

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20205	Project Address: 12 SE 14th Ave
Hearing Date: 4/10/19	Appellant Name: Kendra Shippy
Case No.: B-006	Appellant Phone: 503-931-8915
Appeal Type: Building	Plans Examiner/Inspector: Gail Knoll
Project Type: commercial	Stories: 2 Occupancy: B Construction Type: V-B
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure, occ Change from S to B	LUR or Permit Application No.: 19-124624-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Office

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1003

Requires Requires 7'-6" ceiling height except 7'-0" at hallways with projections allowed down to 6'-8".

Proposed Design We have an existing basement located underneath offices / business. The basement is currently classified as Storage. Per this permit, the occupancy is proposed as B and used as offices. The proposal also includes removing the rear interior stairs connecting the main floor to the basement but to have (1) entry at the front street facing facade. The basement has a ceiling height of 7'-1".

There are two existing beams which run N-S. One protrudes 7" and divides the waiting area from the break room creating a 6'-7" head height for the depth of the beam. The second protrudes 2" at the lobby and creates a 7'-0" head height for the depth of the beam.

The entrance to the basement office area has a finished ceiling height at 6'-10" with a beam that creates a 6'-8" head height dividing the lobby area and the entry.

Reason for alternative The entry door has a clear height of approximately 6'-8". Once inside the basement the only three moments where the ceiling is less than the typical 7'-1" ceiling height is at the two beams and at the front entry area.

The floor plan of the basement utilizes these protrusions as transitions of space from one area to the next. These transitions are at the waiting area to the break room where majority of the traffic will be the tenants and at the doors to interior offices from the hallway where the door head height is already lowered.

We feel that because of the floor planning and organization of uses within the basement these protrusions add to the architecture and inform the occupant visually of how a space is to be used and where guests are welcomed while also creating an open feel throughout.

APPEAL DECISION

Reduction in minimum required headroom to minimum of 6 feet 7 inches: Granted provided a permanently installed barrier with minimum 32 inch clear width doorway is provided below the beam between the Lobby and Waiting Room and provided the accessible toilet room door is located on the Waiting Room side.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

DRAWING KEYS

DRAWINGS

A1	BUILDING INFO. GENERAL INFO. CODE SUMMARY SITE PLAN
A2	MAIN 4 BASEMENT FLOOR PLANS (AREA OF WORK)
A3	EXTERIOR BUILDING ELEVATIONS
A4	BUILDING SECTION
A5	MAIN 4 BASEMENT FRAMING PLANS
A6	MAIN 4 BASEMENT PLANS
ID1	BASEMENT FLOOR PLAN SCHEDULES
ID2	BASEMENT REFLECTED CEILING PLAN BASEMENT FLOORING PLAN LIGHTING & FLOORING SCHEDULES FIRST FLR. (N) OFFICE PLAN
ID3	BASEMENT INTERIOR ELEVATIONS
ID4	BASEMENT INTERIOR DETAILS
S10	GENERAL STRUCTURAL NOTES
S41	STRUCTURAL DETAILS

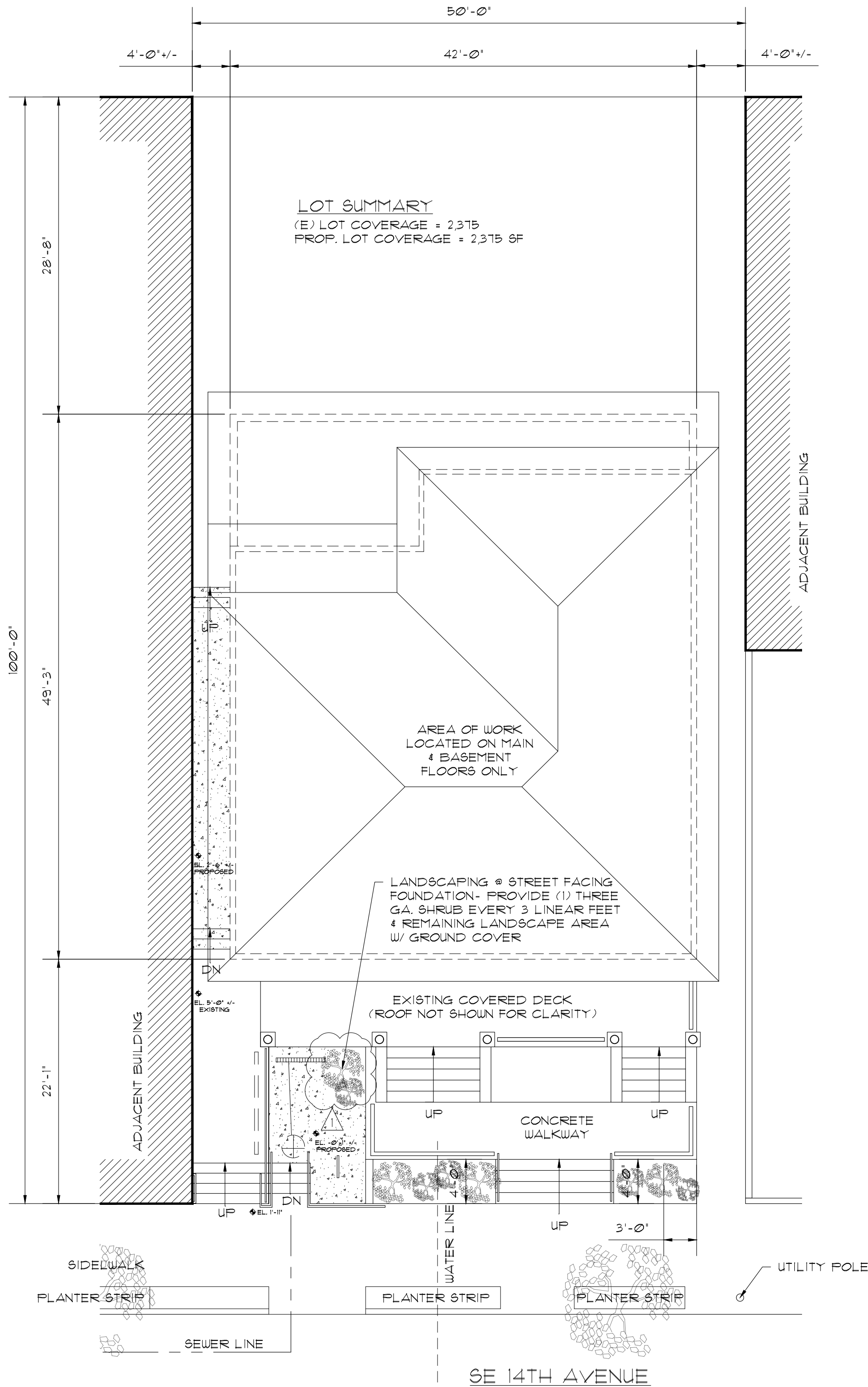
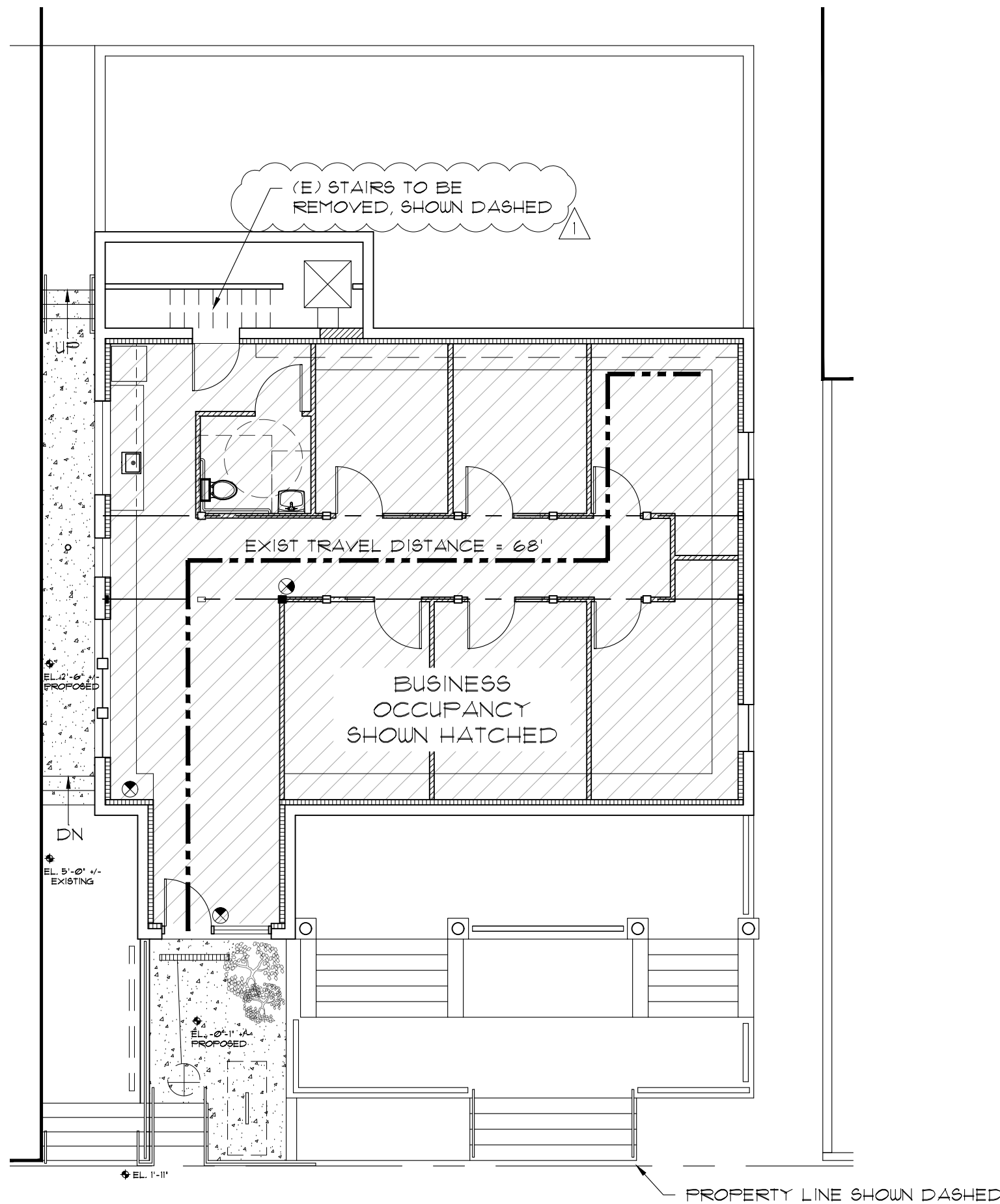
WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW STUD WALL - SEE SECTION A2, ID4 FOR REQUIREMENTS
	EXIST. CONC. FND. WALL, 1" FURRING SPACE, 2x4 STUDS @ 24" O.C., R-15 BATT INSUL., 3" INSULATION

INSULATION REQUIREMENTS

MINIMUM INSULATION REQ. (2010 OR ENERGY EFFICIENCY SPECIALTY CODE)

DOORS:	U=0.10
WINDOWS:	U=0.46
EXTERIOR WALLS (MASS):	R-11.4 CONT. INSUL.
INSUL. BTJN JOISTS:	R-38

1 SITE PLAN
A1

ACCESSIBLE UPGRADE SUMMARY

PROJECT VALUATION = \$40,000
\$40,000 x 25% = \$10,000 ACCESSIBLE UPGRADE BUDGET
MODIFY EXIST. MAIN FLOOR TOILET ROOM FOR ACCESSIBILITY
\$12,000, OR 28% OF PROJECT - ACCESSIBLE RAMP TO MAIN
FLOOR INSTALLED PER PERMIT 18-241723-CO

GENERAL STAIR NOTES

- MAXIMUM RISER HEIGHT = 1"
- MINIMUM TREAD LENGTH = 11"
- MAX. VARIATION BTJN ANY TWO STEPS IN STAIR = 3/8"
- HANDRAILS @ 36" ABOVE NOSING EA. SIDE - EXTEND 12" ABOVE TOP RISER AND 23" BEYOND BOTTOM RISER (1 1/2" O.D. PIPE)
- MIN. CLR. BTJN, HANDRAIL AND WALL/GRAIL = 1 1/2"
- GUARDRAILS NOT REQ'D AS NO CHANGES IN GRADE GREATER THAN 30". USE (3) PIPE RAIL AROUND LOWERED RATIO TO MATCH EXIST. PER ELEV.

PLUMBING SYSTEMS, CHAPTER 23					
OCCUPANCY	USE	WATER CLOSET	LAVATORIES		
		MALE	FEMALE	MALE	FEMALE
B	OFFICE	1 PER 25 (1ST 50), 1 PER 50 REMAINDER	1 PER 40 (1ST 80), 1 PER 80 REMAINDER		
TOTAL REQUIRED:		2	2		
EXISTING:		2	2		
PROPOSED:		3	3		

BUILDING INFORMATION

BUILDING ADDRESS:	12 SE 14TH AVENUE
PROPERTY ID:	R100105
STATE ID:	NIE35DC 1900
BASE ZONE:	CM2dm (MU-U) - COMMERCIAL MIXED USE 2
OVERLAY ZONES:	DESIGN, CENTERS MAIN STREET
COMP PLAN OVERLAY:	MIXED USE - URBAN CENTER
PROPOSED/EXISTING ZONING USE:	OFFICE
SITE AREA:	5,000 SF
LANDSCAPE AREA REQ'D:	TBD
ASSOCIATED BUSINESS:	--
YEAR BUILT:	1908
OWNER:	HAMSTER PROPERTIES LLC 921 SE 1TH AVE PORTLAND, OR 97214

PROJECT SCOPE SUMMARY

SCOPE OF PROJECT: MODIFY (E) RESTROOM AT FIRST FLOOR TO MEET ACCESSIBLE REQ'S. MODIFY OFFICE TO CREATE ONE ADDITIONAL OFFICE. CHANGE BASEMENT OCCUPANCY FROM 'S' TO 'B' FOR OFFICE USE.

PERMITS REQUIRED FROM THE BUREAU OF DEVELOPMENT SERVICES:
1. BUILDING

SEPARATE PERMITS REQUIRED FROM THE BUREAU OF DEVELOPMENT SERVICES:
1. MECHANICAL
2. ELECTRICAL
3. PLUMBING

BUILDING CODE SUMMARY

INFORMATION SHOWN ON THIS DRAWING IS BASED ON THE 2009 IBC 2014 EDITION. ANY INFORMATION NOT PROVIDED OR CLEARLY IDENTIFIED SHALL MEET OR EXCEED CURRENT CODE.

BUILDING SIZE:

BASEMENT:	1,342 SF	- B (PROPOSED)
FIRST FLOOR:	1,925 SF	- B
SECOND FLOOR:	1,955 SF	- B
TOTAL	5,222 SF	

CONSTRUCTION TYPE PER 2009 IBC CHAPTER 6:
TYPE VB - NON SPRINKLED

BUILDING ALLOWABLE HEIGHTS & AREAS PER 2009 IBC TABLE 502

HEIGHTS ALLOWED FOR B: 2 STORIES, 40'-0"
EXISTING HEIGHTS: 2 STORIES + 1 BELOW GRADE PLANE (35'-4")

AREA ALLOWED PER STORY (B OCCUPANCY): 9,000 SF
LARGEST FLOOR AREA IN BLDG. (B OCCUPANCY): 1,955 SF

REQUIRED FIRE RESISTIVE RATINGS PER TABLE 601: VB CONSTRUCTION

STRUCTURAL FRAME:	0HR5
EXTERIOR BEARING WALLS:	0HR5
INTERIOR BEARING WALLS:	0HR5
EXTERIOR NON BEARING WALLS:	0HR5
INTERIOR NON BEARING WALLS:	0HR5
FLOOR CONSTRUCTION:	0HR5
ROOF CONSTRUCTION:	0HR5

FIRE RESISTIVE RATINGS FOR EXTERIOR WALLS PER TABLE 602:

WALL	DISTANCE TO PROP. LINE	REQ'D FIRE RATING
NORTH	4'-0" +/-	1 HR
WEST	2'-1" +/-	0 HR
SOUTH	3'-8" +/-	1 HR5 (NOT WITHIN SCOPE OF WORK)
EAST	28'-8" +/-	0 HR5

EXISTING AND PROPOSED OCCUPANT LOADS

LOCATION	2004 OCCUPANCY	PROPOSED OCCUPANCY
BASEMENT:	S 1,342SF 100 = 13 OCC.	B OFFICE 932 SF 100 = 9 OCC. WAITING, BREAKRM, STORAGE 320 SF 15 = 21 OCC. 90 SF 300 = 1 OCC.
FIRST FLOOR:	B 2,075SF 100 = 20 OCC.	B OFFICE 1,925 SF 100 = 19 OCC.
SECOND FLOOR:	B 1,955SF 100 = 17 OCC.	B OFFICE 1,955 SF 100 = 20 OCC.
TOTAL:	5,167SF 50 OCC.	5,222 SF 70 OCC.

12 NE 14TH AVE SEISMIC UPGRADE CALCULATIONS (Based on 5,222sf building area)

FLOOR	OCCUPANCY	ROOM	AREA	OCCUPANT LOAD	PROPOSED OCCUPANCY	ROOM	PROPOSED OCCUPANT LOAD	AREA TO HIGHER HAZARD	HAZARD LEVEL % CHANGE
BASEMENT	S	UNFINISHED BASEMENT	1252SF	12	B	01 - 06	9	930 SF (GROSS)	17%
					B	WAITING, BREAKRM, HVAC/STORAGE	21	322 SF (NET)	0.06%
	S	HVAC/STORAGE	90SF	1	S		1	NONE	NONE
BASEMENT TOTALS:			1342SF	13			31	1252 SF	23%
FIRST	B	OFFICES 101-108	2,075SF (GROSS)	20	B	1,925SF (GROSS)	19	NONE	NONE
FIRST FLOOR TOTALS:			2,075SF	20			19	NONE	NONE
SECOND	B	OFFICES 201-206	1,955SF (GROSS)	19	NO CHANGE OF OCCUPANCY TO SECOND FLOOR				
SECOND FLOOR TOTALS:			1,955SF	19	NO CHANGE OF OCCUPANCY TO SECOND FLOOR				
THIRD	NONE - S	NO CHANGES TO THIRD FLOOR							

2 BASEMENT FLOOR PLAN
A1DMS
ARCHITECTS2325 NE 19TH AVE.
PORTLAND, OR 97212OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM

14TH STREET OFFICES

12 SE 14TH AVE
PORTLAND, OREGON 97214SHEET CONTENT
BUILDING INFO.
GENERAL INFO.
CODE SUMMARY
SITE PLAN

JOB No.

000016

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DMS,KLS | DMS

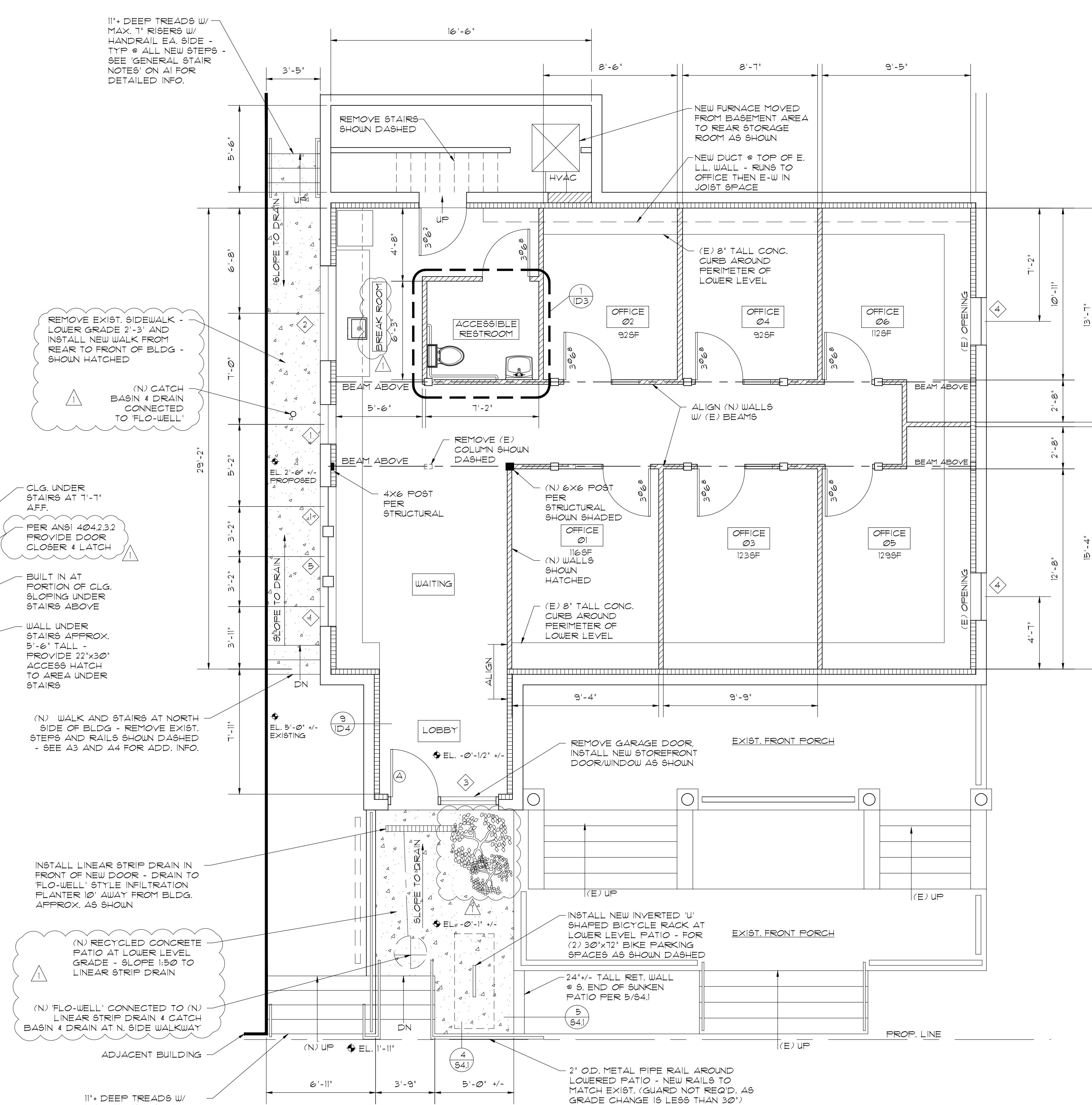
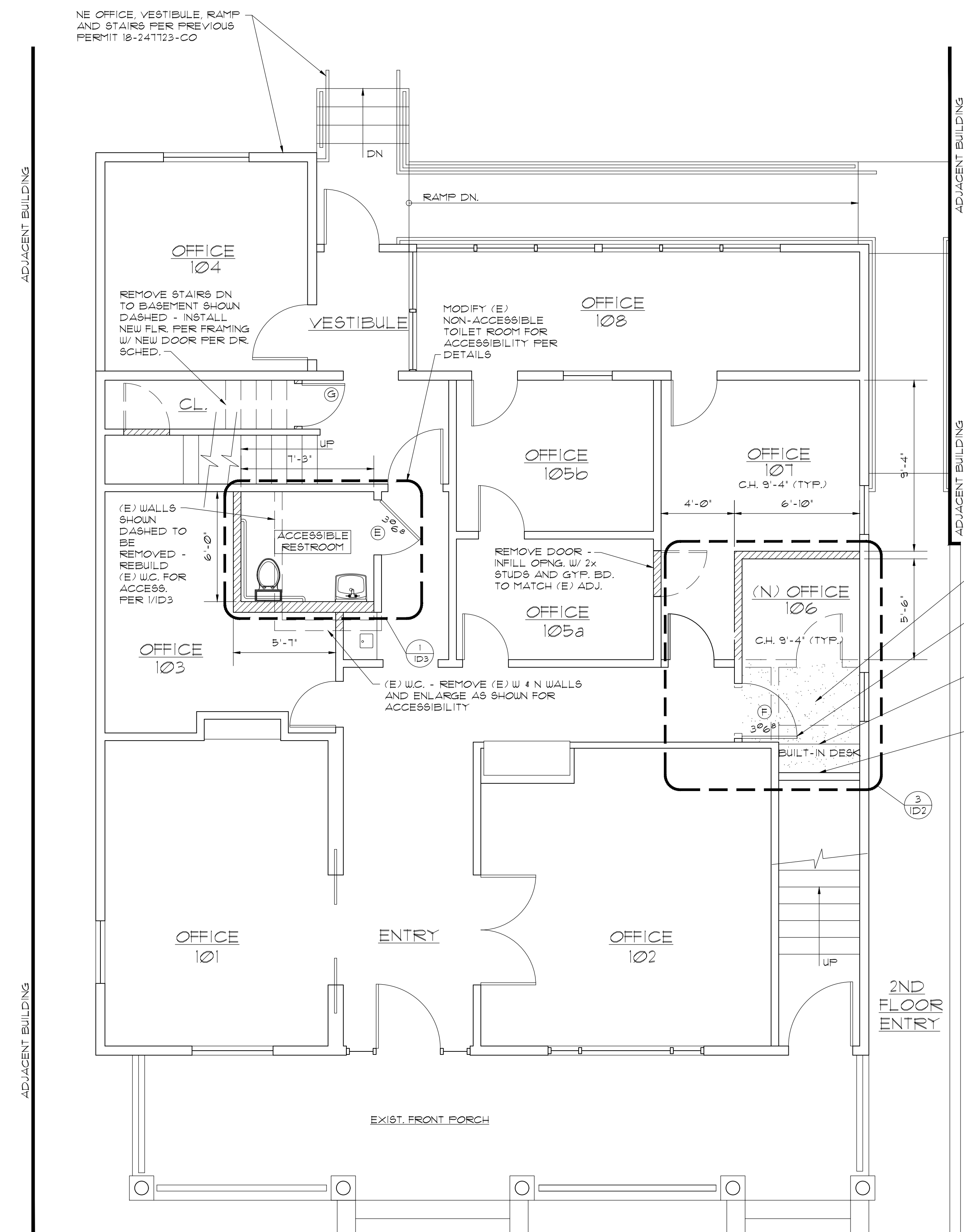
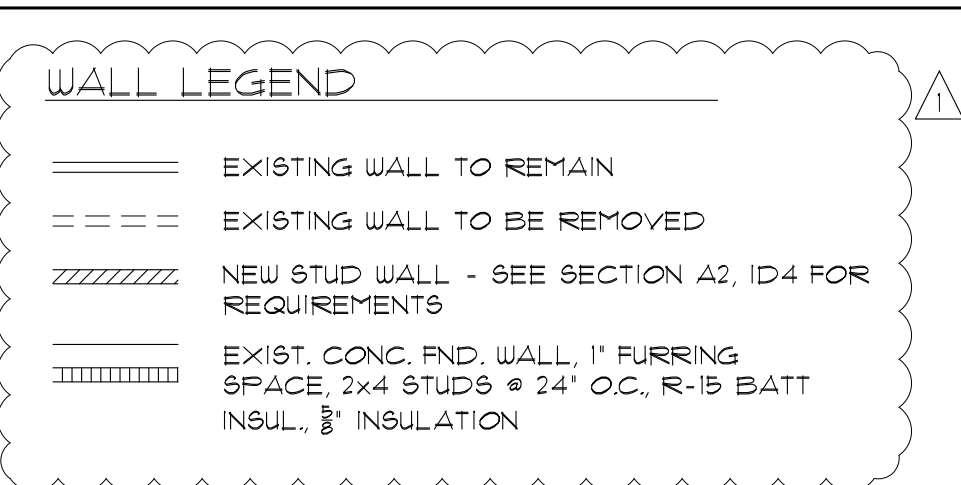
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REVISIONS

3.20.19

SHEET

A1 of 6



1 MAIN FLOOR PLAN
A2 SCOPE OF WORK MAIN FLOOR LIN

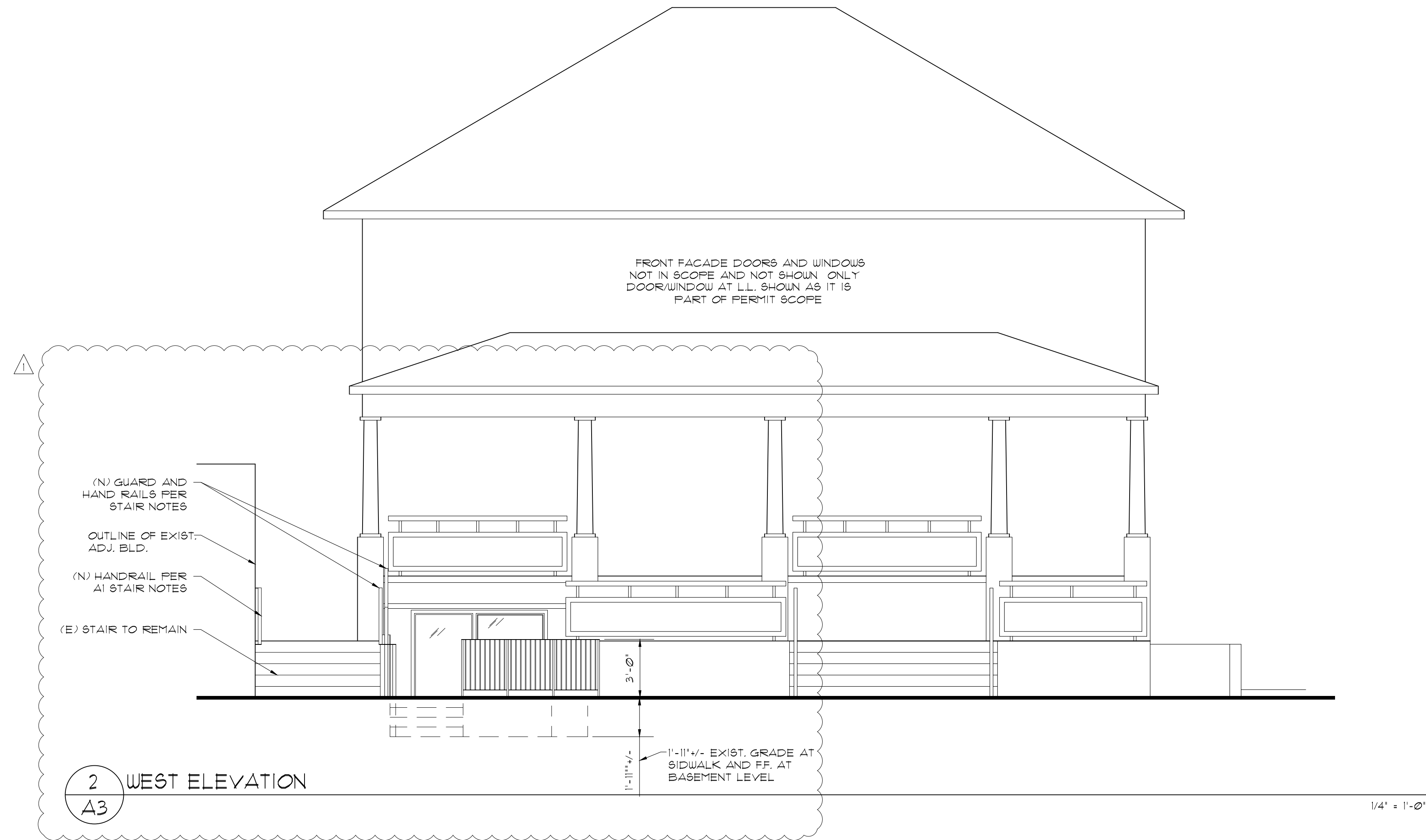
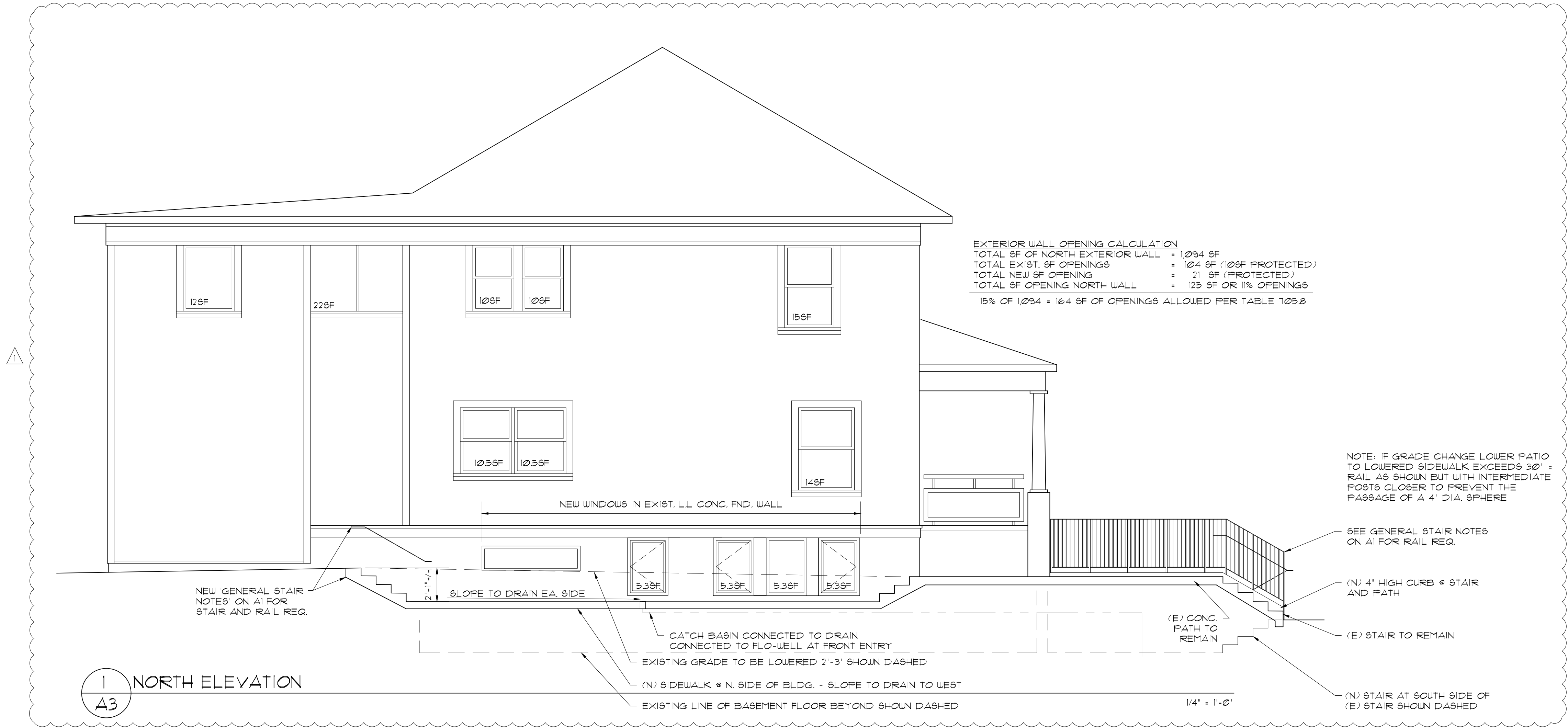
SCOPE OF WORK MAIN FLOOR LIMITED TO CREATING NEW OFFICE, MODIFYING EXISTING W.C. FOR ACCESSIBILITY AND REMOVING STAIRS TO LOWER LEVEL AND INFILLING FLOOR AT REMOVED STAIRS FOR CLOSET

$$1/4" = 1'-0"$$

 **2** **BASEMENT FLOOR PLAN**
A2 SCOPE OF WORK LOWER LEVEL: WORK INCL
OFFICES. THIS INCLUDES ADDING AN ACCE

SCOPE OF WORK LOWER LEVEL: WORK INCLUDES MODIFYING EXISTING BASEMENT AREA FOR NEW OFFICES. THIS INCLUDES ADOPTING AN ACCESSIBLE ROUTE TO REM FURRING ALONG EXTERIOR WALLS, CREATING NEW INTERIOR WALLS, ADDING WINDOWS AT NORTH ELEVATION, REMOVING DRIVEWAY AND GARAGE DOOR - INSTALL NEW ENTRY DOOR AND LOWER PATIO AT REMOVED DRIVEWAY AREA. SCOPE ALSO INCLUDES LOWERING GRADE AT NORTH OF BUILDING TO ALLOW DAYLIGHT WINDOWS ALONG NORTH WALL.

$$1/4" = 1'-0"$$



DMS
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14TH STREET OFFICES

12 SE 14TH AVE
PORTLAND, OREGON 97214

SHEET CONTENT
EXTERIOR ELEVATION
CROSS SECTION
ROOF FRAMING PLAN

JOB No.
000016

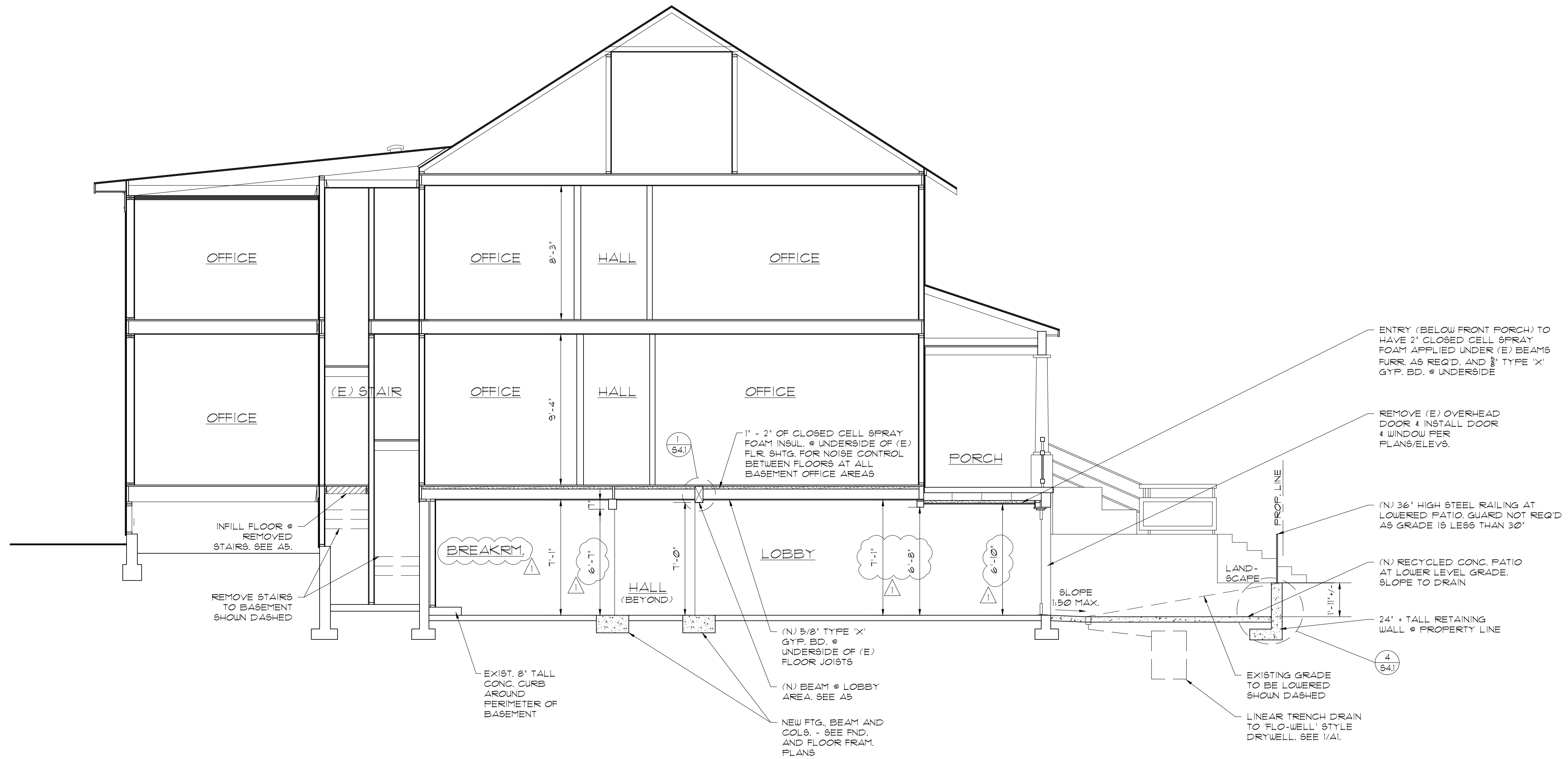
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SHEET
A3 OF 6



1 CROSS SECTION
A4

1/4" = 1'-0"



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SHEET CONTENT
BUILDING SECTION

JOB No.
000016

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DATE 2-22-19

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3.20.19

SHEET
A4 OF 6

14TH STREET OFFICES

12 SE 14TH AVE
PORTLAND, OREGON 97214

SHEET CONTENT
MAIN LEVEL FRAMIN PLAN
BASEMENT FRAMING PLAN

JOB No.
000016

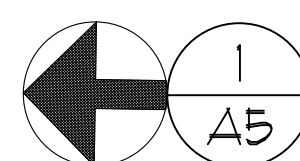
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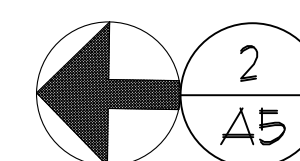
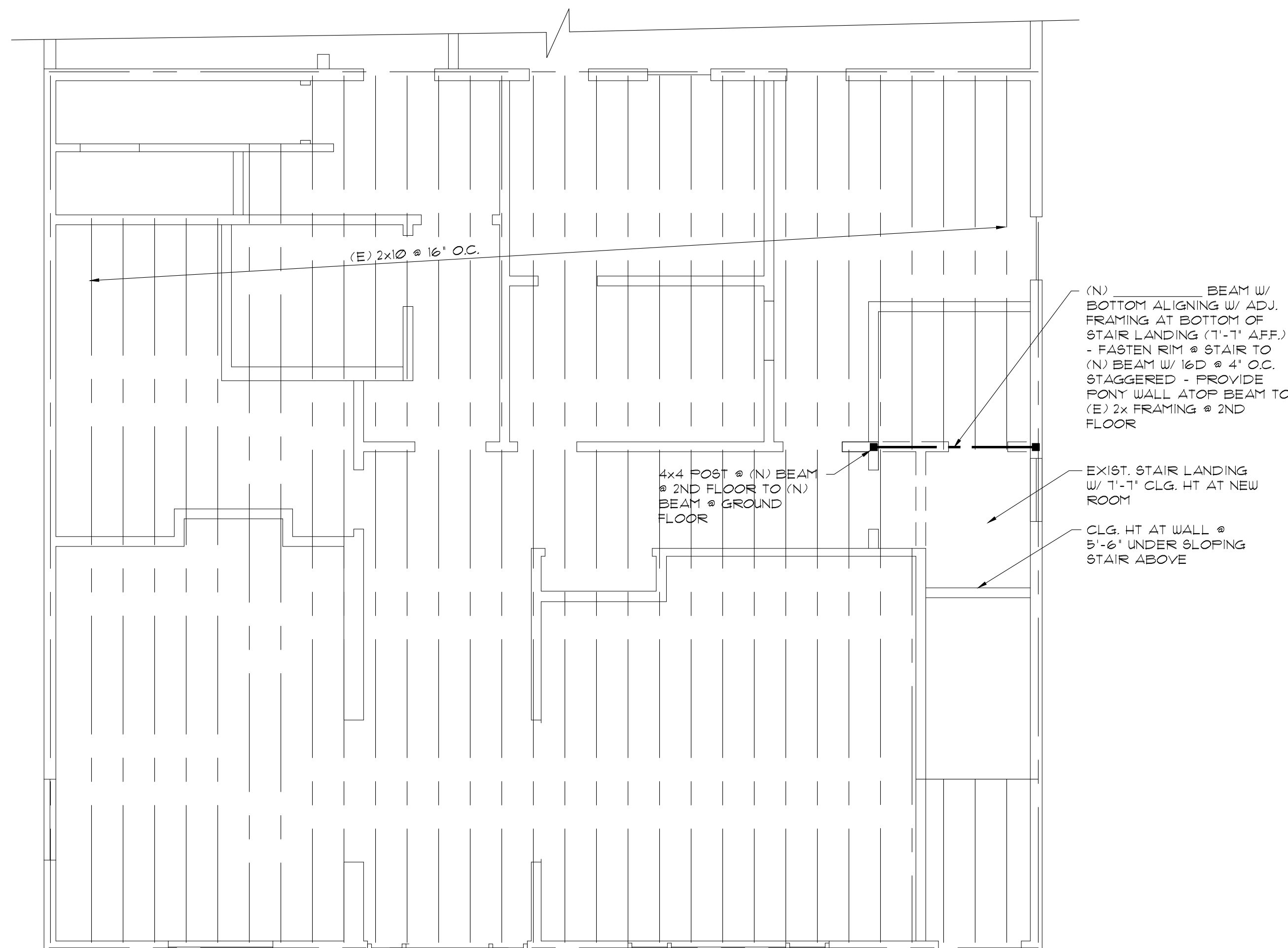
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A5 of 6



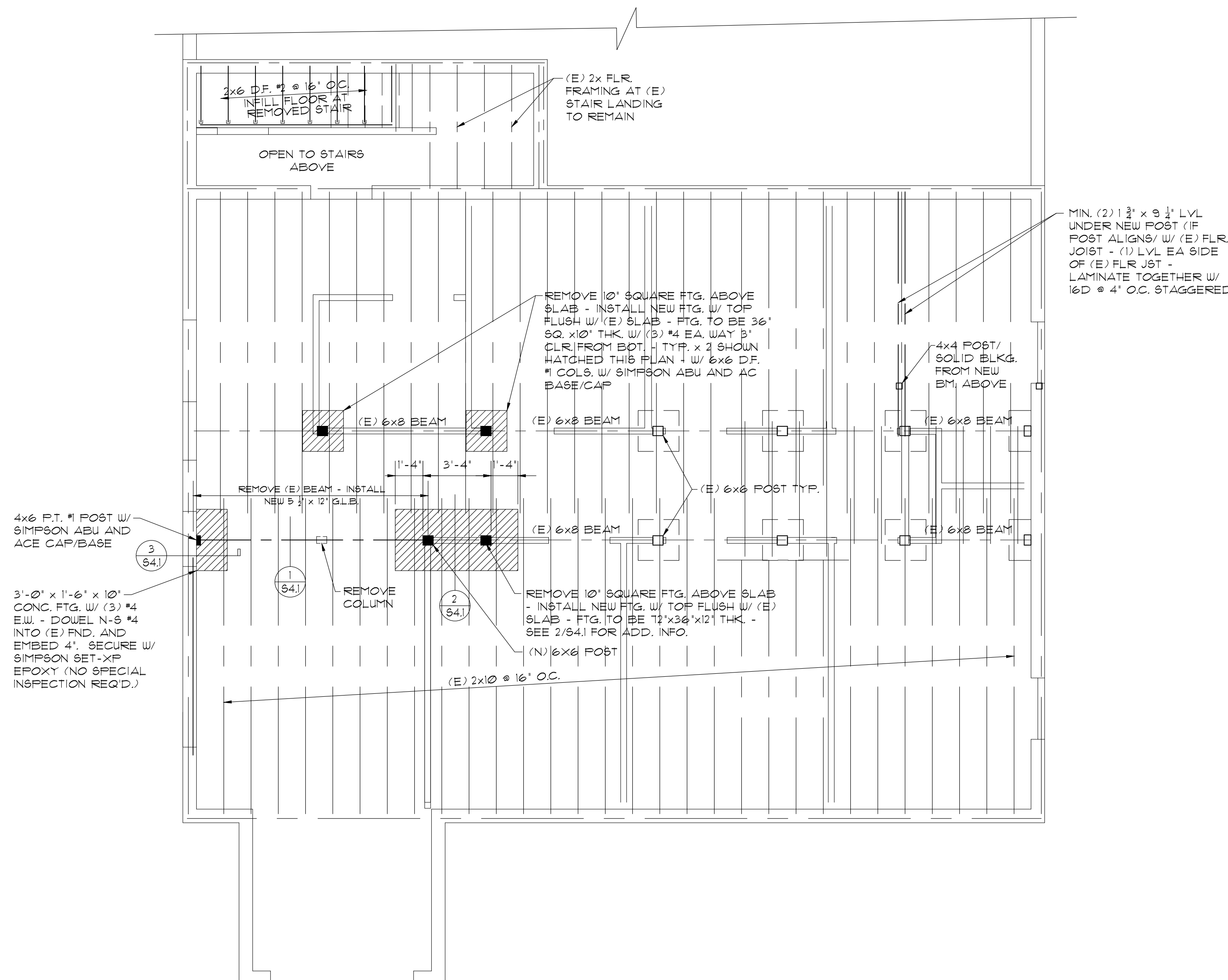
1 MAIN LEVEL FRAMING PLAN

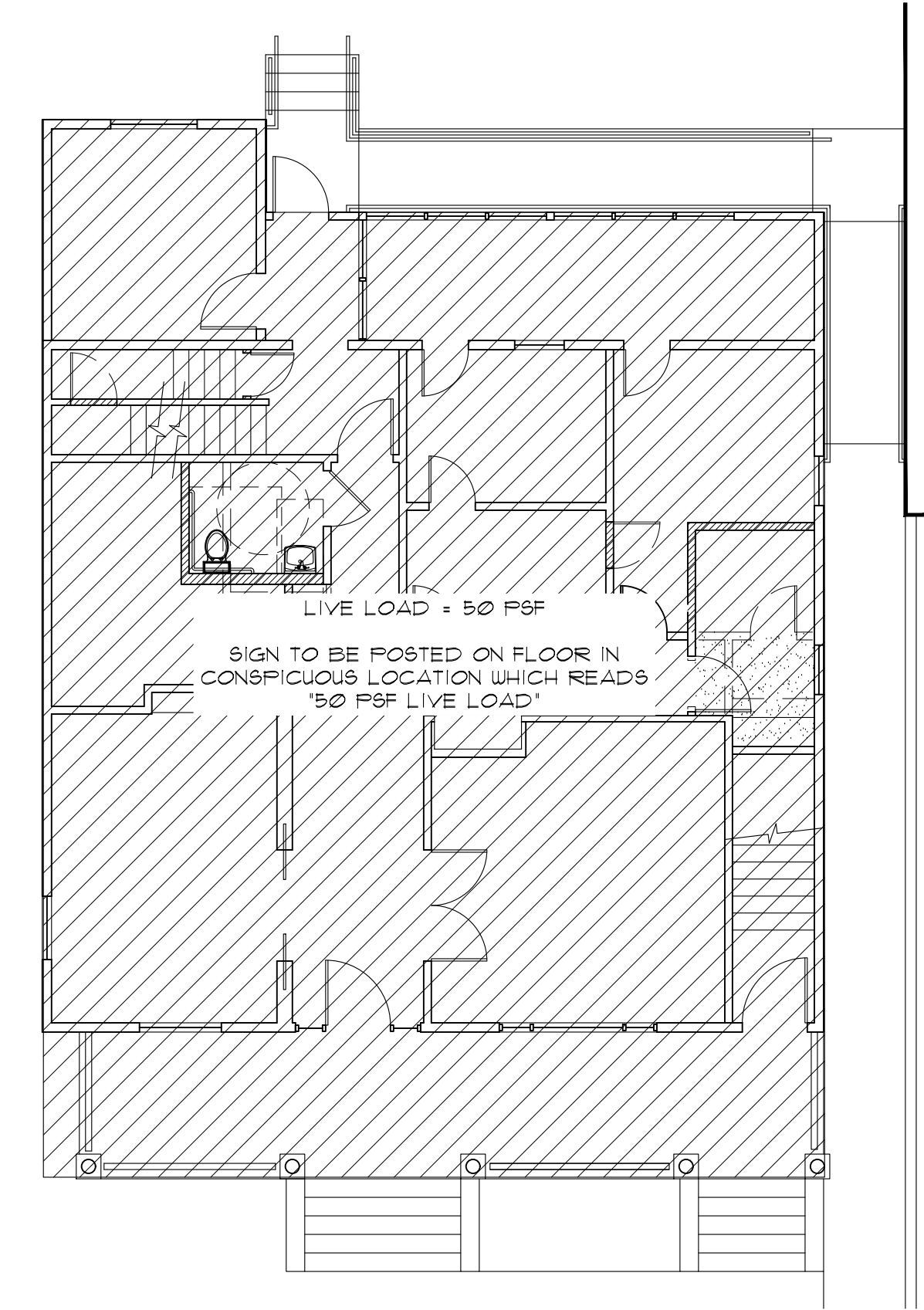
1/4" = 1'-0"



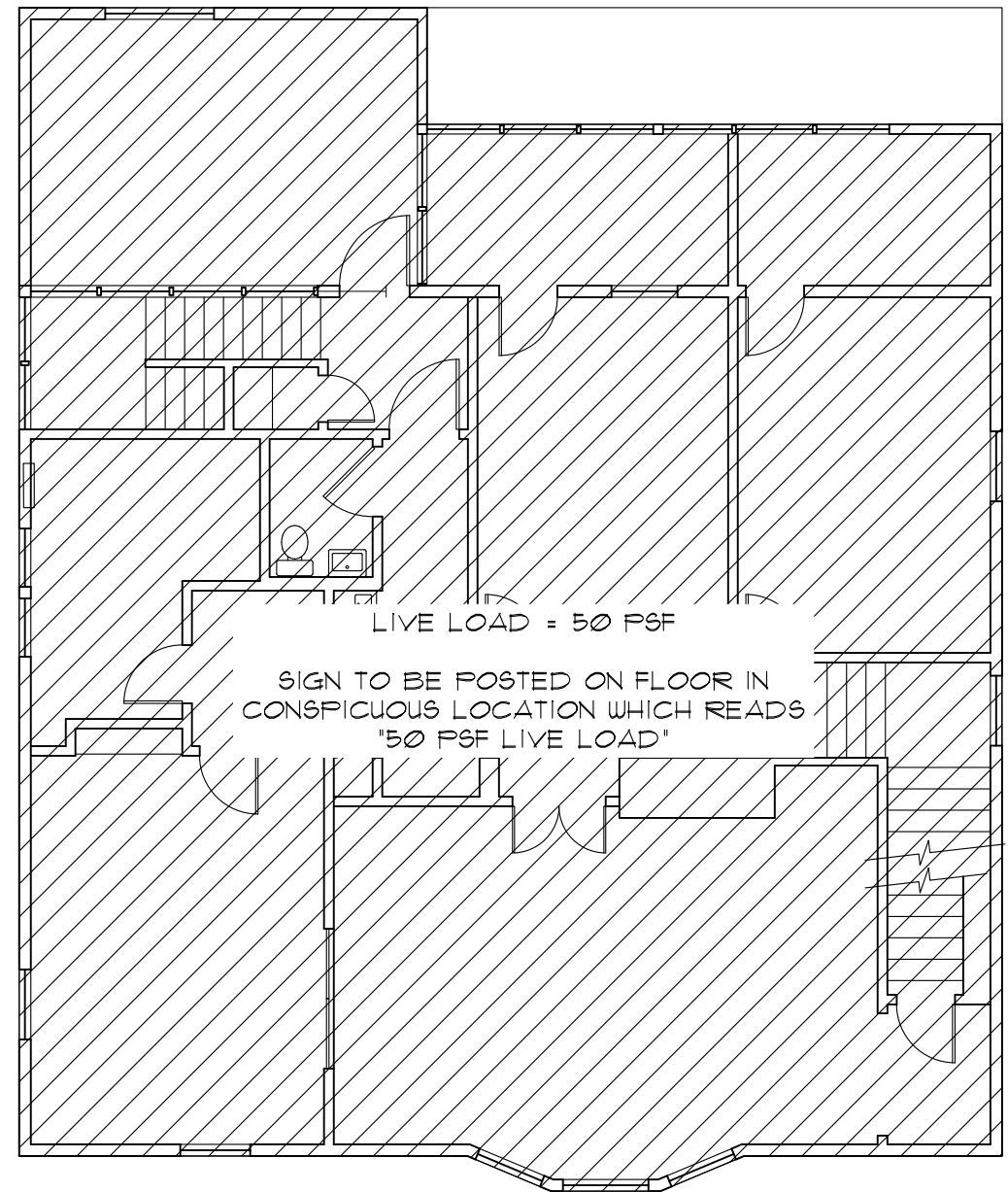
2 LOWER LEVEL FRAMING PLAN

1/4" = 1'-0"





1 MAIN FLOOR PLAN
A6
1/8" = 1'-0"

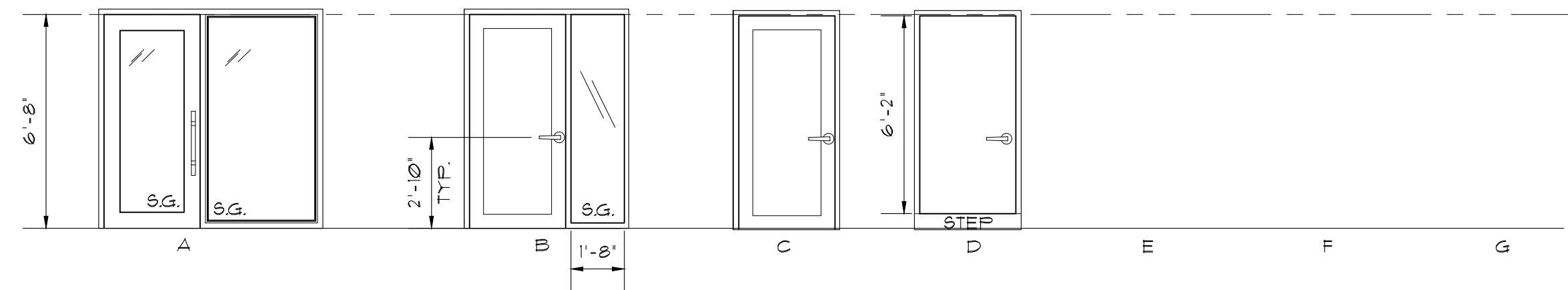


2 BASEMENT FLOOR PLAN
A6
1/8" = 1'-0"

2325 NE 19TH AVE. PORTLAND, OR 97212	
OFFICE 503 335 9040 DAVE@DMSARCHITECTS.COM	
14TH STREET OFFICES	
12 SE 14TH AVE PORTLAND, OREGON 97214	
SHEET CONTENT MAIN LEVEL PLAN BASEMENT PLAN	
JOB No. 000016	
DRAWN DMS,KLS	
CHECKED DMS	
DATE 3-22-19	
REVISIONS	
SHEET A6 of 6	

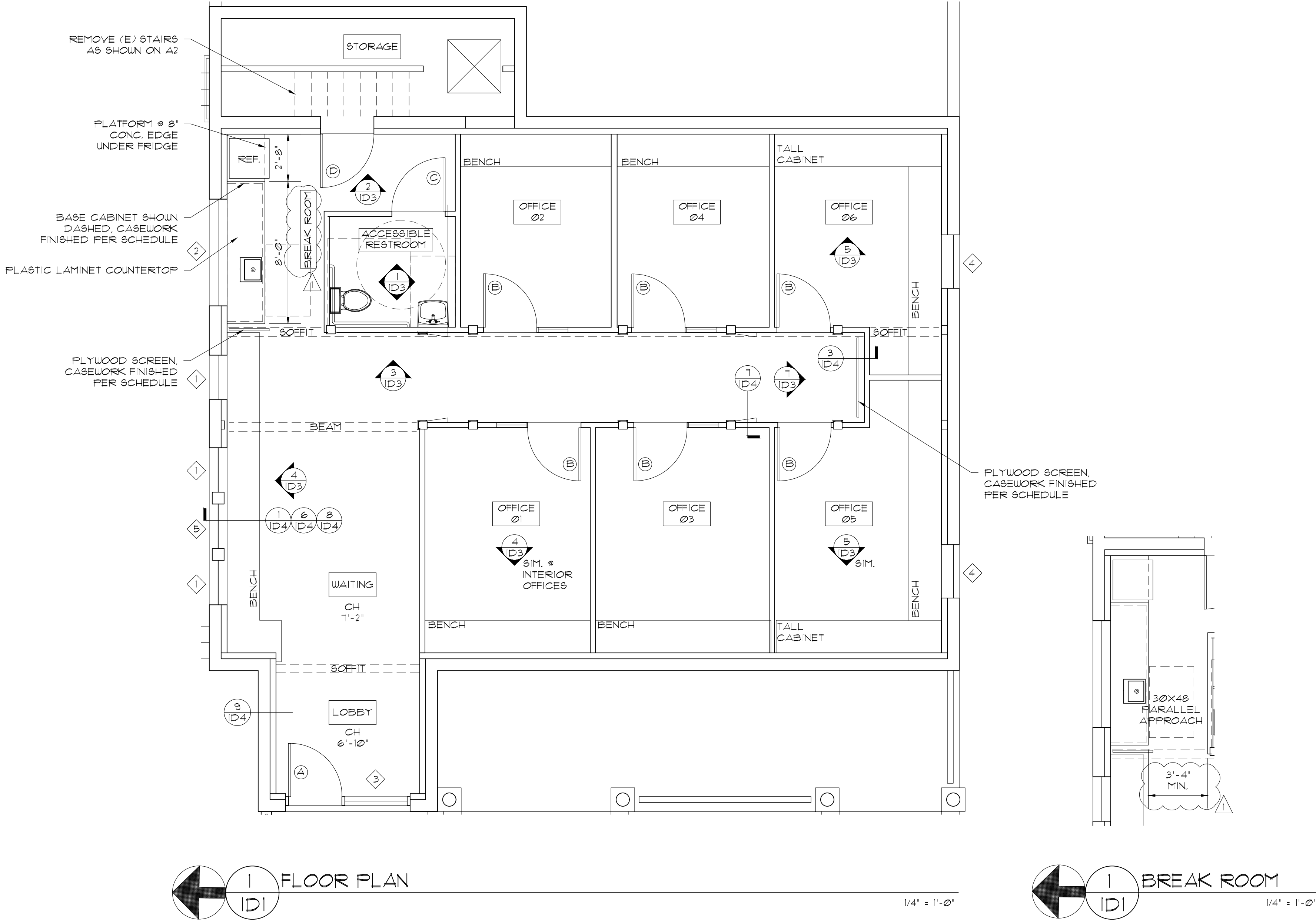
DOOR SCHEDULE								
LOCATION	SYMBOL	SIZE	PROFILE	MANUFACTURER	PRODUCT	MATERIAL	HARDWARE	FINISH
BASEMENT, LOBBY ENTRANCE	(A)	3'-0" X 1'-0"	A	STOREFRONT	SINGLE DOOR W/SIDELITE FULL HEIGHT	METAL/GLAZED, TEMPERED	1	PAINT, DRK. CHARCOAL
BASEMENT, OFFICE	(B)	3'-0" X 6'-8"	B	SIMPSON	8020 W/ FULL HEIGHT SIDELITE	WOOD	2	PAINT
BASEMENT, RESTRM.	(C)	3'-0" X 6'-8"	B	SIMPSON	8020	WOOD	3	PAINT
BASEMENT, STOR.	(D)	3'-0" X 6'-2"	B	SIMPSON	TBD, SOLID CORE	WOOD	4	PAINT
FIRST FLR, RESTRM.	(E)	3'-0" X 6'-8"	TBD	TBD	8020	WOOD	3	PAINT
FIRST FLR OFFICE	(F)	3'-0" X 6'-8"	TBD	TBD	TBD	WOOD	2	PAINT
FIRST FLR CLOSET	(G)	2'-4" X 6'-8"	TBD	TBD	TBD	WOOD	4	PAINT

DOOR PROFILES



HARDWARE SCHEDULE							
HARDWARE GROUP	LOCATION	QTY.	TYPE	FINISH	MODEL	MANUFACTURER	BACKSET
1	EXTERIOR ENTRY	1	DOOR FULL	AGED BRONZE	TBD	TBD	0'-2 3/8"
		1	ENTRY LOCKSET	AGED BRONZE	TBD	TBD	
		1	THRESHOLD	AGED BRONZE	TBD	TBD	
		1	FRAME WEATHERSTIPPING		TBD	TBD	
		3	HINGES	AGED BRONZE	TBD	TBD	
2	INTERIOR OFFICE	1	ENTRANCE LOCKSET	AGED BRONZE	L 17, 643	SCHLAGE	0'-2 3/8"
		1	DOOR STOP	AGED BRONZE		SCHLAGE	
		3	HINGES	AGED BRONZE		SCHLAGE	
		1	FRAME GASKETING			SCHLAGE	
3	RESTROOM	1	PRIVACY W/ COIN TURN OUTSIDE	AGED BRONZE	L9044	SCHLAGE	0'-2 3/8"
		1	COIN TURN ADA INSIDE TURN	AGED BRONZE	L203-124	SCHLAGE	
		1	ADA INSIDE TURN	AGED BRONZE	09-503 X L903-363	SCHLAGE	
		1	ESCUTCHEON	AGED BRONZE	COINTURN	SCHLAGE	
4	CLOSET/STOR.	1	ENTRANCE PASSAGE SET	AGED BRONZE	TBD	TBD	TBD
		1	DOOR STOP	AGED BRONZE	TBD	TBD	
		3	HINGES	AGED BRONZE	TBD	TBD	

PLUMBING FIXTURE SCHEDULE						
LOCATION	MANUFACTURER	PRODUCT	PRODUCT NUMBER	FINISH	DIMENSIONS	NOTES
ACCESSIBLE RESTROOM	BOBRICK	RECESSED TOILET TISSUE DISPENSER	B-6997	STAINLESS STEEL	12-5/16" X 6-1/8"	ROUGH IN: 11-3/4" X 5-1/4" X 3-3/8" MIN. DEPTH
ACCESSIBLE RESTROOM	BOBRICK	SOAP DISPENSER	818615	STAINLESS STEEL	7" X 6-1/8" X 3-5/16"	WALL MOUNTED
ACCESSIBLE RESTROOM	KOHLER	TOILET	HIGHCLIFF, K-96051-SS L-0	WHITE	16-5/8" X 26-1/8" X 14-5/8"	ADA, 16 GPF FLUSH RANGE, ELONGATED BOWL
ACCESSIBLE RESTROOM	BOBRICK	SINK	GREENWICH, K-20232-0	WHITE	20-3/4" X 18-1/4"	ADA, 3 HOLE
ACCESSIBLE RESTROOM	BOBRICK	FAUCET	TRITON BOUE, K-400720	STAINLESS STEEL	4" HOLE WIDTH	ADA, 3 HOLE
ACCESSIBLE RESTROOM	BOBRICK	MIRROR	B-165 1836	STAINLESS STEEL	18"X36"	CENTER ON SINK
ACCESSIBLE RESTROOM	BOBRICK	GRAB BAR	SEE PLANS	STAINLESS STEEL	SEE I, ID3	
ACCESSIBLE RESTROOM	BOBRICK	VERTICAL GRAB BAR	SEE PLANS	STAINLESS STEEL	SEE I, ID3	
ACCESSIBLE RESTROOM	BOBRICK	HAND DRYER	B-7188	STAINLESS STEEL	3.9" X 13.8" X 10.2"	LOCATE ON DOOR WALL
KITCHENETTE	KOHLER	SINK	IRON/TONES, K-6504-0	WHITE	17" X 8-1/4" X 18-3/4"	UNDER-MOUNT, SINGLE BOWL
KITCHENETTE	KOHLER	FAUCET	K-7505	POLISHED CHROME	8" REACH, 11-38" HEIGHT	ADA, SINGLE HOLE



WINDOW SCHEDULE						
LOCATION	SYMBOL	SIZE	MANUFACTURER	MATERIAL	NOTES	FINISH
BASEMENT, LOBBY	(1)	2'-3" X 3'-6"	TBD	TBD	AWNING, TEMPERED	BLACK
BASEMENT, KITCHENETTE	(2)	6'-0" X 1'-6"	TBD	TBD	FIXED, HDR @ 6'-8"	BLACK
BASEMENT, SIDELITE	(3)	3'-8" X 1'-0" +/-	TBD	TBD	FIXED, TEMPERED	BLACK
BASEMENT, OFFICE	(4)	EXISTING OPENING	TBD	TBD	AWNING, TEMPERED	BLACK
BASEMENT, OFFICE	(5)	2'-3" X 3'-2"	TBD	TBD	FIXED, TEMPERED	BLACK

INTERIOR WALL & CASEWORK FINISH SCHEDULE														
LOCATION	MANUFACTURER	WALL COLOR	WALL FINISH	WALL BASE TRIM COLOR	WALL BASE TRIM FINISH	WALL BOARD FINISH LEVEL	CEILING COLOR	CEILING FINISH	WINDOW TRIM COLOR	WINDOW TRIM FINISH	CASEWORK MATERIAL	CASEWORK COLOR / FINISH	DOOR & DOOR TRIM COLOR	DOOR & DOOR TRIM FINISH
LOBBY - NORTH, WEST, SOUTH WALLS	BENJAMIN MOORE	SWEET SPRING, 1500	MATTE	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	SWEET SPRING, 1500	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	ALDER	SAMAN, 10 - WHOLE WHEAT, MATTE	SUPER WHITE, FM 1	SATIN
MAIN AREAS	BENJAMIN MOORE	COTTON BALLS, OC-122	MATTE	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	COTTON BALLS, OC-122	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	ALDER	SAMAN, 10 - WHOLE WHEAT, MATTE	SUPER WHITE, FM 1	SATIN
OFFICES	BENJAMIN MOORE	COTTON BALLS, OC-122	MATTE	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	COTTON BALLS, OC-122	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	ALDER	SAMAN, 10 - WHOLE WHEAT	SUPER WHITE, FM 1	SATIN
ACCESSIBLE RESTROOM	BENJAMIN MOORE	SWEET SPRING, 1500	EGGSHELL	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	SWEET SPRING, 1500	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	N/A	N/A	SUPER WHITE, FM 1	SATIN
STORAGE	BENJAMIN MOORE	COTTON BALLS, OC-122	MATTE	SUPER WHITE, FM 1	N/A	4	COTTON BALLS, OC-122	MATTE	N/A	N/A	N/A	N/A	SUPER WHITE, FM 1	SATIN
KITCHENETTE	BENJAMIN MOORE	COTTON BALLS, OC-122	MATTE	SUPER WHITE, FM 1	SAMAN, 10 - WHOLE WHEAT	4	COTTON BALLS, OC-122	MATTE	SAMAN, 10 - WHOLE WHEAT	MATTE	ALDER	SAMAN, 10 - WHOLE WHEAT, MATTE	SUPER WHITE, FM 1	SATIN

* PROVIDE DESIGNER WITH SAMPLES PRIOR TO BEGINNING WORK

DAVID M. SMITH
REGISTERED ARCHITECT
STATE OF OREGON
NO. 12542

DMS ARCHITECTS

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14TH STREET OFFICES

12 SE 14TH AVE
PORTLAND, OREGON 97214

SHEET CONTENT

BASEMENT FLOOR PLAN SCHEDULES

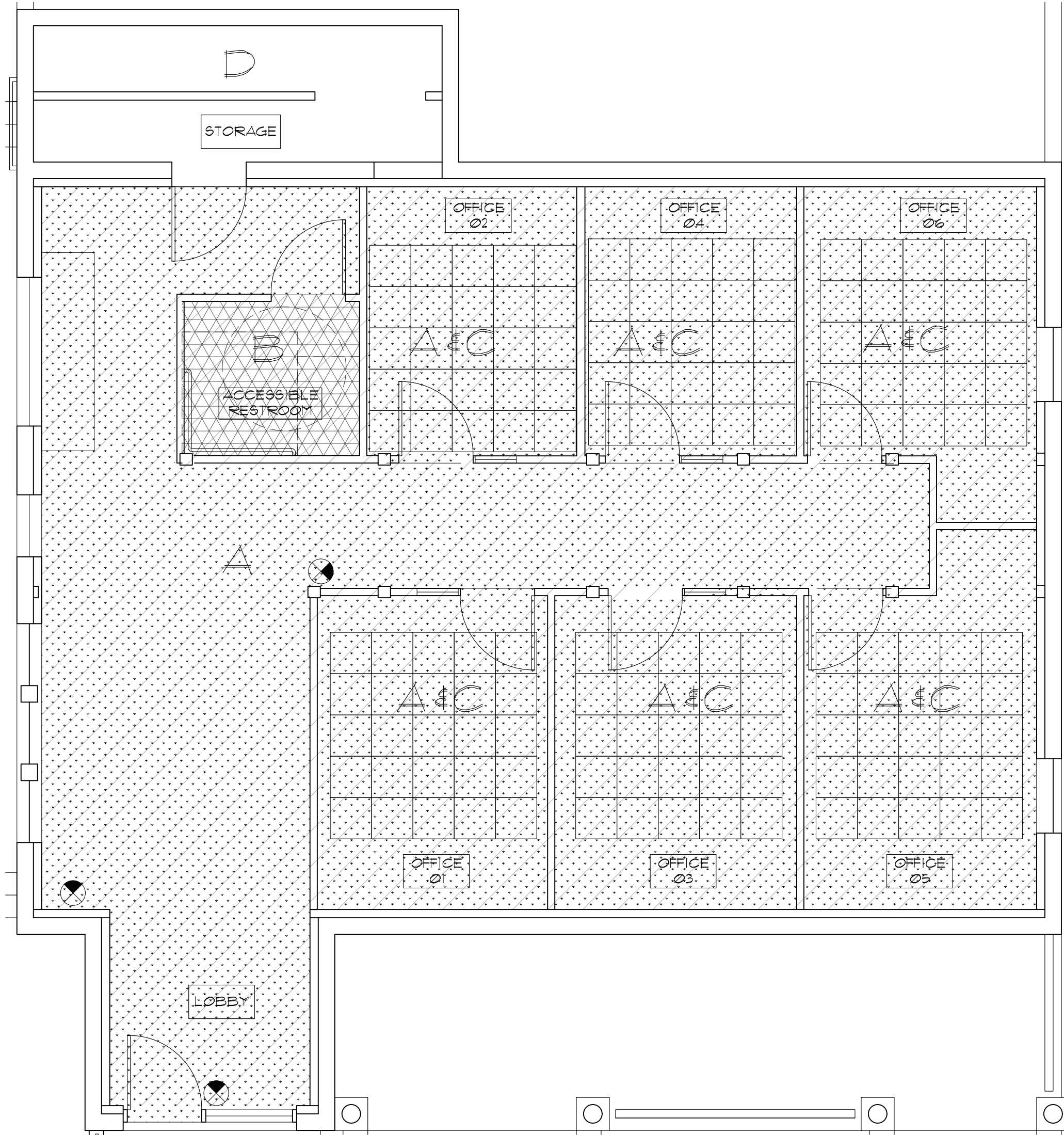
JOB No. 000016

DRAWN KLS CHECKED DMS

DATE 2-22-19

REVISIONS

SHEET ID1



1 FLOORING MATERIAL PLAN
ID2

1/8" = 1'-0"

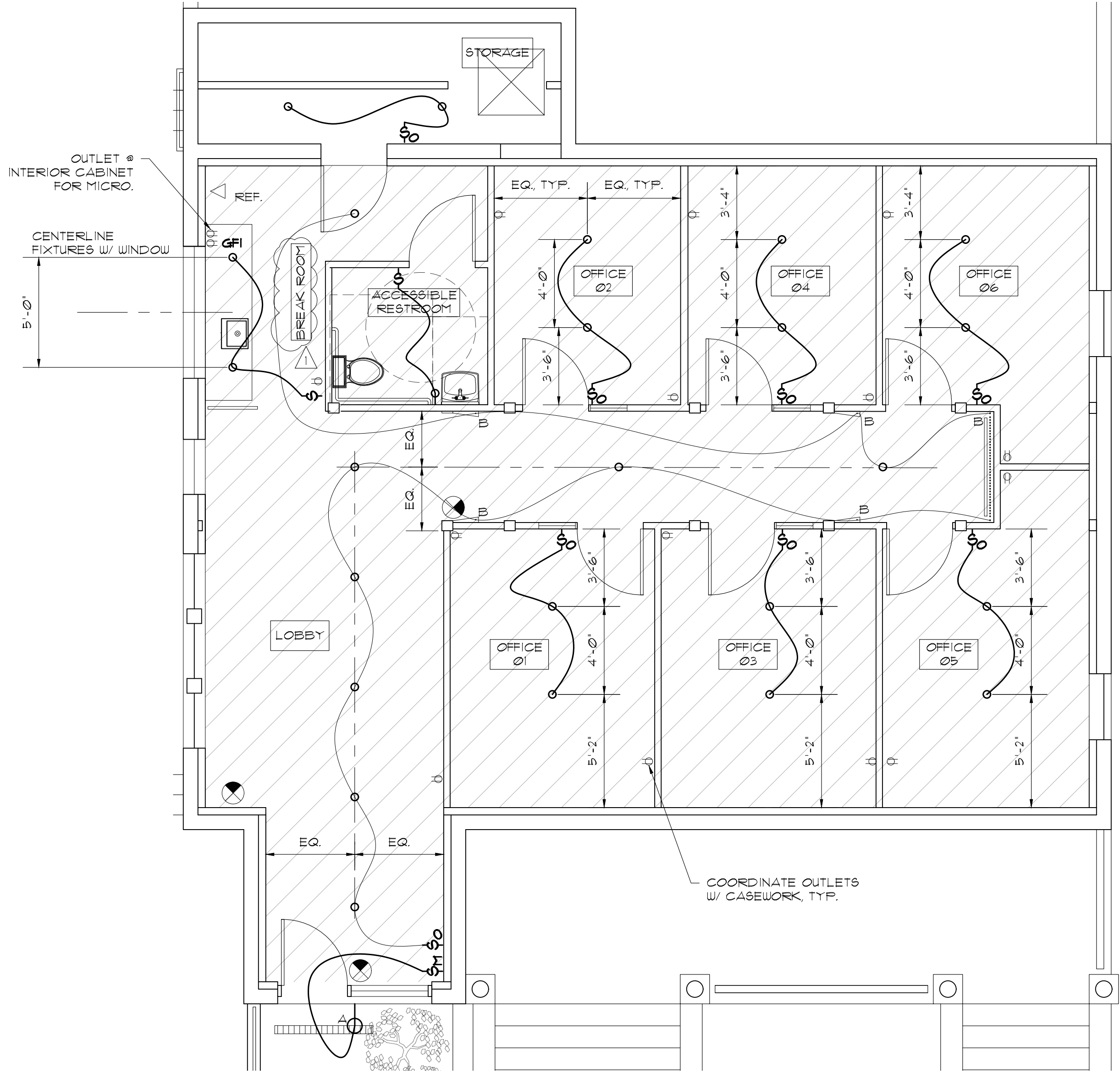
LIGHTING SCHEDULE							
SYMBOL	FIXTURE	MANUFACTURER	PRODUCT	LAMP	LUMEN	WATTS	NOTES
O	RECESSED CAN	LITHONIA LIGHTING	UF6 6" LED MODULE	LED	180	15W * 20 LAMPS = 300 WATTS	DETAIL/SHEET
Q	SCONCE					15W	DETAIL/SHEET
B	TAPE			LED	800	15W	DETAIL/SHEET
AQ	EXTERIOR SCONCE	WAC LIGHTING	WU504110	LED	1235	15W	3000K

345 WATTS TOTAL

SUBJECT TO CHANGE.
COORDINATE W/
INTERIOR DESIGNER

ELECTRICAL SCHEDULE			
SYMBOL	TYPE	HEIGHT ON WALL OR CABINET	NOTES
□	DUPLEX OUTLET	1'-0"	COORDINATE W/ CASEWORK / APPLIANCE
□GFI	GFI DUPLEX OUTLET	3'-6"	
△	120 VOLT	1'-0"	REFRIGERATOR
SO	OCCUPANCY SENSOR SWITCH	36" AFF	
SM	MOTION SENSOR SWITCH	36" AFF	

FLOORING SCHEDULE					
LOCATION	SYMBOL	MANUFACTURER	PRODUCT	COLOR	QTY.
MAIN AREAS, OFFICES	A	FORBO	LINOLEUM	3136, CONCRETE, GREEN SUMMER	TBD
ACCESSIBLE RESTROOM	B	DALTILE	1" SQUARE TILE MOSAIC	D195, WHITE, 1/16" GROUT, RAVEN	55 SF
OFFICES	C	FLOR	CARPET TILE	TBD	TBD
STORAGE	D	EXISTING	CONCRETE	EPOXY PAINT	TBD



2 REFLECTED CEILING PLAN
ID2

1/8" = 1'-0"

NOTES

ALL RECESSED CANS AT CEILING LOCATIONS W/2X8 ROOF FRAMING TO HAVE MAXIMUM 4" CLEARANCE AND MINIMUM 4" INSULATION ABOVE.

ALL OFFICES TO HAVE NO LESS THAN 2 DUPLEX OUTLETS AND 2 DUPLEX DATA PORTS.

ALL NEW SWITCHES TO HAVE OCCUPANCY SENSORS.

DISCUSS ALL CEILING FIXTURES WITH ARCHITECT/DESIGNER BEFORE INSTALLATION.

PER OEE5C SECTION 505 - THE FOLLOWING LIGHTING CONTROLS, AT A MINIMUM, SHALL BE USED:

505.222 - INSTALL AN OCCUPANT SENSOR THAT WILL TURN OFF LIGHTING WITHIN 30 MINUTES OF AN OCCUPANT LEAVING A SPACE AT ALL NEWLY CREATED ROOMS - THIS INCLUDES ALL NEW TOILET ROOMS, BREAK/OFFICE ROOM, MECH. ROOM, WALK-IN COOLER AND DISH WASH AREAS.

1,425 SF OF OFFICE AREA TO RECEIVE NEW LIGHTING PER 2010 OREGON ENERGY EFFICIENCY SPECIALTY CODE - TABLE 505.5.2a - OFFICE IS ALLOWED UP TO .91 WATTS/SF

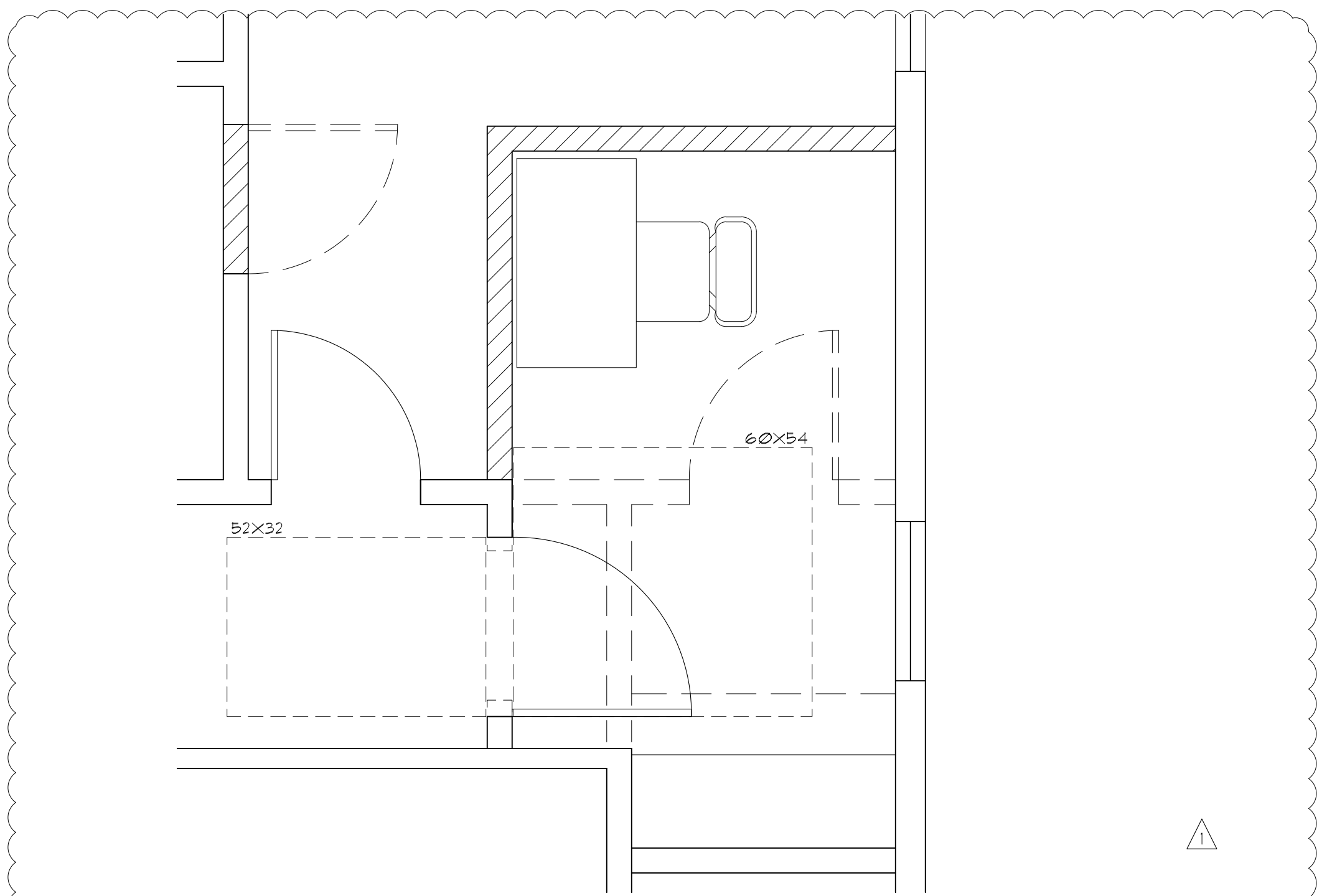
1,425SF x .91 = 1,296.75 WATTS ALLOWED - 345 WATTS PROPOSED

ALL THRESHOLDS SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR, AND RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 50%.

ALL ALTERNATIVE SELECTIONS TO BE APPROVED BY INTERIOR DESIGNER, ARCHITECT, AND OWNER BEFORE PURCHASING AND INSTALLING.

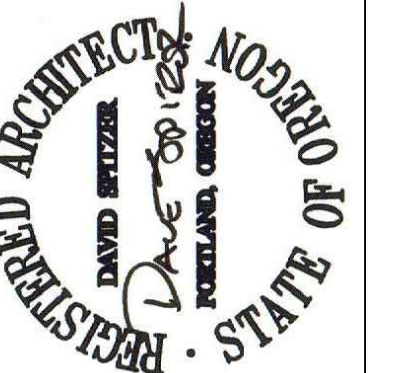
CONSULT WITH DESIGNER PRIOR TO PURCHASING ALL MATERIALS.

PROVIDE DESIGNER/ARCHITECT WITH TESTS OF ALL PAINTS AND STAINS PRIOR TO WORK.



3 FIRST FLOOR (N) OFFICE PLAN
ID2

1/8" = 1'-0"



DMS
ARCHITECTS

2325 NE 19TH AVE.
PORTLAND, OR 97212

OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM

14TH STREET OFFICES

12 SE 14TH AVE
PORTLAND, OREGON 97214

SHEET CONTENT
FLOORING MATERIAL PLAN
REFLECTED CLG. PLAN
LIGHTING SCHEDULE
FLOORING SCHEDULE
FIRST FLR. (N) OFFICE PLAN

JOB No.

000016

DRAWN

CHECKED

KLS

DMS

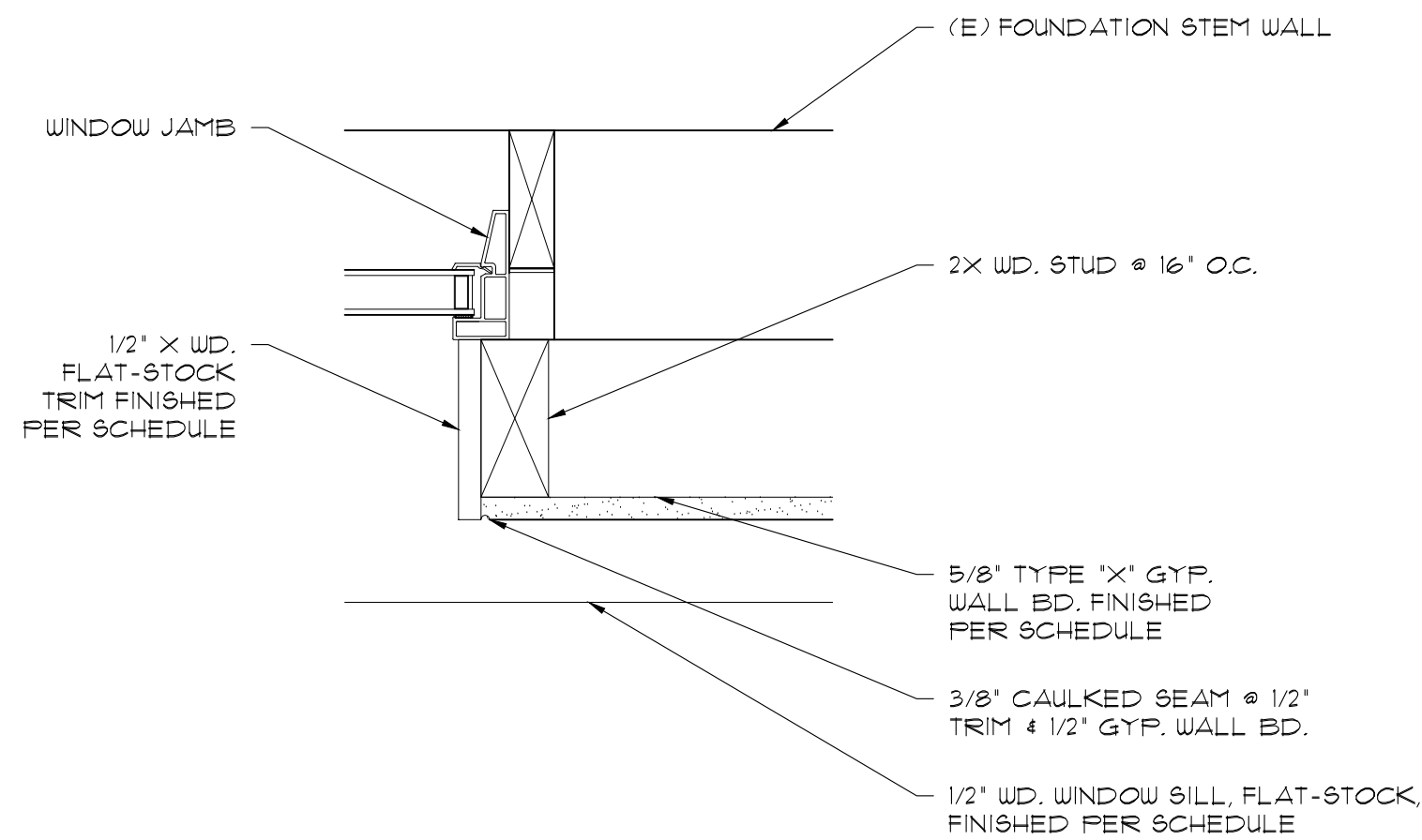
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2-22-19

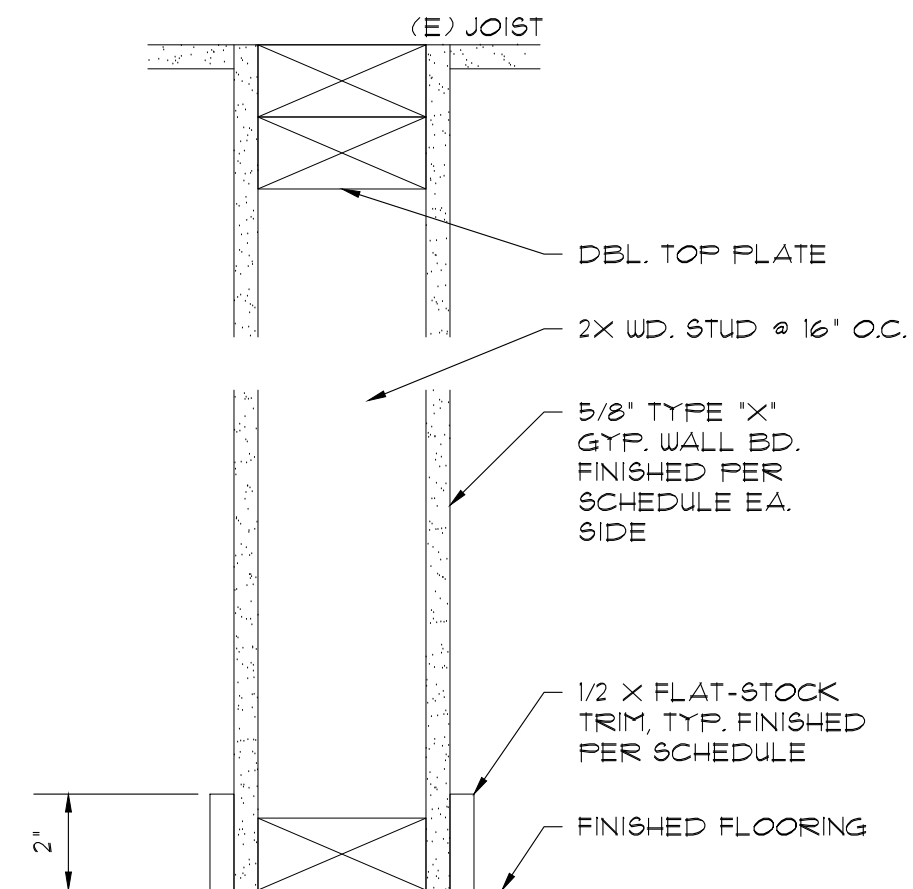
REVISIONS

SHEET

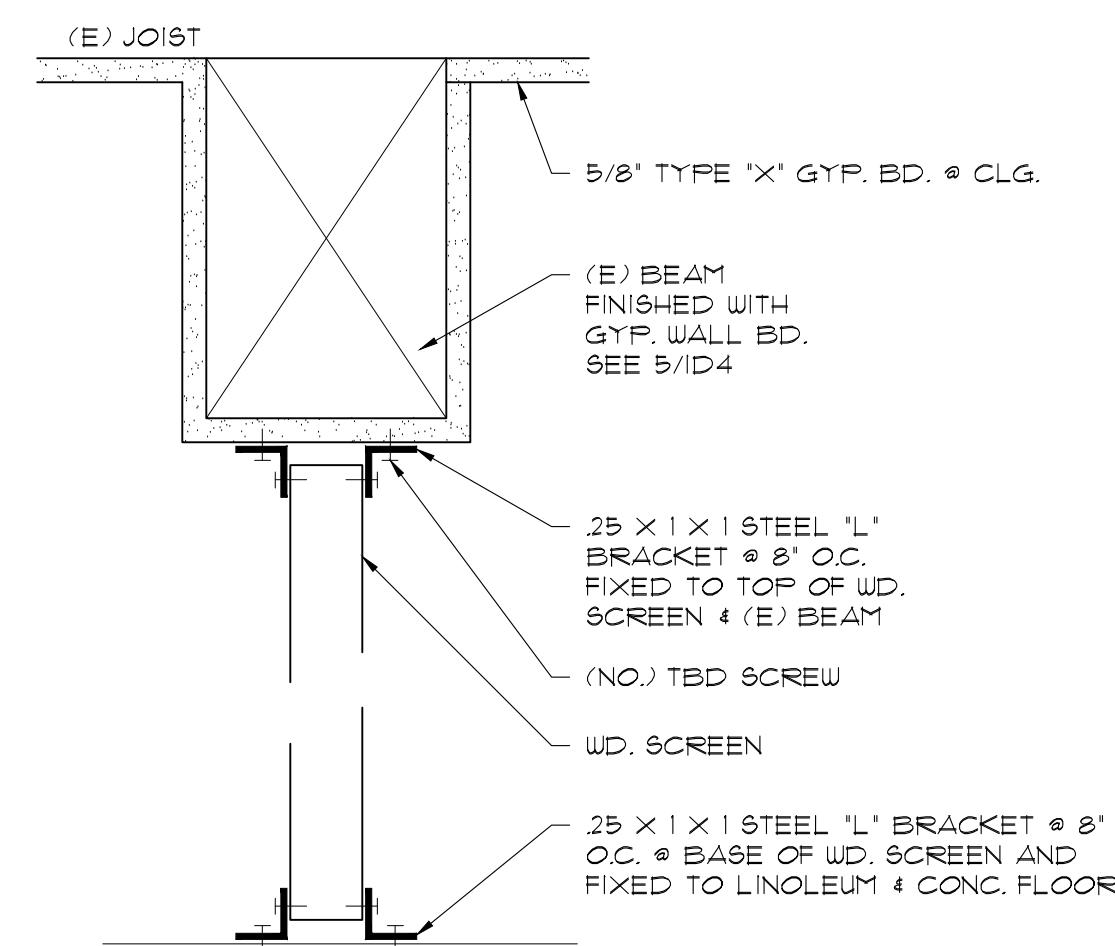
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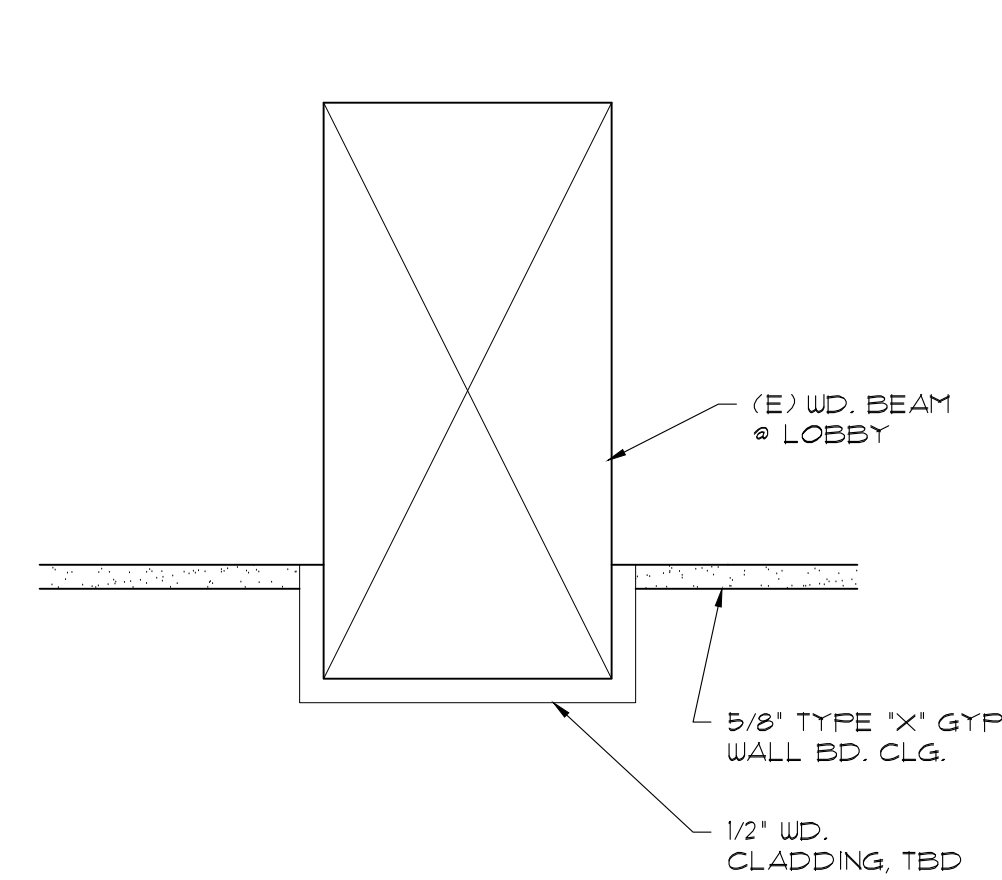
1 PLAN @ WINDOW SILL & BENCH
ID4 3' = 1'-0'



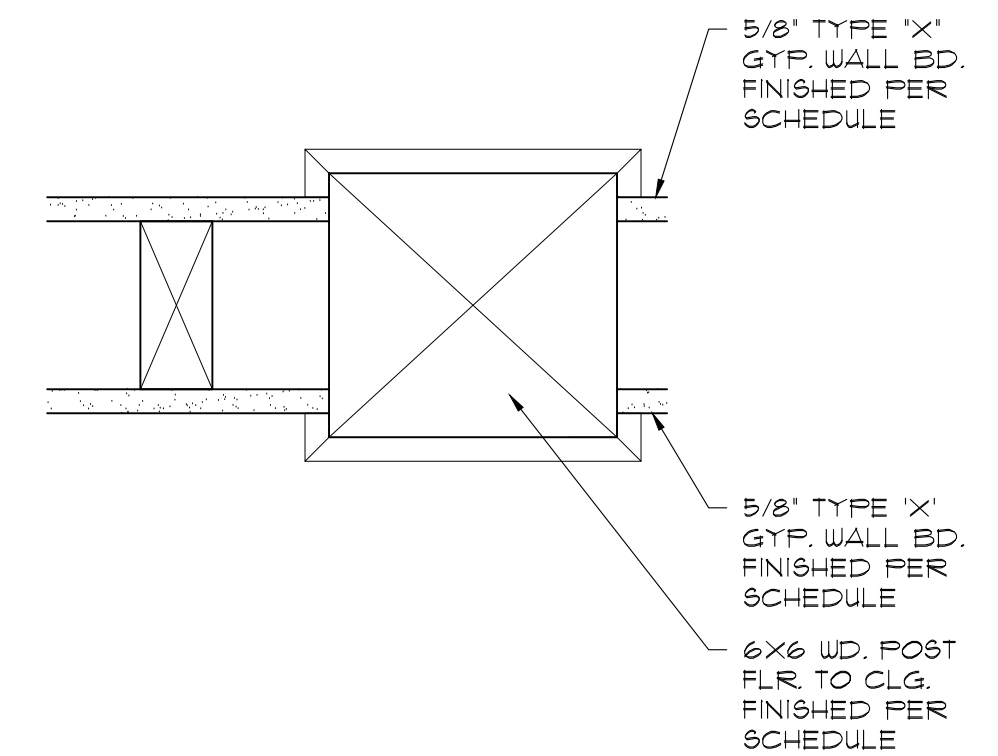
2 (N) WALL, TYP.
ID4 3' = 1'-0'



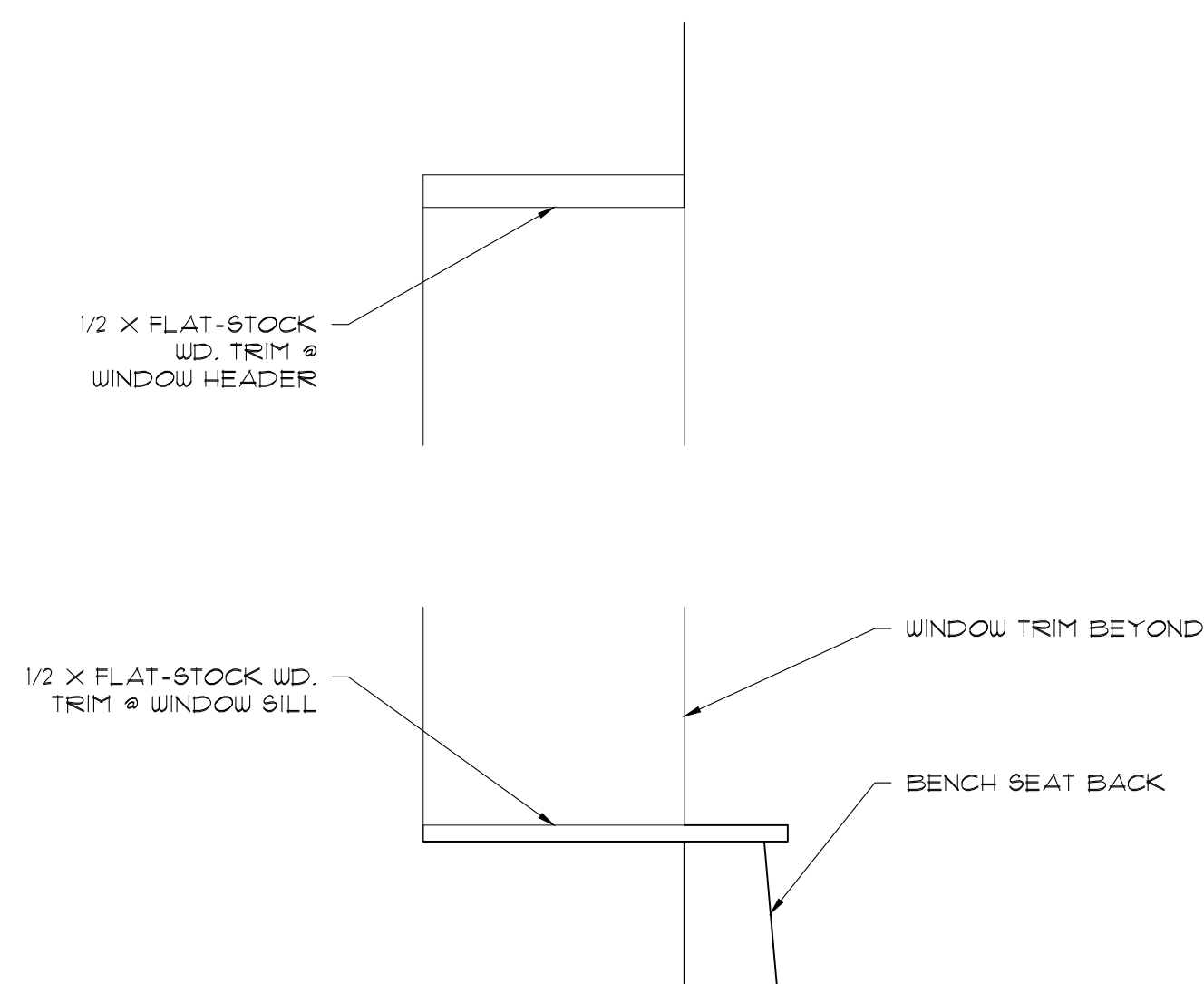
3 WOOD SCREEN @ BEAM
ID4 3' = 1'-0'



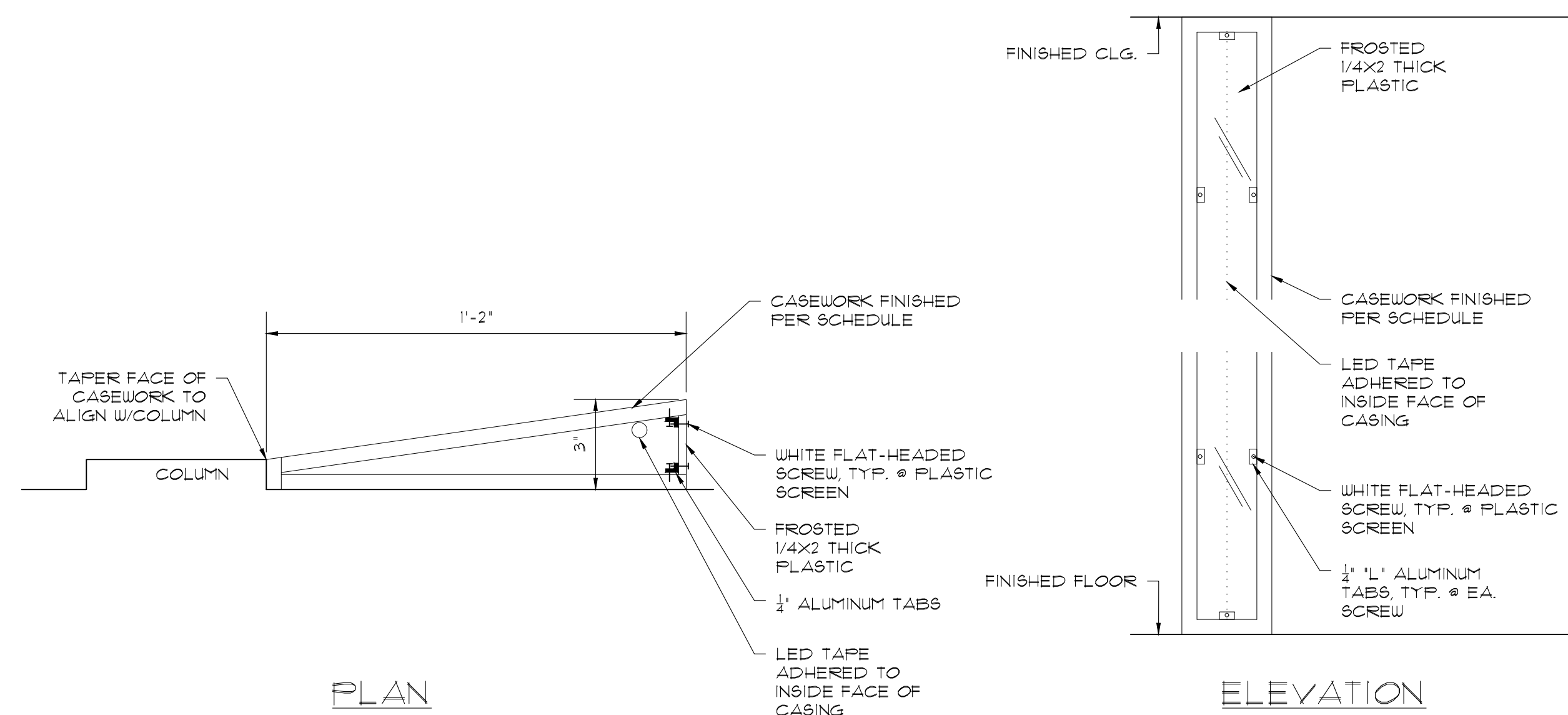
4 BEAM @ LOBBY
ID4 3' = 1'-0'



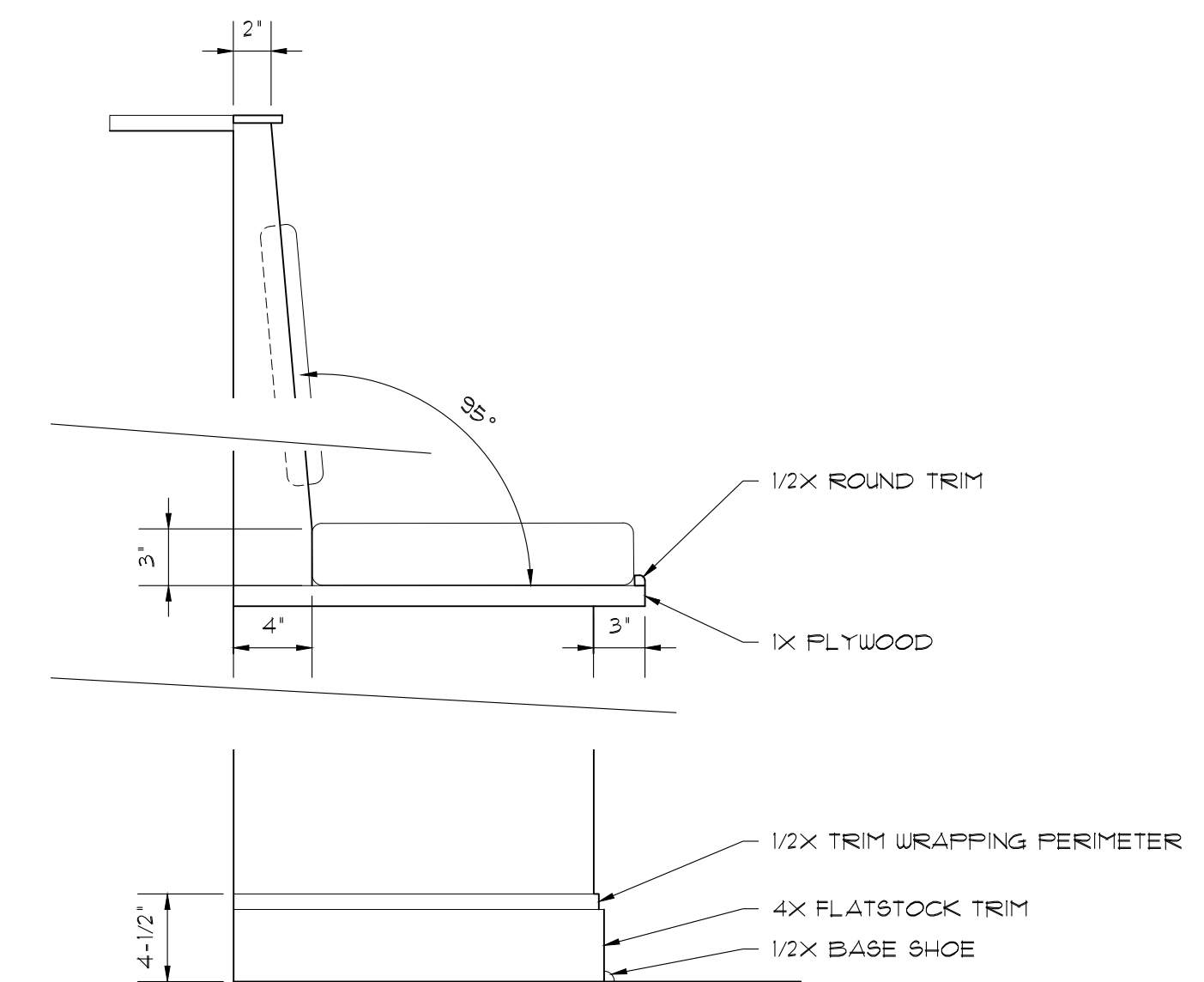
5 TYP. COLUMN @ HALL
ID4 3' = 1'-0'



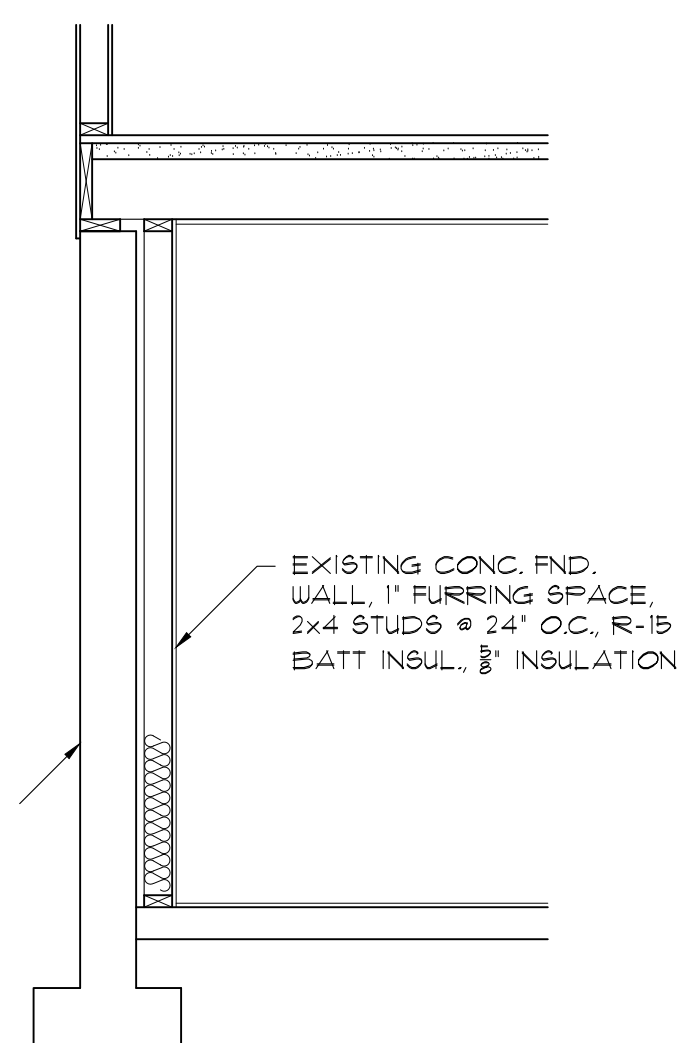
6 ELEVATION @ WINDOW SILL & BENCH
ID4 3' = 1'-0'



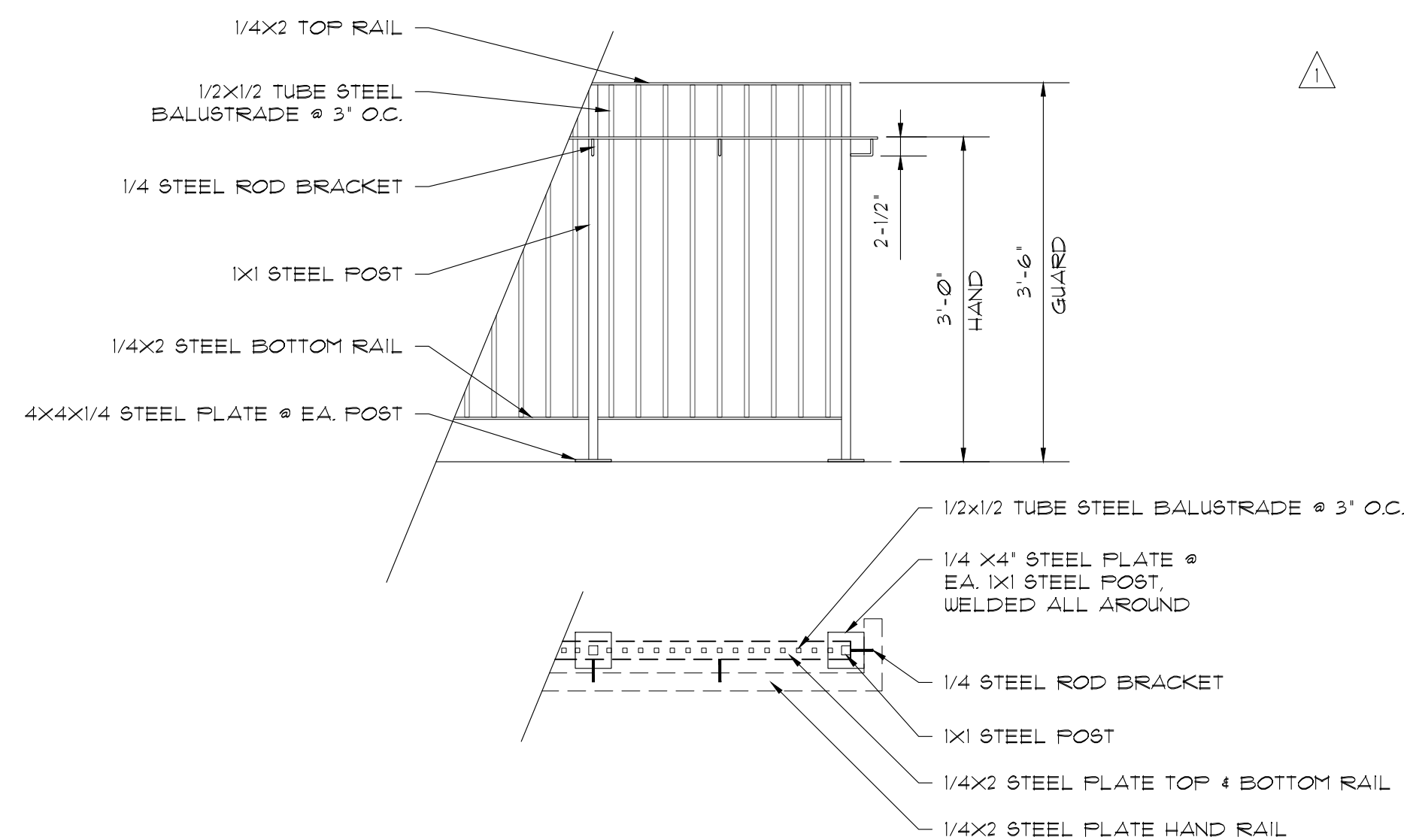
7 LIGHT BOX, TYP.
ID4 3' = 1'-0'



8 SECTION @ BENCH
ID4 1' = 1/2' = 1'-0'



9 SECTION @ BASEMENT FURRING WALL
ID4 1/2' = 1'-0'



10 EXTERIOR HAND & GUARD RAILS
ID4 3/4' = 1'-0'