

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20215	Project Address: 4415 N Montana Avenue
Hearing Date: 4/10/19	Appellant Name: John Kim
Case No.: B-013	Appellant Phone: (703) 867-3007
Appeal Type: Building	Plans Examiner/Inspector: Connie
Project Type: residential	Stories: 2 Occupancy: DUPLEX Construction Type: SFR
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure, other: property line adjustment	LUR or Permit Application No.: 17-245796-RS
Plan Submitted Option: pdf [File 1]	Proposed use: duplex

APPEAL INFORMATION SHEET

Appeal item 1

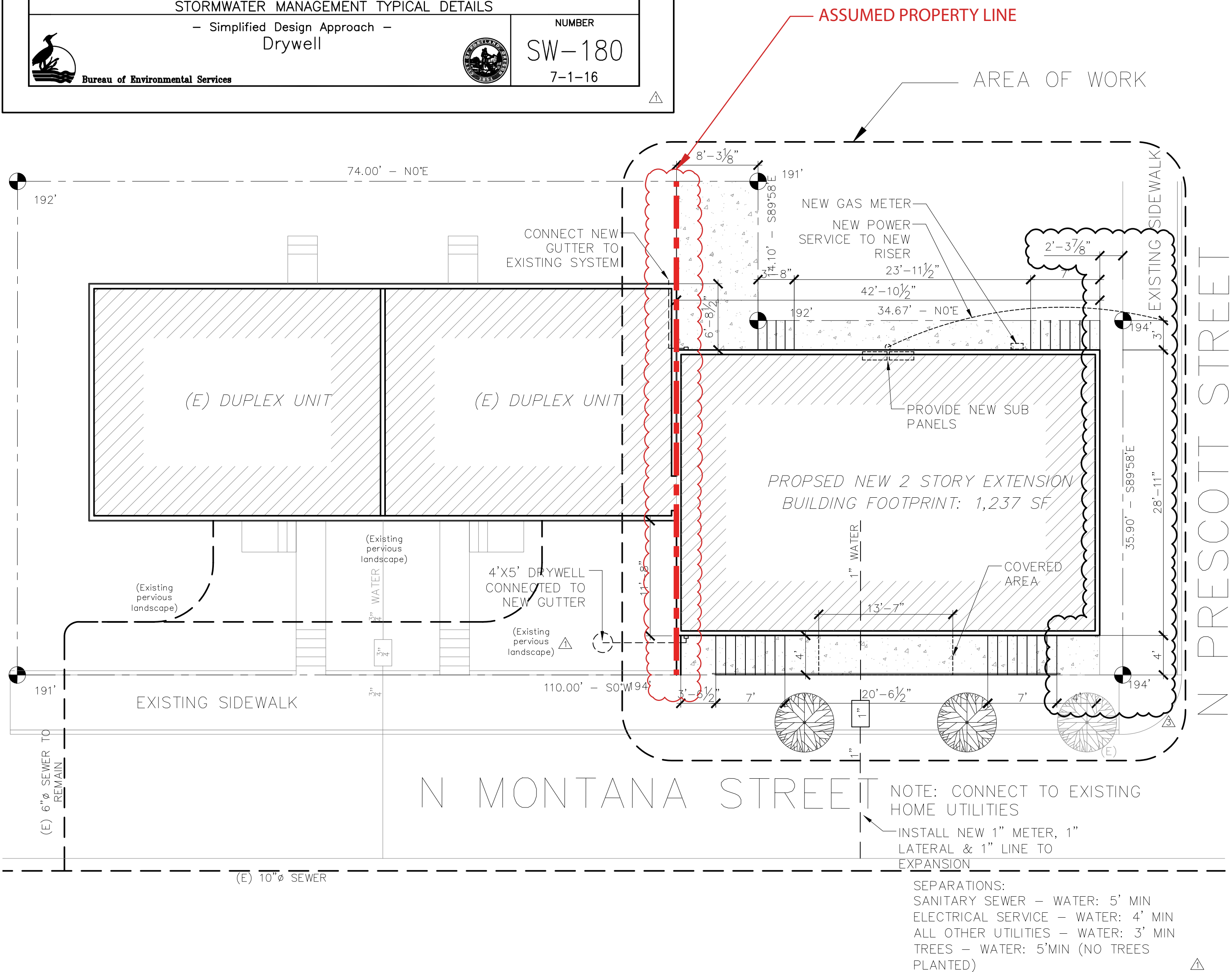
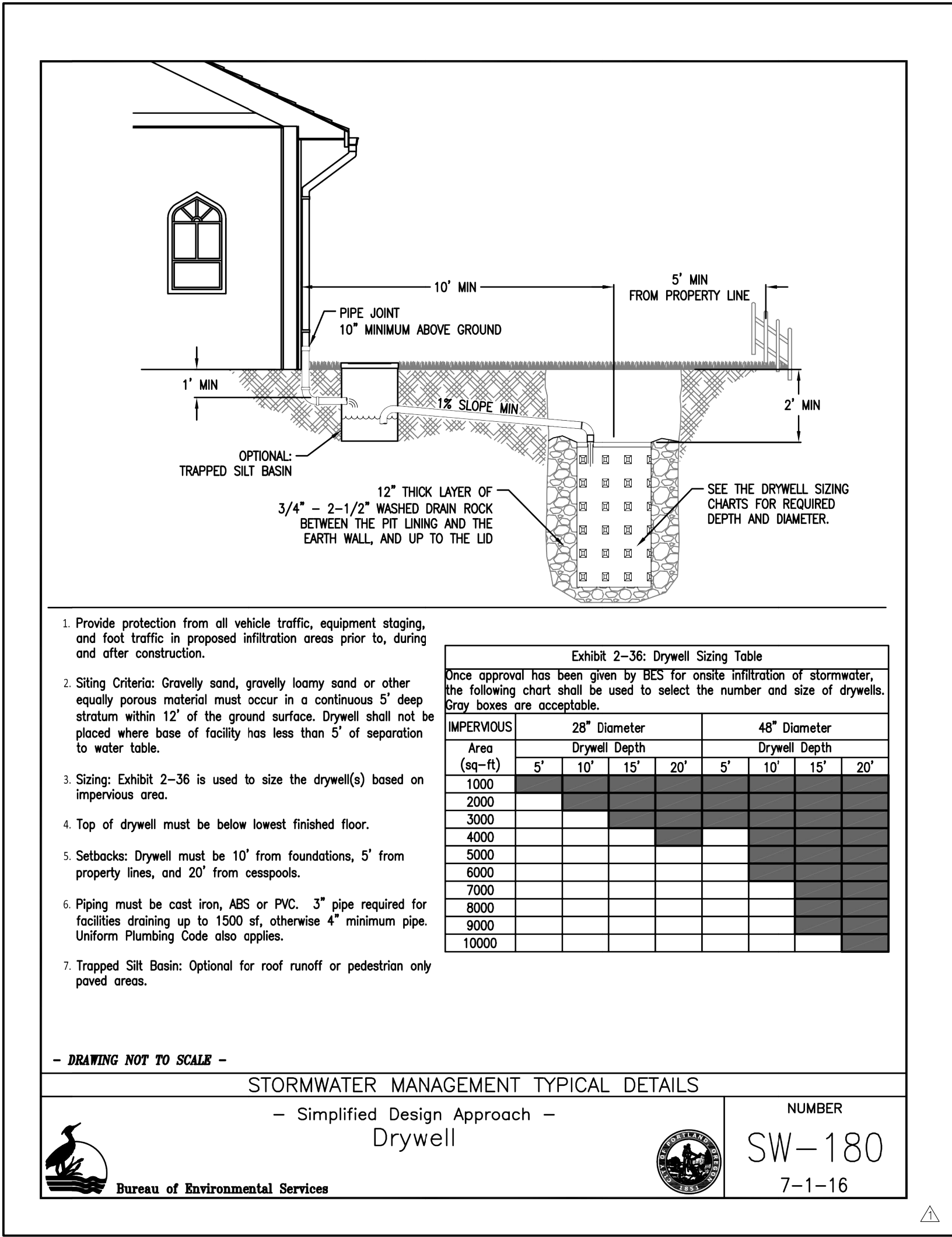
Code Section	Table R302.1
Requires	Fire resistance of walls within 3' of property line must have min 1 hr fire resistance rating.
Proposed Design	Creating a modified 2 hour wall to create fire separation to meet the requirements to create separate duplex on single property. Reference based on B/Figure R302.2.10
Reason for alternative	Conditions of the existing structure would require this separation to provide adequate code compliant fire resistance for safety and occupancy. This will create a new duplex from existing addition for total of 2 duplexes on single site.

APPEAL DECISION

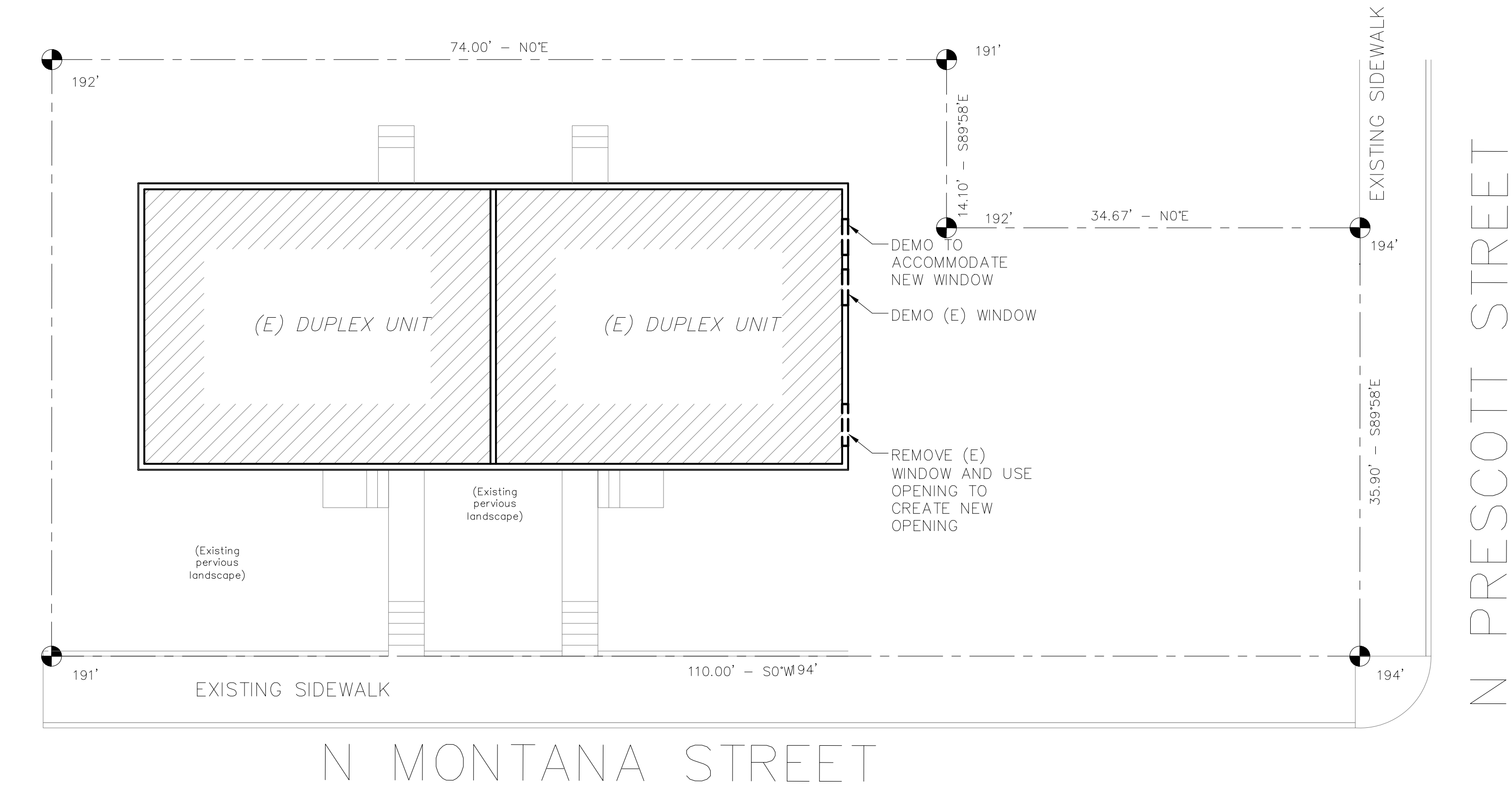
Modified 2 hour wall separation between 2 duplexes on the same property: Denied. Proposal does not provide equivalent Life Safety protection.

Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



1 SITE PLAN
A1.0 scale: 1/8" = 1'-0"



2 DEMO PLAN
A1.0 scale: 1/8" = 1'-0"

GENERAL NOTES

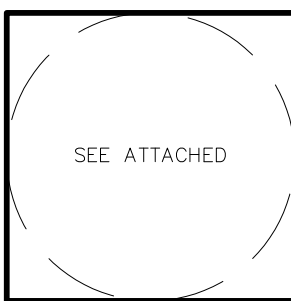
1. ADDITION NOT TO BE USED AS ASSISTED LIVING FACILITY

TAX LOT ID: R223435
STATE ID: 1N1E22CB 4000
COUNTY: MULTNOMAH
YEAR BUILT: 1951
DESCRIPTION: DUPLEX
ADDRESS: 4403-4415 NORTH MONTANA AVENUE
PORTLAND, OREGON 97217
NEIGHBORHOOD: OVERLOOK
ZONING: EX - CENTRAL EMPLOYMENT
SETBACK: ZERO
LAND TYPE: RESIDENTIAL LAND
LAND SQFT: 5,000 SQFT (0.11 ACRES)
BLDG FOOTPRINT: 1,440 SQFT
ELEVATION: APPROX. 196FT
JURISDICTION: PORTLAND/MULTNOMAH
USE: SINGLE FAMILY RESIDENTIAL

APPLICANT:
CONSTRUCT
DESIGN
COLLABORATIVE
12640 NW BARNES ROAD
SUITE 5
PORTLAND, OR 97229
(503) 810-5674



ENGINEER:
SEE ATTACHED



CONTRACTOR:
SEE ATTACHED

REVISIONS:

DATE	DESCRIPTION
9/24/2017	PERMIT SET
11/15/2017	REVISION
2/15/2018	REVISION
5/18/2018	REVISION

PROJECT: KIM EXPANSION
4415 North Montana Avenue, Portland, Oregon, United States

CLIENT: John & Zion Kim
2130 North Kimpatrick Street
Portland, OR 97213
United States

OWNER: John & Zion Kim
2130 North Kimpatrick Street
Portland, OR 97213
United States

SHEET TITLE:
SITE PLAN

PROJECT/SHEET NO:

A1.0



2 CONNECTION AT EXISTING BUILDING
 Δ1.1 scale: 3/4" = 1'-0"

