

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 15287	<b>Project Address:</b> 55 NE Grand Ave
<b>Hearing Date:</b> 7/12/17	<b>Appellant Name:</b> Doug Benson
<b>Case No.:</b> B-029	<b>Appellant Phone:</b> 5038869757
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Jerry Englehardt
<b>Project Type:</b> commercial	<b>Stories:</b> 6 <b>Occupancy:</b> S-2, A-2, R-2, B <b>Construction Type:</b> III-A
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> Yes - throughout
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b> 14-216353-CO
<b>Plan Submitted Option:</b> pdf [File 1] [File 2] [File 3] [File 4]	<b>Proposed use:</b> MIXED USE - RESIDENTIAL AND COMMERCIAL

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** NFPA 13 8.15.1.2.1.8

**Requires** Covered areas requiring sprinklers.

**Proposed Design** The subject of this appeal is for an open air rooftop canopy structure. Its purpose is to provide visual privacy, as required by the Federal HIPAA rules, for the residents of the Central City Concern Hopper Detox facility from direct visibility by residents of the adjacent apartment building. There is a cross access easement which allows the CCC function exclusive use of the 2nd floor roof patio that is created in the 419 Building property. The structure is composed of glu-laminated columns and beams as the primary structural support. Between the structural elements a series of baffles composed of non-combustible aluminum slats arranged into two way grids are attached to cut off visibility from above. The glu-laminated members meet the requirements for Heavy Timber as defined by the code. The entire assembly is open on all sides and to the sky between the baffle members. Situated well above the canopy structure, at a height of 12' and extending up to 18', is a non flammable fabric sail meeting NFPA 701 that covers a portion of the exterior deck to provide further visual protection for the detox center's residents.

The proposed rooftop canopy structure is located on the roof of the apartment project garage immediately adjacent to the Hopper Detox facilities exterior wall. The building's wall provides a 1 hour barrier and is further protected by the addition of fire shutters at all exterior windows along the shared wall. The patio The adjacent wall of the 419 East Burnside Building to the East has a 2 hour wall with no openings at the patio level.

Furthermore, the patio cannot be used for storage and the residents using it are strictly monitored at all times.

**Reason for alternative** The degree of openness of the baffle system, together with the angled design of the tensile canopy above it, will prevent heat from building up enough under these structures for sprinklers to be activated.

---

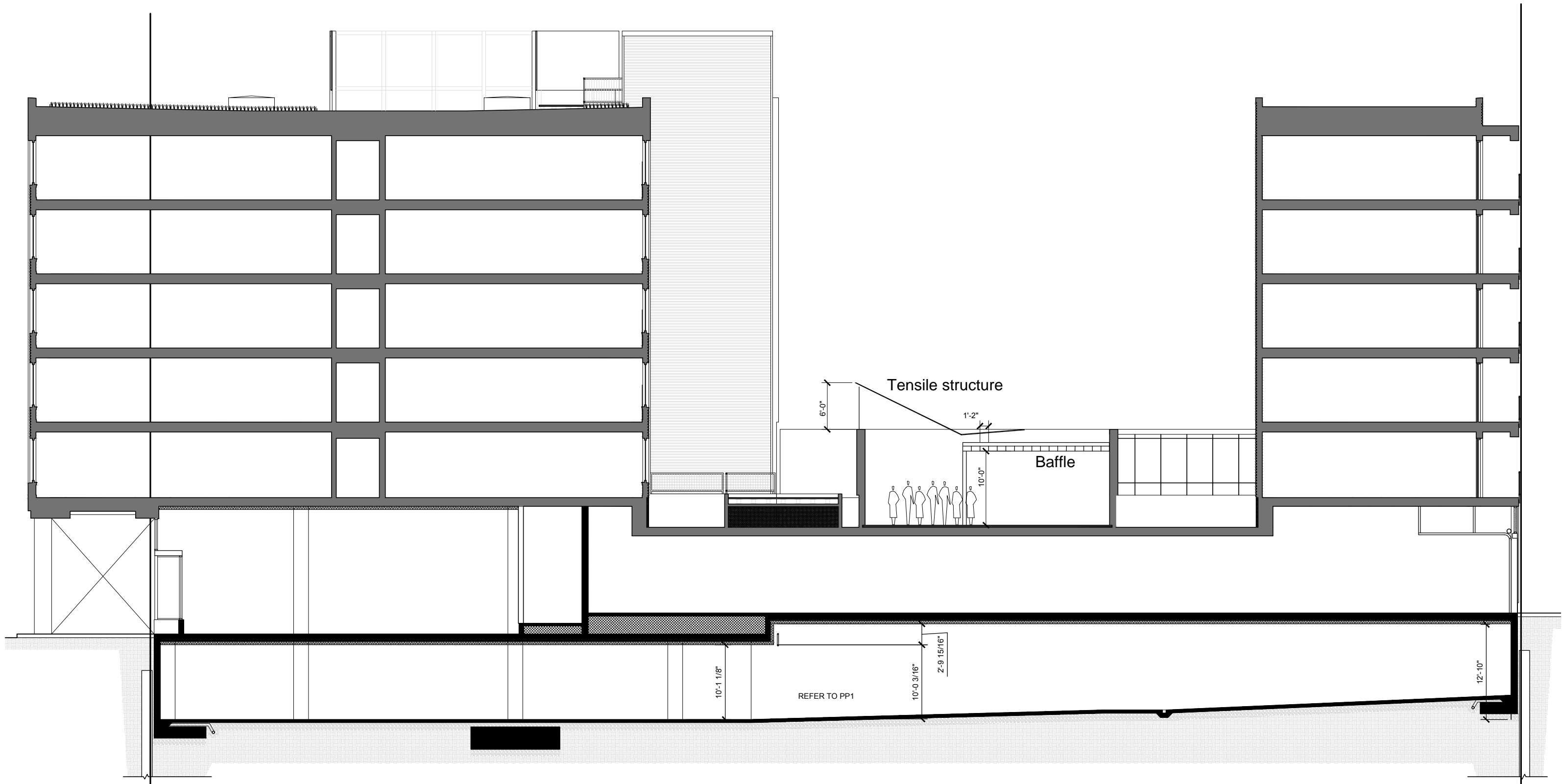
## APPEAL DECISION

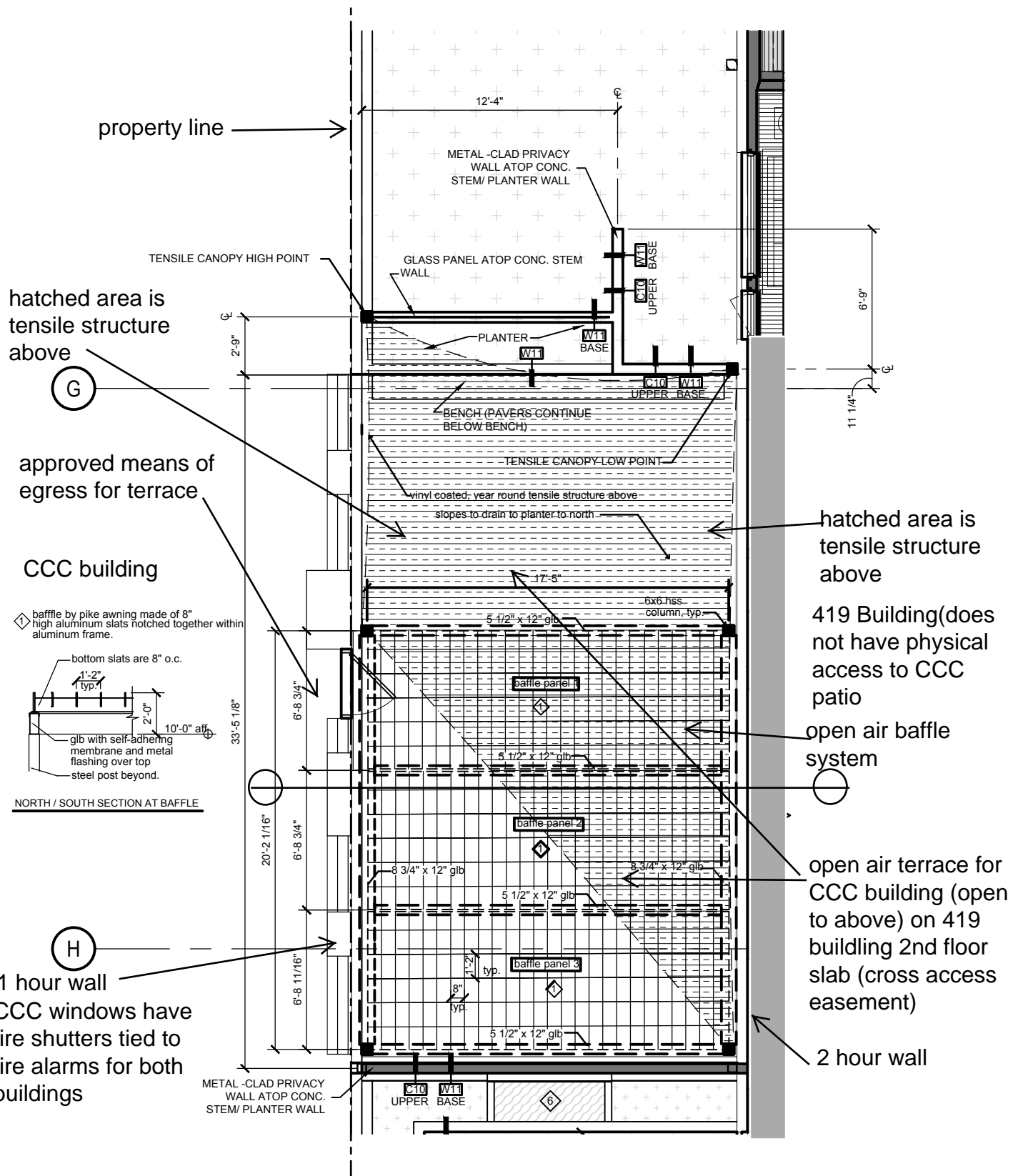
**Omission of fire sprinklers in roof top patio enclosure: Denied. Proposal does not provide equivalent Fire / Life Safety protection.**

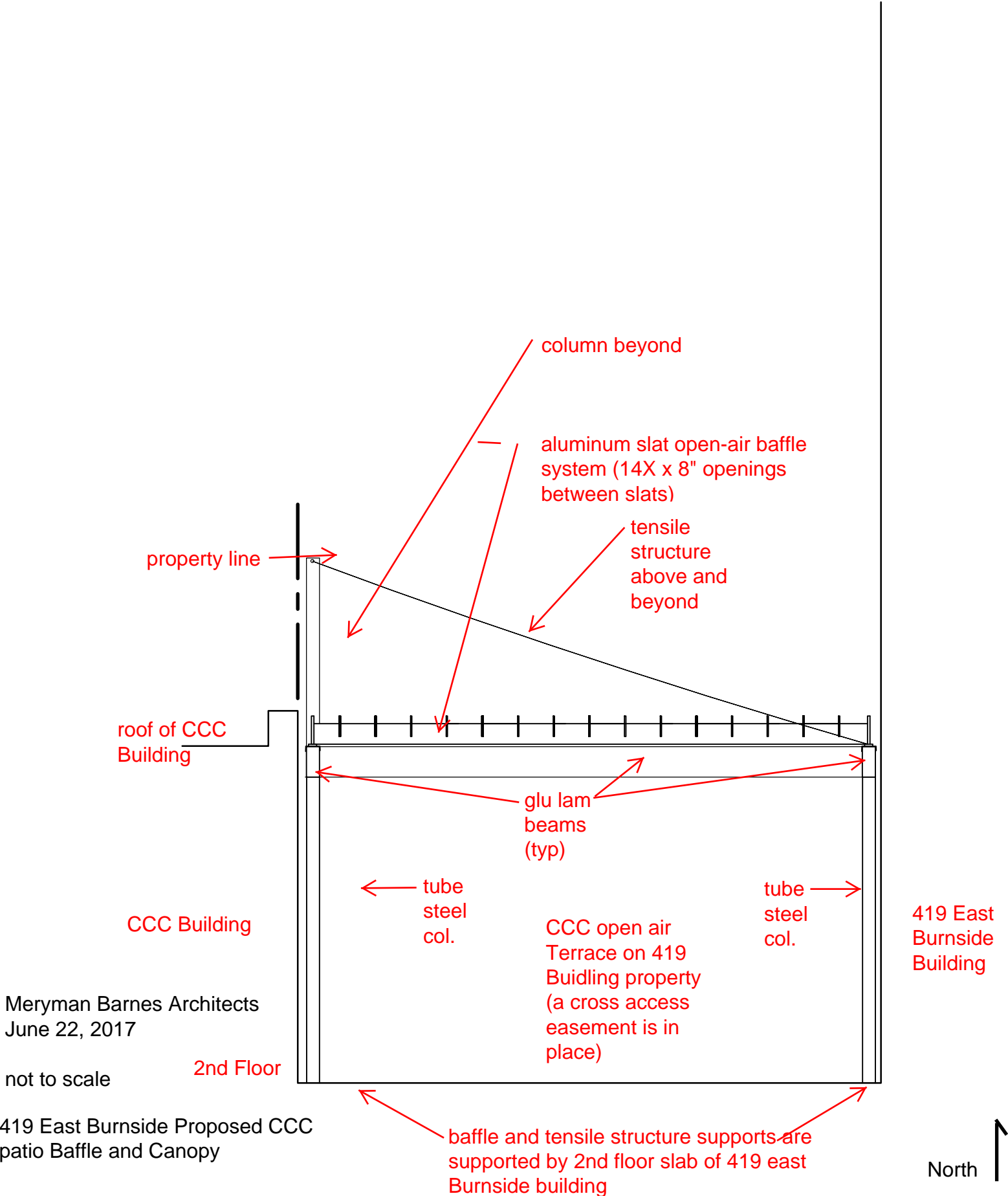
**Appellant may contact AJ Jackson (503-823-3820) for more information**

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

---







Meryman Barnes Architects  
June 22, 2017

not to scale

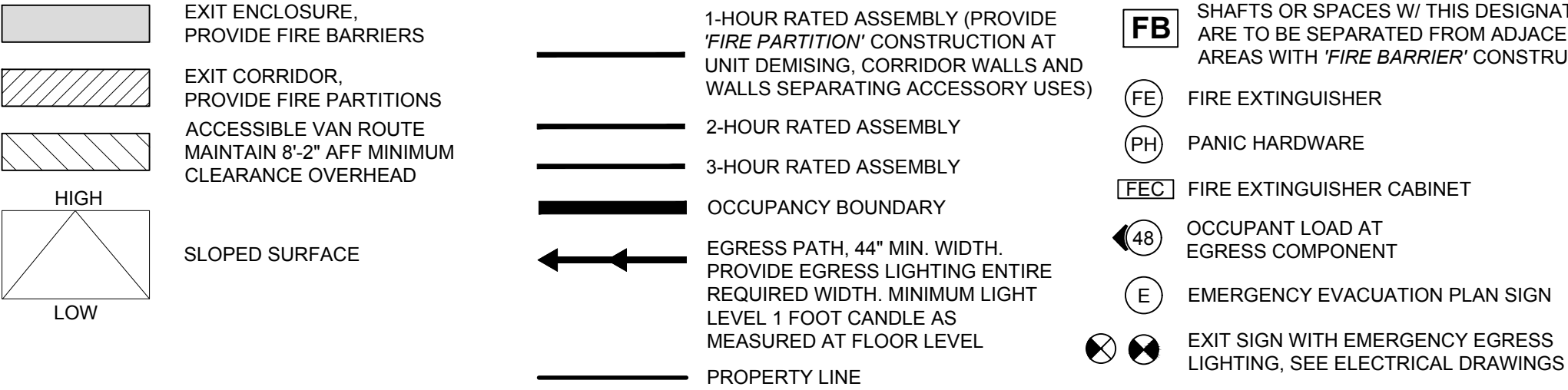
419 East Burnside Proposed CCC  
patio Baffle and Canopy



GENERAL FIRE AND LIFE SAFETY NOTES

- A. REFER TO G6 SERIES FOR SPECIFIC WALL, FLOOR AND ROOF ASSEMBLY TYPES RELATING TO FIRE RATINGS.
- B. REFER TO FLOOR PLANS FOR SPECIFIC DIMENSIONS AND CLEARANCES.
- C. BUILDING IS FULLY SPRINKLED PER SECTION 903.3.1.1 NFPA13.
- D. PROVIDE EGRESS ILLUMINATION PER OSSC 1006. EGRESS ILLUMINATION TO BE ON BACKUP POWER AT ALL AREAS WHERE TWO EXITS ARE REQUIRED. GENERAL POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. THE LIGHTING LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE LEVEL REQUIRED IN, BUT NOT LIMITED TO, LANDINGS AT EXTERIOR EXIT DOORS.
- E. PROVIDE TACTILE EXIT SIGNAGE AT EACH EXIT DOOR TO AN EGRESS STAIRWAY, EXIT PASSAGEWAY, AND EXIT DISCHARGE AS REQUIRED BY CODE (OSSC 1011.3).
- F. COORDINATE ALL ELECTRICAL WORK, INCLUDING EXIT SIGNS AND EMERGENCY LIGHTING WITH ELECTRICAL ENGINEER OF RECORD.
- G. UON, ALL DWELLING UNITS SHALL BE CONSTRUCTED TO COMPLY WITH 'TYPE B' REQUIREMENTS AS DESCRIBED IN CHAPTER 11 OF THE OSSC & ANSI 117.1. REFER TO BUILDING KEY PLANS & ENLARGED SECTOR PLANS FOR LOCATIONS OF 'TYPE A' DWELLING UNITS.
- H. REFER TO KEY PLANS (KP SERIES) FOR LOCATION OF APPROVED BUILDING CODE APPEALS.

FIRE AND LIFE SAFETY SYMBOLS

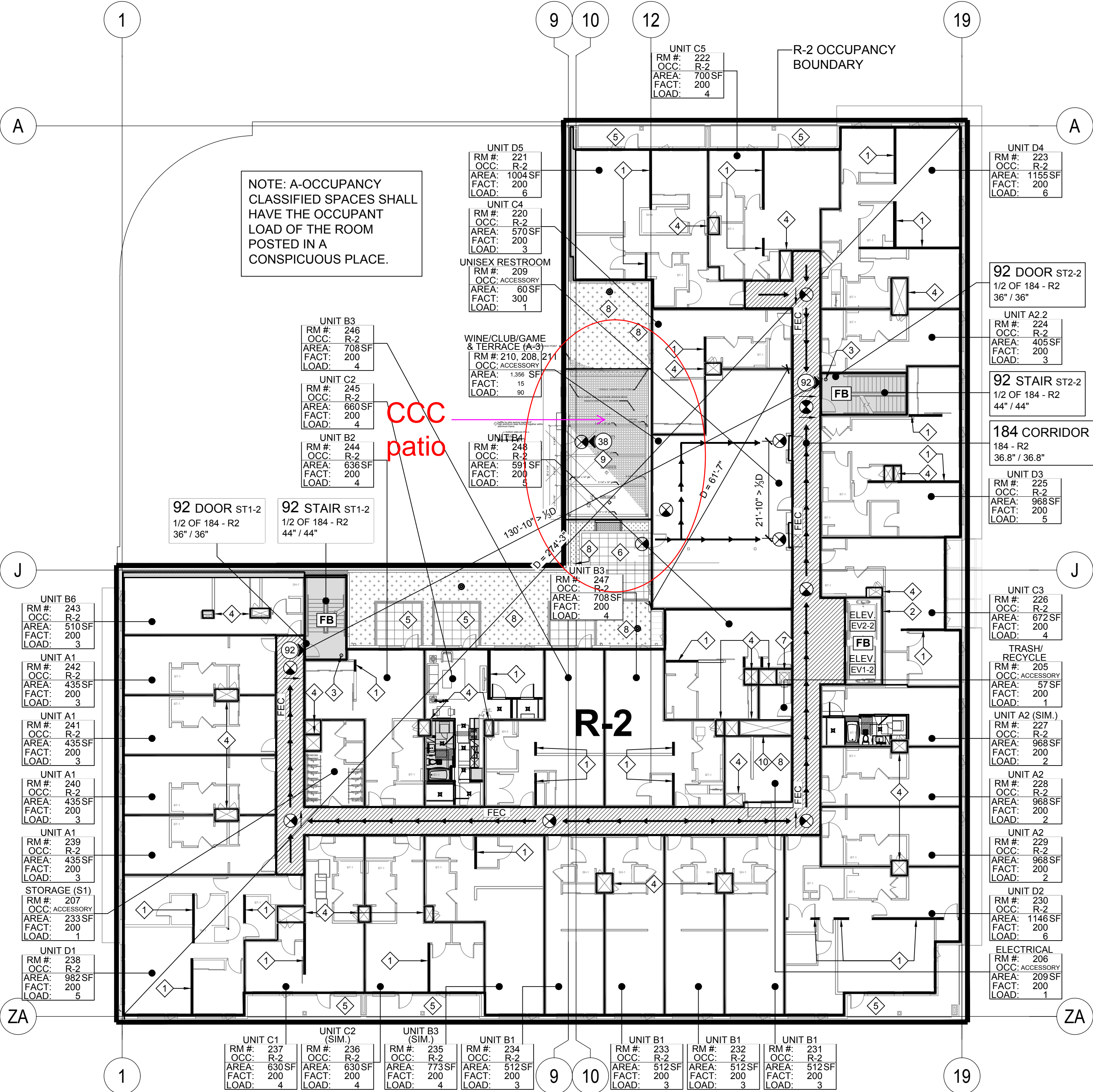


KEYNOTES- SECOND FLOOR FIRE AND LIFE SAFETY PLANS

1. INTERIOR BEARING WALL; REFER TO STRUCTURAL. WALL SHALL BE 1-HOUR CONSTRUCTION, PER OSSC TABLE 601.
2. PRESSURIZED ELEVATOR SHAFT. MECHANICALLY VENTILATE HOIST WAY ENCLOSURE UON IN WRITING BY AHJ. SEE MECHANICAL, ELECTRICAL, FIRE PROTECTION & FIRE ALARM DRAWINGS. PROVIDE FIRE BARRIERS.
3. STANDPIPE, EXTEND THROUGH ROOF UON IN WRITING BY THE AHJ. REFER TO FIRE PROTECTION SYSTEMS DRAWINGS (DRAWINGS BY BIDDER-DESIGNER).
4. 2-HOUR RATED VERTICAL SHAFT. WALLS SHALL BE 2-HOUR RATED 'FIRE BARRIER' CONSTRUCTION. [FB]
5. PRIVATE EXTERIOR DECK/ PATIO.
6. COMMON PATIO.
7. 2-HOUR RATED, SPRINKLERED, REFUSE CHUTE. WALLS SHALL BE 2-HOUR RATED 'FIRE BARRIER' CONSTRUCTION.
8. STORMWATER FACILITY PLANTER. REFER TO CIVIL, LANDSCAPE, AND PLUMBING DRAWINGS.
9. OUTDOOR TERRACE TO BE ACCESSED EXCLUSIVELY BY THE ADJACENT PROPERTY OWNER THROUGH A SHARED ACCESS EASEMENT (TO BE OFFICIALLY RECORDED AND PLACED ON PROPERTY TITLE). EGRESS FROM THIS TERRACE IS THROUGH THE ADJACENT BUILDING ONLY. REFER TO APPEAL #12740 CROSS ACCESS EASEMENT.
10. 2-HOUR RATED VERTICAL SHAFT (ELECTRICAL CONDUIT). REFER TO ELECTRICAL DRAWINGS.

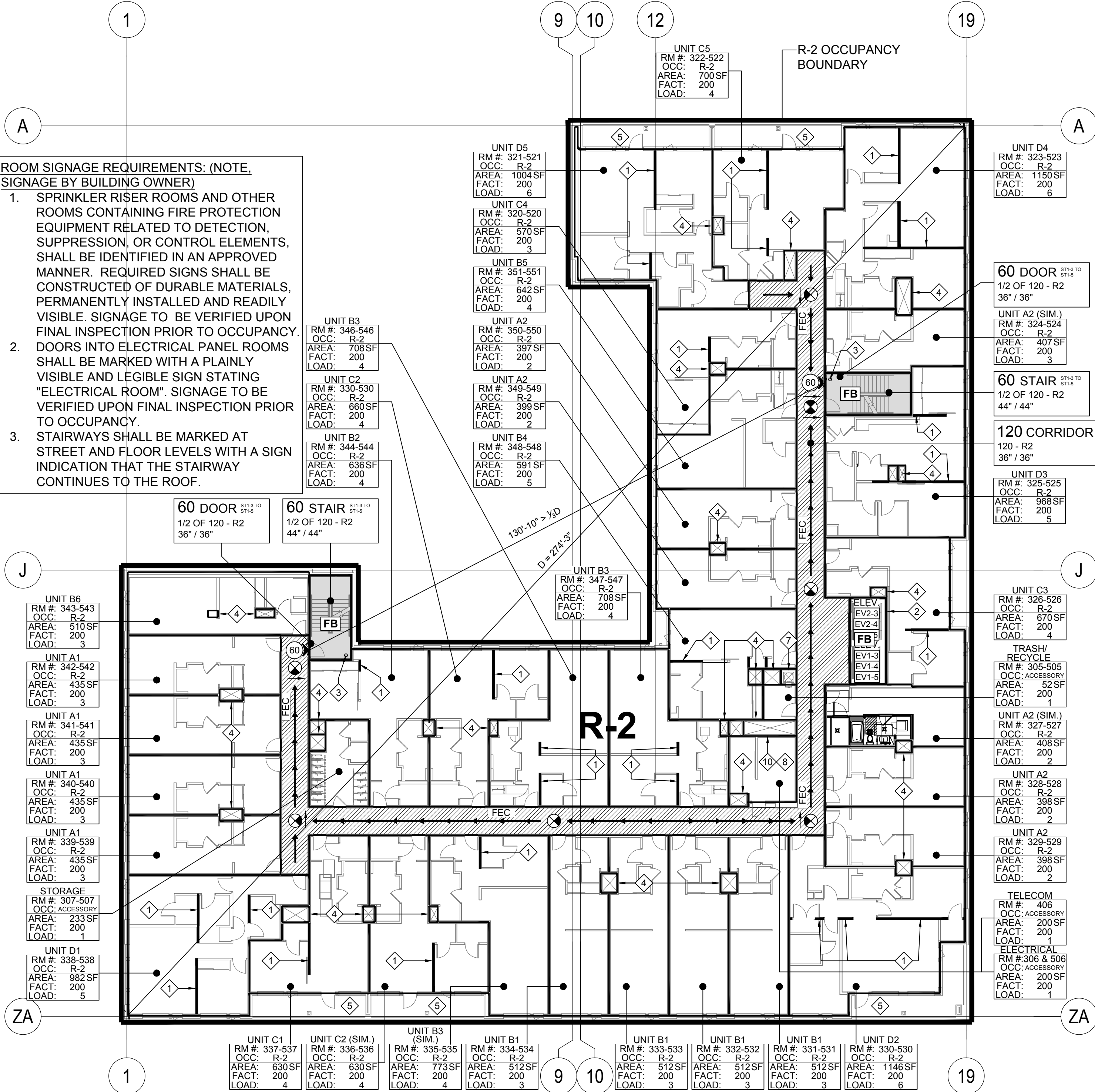
KEYNOTES- THIRD THROUGH FIFTH FLOOR FIRE AND LIFE SAFETY PLANS

1. INTERIOR BEARING WALL; REFER TO STRUCTURAL. WALL SHALL BE 1-HOUR CONSTRUCTION, PER OSSC TABLE 601.
2. PRESSURIZED ELEVATOR SHAFT. MECHANICALLY VENTILATE HOIST WAY ENCLOSURE UON IN WRITING BY AHJ. SEE MECHANICAL, ELECTRICAL, FIRE PROTECTION & FIRE ALARM DRAWINGS. PROVIDE FIRE BARRIERS.
3. STANDPIPE, EXTEND THROUGH ROOF UON IN WRITING BY THE AHJ. REFER TO FIRE PROTECTION SYSTEMS DRAWINGS (DRAWINGS BY BIDDER-DESIGNER).
4. 2-HOUR RATED VERTICAL SHAFT. WALLS SHALL BE 2-HOUR RATED 'FIRE BARRIER' CONSTRUCTION. [FB]
5. PRIVATE EXTERIOR DECK/ PATIO.
6. 2-HOUR RATED VERTICAL SHAFT (ELECTRICAL CONDUIT). REFER TO ELECTRICAL DRAWINGS.
7. 2-HOUR RATED, SPRINKLERED, REFUSE CHUTE. WALLS SHALL BE 2-HOUR 'FIRE BARRIER' CONSTRUCTION.
8. ELECTRICAL ROOM AT FLOORS TWO, THREE AND FIVE. TELECOM ROOM AT FLOORS FOUR AND SIX. SEE ELECTRICAL DRAWINGS.



FIRE AND LIFE SAFETY PLAN - SECOND FLOOR

A1  
G3.11  
NTS



FIRE AND LIFE SAFETY PLAN - THIRD THROUGH FIFTH FLOOR

A3  
G3.11  
1/16" = 1'-0"



419 E. BURNSIDE MIXED USE

Trinsic Acquisition Company, LLC  
605 First Avenue  
Suite 100  
Seattle, WA, 98104  
Tel 425.681.0638

The following Notices are being given in accordance with Oregon Statutes to advise the General Contractor and all Subcontractors / Suppliers of the Owner's intention to follow industry standards as regard to payment and certification terms: Notice of Extended Payment Provision

The Construction Contract will allow the Owner to make:

(1) Progress payments per the terms of the construction contract no later than industry standard 30-45 days after the date a billing or estimate is received or such shorter time as allowed by Owner's Lender.

(2) Final payment of all remaining amounts, subject to deductions allowed by the construction contract no later than 30-45 days after the date the owner approves all work or such shorter time as allowed by Owner's Lender.

Notice of Extended Certification Period Provision

(1) The construction contract will allow the Owner to certify billings and estimates no later than 15-20 days after the billings and estimates are received from the General Contractor, or such shorter or longer time as allowed or needed by Owner's Lender.

CONSTRUCTION SET

PACKAGE 2: BUILDING AND SITE  
VOLUME 1 OF 2

PROJECT NO. 15-0723  
ISSUE DATE 02/01/2016

REVISIONS

ISSUED FOR CONSTRUCTION  
JUL 28, 2016  
G3.11  
FIRE & LIFE  
SAFETY PLANS