

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 16053	Project Address: 6840 SW Macadam Ave
Hearing Date: 11/1/17	Appellant Name: Richard K. Spies
Case No.: B-001	Appellant Phone: 503-224-9560
Appeal Type: Building	Plans Examiner/Inspector: Renay Radtke-Butts
Project Type: commercial	Stories: 2 Occupancy: B Construction Type: Not given
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure, Addition to an existing structure	LUR or Permit Application No.: 17-171510-CO
Plan Submitted Option: mail [File 1]	Proposed use: Office

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1026.5

Requires Exterior exit ramps and stairs shall be separated 10' from lot lines and from other buildings on the same lot unless the adjacent building exterior walls and openings are protected as per Sec. 705 based on fire separation.

Proposed Design A primary emphasis of this project was to provide ADA access to all four levels of the building. The existing building is made up of five buildings that were constructed over time (see attached sheet 1 of 4) The majority of the space occurs on two main levels with three smaller support spaces occurring on three additional levels in the northwest corner of the site. One of these spaces will be removed in the extreme northwest corner thus leaving four remaining levels. This space was primarily removed to create enough room to position a ramp from the sidewalk at the Macadam Ave ROW that connects upward to the nearest floor level and the critical core element of the building (reception, toilets, and support spaces). This new ramp needs to be at least 28' long to gain enough elevation to reach the closest next intermediate level. From this point a new lobby is created that allows direct access to a three-stop chairlift providing access to two of the remaining three levels. The last remaining floor level is an elevated toilet/support space slightly above the ground floor and is accessed via a new internal ramp.

City code calls for a 6' wide sidewalk connecting the sidewalk in the Macadam ROW to the new front door to the building. This portion of the site is extremely confined and characterized by the two-story blank concrete block south wall of the neighboring building located directly on the north property line.

This proposal creates a direct 6' wide sidewalk connection to the front door and places a 28' long ramp in somewhat of a wrap-around configuration to the north of the entry walk (see attached

sheets 2,3 and 4). It is directly adjacent to the property line and the existing two story blank concrete block wall of the adjacent building which is on the north property line. This configuration results in a ramp that occupies 192 sf of site area.

Ramp is constructed of steel and concrete with handrails on both sides and meets all slope and dimensional criteria for ADA.

Reason for alternative Numerous options were pursued to create ADA access to all levels. These even included leaving the existing portion of the building in the northwest corner of the site and utilizing a four stop, two-sided elevator to gain access to the remaining floor levels. This approach proved to not only be prohibitive from a cost standpoint but early changes to the ground floor level due to a required flood proofing solution made the head height clearances required by the four stop, two sided elevator unworkable.

Due to the constricted area and tight dimensions level to level the only physical way to gain full access to all existing levels would require two chair lifts (one a two stop device and the other a three stop device plus an internal ramp to the lower level support space). This approach is cost prohibitive.

Various ways of configuring the ramp were investigated that kept it away from the north property line but none of these left enough room for the ramp and could still have enough room to get the 6' wide sidewalk connection to the front door.

Other alternatives included a ramp to the upper level from the south side of the building but these solutions required a minimum of a 50'+ long ramp plus an additional 6' wide walk to the new south entrance. This approach still would not serve the other levels without creating an internal corridor across the main upper gallery space which in a multi-tenant scenario would make the main space less desirable and the project unfeasible from an economic standpoint. In addition, the required sidewalk encroaches on the existing cross access agreement with the adjacent property owner to the south.

The current configuration takes advantage of the existing two story concrete block wall (no openings) to the north to provide required one hour protection for the ramp and sidewalk. It allows for the most direct ADA access to all floors along with the critical core functions of the building including central receptionist, toilet and support facilities.

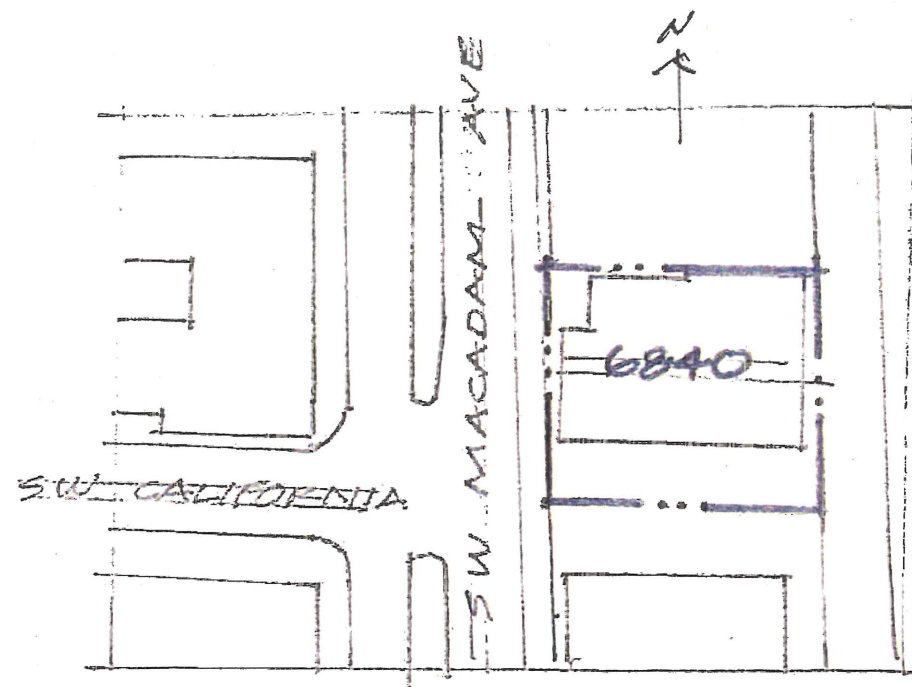
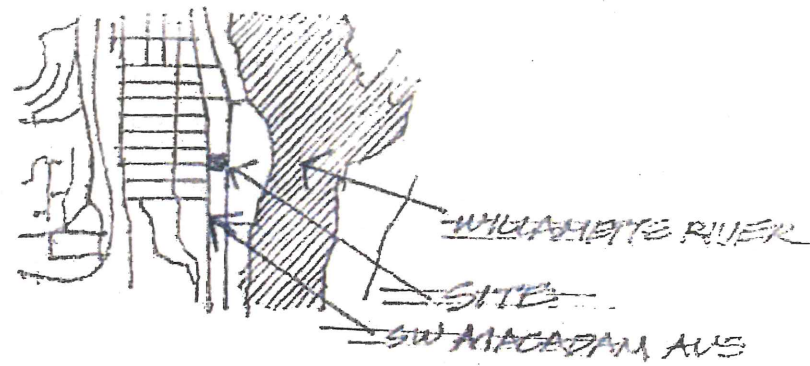
We feel this approach offers the best solution in what is a very constrained and difficult design challenge.

APPEAL DECISION

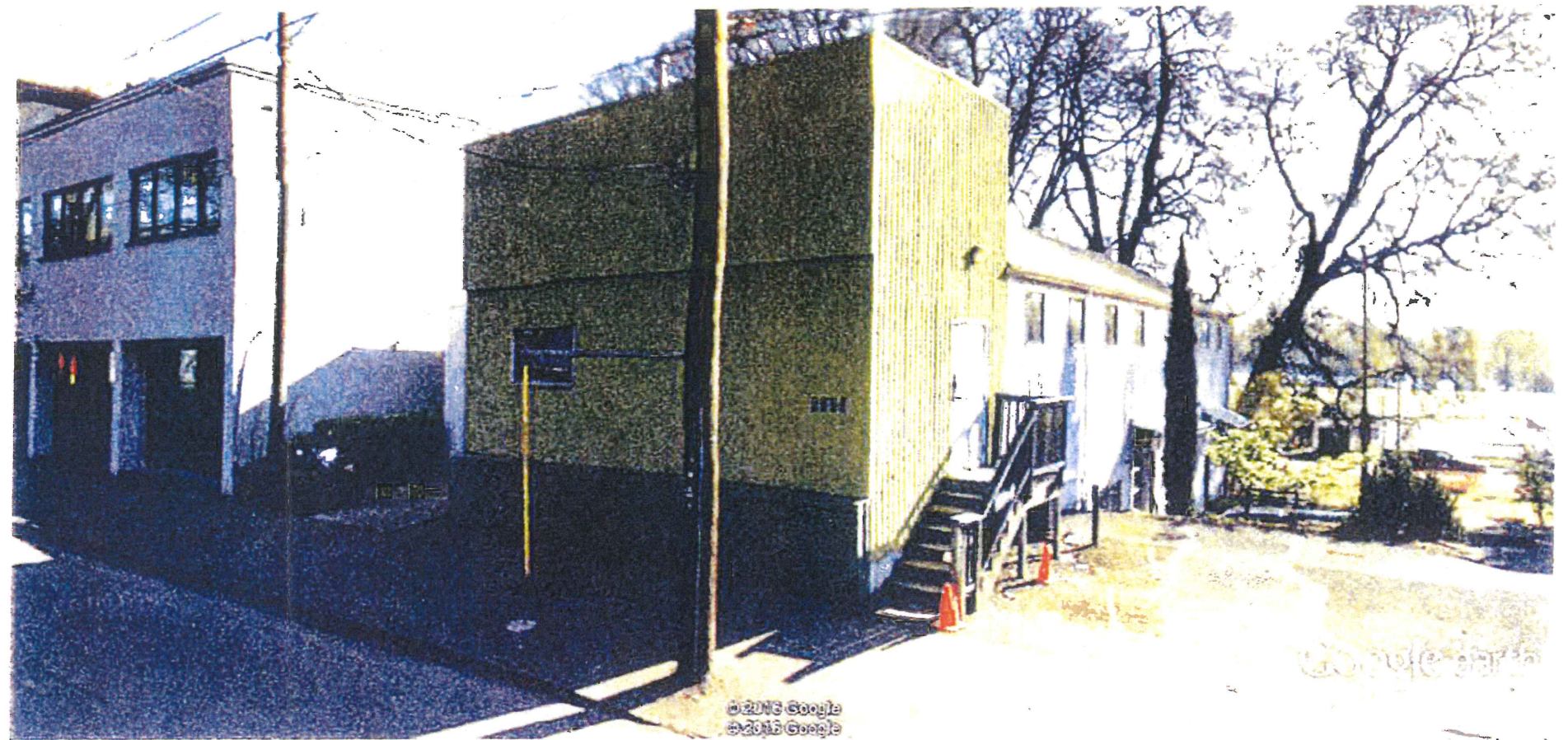
Ramp located adjacent to lot line: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

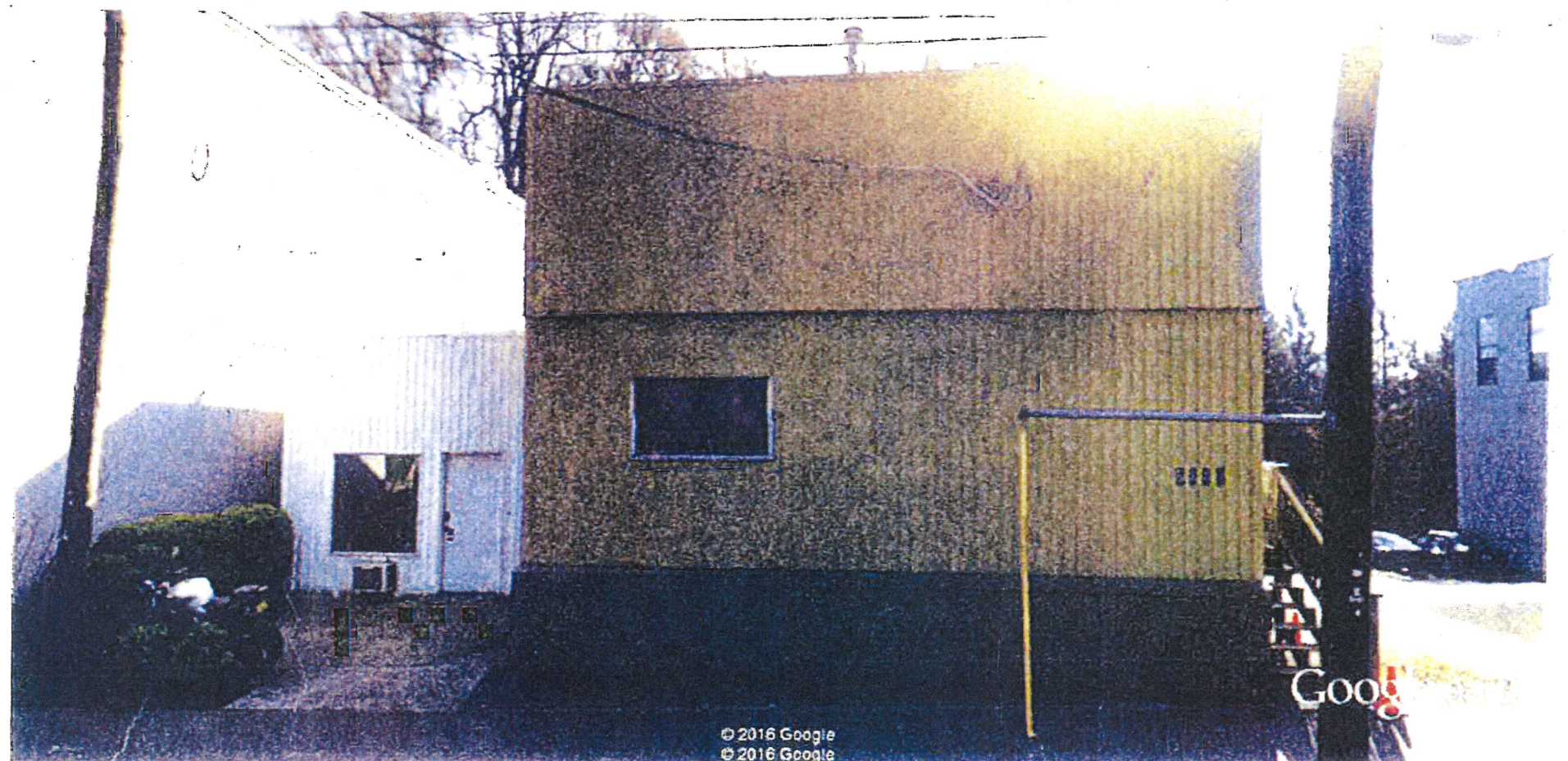
Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



6840 SW MACADAM AVE
PORTLAND, OREGON 97219
PROPERTY ID R273090
COUNTY MULTNOMAH
STATE ID 1S1E22A, 400
BLD ACCOUNT R780200110
PAR NUMBER 3730 OLD



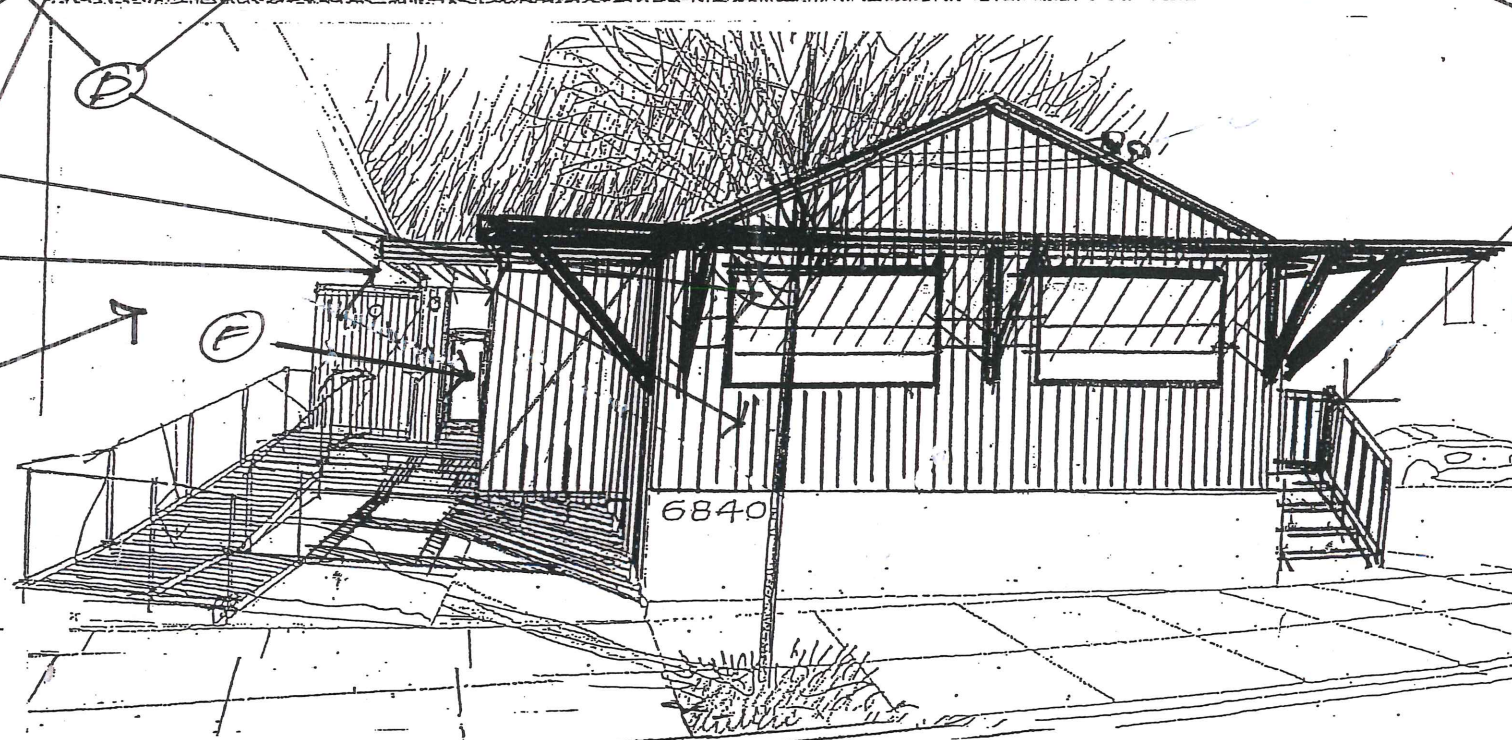
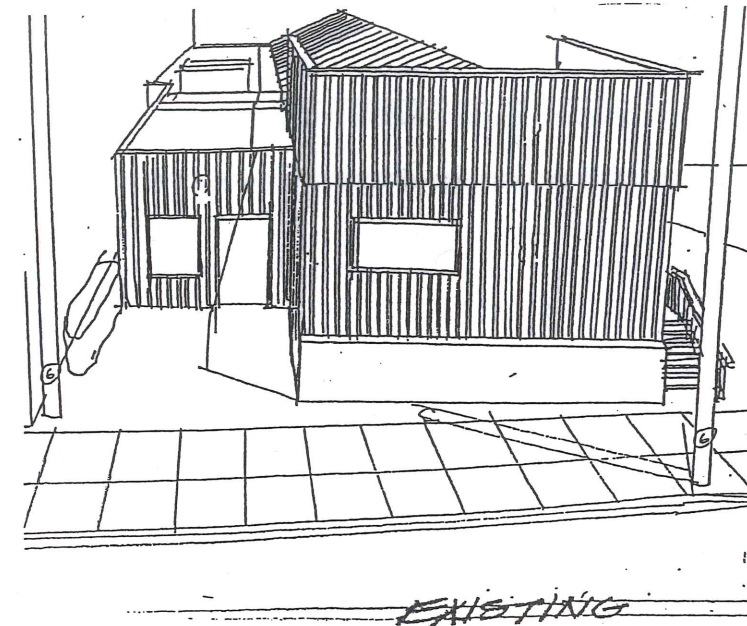
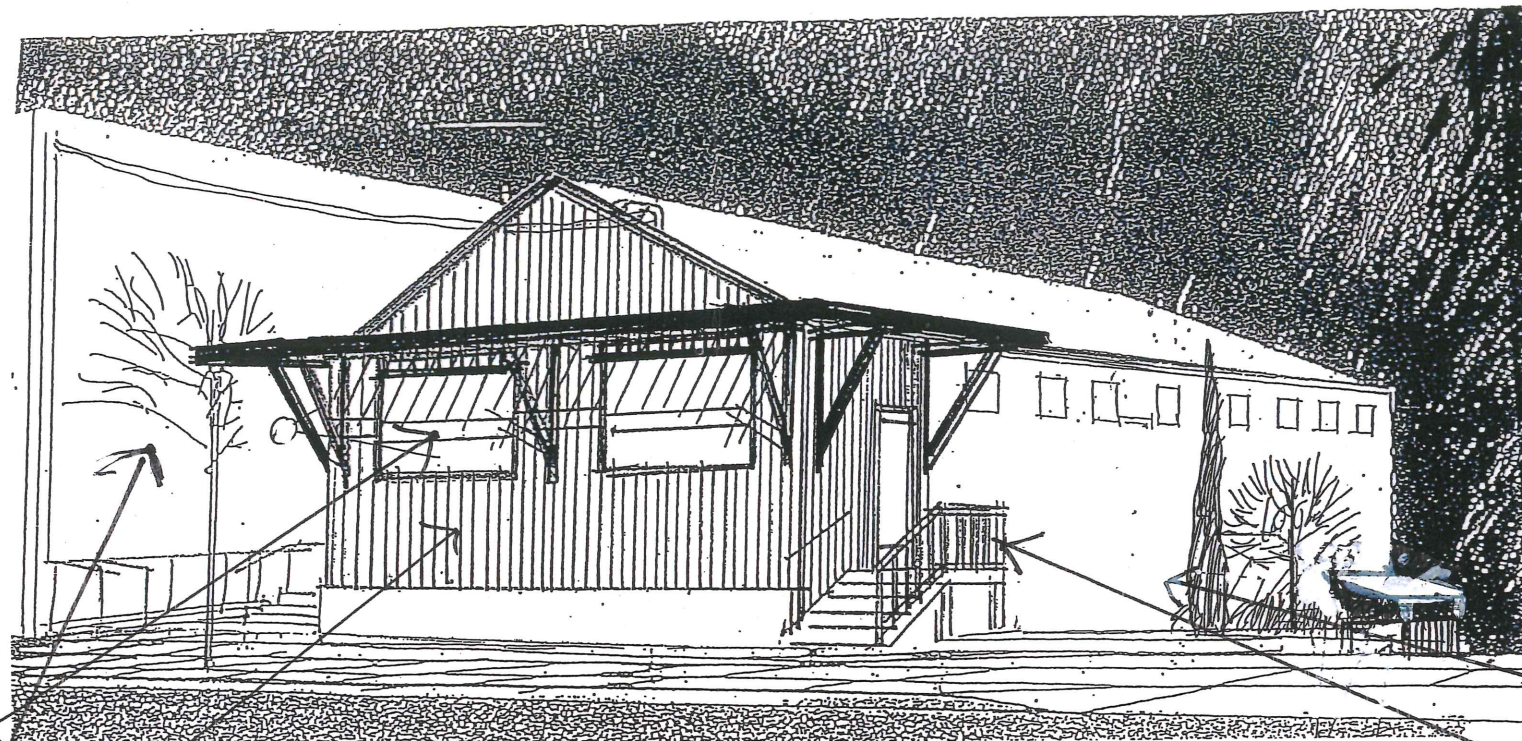
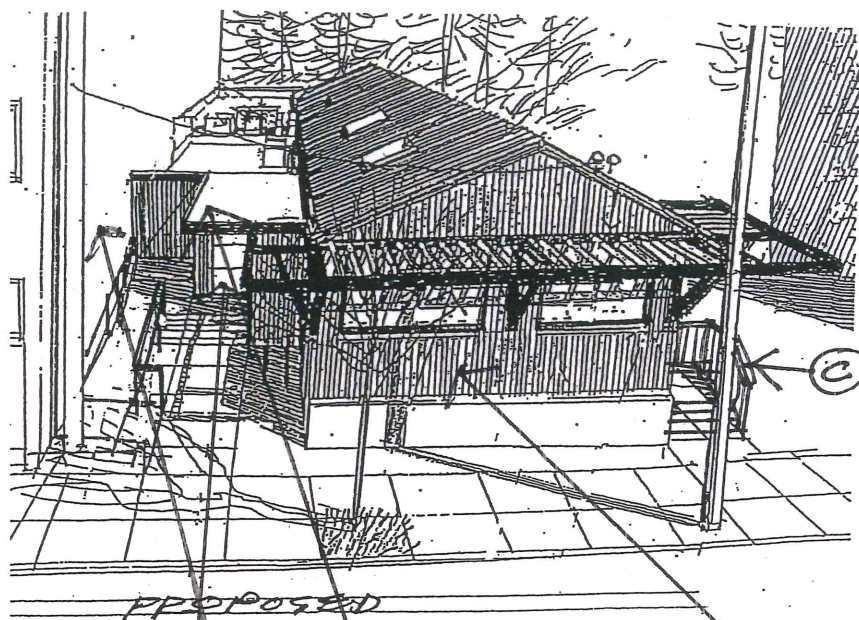
EXISTING VIEWS FROM SW MACADAM AVE



MACKENZIE 2150394.01

OCT 24, 2017

108 A



EXISTING SOUTH WALL
OF ADJACENT BUILDING
(NO OPENINGS)

- Ⓐ REDUCED ROOF OVERHANG
- Ⓑ REDUCED WINDOW SIZE
NOW SHOWN AS (2) 9' X 5'
INSULATED WINDOWS
- Ⓒ RETAIN EXISTING STAIR AND
SOUTH WEST CORNER ENTRY
- Ⓓ ALTERNATE 1 - JUNIPER
SIDING - BASE - EXISTING
METAL SIDING
- Ⓔ REMOVE PROPOSED ENTRY
AND TRASH ENCLOSURE AT
MIDPOINT OF SOUTH ELEV AND
MOVE TO SOUTH EAST CORNER.
- Ⓕ SIMPLIFY ENTRY DOOR TO
ONE LARGE RECTANG.

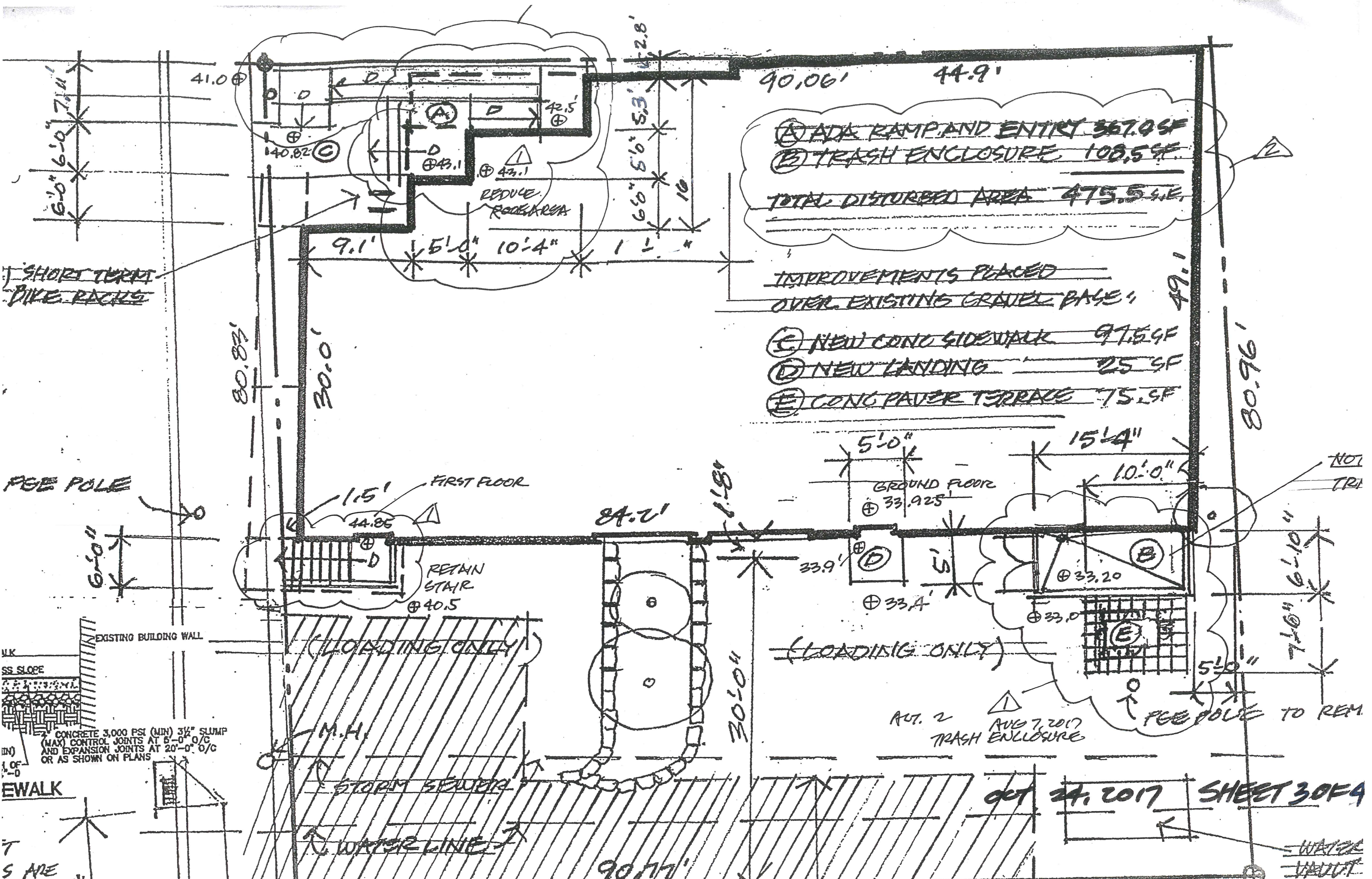
PROPOSED ADA ACCESS RAMP
MACADAM COMMONS

PERMIT # 17-171510.000.00.00

6840 SW MACADAM AVE
PORTLAND, OR 97219

MCKENZIE 2150394.00 OCT 24, 2017

SHEET 2 OF 4



① ADA RAMP AND ENTRY 367.0 SF
② TRASH ENCLOSURE 108.5 SF
TOTAL DISTURBED AREA 475.5 SF

IMPROVEMENTS PLACED
OVER EXISTING GRAVEL BASE:

③ NEW CONC SIDEWALK 97.5 SF
④ NEW LANDING 25 SF
⑤ CONC PAVER TERRACE 75 SF

FGE POLE

CONCRETE 3,000 PSI (MIN) 3/4" SLUMP
(MAX) CONTROL JOINTS AT 8'-0" O/C
AND EXPANSION JOINTS AT 20'-0" O/C
OR AS SHOWN ON PLANS

EWALK

T
S ARE

OCT 24, 2017 SHEET 30 OF 4

WATER
VAULT