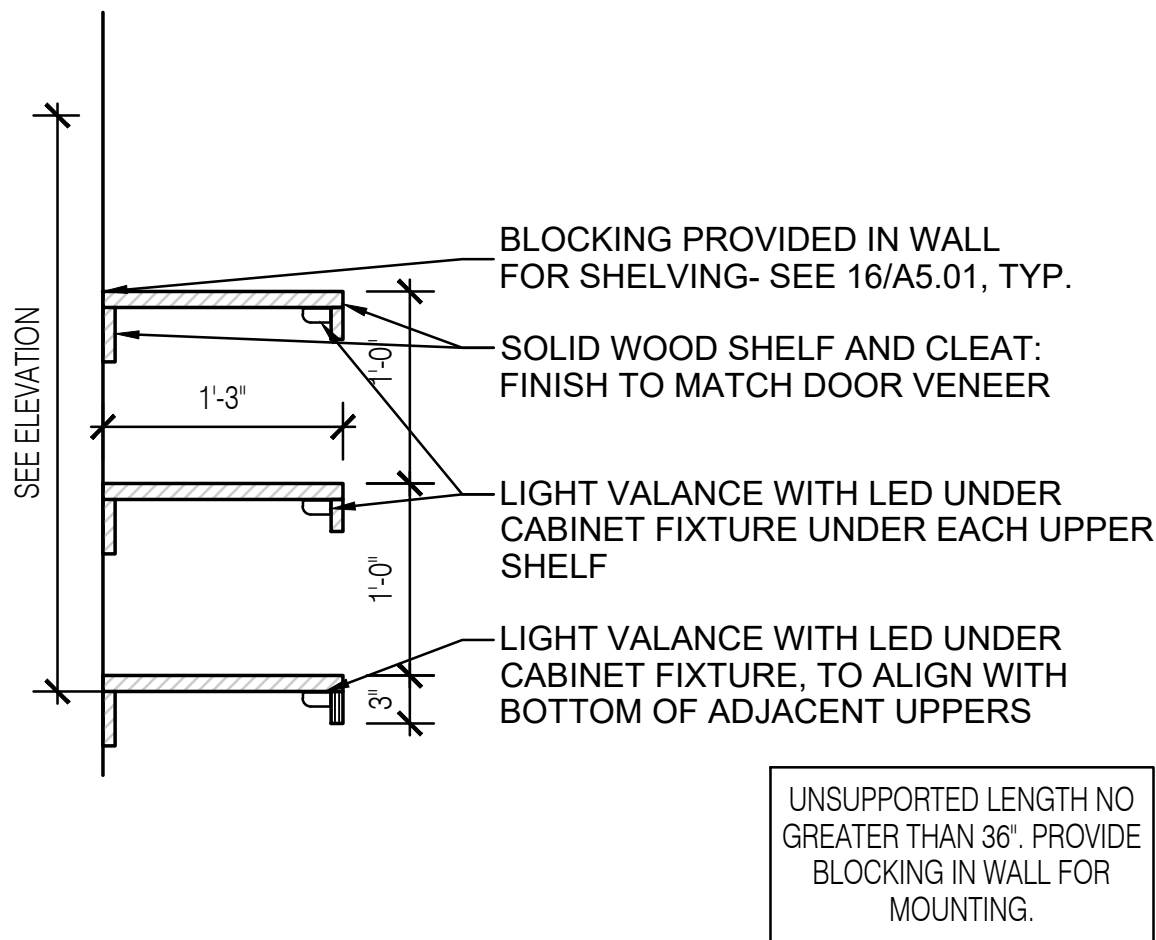
02 LOWER CABINET AT SINK
ORIGINAL SCALE: 1" = 1'-0"



03 STANDARD UPPER CABINET
ORIGINAL SCALE: 1" = 1'-0"

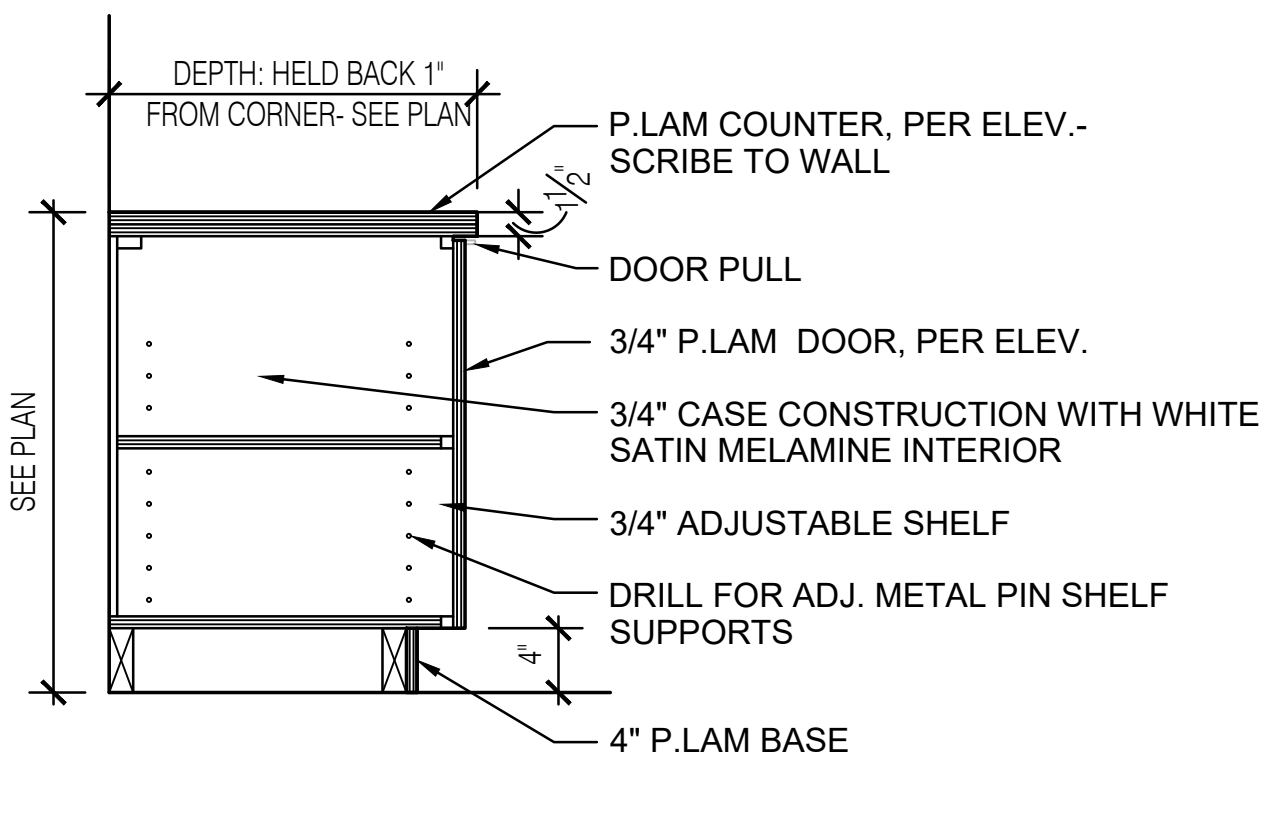


04 REFRIGERATOR DEPTH UPPER CABINET
ORIGINAL SCALE: 1" = 1'-0"



05 OPEN SHELVING
ORIGINAL SCALE: 1" = 1'-0"

UNSUPPORTED LENGTH NO GREATER THAN 36". PROVIDE BLOCKING IN WALL FOR MOUNTING.



06 BASE CABINET W/OUT DRAWER
ORIGINAL SCALE: 1" = 1'-0"

sum

DESIGN STUDIO
+ architecture

231 se 12th avenue
portland, oregon 97214
sumdesignstudio.com
503.715.5847 ph | fax

REGISTERED ARCHITECT
4449
GENE C. BOLANTE
SALEM, OREGON
STATE OF OREGON

HARSOH MANAGEMENT OFFICES
LINCOLN PLACE
1620 SW TAYLOR
PORTLAND, OR 97205

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PROJECT NUMBER: 18009

PLOT DATE: 190128

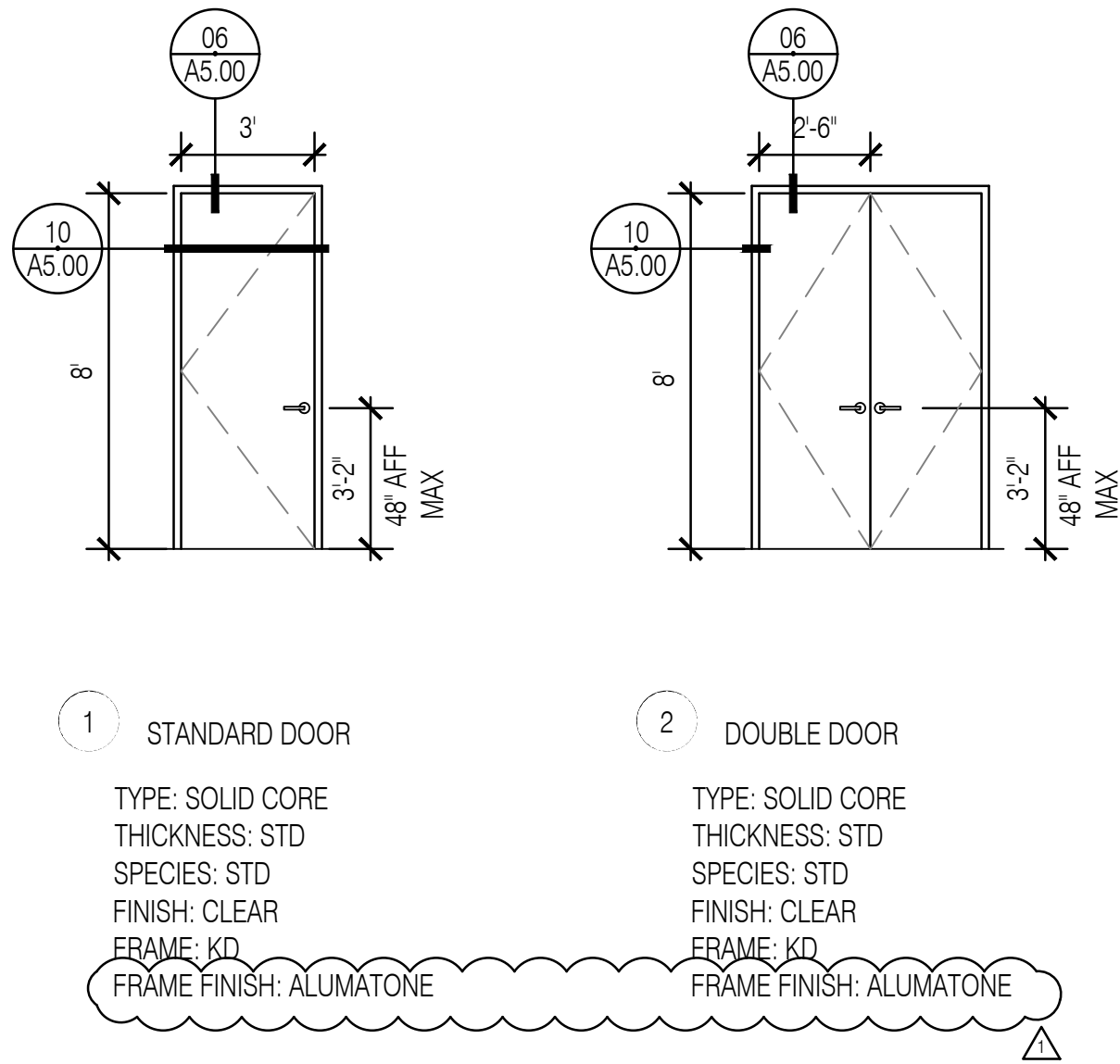
TEAM: CFE, ESH, HCB

REVISION LOG:

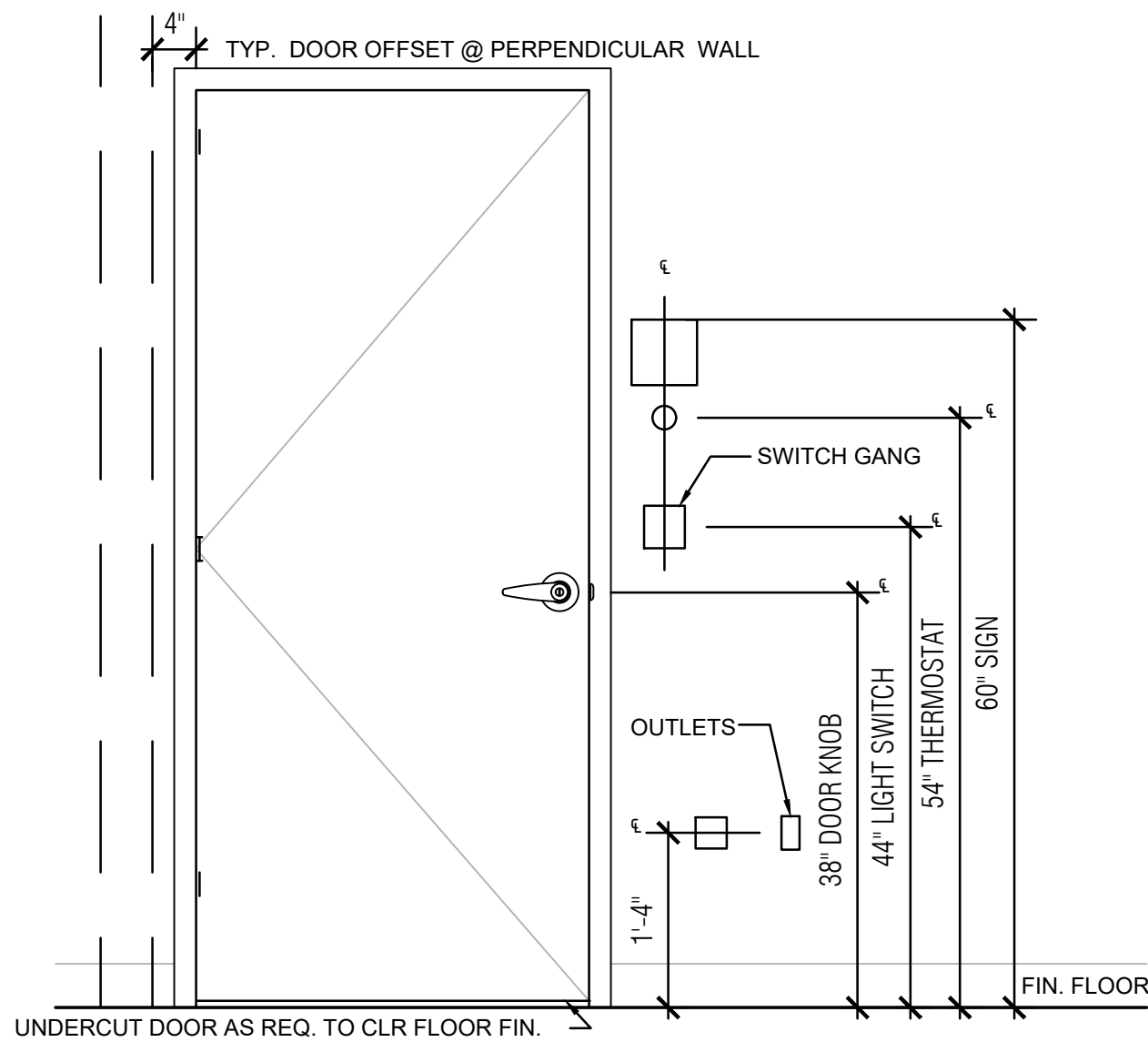
△	01/28/2019	REV1: CLIENT CHANGE REQUESTS

SHEET: CASEWORK & DETAILS

A5.02



01. DOOR TYPES
ORIGINAL SCALE: 1/4" = 1'-0"



02. STANDARD MOUNTING HEIGHTS
ORIGINAL SCALE: 3/4" = 1'-0"

DOOR SCHEDULE										
OPENING NUMBER	ROOM NAME	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	FRAME TYPE	FRAME FINISH	HARDWARE	REMARKS
325	ENTRY	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	ENTRY	①
327	CONFERENCE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PASSAGE	
329A	OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
329E	OFFICE	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTERIOR	①
330	OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
331	OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
332	OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
333A	OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
333E	OFFICE	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTERIOR	①
334A	OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
335A	OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
335E	OFFICE	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTERIOR	①
336A	EXTG OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
337A	EXTG OFFICE	1	3'-0"	8'-0"	WD	CLR	KD	FF	PRIVATE	
337E	EXTG OFFICE	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTERIOR	①
339A	BREAK ROOM	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	ENTRY	②
339E	BREAK ROOM	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTG	EXTERIOR	
340	IT CLOSET	2	(PAIR) 2'-6"	8'-0"	WD	CLR	KD	FF	PRIVATE	

HARDWARE GROUPS								
GROUP	LEVER/LATCH SET	FINISH	LOCK	DEADBOLT	OCCUPANCY INDICATOR	CLOSER	DOOR STOP	SILENCERS
PASSAGE	SCHLAGE ND SERIES - ATHENS	626 SATIN CHROME	N	N	N	N	Y	Y
PRIVATE	SCHLAGE ND SERIES - ATHENS	626 SATIN CHROME	Y	N	N	N	Y	Y
ENTRY	EXTG	EXTG	Y	Y	N	Y	Y	Y
EXTERIOR	EXTG	EXTG	Y	Y	N	Y	Y	Y

GENERAL NOTES

FRAMES: KD FINISH: TBD

(E) EXISTING
WD SOLID CORE 1 3/4" THICK WOOD DOOR
GL SOLID CORE 1 3/4" THICK WOOD WITH RELITE
STL 1 3/4" STEEL DOOR - FIRE RATED
M-EXTG MATCH EXISTING DOOR
HM HOLLOW METAL DOOR
TME TO MATCH EXISTING
FF FACTORY FINISH

PT PAINTED
ST STAINED CLEAR
KD KNOCK DOWN
STD BUILDING STANDARD
WMF WELDED METAL FRAME - PROFILE TO MATCH EXISTING IN SPACE
GL GLASS
TH TOP HUNG
MTL METAL DOOR EXTERIOR
MFR MANUFACTURER'S MATERIAL

DOOR SCHEDULE NOTES

- ① (E) DOOR TO REMAIN. ENSURE WORKING ORDER. ALL (E) LOCK SETS TO BE REPLACED WITH (N) LOCK SET AND KEY.
② (E) DOOR TO BE RELOCATED - (N) LOCATION NOTED ON A1.01

PLUMBING FIXTURE SCHEDULE					
TAG	MANUFACTURER	SERIES	PRODUCT NUMBER	FINISH / COLOR	NOTES
KITCHEN UNDERMOUNT SINK	AMERICAN STANDARD	PORTSMOUTH COLLECTION	185B 9231800S.075	STAINLESS STEEL	
KITCHEN FAUCET	AMERICAN STANDARD	COLONY PRO COLLECTION	7074.300.075	STAINLESS STEEL	

EQUIPMENT SCHEDULE					
TAG	MANUFACTURER	SERIES	PRODUCT NUMBER	FINISH / COLOR	NOTES
CABINET PULLS	MOCKETT	DP3 SERIES	DP3B	SATIN CHROME	CENTER PULLS IN DOORS AND DRAWERS TYP. U.N.O.

APPLIANCE SCHEDULE					
TAG	MANUFACTURER	SERIES	PRODUCT NUMBER	FINISH / COLOR	NOTES
REFRIGERATOR	TBD	TBD	TBD	STAINLESS STEEL	TENANT FURNISHED, CONTRACTOR INSTALLED
DISHWASHER	SUMMIT	N/A	DW2433S2ADA	STAINLESS STEEL	CONTRACTOR SUPPLIED, CONTRACTOR INSTALLED



HARSCH MANAGEMENT OFFICES
LINCOLN PLACE
1620 SW TAYLOR
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SHEET:
DOOR SCHEDULE

