

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Hold for Additional Information - Held over from ID 16423 (1/31/18) for additional information

Appeal ID: 16557

Project Address: 5100 SE Harney Dr

Hearing Date: 2/28/18

Appellant Name: dave spitzer

Case No.: B-009

Appellant Phone: 503 335 9040

Appeal Type: Building

Plans Examiner/Inspector: Gail Knoll

Project Type: commercial

Stories: 3 **Occupancy:** F-1, S-1 **Construction Type:** 3-B

Building/Business Name: White Stag

Fire Sprinklers: Yes - Throughtout per this permit

Appeal Involves: Reconsideration of appeal, occ Change from B, F1, S1 to F1, S1

LUR or Permit Application No.: 17-243443-CO

Plan Submitted Option: pdf [File 1] [File 2]

Proposed use: light industrial

APPEAL INFORMATION SHEET

Appeal item 1

Code Section Table 1607.1

Requires Floor Loading for light fabrication and storage areas to be 125 psf

Proposed Design This is a reconsideration. Owner was able to find the original structural drawings and a structural engineer analyzed to see if the concrete beam and slab construcion could hold the required 125 psf. He analyzed and determined that the floor was designed for 50psf.

This building was originally designed as the office and support building (offices and also mock ups of final products) for the white stag clothing company. When it was built the property allowed zoning on it. Sometime in the 1970's the zoning changed to industrial. The office use has not been maintained over the years and an office building (more than 4 separate offices over 3,000 combined office space not allowed on this site) is no longer allowed on this site.

We have no choice but to use this building as a light industrial building. In out many discussions with zoning - they will simply not allow an office building on this site.

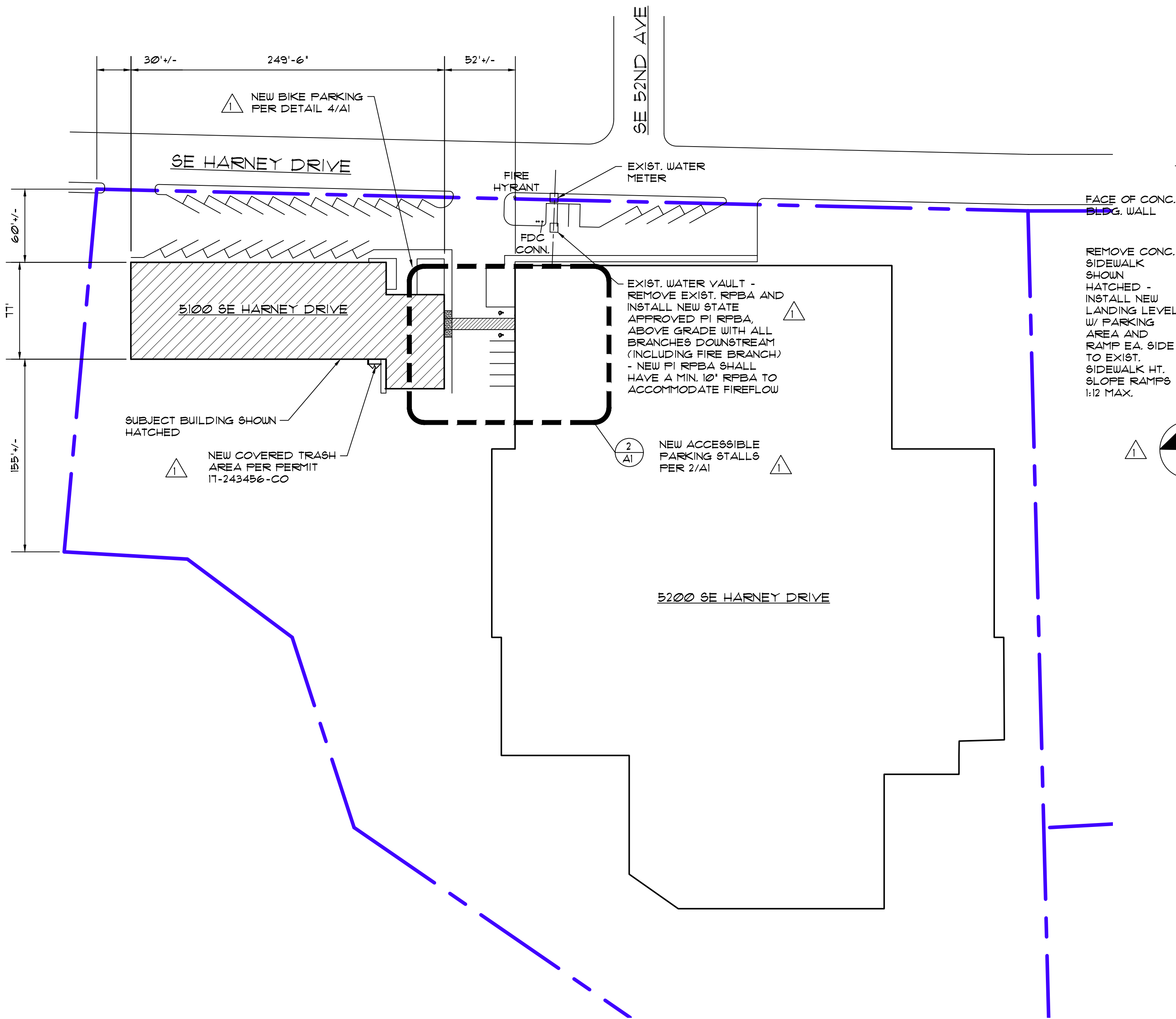
The entire basement, a large portion (3/4) of the ground floor are slab on grade. The rest of the building is elevated with a concrete floor/column structure. We are requesting that we be allowed to post the maximum floor loading at all areas that are not slab on grade.

I've attached a picture of the 'most hazardous' tenant in the building - someone doing marijuana extraction. The picture is of the most heavily loaded area in his space - the 12'x12' paint booth weigh 400# and the extraction equipment shown in the picture also weighs 400# - that makes #800# over 144 sf. Again - this is the worse case scenario for weight loading in the building as of today.

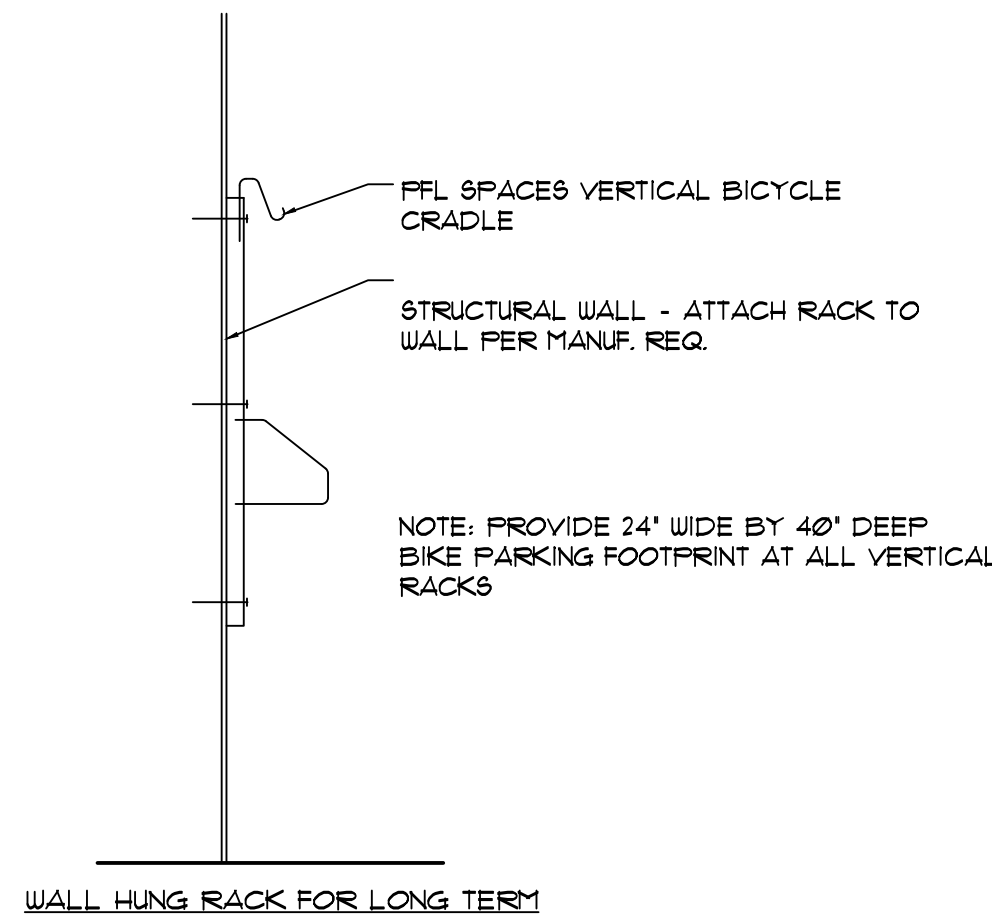
Reason for alternative See above.

APPEAL DECISION

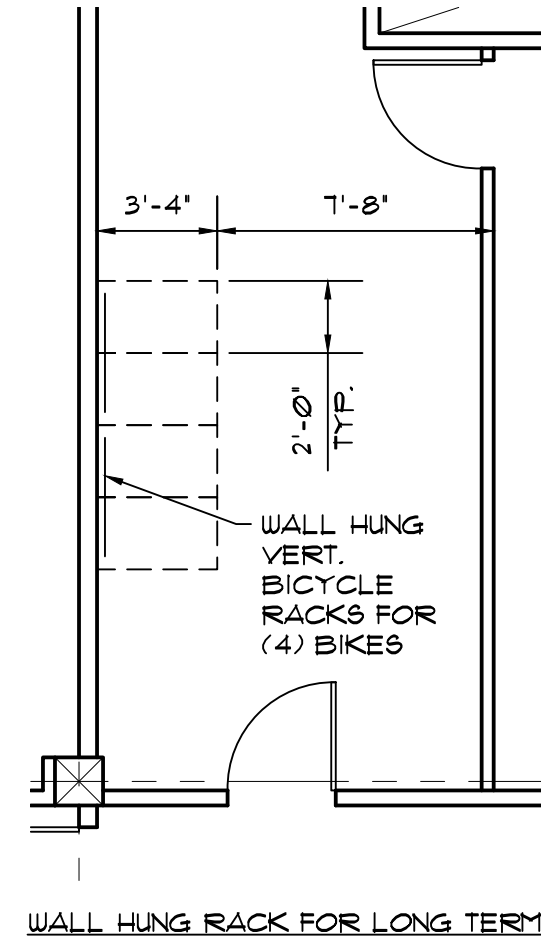
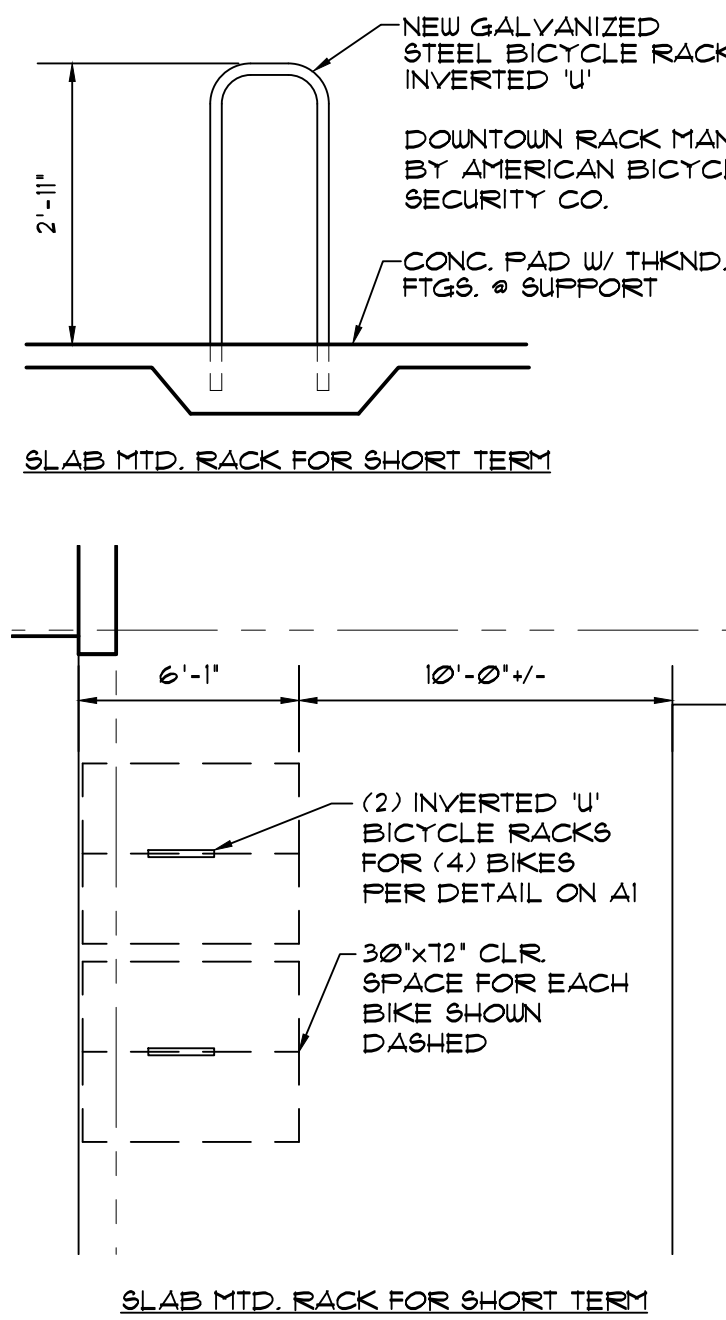
Reduction in live load to 50 lbs./ s.f.: Hold for additional information.
Appellant may contact John Butler (503 823-7339) with questions.



1 AI SCHEMATIC SITE PLAN

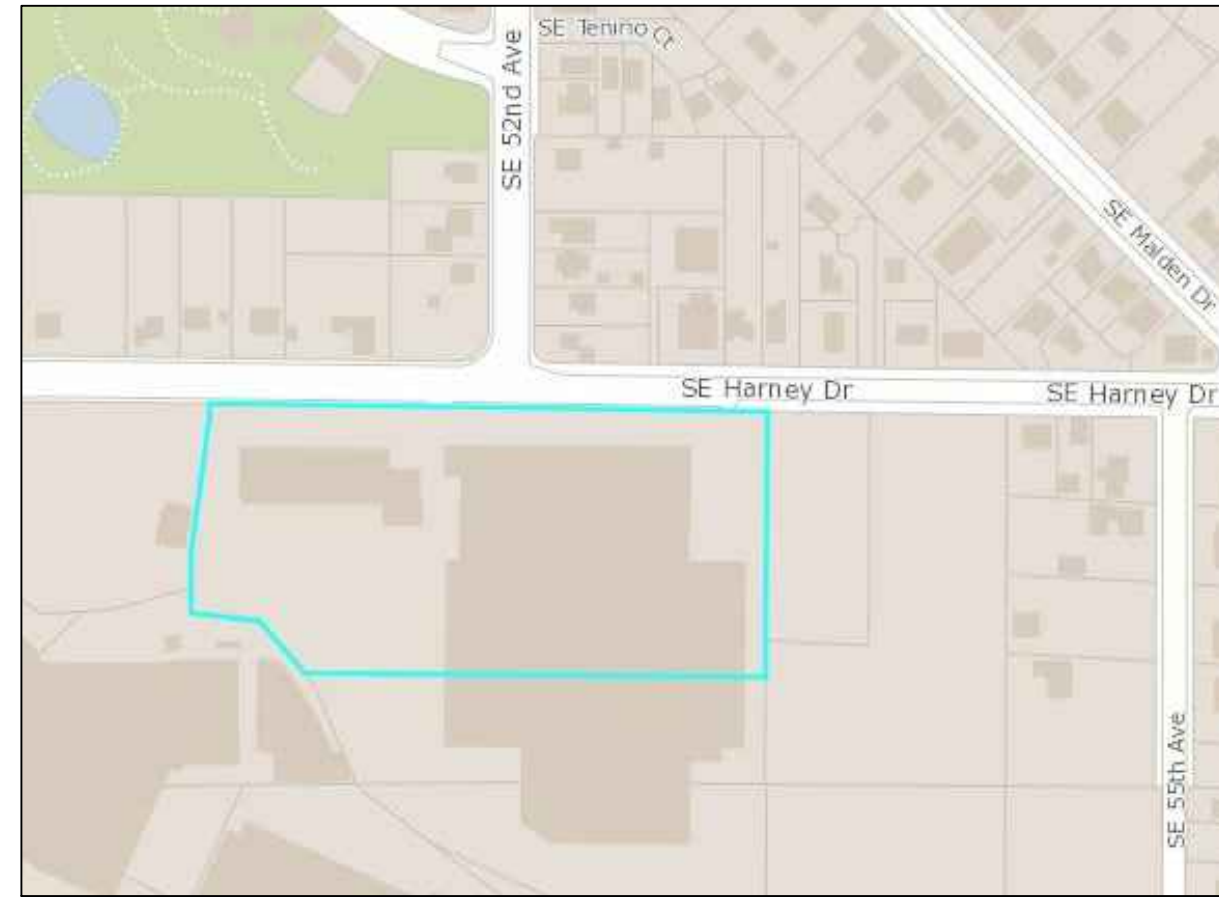


4 AI NEW BICYCLE RACKS



WALL SCHEDULE

2 AI ACCESSIBLE PARKING STALLS



3 AI VICINITY PLAN

#	SIZE	HARDWARE	DOOR TYPE	NOTES
A	3'-0" x 6'-8"	OFFICE	SC WOOD	NEW DOOR/HARDWARE
B	3'-0" x 6'-8"	ENTRANCE	SC WOOD	MODIFY EXIST. DOOR W/ ENTRANCE HARDWARE
C	3'-0" x 6'-8"	ENTRANCE	SC WOOD	NEW DOOR/HARDWARE
D	4'-0" x 6'-8"	ENTRANCE	SC WOOD	NEW DOOR/HARDWARE

NOTE: ALL NEW DOORS SHOWN ON DOOR SCHEDULE TO HAVE LEVERED HANDLES
NOTE: ALL NEW DOORS SHALL BE SC. WOOD TO MATCH EXIST.
NOTE: NO DEADBOLTS ALLOWED
NOTE: NEW ENTRANCE LOCKSETS SHALL BE CYLINDRICAL LEVERSETS W/ INTEGRAL DEADBOLT - TURNING LEVER ACTIVATES BOTH DEADBOLT AND LATCH

ACCESSIBILITY UPGRADE SUMMARY

PROJECT VALUATION = 16,000 x 25% = 19,000 REQ. ADA UPGRADES
NEW STRIPPED PARKING SPACES W/ ACCESS RAMP = 10,000
REMODELED MENS TOILET ROOM = 15,000
TOTAL = 43,000

SCOPE OF WORK - BASEMENT

- CHANGE OCCUPANCY SUITES 004, 008 AND 009 TO MARIJUANA (008 IS PACKAGING AND 004 IS STORAGE AND 009 IS OFFICE)
- REMOVE DOOR AT 011 PER FIRE MARSHALL REQUEST
- CHANGE OCCUPANCY AT 011 FROM DISTRIBUTION TO HALLWAY PER FIRE MARSHALL REQUEST
- CHANGE 012 FROM DISTRIBUTION TO STORAGE
- VERIFY/PROVIDE REQUIRED EXIT SIGNS AND EGRESS LIGHTING AS SHOWN ON PLANS - TYP. BASEMENT, FIRST AND SECOND FLOORS

SCOPE OF WORK - FIRST FLOOR

- CHANGE OCCUPANCY FROM ORIGINAL OFFICE RELATED USE TO NEW FACTORY (MARIJUANA USE AS SHOWN ON PLAN) IN THE FOLLOWING SUITES: 104, 106, 108, 112, 114, 116, 118, 119, 130-134
- ADD (3) OFFICES TO SUITES 104 AND 106
- ADD WALLS TO CREATE OFFICE 112 AND 121
- ADD (4) OFFICES TO SUITES 130-133
- MODIFY (2) OFFICES IN SUITES 130-133
- ADD NEW WALLS IN SUITE N-11
- EXPAND SPACE FOR SUITE 213
- VERIFY/PROVIDE REQUIRED EXIT SIGNS AND EGRESS LIGHTING AS SHOWN ON PLANS - TYP. BASEMENT, FIRST AND SECOND FLOORS
- CHANGE OF OCCUPANCY AT ALL REMAINING OFFICE SPACES (AS SHOWN IN 1361 PLAN) TO FACTORY/INDUSTRIAL WITH AN FI OCCUPANCY

SCOPE OF WORK - FIRST FLOOR

- CHANGE OCCUPANCY FROM ORIGINAL OFFICE RELATED USE TO NEW FACTORY (MARIJUANA USE AS SHOWN ON PLAN) IN THE FOLLOWING SUITES: 213, 214 AND N-11
- ADD NEW WALL TO ENCLOSE OFFICE N-11
- ADD WALLS TO EXPAND SPACE 213
- ADD WALLS TO DEFINE SPACE N-11
- VERIFY/PROVIDE REQUIRED EXIT SIGNS AND EGRESS LIGHTING AS SHOWN ON PLANS - TYP. BASEMENT, FIRST AND SECOND FLOORS
- CHANGE OF OCCUPANCY AT ALL REMAINING OFFICE SPACES (AS SHOWN IN 1361 PLAN) TO FACTORY/INDUSTRIAL WITH AN FI OCCUPANCY

BUILDING INFORMATION

PROJECT ADDRESS: 5100 SE HARNEY DR
PORTLAND, OREGON 97206
MULTNOMAH CO. TAX ACCT. NUMBER: R336245
STATE TAX ID NUMBER: 18285 - 100
ZONING DESIGNATIONS: I2 - GENERAL INDUSTRIAL 2

BUILDING CODE SUMMARY

ALL WORK IS DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE OREGON STRUCTURAL SPECIALTY CODE (OSSC) 2104 EDITION

PROJECT SUMMARY:
DOCUMENT EXISTING BUILDING AND EXISTING TENANTS AND LEGALIZE NEW MARIJUANA TENANTS IN THE FOLLOWING SUITES: 004, 008, 009, 104, 106, 108, 130 TO 134, 214 AND N-11. CHANGE OF OCCUPANCY OF ALL OTHER OFFICE SPACES (B OCCUPANCY) TO FACTORY (FI OCCUPANCY) OR STORAGE (S1 OCCUPANCY) AS NOTED ON THE PLANS.

ADDITIONAL PERMITS REQUIRED:
1. SPRINKLER - FIRE MARSHALL'S OFFICE
2. MECHANICAL
3. ELECTRICAL

CONSTRUCTION TYPE: III-B - FULLY SPRINKLERED PER THIS PERMIT

BUILDING SIZE:
BASEMENT LEVEL: 4530 SF GROSS - S1 AND FI OCC.
FIRST FLOOR: 18350 SF GROSS - B AND FI OCC.
SECOND FLOOR: 18500 SF GROSS - B OCC.
THIRD FLOOR: 4080 SF GROSS - A2 OCC.
TOTAL: 45460 SF GROSS

BUILDING HEIGHT: THREE STORIES PLUS 'BASEMENT' - 40' +/-

CONSTRUCTION TYPE PER OSSC CHAPTER 6:
TYPE III-B - CONCRETE WALLS, FLOORS, STRUCTURE

ALLOWABLE BUILDING HEIGHTS AND AREAS:

CONSTRUCTION TYPE: 3-B
OCCUPANCY GROUPS (PRIMARY): A2 AND FI
OCCUPANCY GROUPS (ACCESSORY LESS THAN 10%): B AND S1
A2 BASE ALLOWABLE: 9500 SF, 2 STORIES
FI BASE ALLOWABLE: 12,000 SF, 2 STORIES
ALLOWABLE INCREASES FOR SPRINKLERS: 200% AND 1 STORY
A2 ALLOWABLE W/ SPRINKLERS: 28500 SF, 3 STORIES
FI ALLOWABLE W/ SPRINKLERS: 36000 SF, 3 STORIES

BUILDING WORKS WITH A2 AND FI AS ALLOWED USES
INCREASES FOR YARDS NOT NEEDED AT THIS TIME

MIXED USE AND NON-SEPARATED OCCUPANCIES - TYPE III-B CONSTRUCTION

A2 ALLOWABLE W/ SPRINKLERS + 28500 SF
FI ALLOWABLE W/ SPRINKLERS + 36000 SF

28500 SF ALLOWABLE IS GREATER THAN 4080 SF ACTUAL ON 3RD FLOOR
36000 SF ALLOWABLE IS GREATER THAN 18500 SF ACTUAL ON BASEMENT 1ST AND 2ND FLOORS

NON-SEPARATED USES ARE ALLOWABLE

FIRE RESISTIVE RATINGS PER TABLE 601: 3-B CONSTRUCTION

STRUCTURAL FRAME: 0 HRS. FLOORS: 0 HRS.
BEARING WALLS - EXTERIOR: 2 HRS. ROOF: 0 HRS.
BEARING WALLS - INTERIOR: 0 HRS.

FIRE RESISTIVE RATINGS FOR EXTERIOR WALLS PER TABLE 602:

WALL	DIST. TO PROP. LINE	EXIST. FIRE RATING	REQ'D. FIRE RATING
NORTH WALL	30'	4 HR.	0 HR.
WEST WALL	30'	4 HR.	0 HR.
SOUTH WALL	30'	4 HR.	0 HR.
EAST WALL	25'	4 HR.	1 HR.

*4 HR RATED PER OSSC TABLE 721(2) ITEM 4-11 - SILICEOUS AGGREGATE CONCRETE

MAXIMUM AREA OF EXTERIOR WALL OPENINGS PER TABLE 705.2:

WALL	DIST. TO PROP. LINE	EXIST. WALL OPENING %	ALLOW. WALL OPENING %
NORTH WALL	30'	40% OPENINGS	NO LIMIT
WEST WALL	30'	5%	NO LIMIT
SOUTH WALL	30'	20%	NO LIMIT
EAST WALL	25'	20%	NO LIMIT

PREVIOUSLY PERMITTED OCCUPANCY AND OCCUPANT LOAD

OCCUPANCY - PER CHPT. 3 AND TABLE 1004.12

LEVEL	USE	SIZE	LOAD FACTOR	OCCUPANT LOAD
BASEMENT	STORAGE AREAS FACTORY	2,000 SF 560 SF GROSS	+/- 100 +/- 100	= 20 OCCUPANTS 6
FIRST FLOOR	OFFICE MERCANTILE	16,150 SF GROSS 2,200 SF GROSS	+/- 100 +/- 30	= 162 14
SECOND FLOOR	OFFICE	18,500 SF GROSS	+/- 100	= 185
THIRD FLOOR	CAFETERIA KITCHEN	2,200 SF 500 SF	+/- 15 +/- 200	= 147 3
TOTAL				591 OCCUPANTS

*NET AREA CALCULATED ONLY FOR BASEMENT AND THIRD FLOOR. CIRCULATION, TOILETS, ETC. NOT INCLUDED

PROPOSED OCCUPANCY AND OCCUPANT LOAD PER THIS PERMIT

OCCUPANCY - PER CHPT. 3 AND TABLE 1004.12

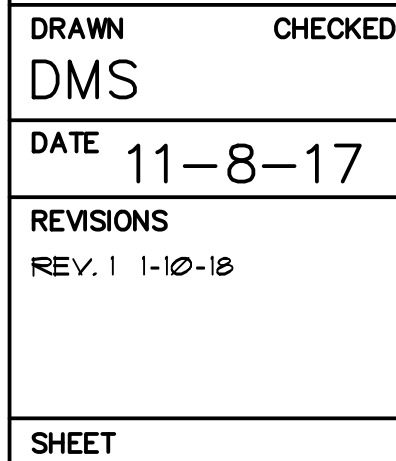
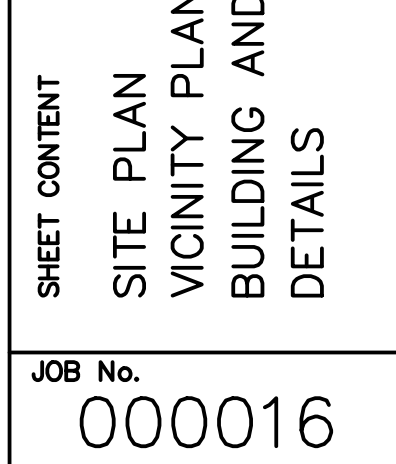
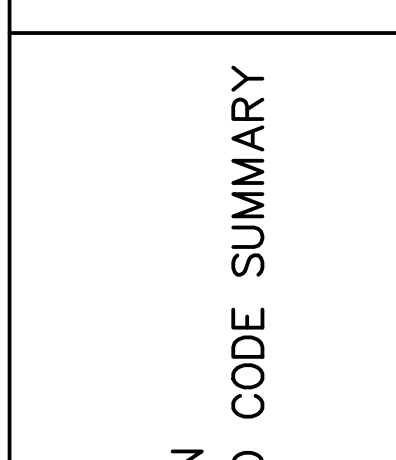
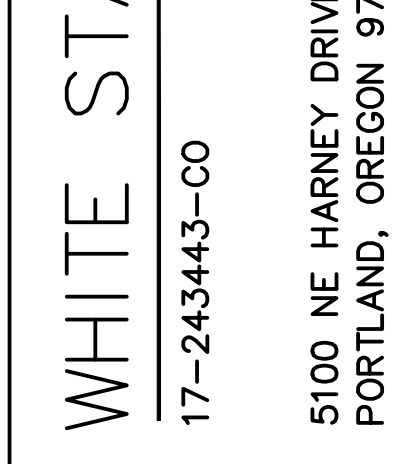
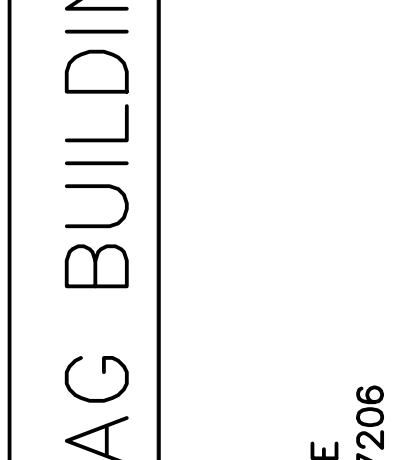
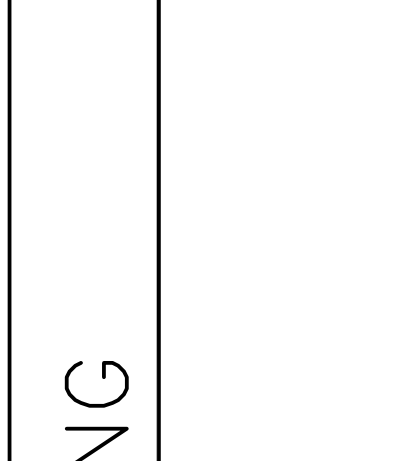
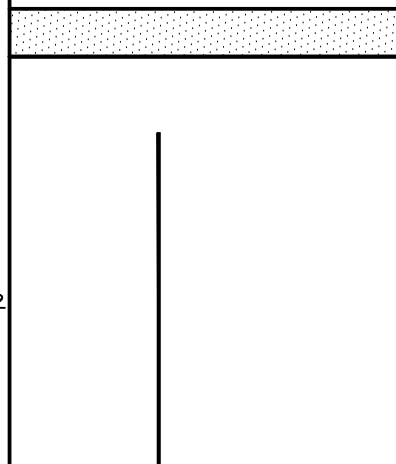
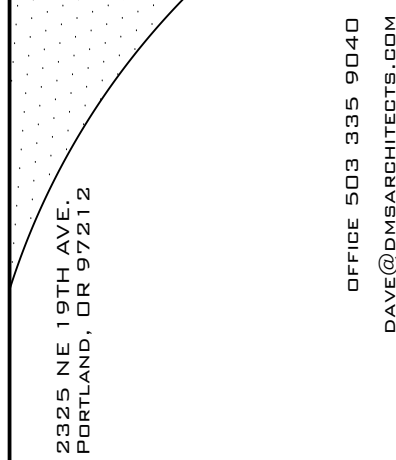
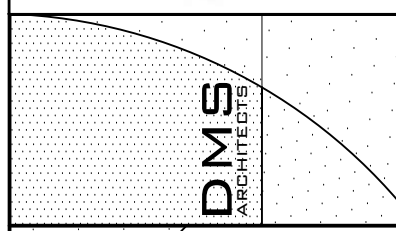
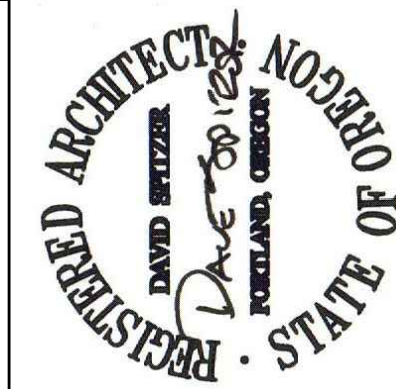
LEVEL	USE	SIZE	LOAD FACTOR	OCCUPANT LOAD
BASEMENT	STORAGE AREAS FACTORY	2,000 SF 560 SF GROSS	+/- 100 +/- 100	= 20 OCCUPANTS 6
FIRST FLOOR	FACTORY/INDUSTRIAL	18,500 SF GROSS	+/- 100	= 185
SECOND FLOOR	FACTORY/INDUSTRIAL	18,500 SF GROSS	+/- 100	= 185
THIRD FLOOR	CAFETERIA KITCHEN	2,200 SF 500 SF	+/- 15 +/- 200	= 147 3
TOTAL				546 OCCUPANTS

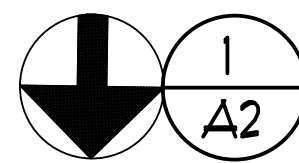
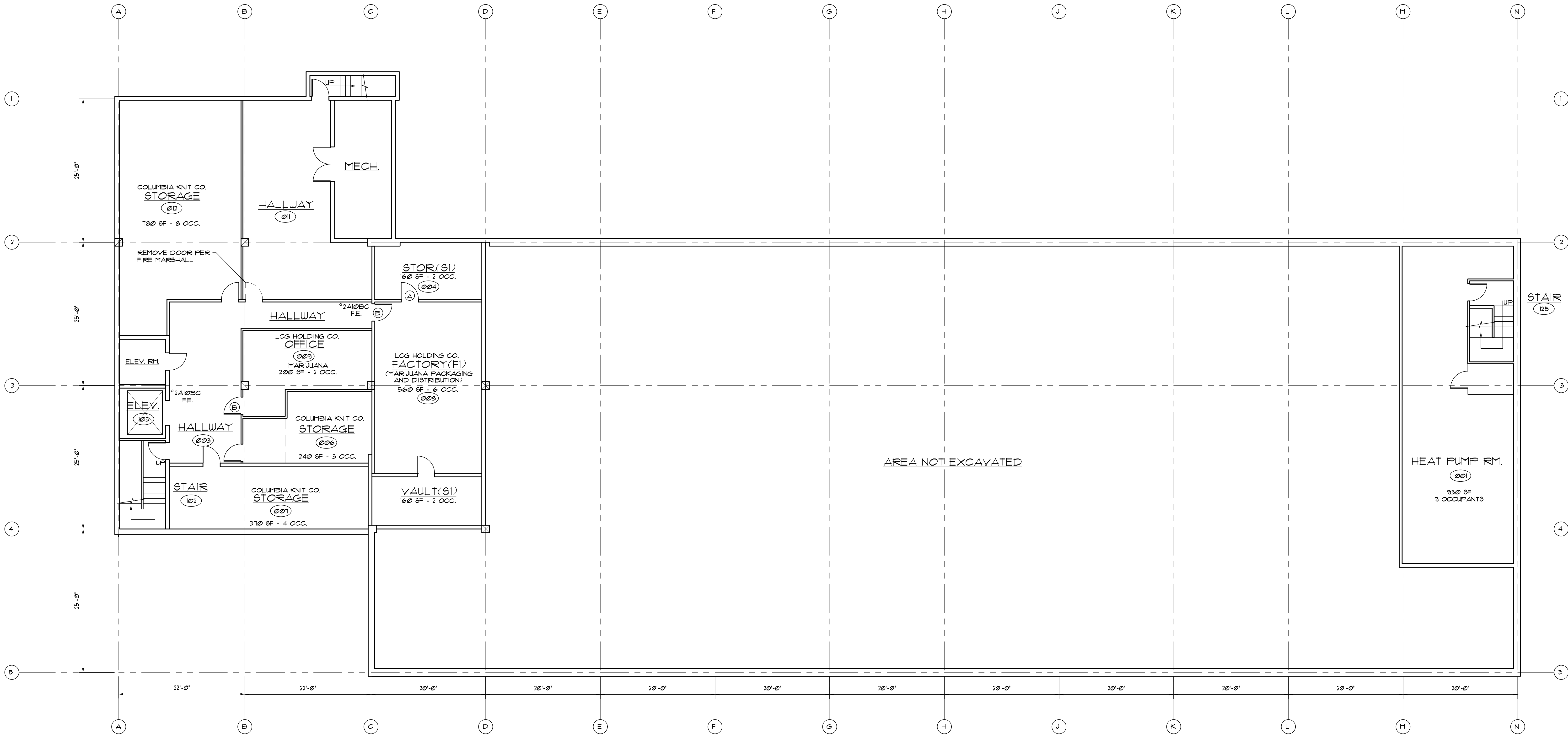
PLUMBING FIXTURE CALCULATIONS PER PROPOSED OCCUPANCY

PER OSSC TABLE 730(2)

OCCUPANCY	OCC. LOAD	W.C.	LAV.
STORAGE	20	20 = 2	20 = 2
FACTORY	376	20 = 3.76	20 = 3.76
CAFETERIA	15	15 = 2	20 = 1.5
TOTAL	546	5.76 MIN.	4.53 MIN.

14 W.C., 5 URINALS AND 13 LAVS ARE PROVIDED.





PROPOSED BASEMENT FLOOR AND LIFE SAFETY PLAN

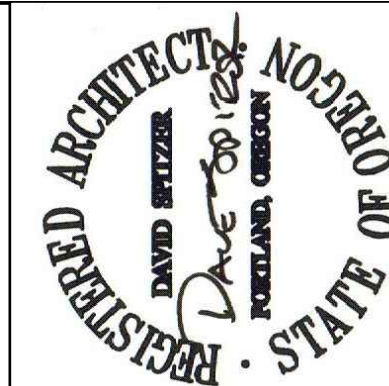
4530 SF - GROSS

NOTE: ABOVE LAYOUT AS SHOWN IS FROM ORIGINAL PERMIT DRAWINGS FROM 1961 (PERMIT 23603) AND 1969 (455003 PERMIT) AND AS MODIFIED PER ABOVE DRAWING



SCOPE OF WORK - BASEMENT

1. CHANGE OCCUPANCY SUITES 004, 008 AND 009 TO MARIJUANA (008 IS PACKAGING AND 004 IS STORAGE AND 009 IS OFFICE)
2. REMOVE DOOR AT 011 PER FIRE MARSHALL REQUEST
3. CHANGE OCCUPANCY AT 011 FROM DISTRIBUTION TO HALLWAY PER FIRE MARSHALL REQUEST
4. CHANGE 012 FROM DISTRIBUTION TO STORAGE
5. VERIFY/PROVIDE REQUIRED EXIT SIGNS AND EGRESS LIGHTING AS SHOWN ON PLANS - TYP. BASEMENT, FIRST AND SECOND FLOORS



DMS
ARCHITECTS

2325 NE 10TH AVE.
PORTLAND, OR 97212

OFFICE 503 333 9040
DAVE@DMSARCHITECTS.COM

WHITE STAG BUILDING

5100 NE HARNEY DRIVE
PORTLAND, OREGON 97206

SHEET CONTENT PROPOSED BASEMENT FLOOR PLAN

JOB No.
000016

DRAWN
DMS

CHECKED

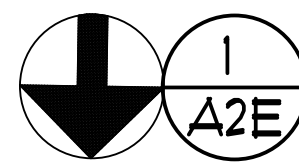
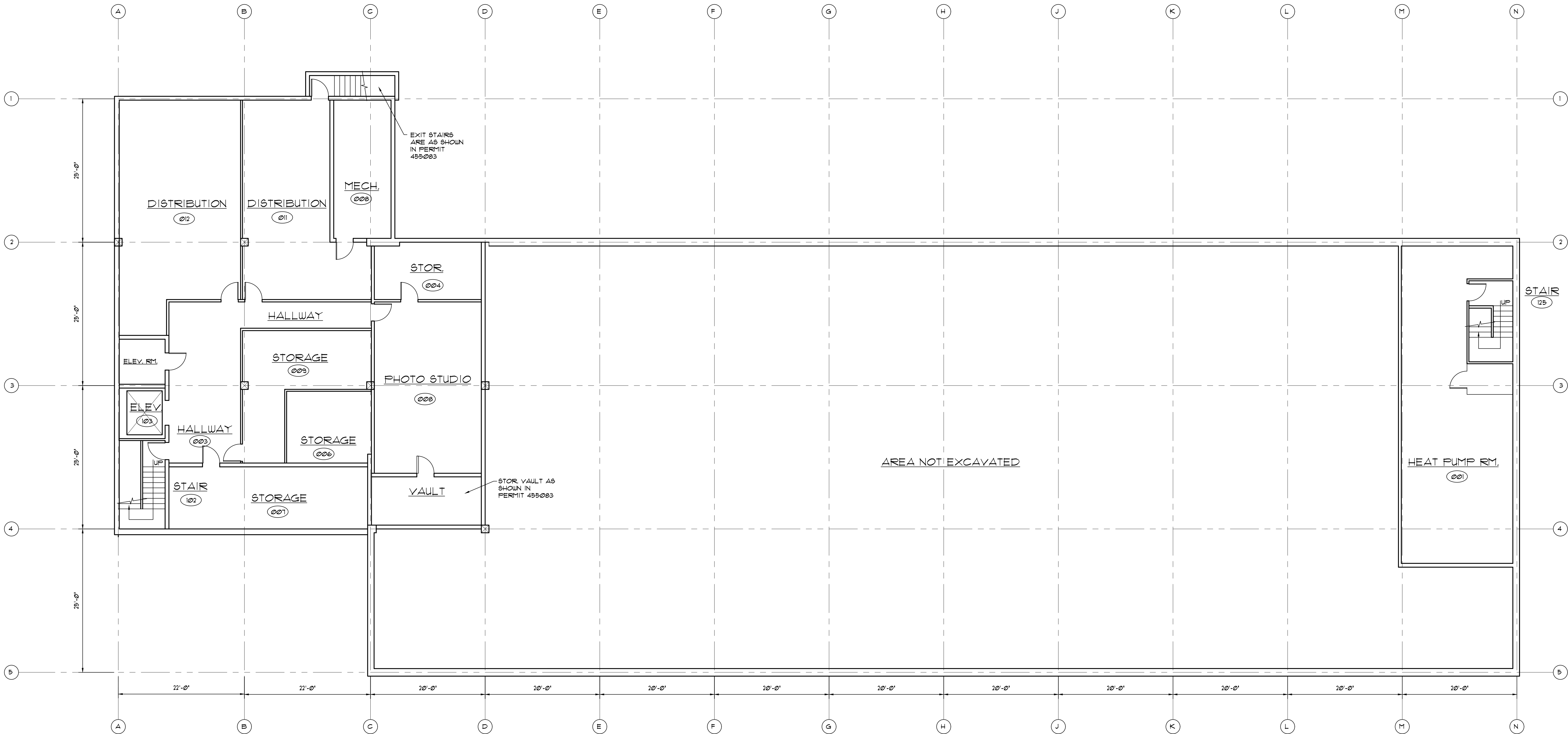
DATE
11-8-17

REVISIONS

REV. 1 1-10-18

SHEET

A2 OF 7



RECORDED PERMIT HISTORY BASEMENT FLOOR PLAN

4530 SF - GROSS

NOTE: ABOVE LAYOUT AS SHOWN IS FROM ORIGINAL PERMIT DRAWINGS FROM 1961 (PERMIT 23603) AND 1963 (455083 PERMIT).

1/8" = 1'-0"



DMS ARCHITECTS

2325 NE 10TH AVE.
PORTLAND, OR 97212

OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM

WHITE STAG BUILDING

5100 NE HARNEY DRIVE
PORTLAND, OREGON 97206

SHEET CONTENT
EXIST. BASEMENT FLOOR PLAN

JOB No.
000016

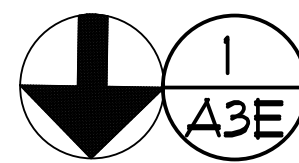
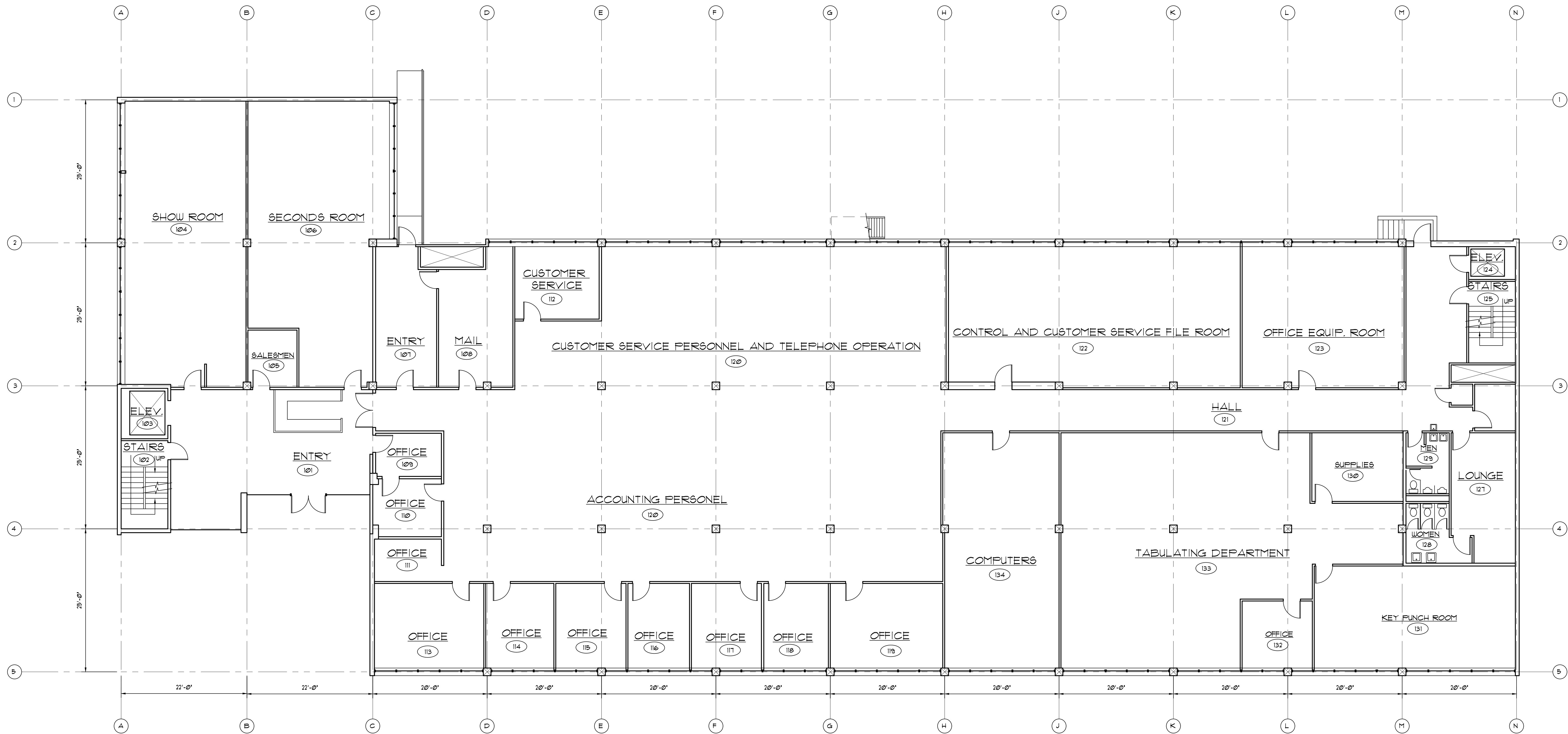
DRAWN
DMS

CHECKED

DATE
11-8-17

REVISIONS
REV. 1 1-10-18

SHEET
A2E OF 7



RECORDED PERMIT HISTORY - FIRST FLOOR PLAN

18,350 SF GROSS (INCLUDES ALL FLOOR AREA INCLUDING EXTERIOR WALLS - FLOOR PENETRATIONS DEDUCTED (STAIRS, VENTS, ELEV.)
NOTE: ABOVE LAYOUT AS SHOWN IS FROM ORIGINAL PERMIT DRAWINGS FROM 1961 (PERMIT 23603)

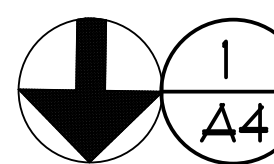
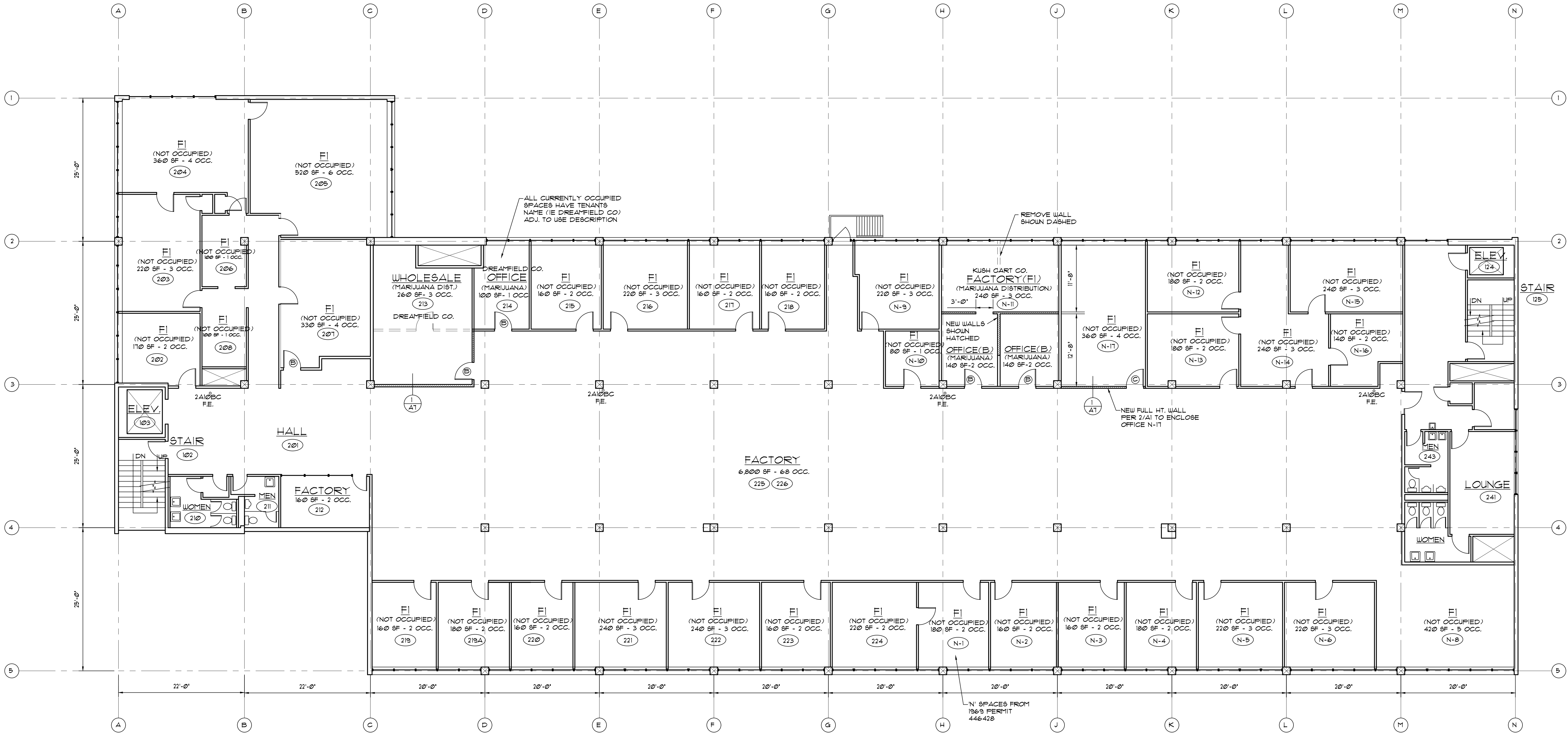
1/8" = 1'-0"



DMS
ARCHITECT
3325 NE 10TH AVE.
PORTLAND, OR 97212
OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM

WHITE STAG BUILDING
5100 NE HARNEY DRIVE
PORTLAND, OREGON 97206

SHEET CONTENT EXIST. 1ST FLOOR PLAN	
JOB No.	000016
DRAWN DMS	CHECKED
DATE	11-8-17
REVISIONS	REV. 1 1-10-18
SHEET	A3E of 7



PROPOSED SECOND FLOOR AND LIFE SAFETY PLAN

18,500 SF GROSS (INCLUDES ALL FLOOR AREA INCLUDING EXTERIOR WALLS - FLOOR PENETRATIONS DEDUCTED (STAIRS, VENTS, ELEV.)
NOTE: ABOVE LAYOUT AS SHOWN IS FROM ORIGINAL PERMIT DRAWINGS FROM 1961 - PERMIT # 23603, 1969 PERMIT 446428 AND AS MODIFIED AS SHOWN ABOVE



SCOPE OF WORK - FIRST FLOOR

1. CHANGE OCCUPANCY FROM ORIGINAL OFFICE RELATED USE TO NEW FACTORY (MARIJUANA USE AS SHOWN ON PLAN) IN THE FOLLOWING SUITES: 213, 214 AND N-11
2. ADD NEW WALL TO ENCLOSE OFFICE N-11
3. ADD WALLS TO EXPAND SPACE 213
4. ADD WALLS TO DEMISE SPACE N-11
5. VERIFY/PROVIDE REQUIRED EXIT SIGNS AND EGRESS LIGHTING AS SHOWN ON PLANS - TYP. BASEMENT, FIRST AND SECOND FLOORS
6. CHANGE OF OCCUPANCY AT ALL REMAINING OFFICE SPACES (AS SHOWN IN 1961 PLAN) TO FACTORY/INDUSTRIAL WITH AN FI OCCUPANCY



DMS
ARCHITECTS

2328 NE 17TH AVE.
PORTLAND, OR 97212

OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM

WHITE STAG BUILDING

5100 NE HARNEY DRIVE
PORTLAND, OREGON 97206

SHEET CONTENT PROPOSED 2ND FLOOR PLAN

JOB No.

000016

DRAWN

CHECKED

DMS

DATE

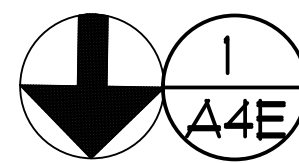
11-8-17

REVISIONS

REV. 1 1-10-18

SHEET

A4 OF 7



RECORDED PERMIT HISTORY - SECOND FLOOR PLAN

10320 SF GROSS (INCLUDES ALL FLOOR AREA INCLUDING EXTERIOR WALLS - FLOOR PENETRATIONS DEDUCTED (STAIRS, VENTS, ELEV.)
NOTE: ABOVE LAYOUT AS SHOWN IS FROM ORIGINAL PERMIT DRAWINGS FROM 1961 - PERMIT # 23603 AND 1963 PERMIT 446428

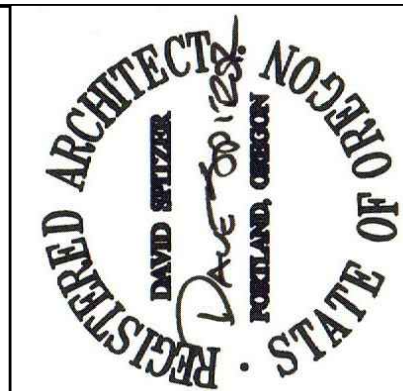
1/8" = 1'-0"



DMS ARCHITECTS
2328 NE 17TH AVE.
PORTLAND, OR 97212
OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM

WHITE STAG BUILDING
5100 NE HARNEY DRIVE
PORTLAND, OREGON 97206

SHEET CONTENT EXIST. 2ND FLOOR PLAN	JOB No.	000016
	DRAWN	CHECKED
	DMS	
	DATE	11-8-17
REVISIONS	REV. 1	1-10-18
SHEET	A4E OF 7	



DMS
ARCHITECTS

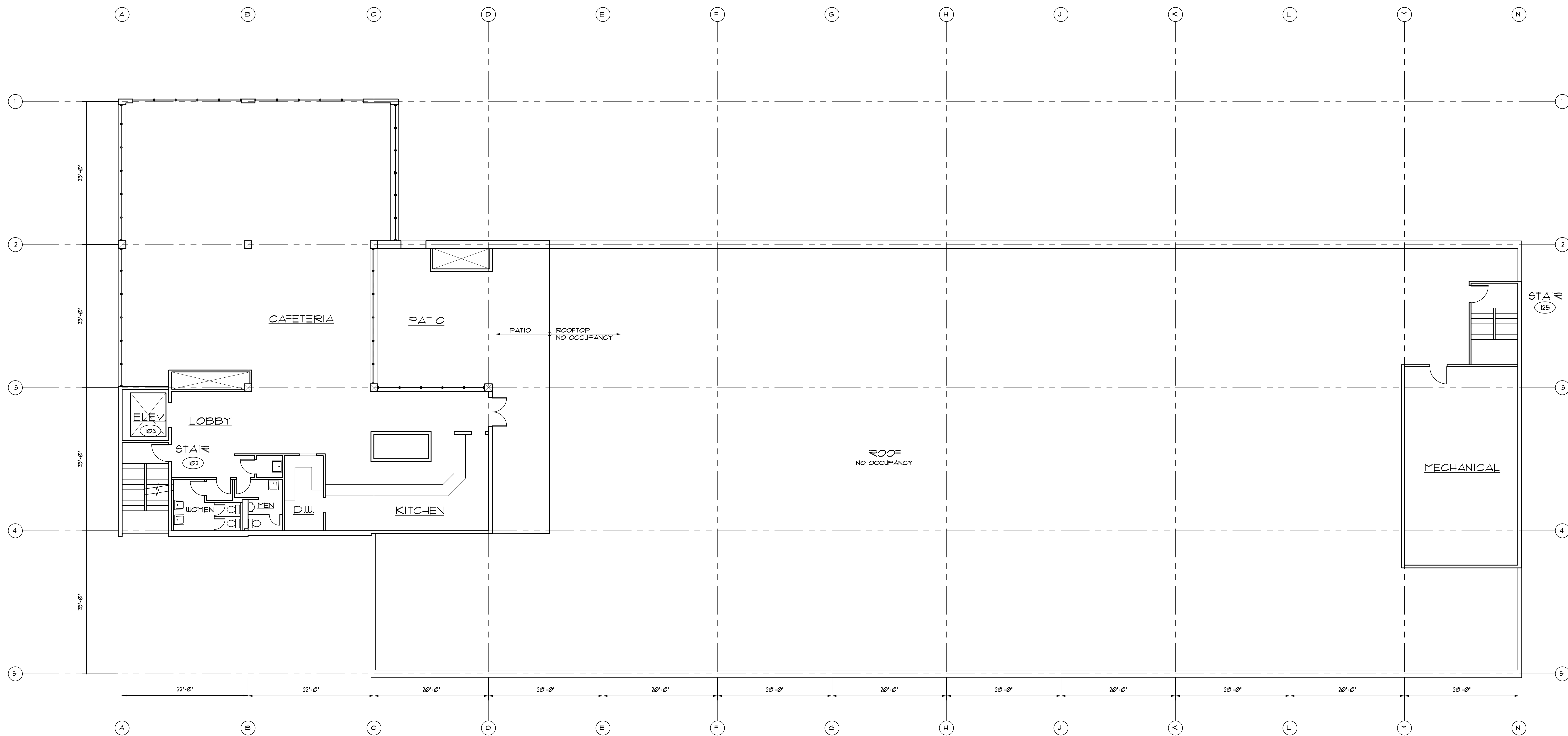
3325 NE 10TH AVE
PORTLAND, OR 97212

OFFICE 503 335 9040
DAVE@DMSARCHITECTS.COM

WHITE STAG BUILDING

5100 NE HARNEY DRIVE
PORTLAND, OREGON 97206

SHEET CONTENT	EXIST. 3RD FLOOR PLAN
	JOB No. 000016
	DRAWN DMS
	CHECKED
REVISIONS	DATE 11-8-17
	REV. 1 1-10-18
SHEET A5 OF 7	



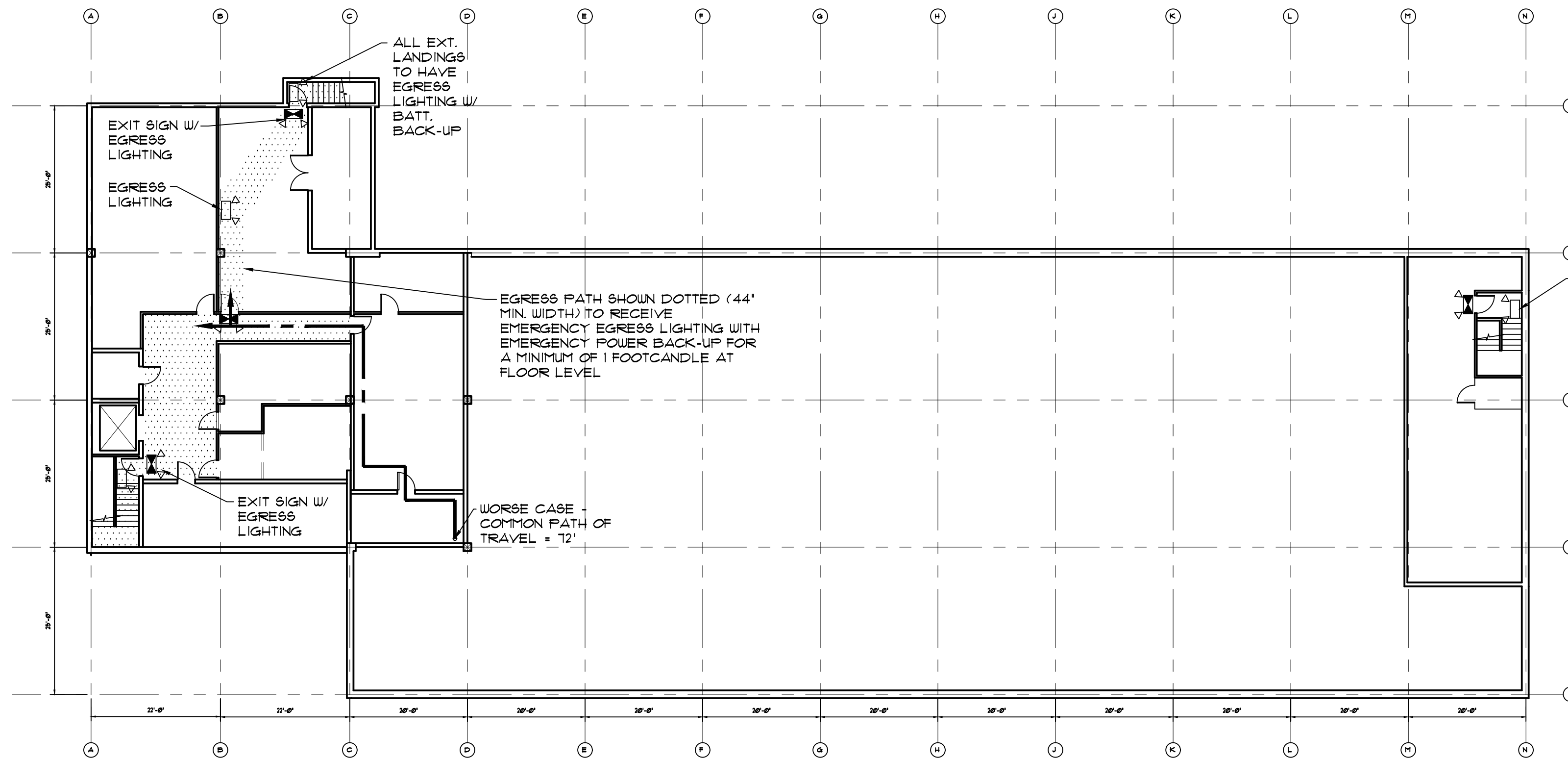
1
A5

EXISTING THIRD FLOOR PLAN

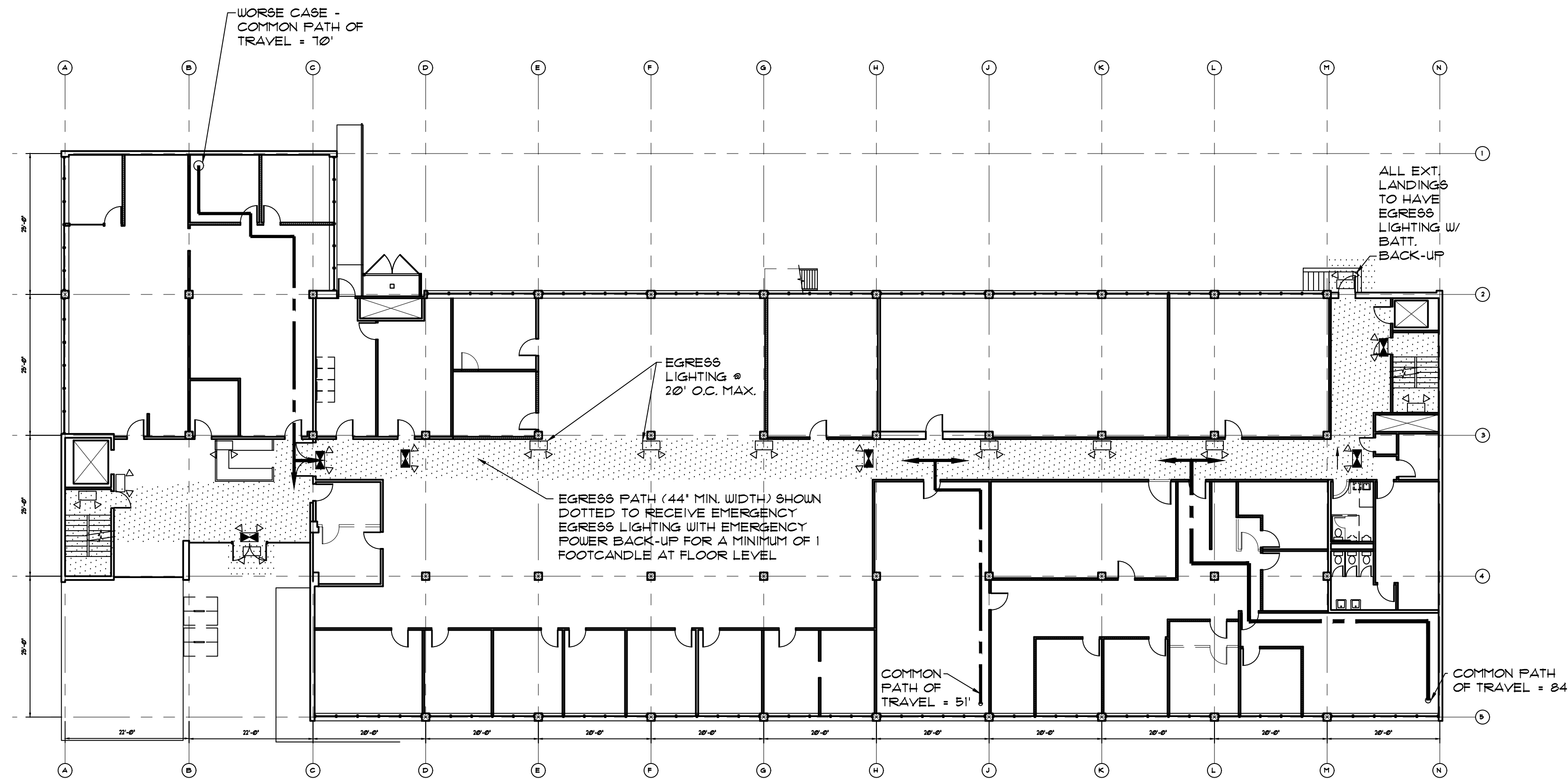
SCOPE OF WORK - THIRD FLOOR

NO PROPOSED WORK ON THIRD FLOOR

1/8" = 1'-0"



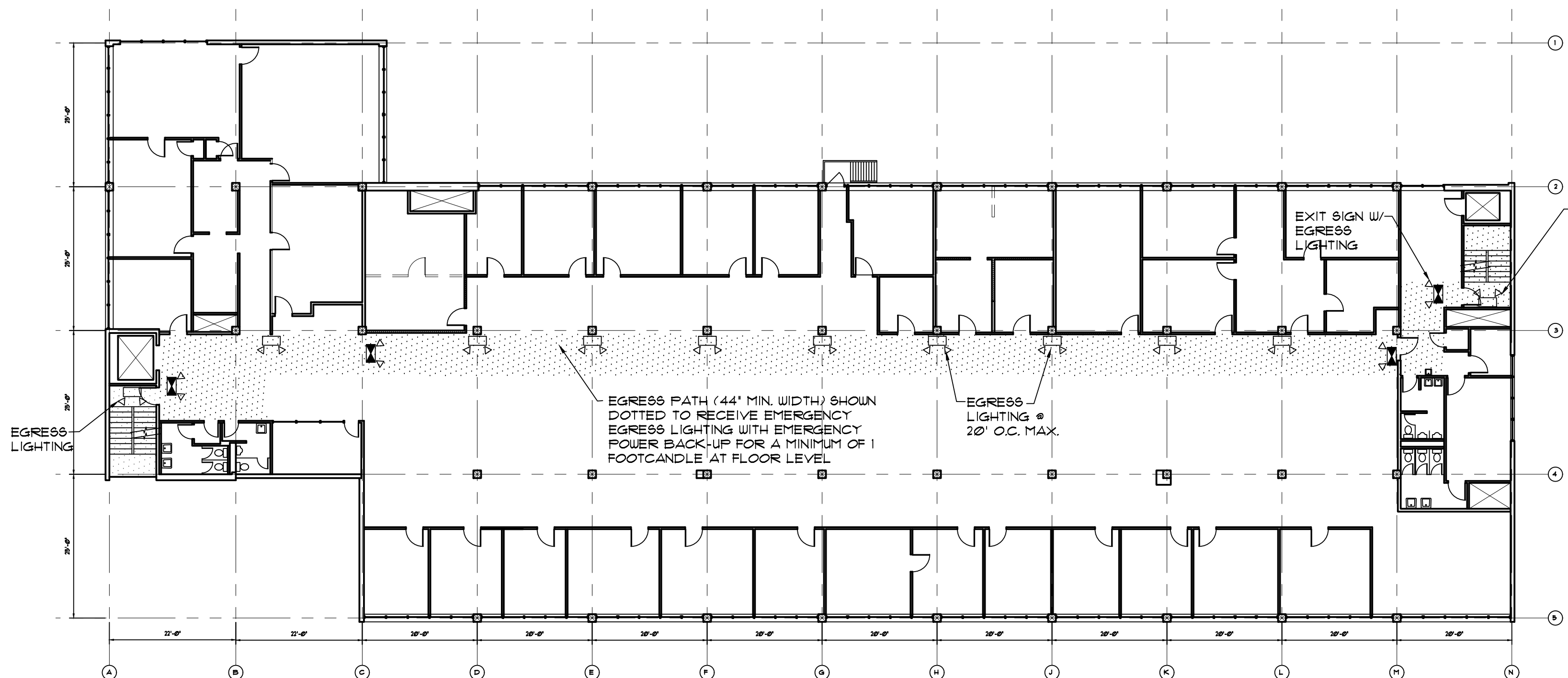
1
A6
PROPOSED BASEMENT LIGHTING AND EXITING DIAGRAM
1/8" = 1'-0"



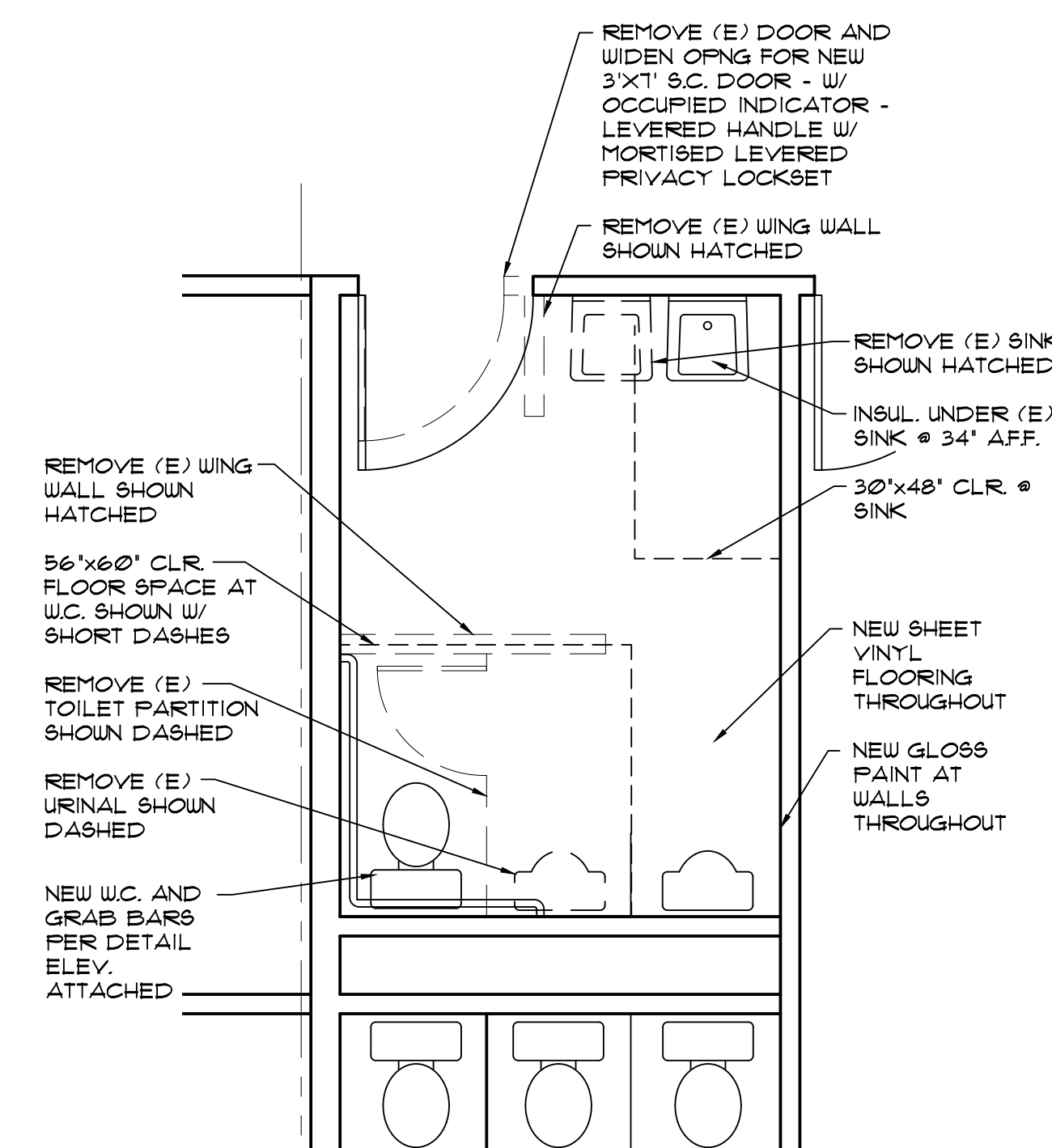
2
A6
PROPOSED FIRST FLOOR LIGHTING AND EXITING DIAGRAM
1/8" = 1'-0"

LEGEND

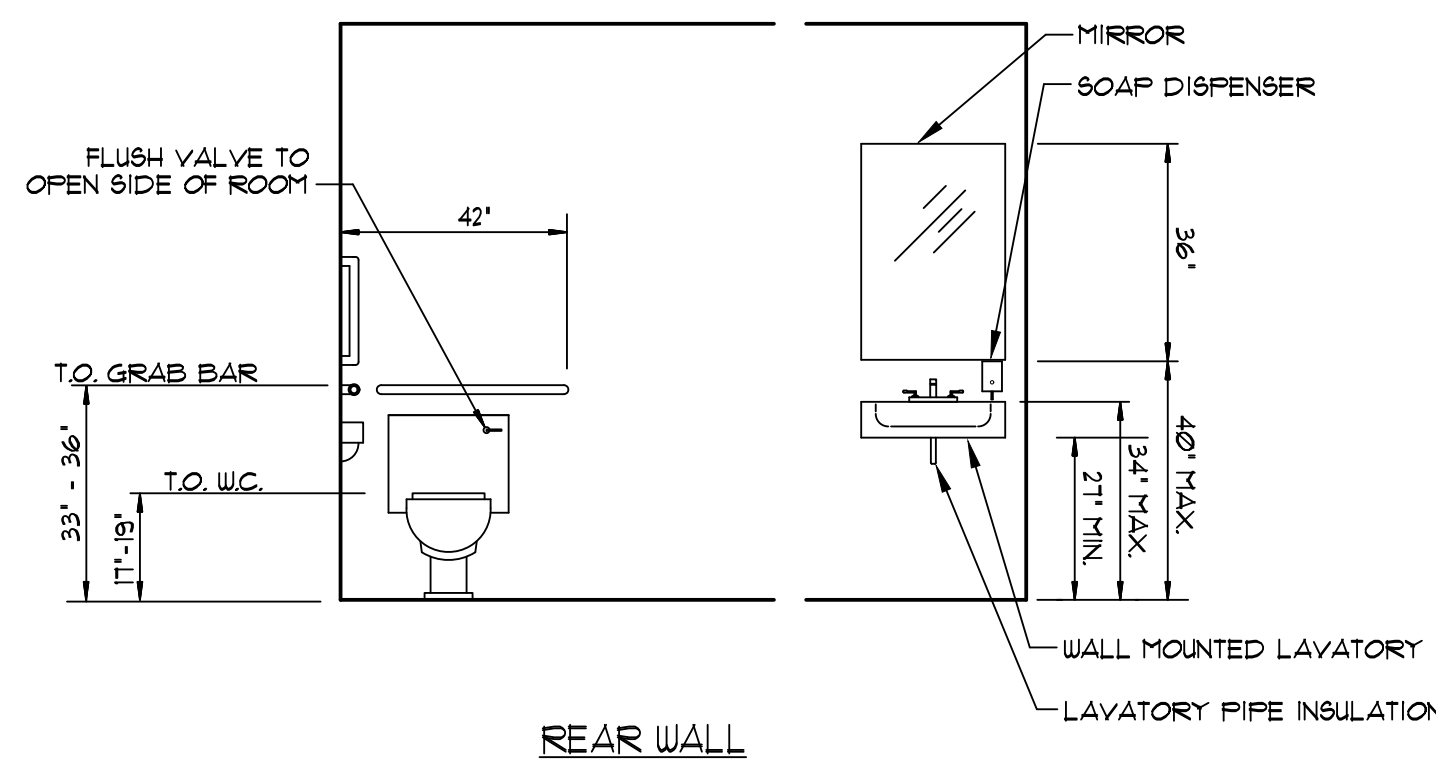
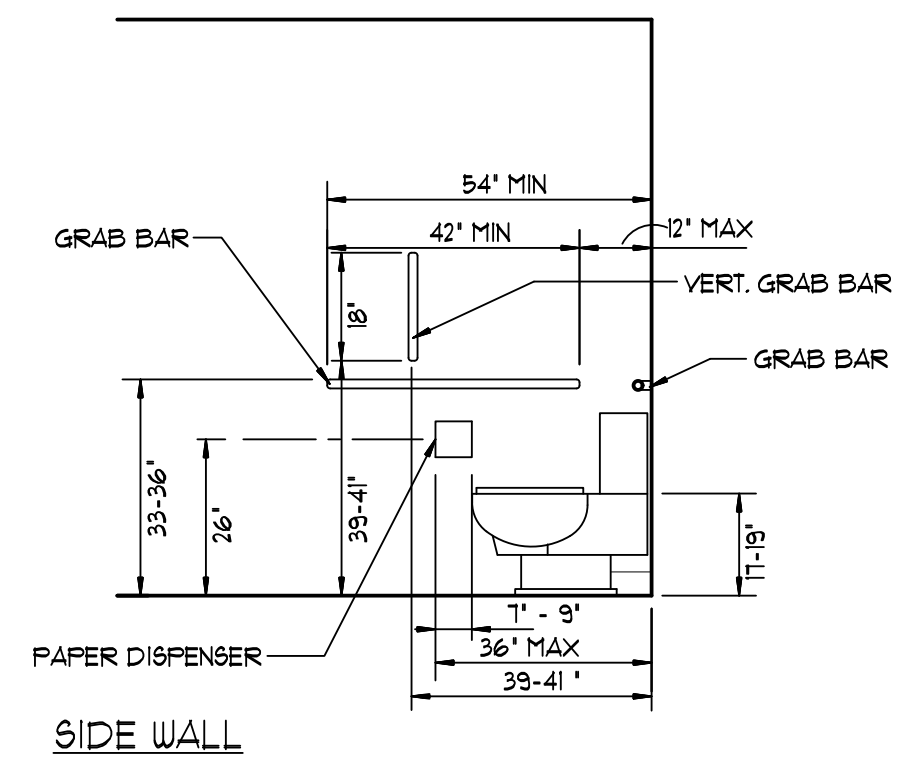
- NEW OR EXIST. LED EXIT/EXIT COMBO - LIGHTED EXIT SIGN w/ EGRESS LIGHTING w/ MIN. 90 MIN. BATTERY BACK-UP - LITHONIA OR EQ.
- NEW OR EXIST. LED EGRESS LIGHTING w/ MIN. 90 MIN. BATTERY BACK-UP - LITHONIA OR EQ.

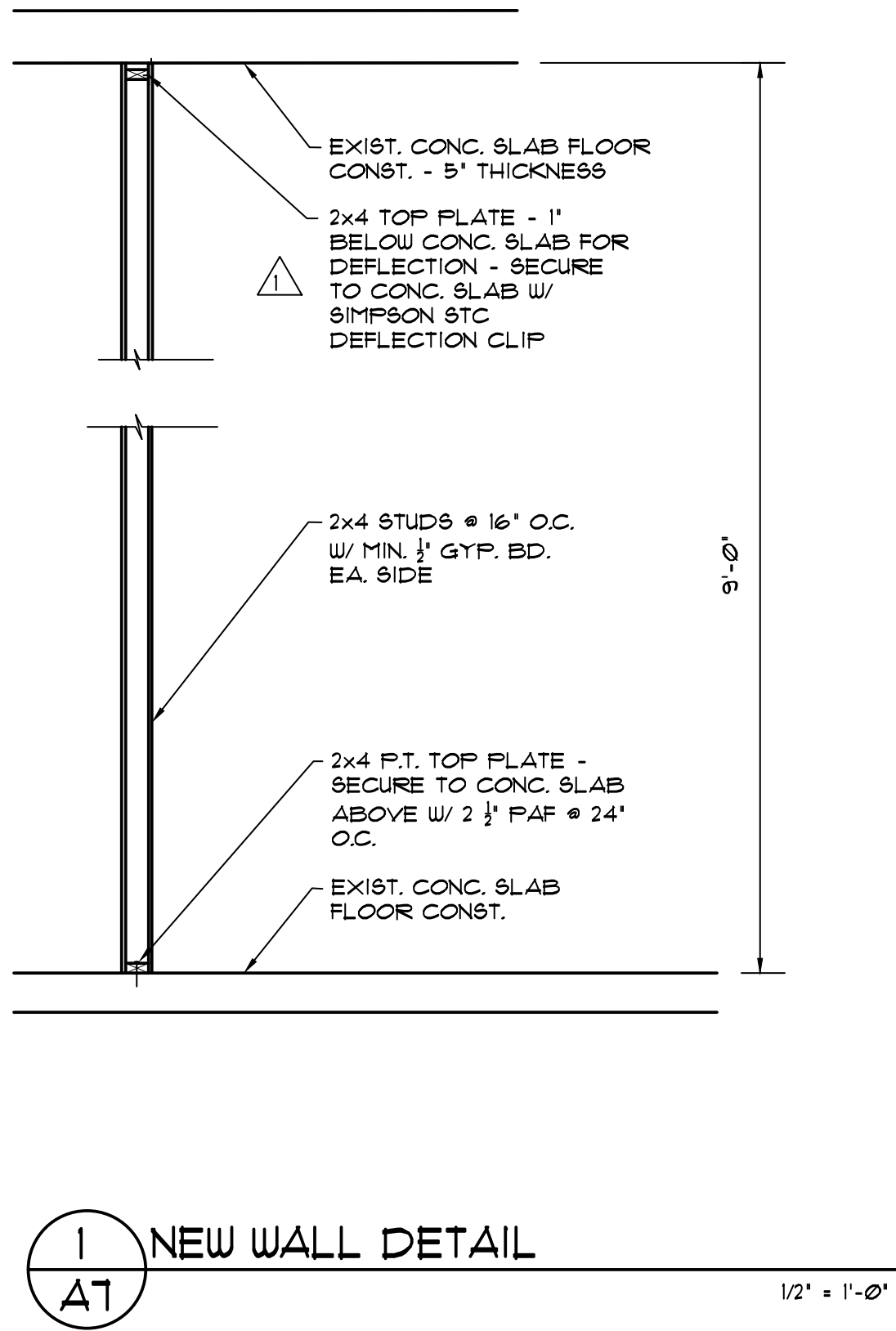


3
A6
PROPOSED 2ND FLOOR LIGHTING AND EXITING DIAGRAM
1/8" = 1'-0"



4
A6
PROPOSED UPGRADES TO EXIST. GROUND FLOOR MEN'S TOILET ROOM
3/8" = 1'-0"





ROOM OCCUPANCY SUMMARY

#	PREVIOUS OCCUPANCY	PROPOSED OCCUPANCY	SF	OCCUPANT LOAD	CURRENT TENANT NAME	CURRENTLY OCCUPIED	
BASEMENT							
001	FI HEAT PUMP RM.	FI HEAT PUMP RM.	930	9	--	YES	
004	SI STORAGE	SI STORAGE	160	2	LOG HOLDING	YES	
006	SI STORAGE	SI STORAGE	240	3	COLUMBIA KNIT	YES	
007	SI STORAGE	SI STORAGE	370	4	COLUMBIA KNIT	YES	
008	FI PHOTO STUDIO	FI MARIJUANA DISTRIB.	560	6	LOG HOLDING	YES	
009	FI STORAGE	FI OFFICE	200	2	LOG HOLDING	YES	
011	SI DISTRIBUTION	HALLWAY	--	--	--	--	
012	SI DISTRIBUTION	SI STORAGE	780	8	COLUMBIA KNIT	YES	
FIRST FLOOR							
104	M SHOW ROOM	FI MARIJUANA PACK.	1740	12	FRESH FROM THE GARDEN	YES	
106	M SECONDS ROOM	FI MARIJUANA PACK.	1050	11	FRESH FROM THE GARDEN	YES	
108	B MAIL	SI STORAGE	260	3	CLARK FORESTER CO.	YES	
109	B OFFICE	FI (NOT OCCUPIED)	270	3	--	NO	
112	B CUSTOMER SERVICE	FI SEWING	180	2	SPOILED CAT	YES	
112A	--	FI (NOT OCCUPIED)	180	2	--	NO	
113	B OFFICE	FI (NOT OCCUPIED)	280	3	--	NO	
114	B OFFICE	FI ART STUDIO	180	2	AMY MCLAIN CO.	YES	
115	B OFFICE	FI (NOT OCCUPIED)	180	2	--	NO	
116	B OFFICE	FI MARIJUANA OFFICE	180	2	FRESH FROM THE GARDEN	YES	
117	B OFFICE	FI (NOT OCCUPIED)	180	2	--	NO	
118	B OFFICE	FI SEWING	180	2	SPOILED CAT CO.	YES	
119	B OFFICE	SI STORAGE	290	3	CR ELECTRIC	YES	
120	B ACCOUNTING	FI (NOT OCCUPIED)	3800	38	--	NO	
121	B CUSTOMER SERV.	FI SCREEN PRINTING	470	5	BLACK SHEEP SCREEN &	YES	
122	SI FILE ROOM	SI FILE ROOM	1220	13	--	NO	
123	SI OFFICE EQUIP.	SI OFFICE EQUIP.	680	7	--	NO	
130-134	TABULATING DEPT.	B MARIJUANA TESTING	3650	37	EVIO INC	YES	
SECOND FLOOR							
202	B OFFICE	FI (NOT OCCUPIED)	170	2	--	NO	
203	B OFFICE	FI (NOT OCCUPIED)	220	2	--	NO	
204	B OFFICE	FI (NOT OCCUPIED)	360	4	--	NO	
205	B CONFERENCE	FI (NOT OCCUPIED)	520	6	--	NO	
206	B SECRETARY	FI (NOT OCCUPIED)	100	1	--	NO	
207	B OFFICE	FI (NOT OCCUPIED)	330	4	--	NO	
208	B SECRETARY	FI (NOT OCCUPIED)	100	1	--	NO	
212	B OFFICE	FI (NOT OCCUPIED)	160	2	--	NO	
213	B OFFICE	FI MARIJUANA DIST.	260	3	DREAMFIELD	YES	
214	B OFFICE	FI MARIJUANA OFFICE	100	1	DREAMFIELD	YES	
215	B OFFICE	FI (NOT OCCUPIED)	160	2	--	NO	
216	B OFFICE	FI (NOT OCCUPIED)	220	3	--	NO	
217	B OFFICE	FI (NOT OCCUPIED)	160	2	--	NO	
218	B OFFICE	FI (NOT OCCUPIED)	160	2	--	NO	
219	B OFFICE	FI (NOT OCCUPIED)	160	2	--	NO	
219A	B OFFICE	FI (NOT OCCUPIED)	180	2	--	NO	
220	B OFFICE	FI (NOT OCCUPIED)	160	2	--	NO	
221	B OFFICE	FI (NOT OCCUPIED)	240	3	--	NO	
222	B OFFICE	FI (NOT OCCUPIED)	240	3	--	NO	
223	B OFFICE	FI (NOT OCCUPIED)	160	1	--	NO	
224	B OFFICE	FI (NOT OCCUPIED)	220	3	--	NO	
225	B CUSTOMER SERVICE	FI (NOT OCCUPIED)	3400	34	--	NO	
226	FI FABRIC CONTROL	FI (NOT OCCUPIED)	3400	34	--	NO	
N-1	B OFFICE	FI (NOT OCCUPIED)	180	2	--	NO	
N-2	B OFFICE	FI (NOT OCCUPIED)	160	2	--	NO	
N-3	B OFFICE	FI (NOT OCCUPIED)	160	2	--	NO	
N-4	B OFFICE	FI (NOT OCCUPIED)	180	2	--	NO	
N-5	B OFFICE	FI (NOT OCCUPIED)	220	3	--	NO	
N-6	B OFFICE	FI (NOT OCCUPIED)	220	3	--	NO	
N-8	B OFFICE	FI (NOT OCCUPIED)	420	5	--	NO	
N-9	B OFFICE	FI (NOT OCCUPIED)	220	3	--	NO	
N-10	B SUPPLIES	FI (NOT OCCUPIED)	80	1	--	NO	
N-11	B SAMPLES	FI MARIJUANA DISTRIB.	520	6	KUSH CART	YES	
N-12	B OFFICE	FI (NOT OCCUPIED)	180	2	--	NO	
N-13	B OFFICE	FI (NOT OCCUPIED)	180	2	--	NO	
N-14	B OFFICE	FI (NOT OCCUPIED)	240	3	--	NO	
N-15	B OFFICE	FI (NOT OCCUPIED)	240	3	--	NO	
N-16	B OFFICE	FI (NOT OCCUPIED)	140	2	--	NO	
N-17	B OFFICE	FI (NOT OCCUPIED)	360	4	--	NO	
THIRD FLOOR							
A2	CAFETERIA	A2 CAFETERIA	2200	147	--	NO	
B	KITCHEN	B KITCHEN	500	3	--	NO	

REGISTERED ARCHITECT
DAVID WITZEL
DAVE WITZEL
PORTLAND, OREGON
NO. 3500 OF
STATE OF
OREGON

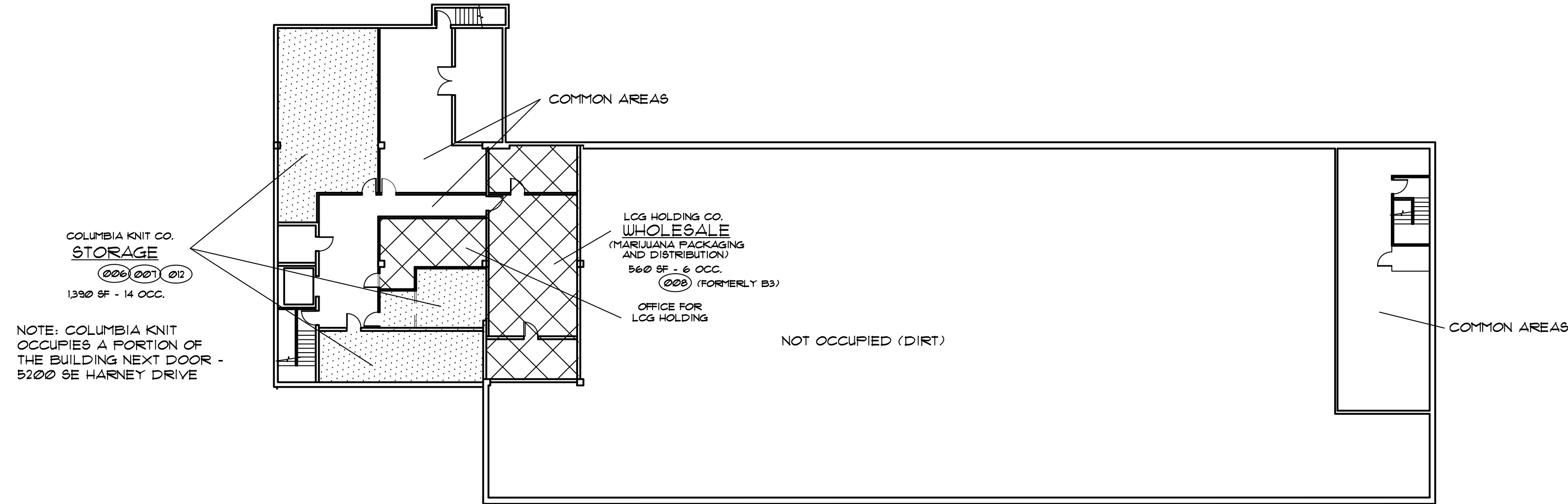
DMS
ARCHITECTS

2025 NE 10TH AVE
PORTLAND, OR 97212
OFFICE 503.335.9040
DAVE@DMSARCHITECTS.COM

WHITE STAG BUILDING
5100 NE HARNEY DRIVE
PORTLAND, OREGON 97206

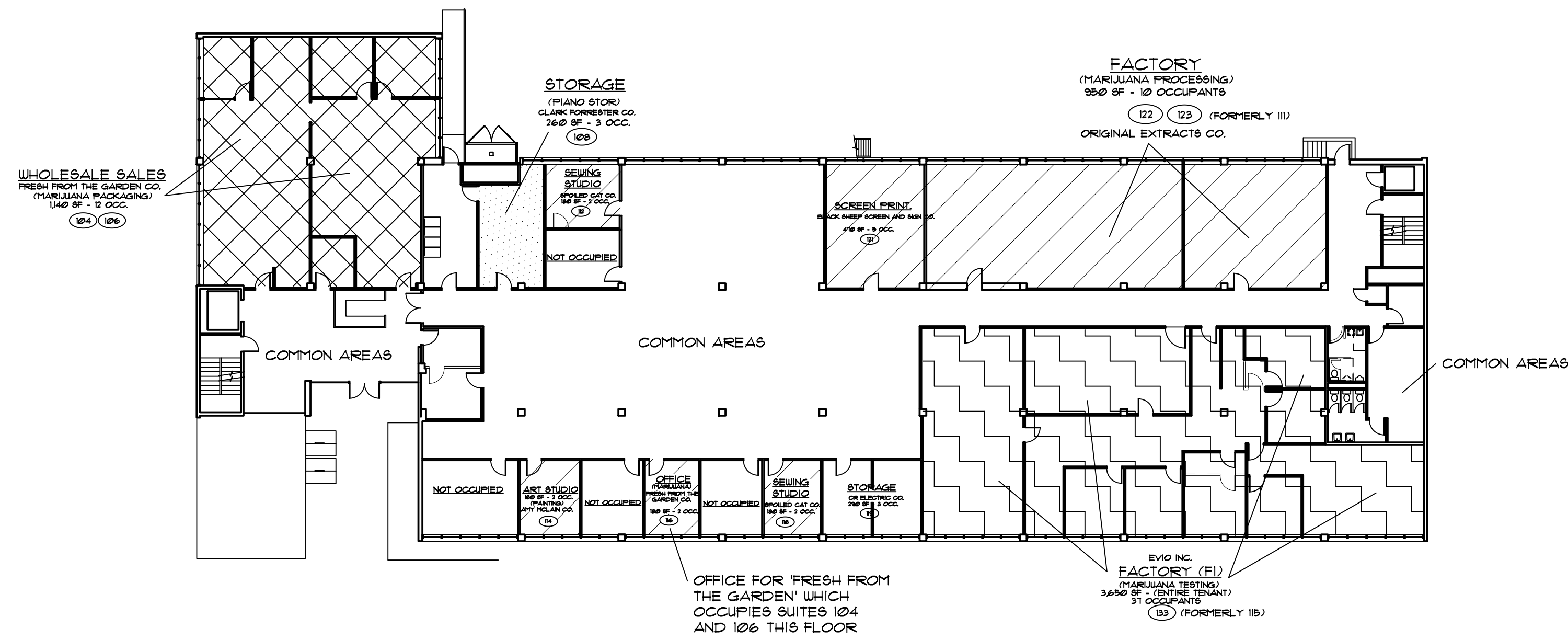
SHEET CONTENT
ROOM OCCUPANCY SUMMARY

JOB No.
000016
DRAWN
DMS
CHECKED
DATE 1-10-18
REVISIONS
SHEET
A7.7 OF 7



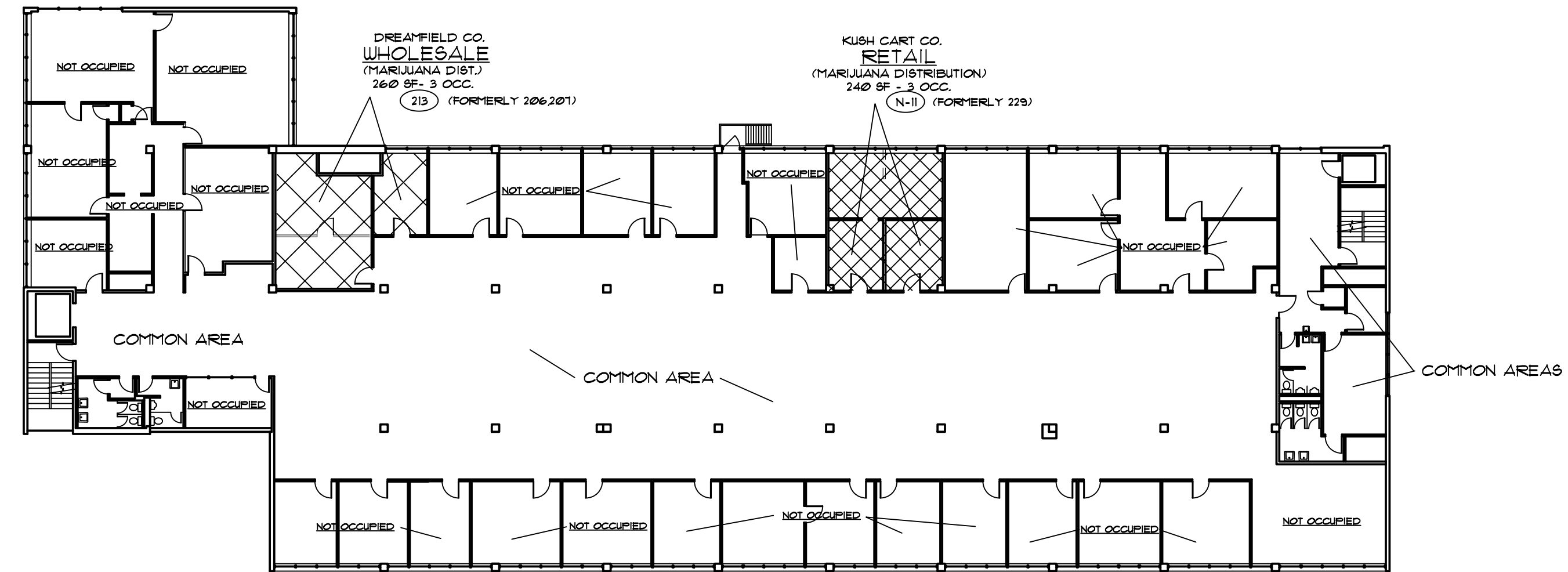
1
A8 ZONING USE SUMMARY PLAN - BASEMENT

1" = 20'



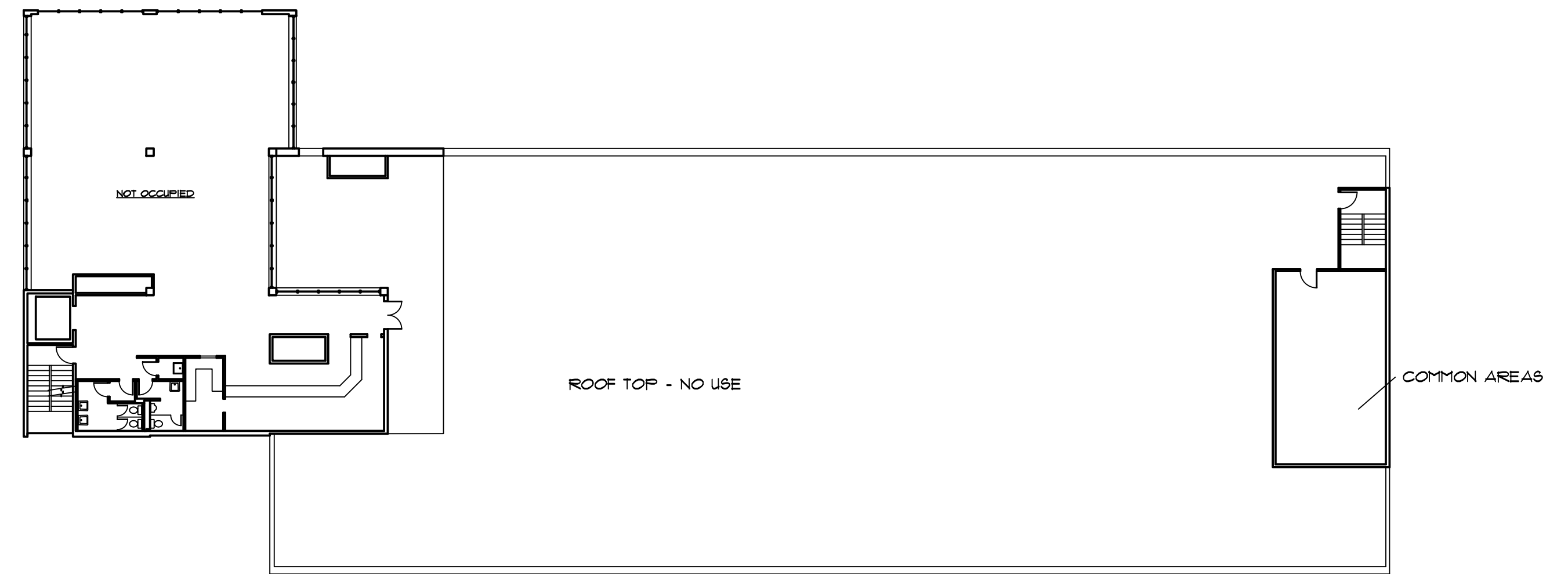
3
A8 ZONING USE SUMMARY PLAN - FIRST FLOOR

1" = 20'



2
A8 ZONING USE SUMMARY PLAN - SECOND FLOOR

1" = 20'



4
A8 ZONING USE SUMMARY PLAN - THIRD FLOOR

1" = 20'

ZONING USE KEY

	MANUFACTURING AND PRODUCTION USE		WAREHOUSE AND FREIGHT MOVEMENT (STORAGE)
	WHOLESALE SALES USE		INDUSTRIAL SERVICE USE
	RETAIL SALES USE		COMMON OR NON-OCCUPIED SPACE





QRS 10
cp.com