

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 16054	<b>Project Address:</b> 13339 NE Airport Way, Suite 400
<b>Hearing Date:</b> 11/1/17	<b>Appellant Name:</b> Mike Coyle
<b>Case No.:</b> B-002	<b>Appellant Phone:</b> 503-680-5497
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Gail Knoll
<b>Project Type:</b> commercial	<b>Stories:</b> 1 <b>Occupancy:</b> B, F-1, S-1 <b>Construction Type:</b> III-B
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> Yes - location not given
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b> 17-217046-CO
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Office/Cannabis Extraction

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 2902.2

**Requires** Using OSSC SF/occupant, the occupant load of total space exceeds 50 occupants.

**Proposed Design** One restroom is proposed. The total occupant load per OSSC :

B - 12 occupants

F-1 - 37 occupants

S-1 - 7 occupants

Total - 56 occupants

OSSC Table 2909.2 requires :

Occupancy Water Closets Lavatories

B 1:25 for first 50 1:40 for first 80

F1 1:100 1:100

S1 1:100 1:100

OSSC 2902.2, Exception 2, revised 04/1/16, states :

"3. Separate facilities shall not be required in business occupancies with a total occupant load, including both employees and customers, of 50 or less."

**Reason for alternative** This tenant will never have more than 10 employees on duty at one time and they do not receive customers. Per OSSC 2902.2, Exception 2, one unisex restroom is adequate. See attachment.

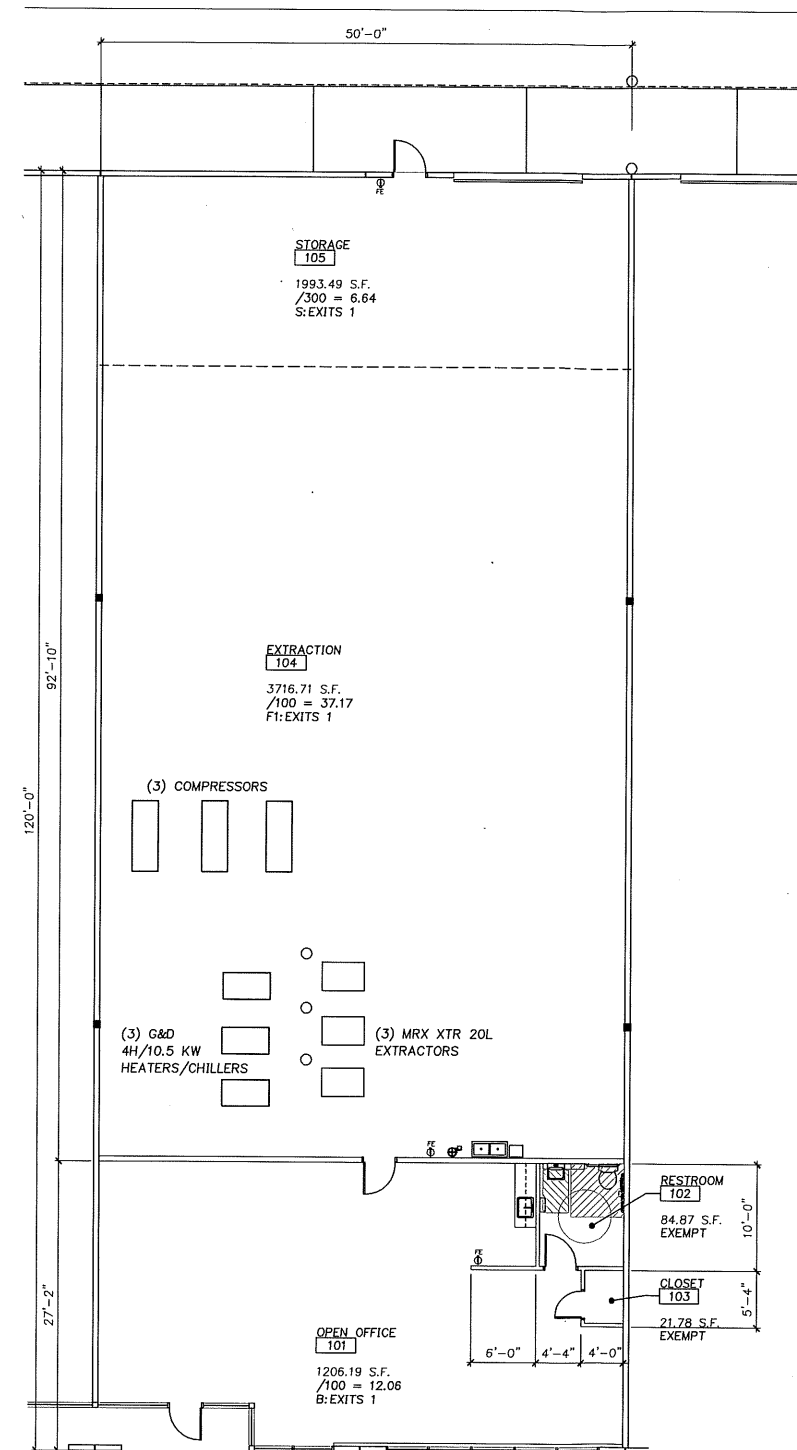
### APPEAL DECISION

**Reduction in required number of plumbing fixtures:** Granted as proposed for this use and occupancy.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

=====



 Floor Plan



Client:  
**Chalice Farms**

13315 NE Airport Way  
 Portland, Oregon

Project:  
**Chalice Farms  
 Cannabis  
 Extraction TI  
 Improvement**

13339 NE Airport Way  
 Suite 400 - Portland, Oregon

Sheet Title:  
**Floor Plan**

Revisions:

MILDREN DESIGN GROUP, P.C., 2017, ALL RIGHTS RESERVED ©

THESE DRAWINGS ARE THE PROPERTY OF MILDREN DESIGN GROUP, P.C. AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER, EXCEPT WITH THE PRIOR WRITTEN PERMISSION OF MILDREN DESIGN GROUP, P.C.

Date: 3 August 2017

Drawn by: BK Checked by: WEM

Job Number: 117113

Sheet