

# Development Services

## From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 15369	<b>Project Address:</b> 4734 & 4732 N Albina Ave
<b>Hearing Date:</b> 7/12/17	<b>Appellant Name:</b> Paige Miller
<b>Case No.:</b> B-028	<b>Appellant Phone:</b> 503-946-5328
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Jeff Duquette
<b>Project Type:</b> commercial	<b>Stories:</b> 0 <b>Occupancy:</b> N/A <b>Construction Type:</b> N/A
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> other: Demolition of Existing Building	<b>LUR or Permit Application No.:</b> 17-177835-CO & 17-177825-CO
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Phased Grading Prior to New Building Construction

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 24.55.100 & 24.70

**Requires** Section 24.55.100 Building Demolition: After removal of any structure all foundations that are not to be used for new construction shall be removed and all excavations filled in compliance with Chapter 24.70 of this Title, to a level of the adjoining grade.

**Proposed Design** The proposed demolition plan for the site includes removal of the existing buildings, removal of existing utilities, shoring, bracing, excavation of soil, installation of preliminary building footings and some site grading. Along the north and east property lines shoring will be installed, which will eventually become part of the permanent site retaining wall. The existing soil behind the shoring will be graded to a maximum 2:1 slope. Along the south and remainder of the east property lines, the existing building walls will remain in place. The existing walls will be cut down to the elevations listed in the attached plan. The remainder of the site will be excavated to the finish grade indicated in the attached plan. Footings will be installed as a part of the bracing system put in place to maintain the existing building walls. Those footings will later be used as a part of the proposed building structure and site retaining wall.

**Reason for alternative** In the event that the construction, inspection, and approval of the new first floor slab does not occur within 360 days of the demolition permit issuance, the project site will be backfilled to meet the requirements in Section 24.55.100 of the Building Demolition Code. Permanent erosion control measures will be installed to meet drawing detail 4.5-C in the Erosion Control Manual.

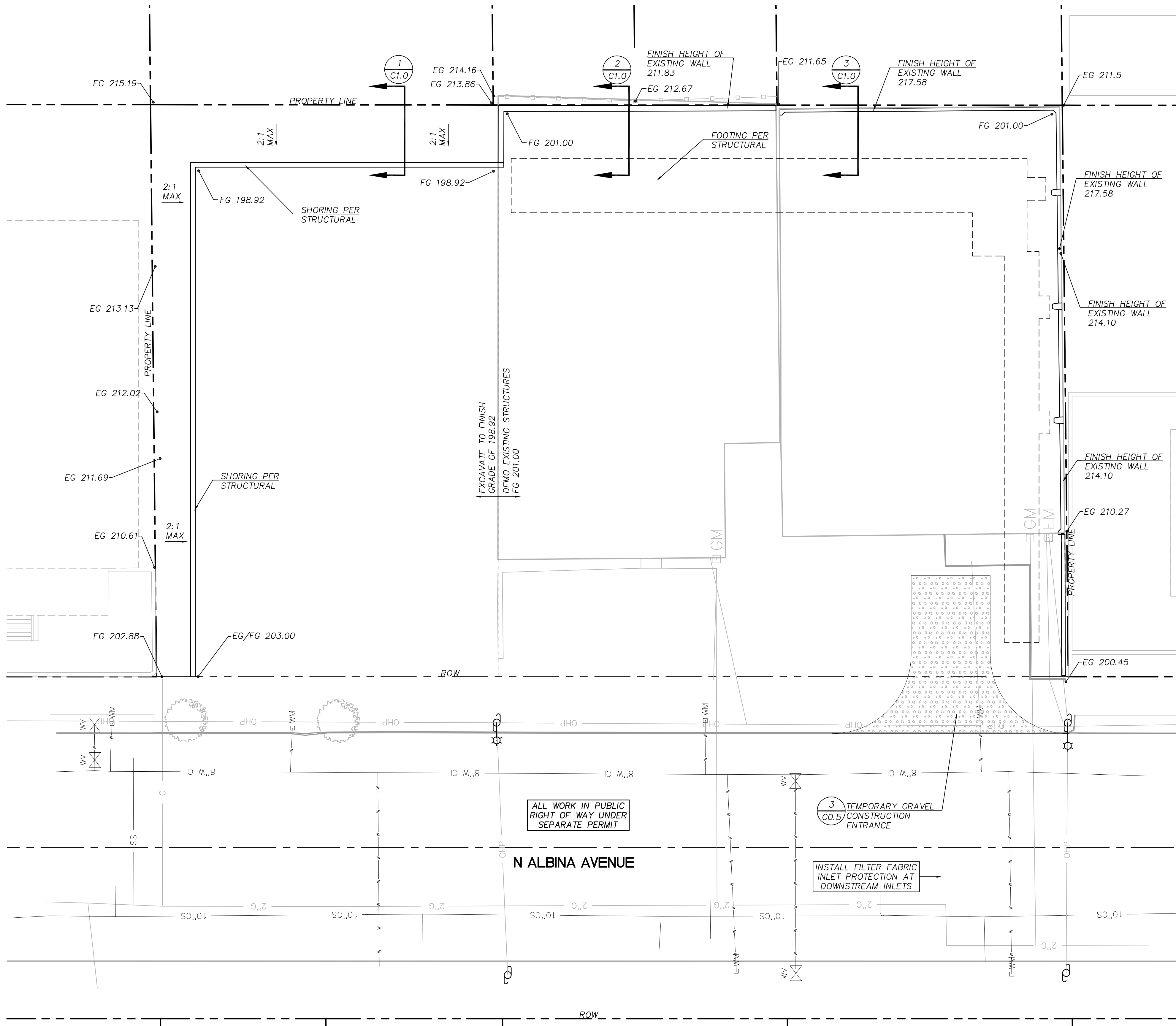
### APPEAL DECISION

**Phased grading prior to new building construction: Granted as proposed.**

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

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DEMOLITION, GRADING AND EROSION CONTROL PLAN  
SCALE: 1"=10'

SHEET NOTES

1. STOCK PILING NOT TO OCCUR ON SITE.

SHEET LEGEND

EG XXX.XX  
FG XXX.XX

EXISTING GRADE  
FINISH GRADE

---205---

EXISTING CONTOUR

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LIMIT OF FOOTING

TEMPORARY GRAVEL  
CONSTRUCTION ENTRANCE

3  
C0.5

1 TYPICAL CROSS SECTION AT SHORING  
NTS

2 TYPICAL CROSS SECTION AT EXISTING WALL  
NTS

3 TYPICAL CROSS SECTION AT EXISTING WALL  
NTS

GRAPHIC SCALE

0 10 20

1 inch = 10 ft.

NOTE: INFORMATION IN THESE DOCUMENTS IS NOT APPROVED FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

EMERICK ARCHITECTS

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Humber  
Design  
Group, Inc.

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REV. #:	DATE:	DESCRIPTION:

ALBINA APARTMENTS

4734 N. ALBINA AVE.  
PORTLAND, OR 97217

DEMOLITION, GRADING  
AND EROSION CONTROL  
PLAN

PROJECT NO: 1531  
DRWN BY: PLM | CHK'D BY: MSW  
DATE: 06.23.17

C1.0

BID SET