Development Services

From Concept to Construction

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APPEAL SUMMARY		
Status: Decision Rendered		
Appeal ID: 16063	Project Address: 1711 SE 48th Ave	
Hearing Date: 11/1/17	Appellant Name: Toni King	
Case No.: B-012	Appellant Phone: 503-235-2573	
Appeal Type: Building	Plans Examiner/Inspector: Preliminary	
Project Type: residential	Stories: 2 Occupancy: R-3 Construction Type: V-B	
Building/Business Name:	Fire Sprinklers: No	
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.:	
Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] [File 5]	Proposed use:	

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	ORSC R311.7 Stairs (and ORSC Appendix J Existing Buildings)				
Requires	R311.7.1 Width. Stairways shall not be less than 36" in clear width.				
	R311.7.2 Headroom. The minimum headroom in all parts of the stairway shall not be less than 6'-8".				
	and				
	AJ501.1 Newly constructed elements. Newly constructed elements, components and systems				
	shall comply with the requirements of this code.				
Proposed Design	Proposed Design: (Describe the alternate methods or materials of construction to be used or that				
	exist. Be as specific as possible)				
	The proposed basement remodel is adding as new set of exterior stairs to the basement through				
	the backdoor which will be completely code compliant. This appeal addresses the internal existing				
	stairs, which after remodel are not required for exiting at all. The basement will have a completely				
	legal egress through the exterior stairs and egress windows will also be added as part of the remodel.				
	The owner would like to keep the concept of the internal stair for convenience purposes.				
	The existing stairs have 7-3/4" risers and 9" treads (measured nose to nose). The existing width is				
	currently 34". Headroom currently is only 5'-9 ¾ to 6'-4 3/4.				
	By re-building the stairs to the basement, one riser can be eliminated and the riser height is still				
	less than 9" (8-5/8"), but the tread width is improved to 10-5/16" (meeting the 9" minimum				
	requirement). A winder will be built at the landing.				





The stair width cannot be upgraded without significant structural modifications to the existing house. Stairs to the second floor will not be modified as part of this project.

The proposed design is as follows for the basement stairs:

9" maximum riser, 9" minimum tread length. (8 5/8" rise and 10-5/16" tread).

A minimum of 6'-2" headroom will remain. Actual headroom 6'-3" to 7'-0".

Stair width will remain 34".

Reason for alternative The alternate design is intended to provide a safer stair for basement access.

The new treads and risers will meet current code restrictions for minimum tread length and maximum rise.

Egress windows will be provided in the basement for the new bedroom.

The new stair configuration complies with City of Portland Brochure 9, Converting Attics, Basements and Garages to Living Space. The minimum width of 30" is exceeded, and headroom complies.

ORSC Section AJ501.8.2, Stair Headroom, allows that "headroom height on existing basement stairs being altered or modified shall not be reduced below the existing stairway finished headroom."

The existing interior door at the first floor landing to the kitchen will remain.

5/8" type 'x' gypsum board will be added to the underside of the new stairs and the existing stairs to the second floor.

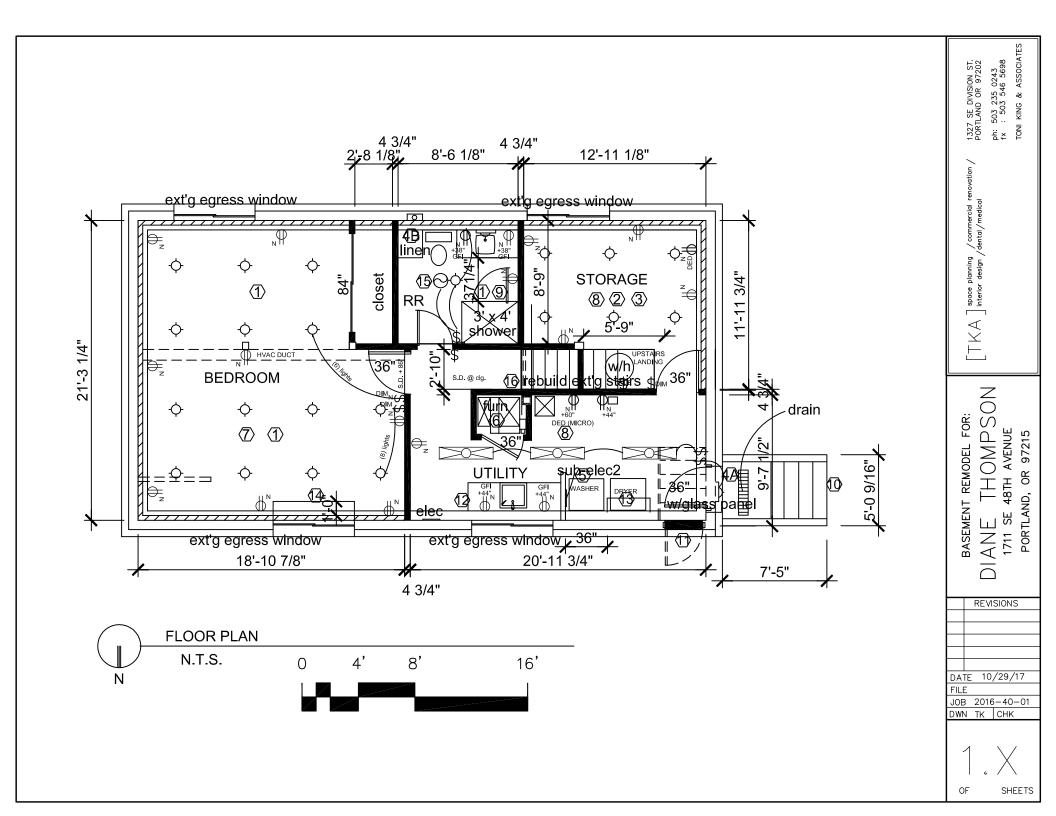
Attachments (4 sheets): Proposed basement plan. Existing stair plan and section. Construction Notes Proposed stair plan & section.

APPEAL DECISION

Existing stair reconstructed to meet Brochure #9 to remain in addition to new code compliant exterior stair: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



LEGEND

1X4 PRISMATIC LIGHT FIXTURE (surface mounted).
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GENERAL NOTES

- 1. Seismically attach house to foundation and shear support as recommended by consultant.
- 2. All new walls to be furred out with studs and insulation:
 - Green board 5/8" type "X" sheet rock on all walls.
 - Pressure treated sill plate.
 - Insulation to be R-13 min. and to comply with standards for future conversion to A.D.U.
 - 1/2" air gap between insulation and concrete.
 - Finish to be smooth wall, painted. Base to be 6" wood.
- 3. All new walls furred along foundation to be sheet rocked within 1" of all exterior window trim.

PLAN NOTES

- Install R-13 sound batt insulation at ceiling joists in this room and provide sheet rocked ceiling.
- ② Install R-13 sound batt insulation at ceiling joists in this room and provide sheet rocked ceiling.
- ③ Provide line item price for consideration All perimeter furring, insulation, sheet rock and electrical outlets @ foundation walls @ storage room.
- John's Waterproofing with provide trench drain connected
 to sump pump (by John's) at storage,
- $\langle 5 \rangle$ Provide sheet rock at existing electrical panel wall.
- (6) New closet and door around new furnace. Provide ventilation, clearances, door (louvered?) per code.
- ⑦ Bedroom floor and base: Vinyl tile and base by John's.
- (8) Existing painted floor to remain.
- Restroom floor and base: Tile by owner, installed by contractor.
- Provide new concrete stairwell to basement. Concrete to 6" above dirt. Provide metal railing at top and down stairs.
- Infill removed door with wood siding to match exiting house.
- Relocate cabinet and sink. (swap w/ washer/dryer).
- Relocated w/d. Provide ventilation & plumbing. New upper cabinet (30" - 36" clear from end of panel wall).
- A New step (12" max hgt) for access to egress window.

THOMPSON

- (5) New exhaust fan 80 cfm with timer or dehumidistat.
- New stairs: see proposed section detail. Oak treads, risers and nosing.

	DWN	JOB	FILE	DATE	
${\times}$	TK CHK	2016-40-01		10/29/17	

REVISIONS

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SHEETS

BASEMENT REMODEL FOR:

1711 SE 48TH AVENUE

DIANE

PORTLAND, OR 97215

 \neg KA \rceil space planning /commercial renovation / interior design /dental/medical

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