

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20203	Project Address: 1525 N Webster St
Hearing Date: 4/10/19	Appellant Name: Sergey Marandyuk
Case No.: B-004	Appellant Phone: 9713223318
Appeal Type: Building	Plans Examiner/Inspector: Elgin Rowland
Project Type: commercial	Stories: 3 Occupancy: R-2 Construction Type: V-A
Building/Business Name: Webster Apartments	Fire Sprinklers: Yes - Entire Building
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 16-250748-CO
Plan Submitted Option: pdf [File 1] [File 2] [File 3] Proposed use: Multi-family Residential	

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 404.2.3.2

Requires "Latch Approach, Push Side" requires a minimum of 24" clearance on the Latch Side. This scenario also assumes there is a minimum width of 42" for the walkway.

Proposed Design Since our walkway (56" in width) is bigger than the minimum requirement (42"), we believe the extra width in the walkway should be considered in determining the clearance required for a "Latch Approach, Push Side". Looking at the "Front Approach Push Side" it only requires 12" clearance on the side of the door with a minimum of 48"x48" floor area box. We believe our 56" wide walkway with only 12 inches of clearance of the side of the door would allow plenty of room to operate.

Additionally, this is a corner unit, so coming from the hinge side there is plenty of clearance since it is an outside corner, to the front of the building. We think it would be easy to turn or make any kind of maneuvering act right outside the unit if necessary.

Reason for alternative Correction Notice dated 2-25-19

Due to the electrical meters (which cannot be moved) installed next to unit 107, there is only 12" clearance on the side of the entry door of the unit. Since this unit is Type A, we are required to have a minimum of 24" clearance. We are short of the requirement by 12 inches.

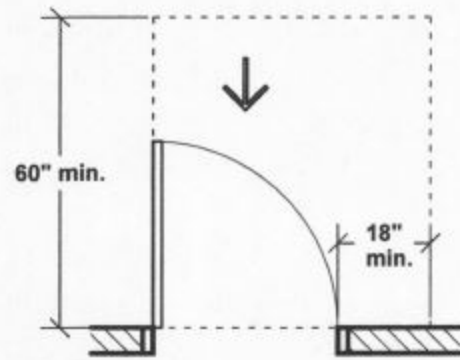
APPEAL DECISION

Maneuvering space at entry door to Type A dwelling unit: Granted as proposed.

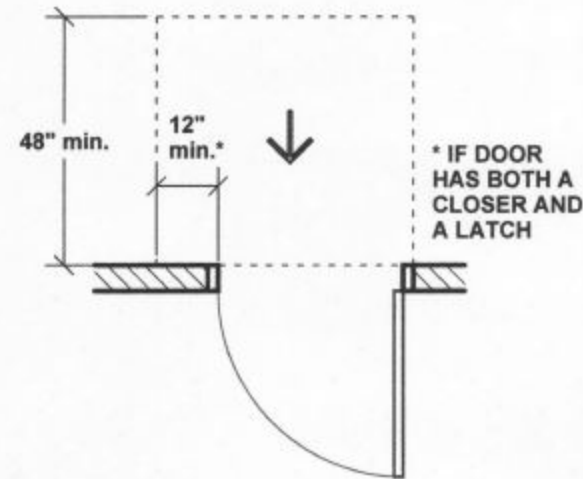
Note: This does not waive any federal requirements for accessibility that are enforced by Department of Justice.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

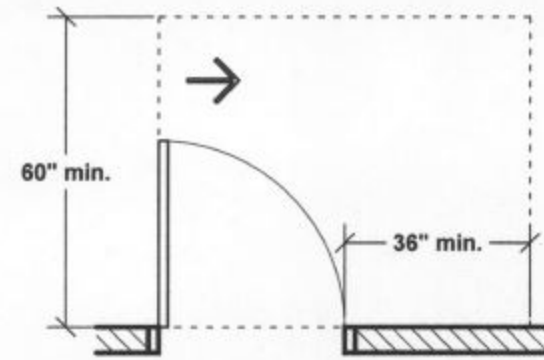
Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



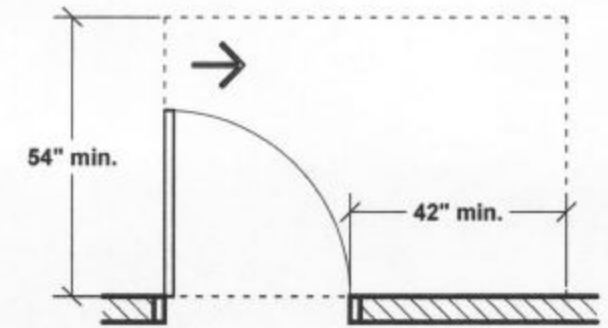
a. FRONT APPROACH, PULL SIDE



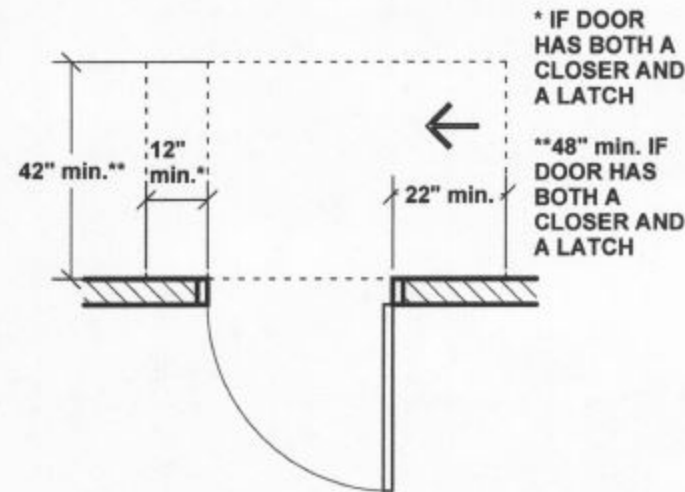
b. FRONT APPROACH, PUSH SIDE



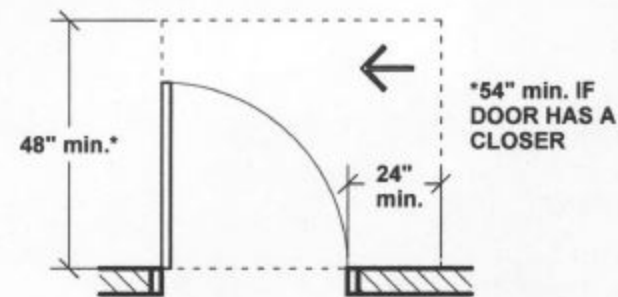
c. HINGE APPROACH, PULL SIDE



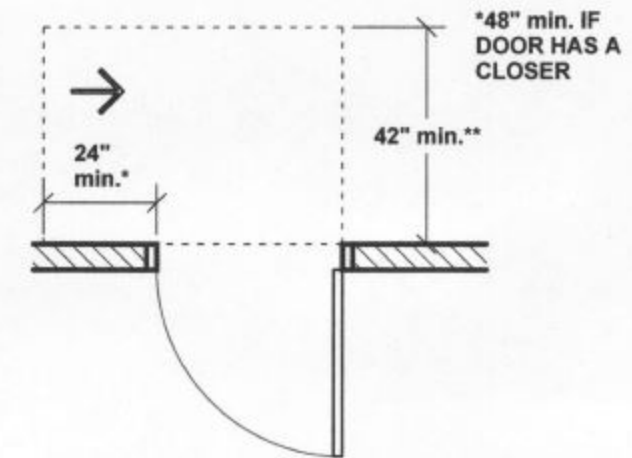
d. HINGE APPROACH, PULL SIDE



e. HINGE APPROACH, PUSH SIDE

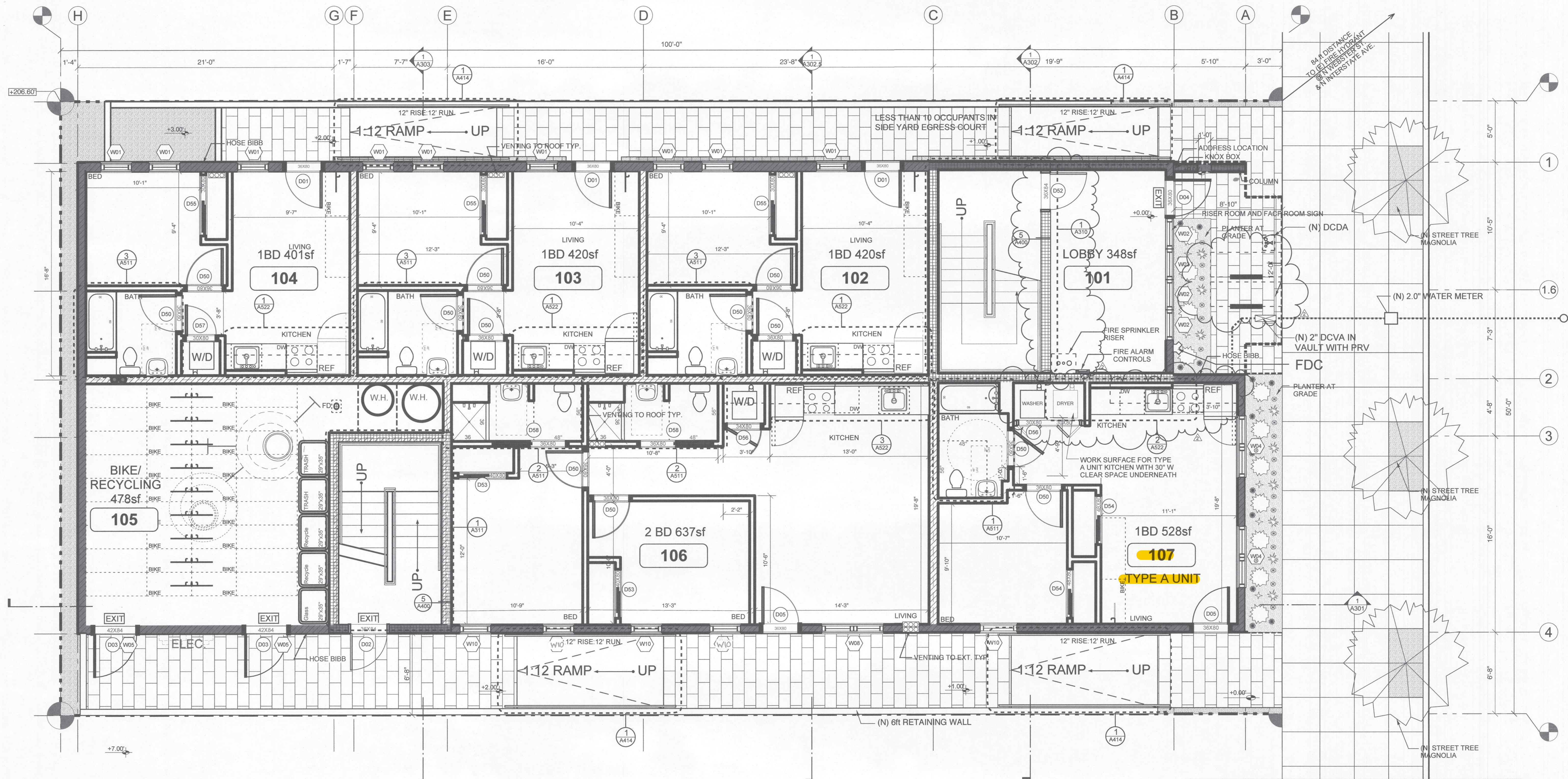


f. LATCH APPROACH, PULL SIDE



g. LATCH APPROACH, PUSH SIDE

404.2.3.2 MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS



NOTES: EXIT DISCHARGE

- Where 10 or more occupants exit the building horizontal and vertical construction assemblies will be fire rated for 1HR to a height of 10ft. Additional fire sprinkler protection to be provided at openings facing exit discharge in lieu of rated glazing
- Sprinkler protected opening
- Rooms to be equipped with fire dampener over fans providing Natural Ventilation per OSSC 14; Natural Ventilation 1203.4

WALL TYPES: SEE STRUCTURAL FOR SHEAR AND BEARING WALLS

- 1HR, Fire Partition, 50 STC min. 20 min rated fire doors, see A600.00
- 1 HR min. R-21 ext. wall, 6" nom. framing
- 2 HR min. R-21 ext. wall, 6" nom. framing
- Nonrated Interior/Exterior Wall
- 2HR, Fire Barrier, 50 STC min. 120 min rated fire doors, no plumbing permitted

UNIT TABULATION

1st FLOOR			2nd FLOOR		
TYPE	USE	#	TYPE	BEDROOMS	#
STORAGE	BIKE/RECYCLING	1	STUDIO	N/A	1
CIRCULATION	LOBBY	1	1 BR	1	5
1 BR	DWELLING	4	2 BR	2	1
2 BR	DWELLING	1			
3rd FLOOR					
TYPE	BEDROOMS	#			
STUDIO	N/A	1			
1 BR	1	5			
2 BR	2	1			
BLDG TOTAL:					19 UNITS

1 GROUND LEVEL PLAN

SCALE: 1/4" = 1'-0" @ 24" x 36"

City of Portland
REVIEWED FOR CODE
COMPLIANCE
OCT 2 5 2017

BES Pollution Prevention
Approved By: *P. Holstrom* Date: *4/24/17*
G. J. *9/14/17*

City of Portland
Bureau of
Development Services
By *G. J.* Date *9/21/17*
Approved by
Planning and Zoning Review

BES Pollution Prevention:
If any de-watering is proposed to be discharged into a City sanitary or storm sewer system, pre-authorization MUST be obtained from the BES Pretreatment or Stormwater Programs. Call 503-823-5600 for more information.

REGISTERED ARCHITECT
STEVEN R. FOSLER
PORTLAND, OR
STATE OF OREGON

FOSLER
architecture
1830 NW LOVEJOY STREET
PORTLAND, OREGON 97209
503.241.9339

1525 N Webster Street
Webster Street
Apartments
Portland, OR

WBST

PERMIT APPLICATION
SET

28 SEPT 2016

R1 18 JAN 2017
R2 15 FEB 2017
R3 05 APR 2017
R4 08 MAY 2017
R5 23 MAY 2017
R6 31 AUG 2017

RECEIVED
SEP 13 2017
BDS
DOCUMENT SERVICES

A101.0

GROUND
LEVEL PLAN

