

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 16063

Project Address: 1711 SE 48th Ave

Hearing Date: 11/1/17

Appellant Name: Toni King

Case No.: B-012

Appellant Phone: 503-235-2573

Appeal Type: Building

Plans Examiner/Inspector: Preliminary

Project Type: residential

Stories: 2 **Occupancy:** R-3 **Construction Type:** V-B

Building/Business Name:

Fire Sprinklers: No

Appeal Involves: Alteration of an existing structure

LUR or Permit Application No.:

Plan Submitted Option: pdf [File 1] [File 2] [File 3]
[File 4] [File 5]

Proposed use:

APPEAL INFORMATION SHEET

Appeal item 1

Code Section

ORSC R311.7 Stairs (and ORSC Appendix J Existing Buildings)

Requires

R311.7.1 Width. Stairways shall not be less than 36" in clear width.
R311.7.2 Headroom. The minimum headroom in all parts of the stairway shall not be less than 6'-8".
and
AJ501.1 Newly constructed elements. Newly constructed elements, components and systems shall comply with the requirements of this code.

Proposed Design

Proposed Design: (Describe the alternate methods or materials of construction to be used or that exist. Be as specific as possible)

The proposed basement remodel is adding as new set of exterior stairs to the basement through the backdoor which will be completely code compliant. This appeal addresses the internal existing stairs, which after remodel are not required for exiting at all. The basement will have a completely legal egress through the exterior stairs and egress windows will also be added as part of the remodel.

The owner would like to keep the concept of the internal stair for convenience purposes.

The existing stairs have 7-3/4" risers and 9" treads (measured nose to nose). The existing width is currently 34". Headroom currently is only 5'-9 3/4" to 6'-4 3/4".

By re-building the stairs to the basement, one riser can be eliminated and the riser height is still less than 9" (8-5/8"), but the tread width is improved to 10-5/16" (meeting the 9" minimum requirement). A winder will be built at the landing.

The stair width cannot be upgraded without significant structural modifications to the existing house. Stairs to the second floor will not be modified as part of this project.

The proposed design is as follows for the basement stairs:

9" maximum riser, 9" minimum tread length. (8 5/8" rise and 10-5/16" tread).

A minimum of 6'-2" headroom will remain. Actual headroom 6'-3" to 7'-0".

Stair width will remain 34".

Reason for alternative The alternate design is intended to provide a safer stair for basement access.

The new treads and risers will meet current code restrictions for minimum tread length and maximum rise.

Egress windows will be provided in the basement for the new bedroom.

The new stair configuration complies with City of Portland Brochure 9, Converting Attics, Basements and Garages to Living Space. The minimum width of 30" is exceeded, and headroom complies.

ORSC Section AJ501.8.2, Stair Headroom, allows that "headroom height on existing basement stairs being altered or modified shall not be reduced below the existing stairway finished headroom."

The existing interior door at the first floor landing to the kitchen will remain.

5/8" type 'x' gypsum board will be added to the underside of the new stairs and the existing stairs to the second floor.

Attachments (4 sheets):

Proposed basement plan.

Existing stair plan and section.

Construction Notes

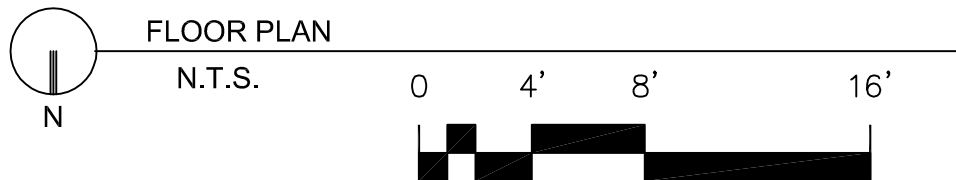
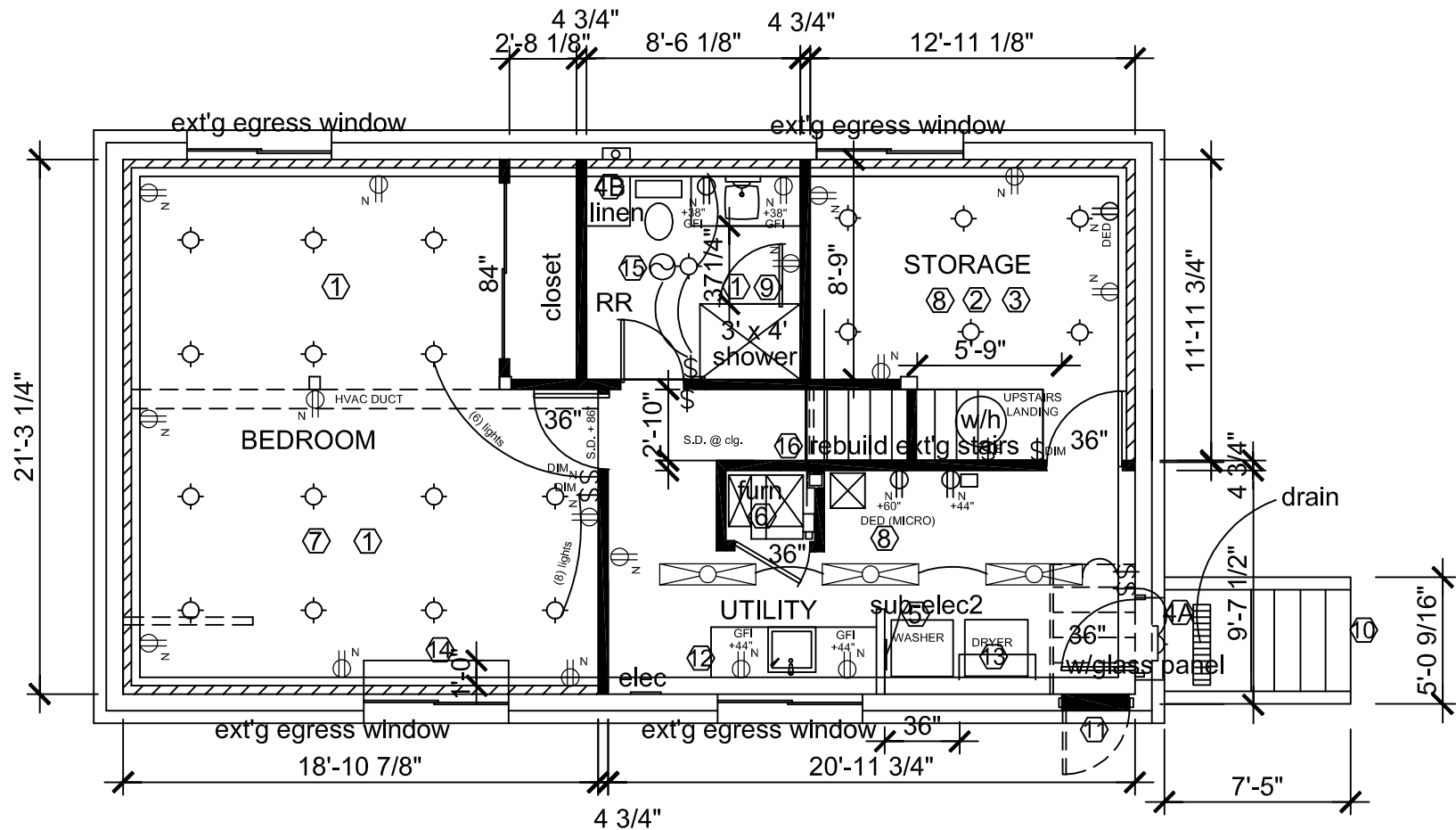
Proposed stair plan & section.

APPEAL DECISION

Existing stair reconstructed to meet Brochure #9 to remain in addition to new code compliant exterior stair: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



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TONI KING & ASSOCIATES

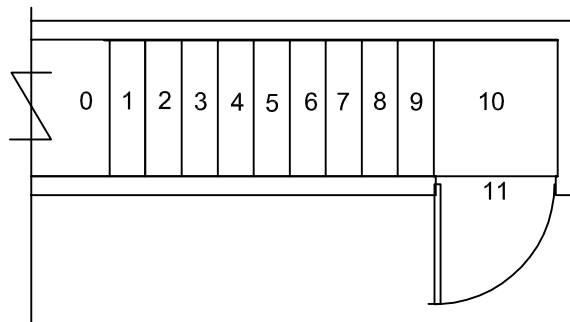
[TKA]
space planning / commercial renovation /
interior design / dental / medical

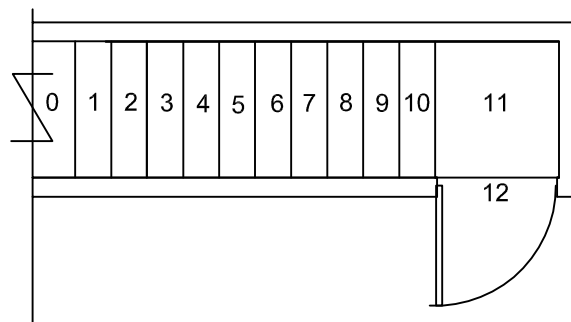
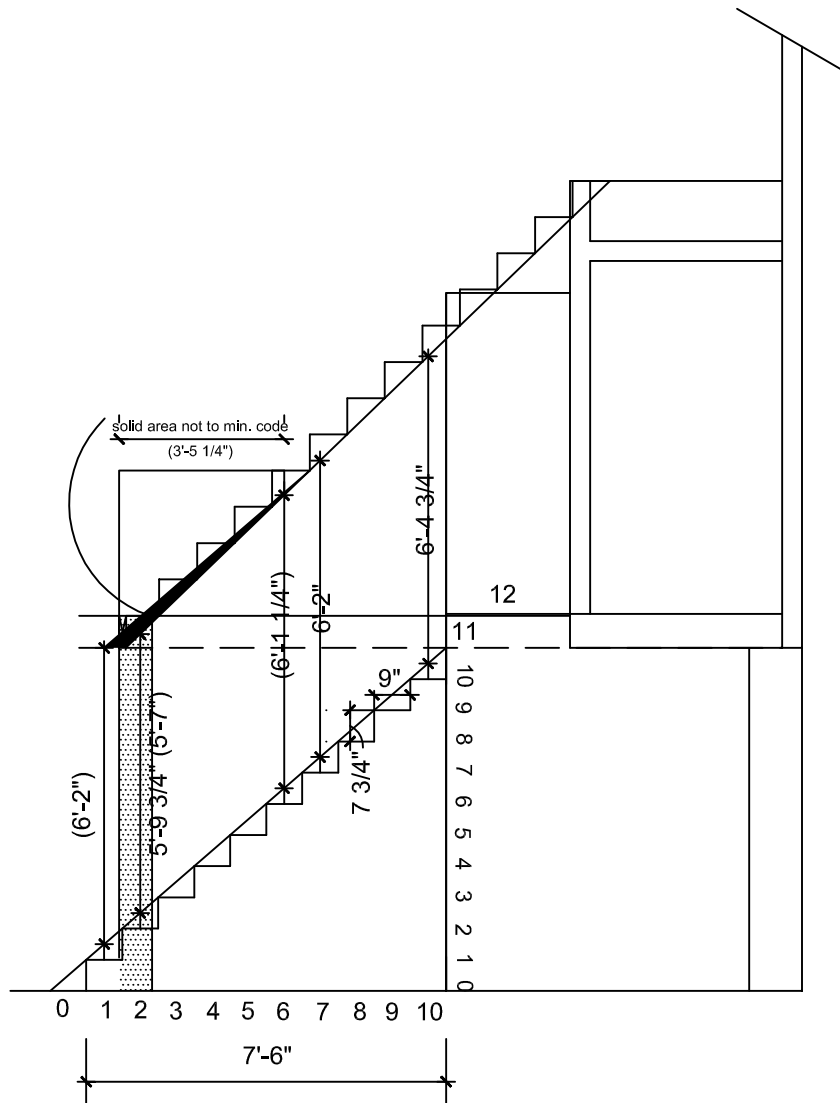
BASEMENT REMODEL FOR:
DIANE THOMPSON
1711 SE 48TH AVENUE
PORTLAND, OR 97215

REVISIONS	

DATE	10/29/17
FILE	
JOB	2016-40-01
DWN	TK
CHK	

1 X
OF SHEETS





existing stair
1/4" = 1'-0"

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DIANE THOMPSON
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[TKA] space planning / commercial renovation /
interior design / dental / medical

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