

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 14946	Project Address: 1278 SE Marion St
Hearing Date: 4/12/17	Appellant Name: Todd Iselin
Case No.: B-010	Appellant Phone: 5036561942
Appeal Type: Building	Plans Examiner/Inspector: Peter Drake
Project Type: commercial	Stories: 5 Occupancy: R-2 Construction Type: III
Building/Business Name: The Garthwick	Fire Sprinklers: Yes - throughout
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 16-195888-CO
Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] [File 5]	Proposed use: multi-family apartment

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1007.2.1/ 1007.4

Requires 1007.2.1 requires an elevator complying with section 1007.4 in buildings where a required accessible floor is four or more stories above or below the level of exit discharge.
1104.4 requires at least one accessible route connecting each story and mezzanine in multi story buildings.

Proposed Design The proposed design does not have an accessible unit on the 5th floor and is not served by elevator service. The 5th floor has a single 1,170 s.f., two bedroom apartment unit.

The fifth floor unit is not proposed to be accessible, since there are 23 accessible units (24 total) within the planned building. The building proposed is fully sprinklered and has two means of emergency egress from each level.

A single Type A unit is allowed per 1107.6.2.1.1.. Two Type A units are proposed on the ground level to provide both a 1 bedroom and a 2 bedroom Type A unit. There are an additional 21 Type B units on floors 1-4.

Reason for alternative 1107.7 allows for reductions in the numbers of Type A and Type B units and does not require accessibility on floors that are not served by an elevator.

The fifth floor has no common facilities and a common outdoor space is provided on the fourth floor that is served by an elevator.

If there is no "required" accessibility to the 5th floor than elevator service to this floor is not necessary.

The increased cost for the elevator to serve this 5th floor is disproportional. An alternate to create (4) multistory units as allowed per 1107.7.2 at the fourth and fifth floor was explored to not have the 5th floor accessible, but the Owner did not feel these were marketable units.

Appeal item 2

Code Section OSSC 1203.2

Requires OSSC 1203.2 requires attic spaces and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof framing member to have cross ventilation

Proposed Design There are 2 roof- ceiling assemblies proposed without ventilation. Both are subject to 1203 exception 3 where determined to be not necessary the the Building Official due to atmospheric or climatic conditions.

Proposed system #1: Typical roof- ceiling assembly: 4"-10" Rigid foam board installed entirely above roof deck.

Proposed system #2: Roof-ceiling assembly below exterior terraces: 8" of closed cell spray foam insulation applied at underside of sheathing. This provides a barrier type system eliminating the potential for condensation and a medium like typical fiberglass batt insulation to trap moisture

Reason for alternative Proposed system #1 provides a barrier type system eliminating the potential for condensation and medium like typical fiberglass batt insulation which may trap moisture without ventilation. It also has an added thermal benefit by eliminating thermal bridging at the roof joists. There are also fewer roof penetrations and possible places for birds and insects to get into the structure in addition to the complications in providing adequate ventilation on a flat roof with a directly applied ceiling.

Proposed system #2 is a closed cell polyurethane foam insulation and air barrier material suitable for type III construction. This product is designed for use in vented and unvented attic spaces providing excellent thermal properties and class II water vapor permeance and does not support fungus growth. Refer to attached product data.

APPEAL DECISION

1. Omission of accessible route / elevator to single unit on 5th floor: Denied. Proposal does not provide equivalent access.

Appellant may contact John Butler (503-823-7339) with questions.

2. Alternate detail for non ventilated attic spaces: Hold for additional information.

Appellant may contact John Butler (503-823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

CODE SUMMARY

PROJECT DESCRIPTION:	NEW 24 UNIT APARTMENT COMPLEX	
OCCUPANCY:	R2 - RESIDENTIAL S2 - PARKING GARAGE	
PARKING:	12 REQUIRED 12 PROVIDED	.5 SPACES PER DWELLING UNIT 11 UNIT CAR MATRIX SYSTEM 1 ADA VAN ACCESSIBLE SPACE W/ ACCESS AISLE
LOADING:	1 REQUIRED 1 PROVIDED	
BIKE PARKING:	27 LONG TERM REQUIRED 28 LONG TERM PROVIDED	1.1 PER UNIT
	2 SHORT TERM REQUIRED 4 SHORT TERM PROVIDED	

BUILDING CONSTRUCTION DATA:

BUILDING AREA:	MAIN LEVEL:	7,956 SF
	DWELLINGS:	2,753 SF
	GARAGE:	4,100 SF
	COMMON:	1,103 SF
	2ND LEVEL:	7,647 SF
	3RD LEVEL:	7,647 SF
	4TH LEVEL:	4,869 SF
	5TH LEVEL:	1,170 SF
TOTAL:		29,289 SF

ALLOWABLE BLDG AREA: 12,000 SF PER STORY ABOVE GRADE PLANE

BUILDING HEIGHT: 5 STORIES
54' - 9"

ALLOWABLE HEIGHT: 4 STORIES

HEIGHT INCREASE: 1 STORY : AUTOMATIC SPRINKLER SYSTEM INCREASE
AREA SEPARATION FLOOR-CEILING REQUIRED

CONSTRUCTION TYPE: III-B (UTILIZING PROVISIONS OF CITY OF PORTLAND CODE GUIDE #4 FOR NON-FRT FRAMING IN EXTERIOR BUILDING WALLS)

REQUIRED FIRE RATINGS:	STRUCTURAL FRAME	0
	EXT BEARING WALLS	2 HR
	INT BEARING WALLS	0
	INT NON-BEARING WALLS	0
	FLOOR-CEILING	1 HR HORIZONTAL ASSEMBLY
	(AS REQD FOR DWELLING UNIT SEPARATION)	
	ROOF-CEILING	0
	R2 - S2 OCCUPANCY SEPARATION	1 HR FIRE BARRIER
	DWELLING UNIT DEMISING WALLS	1 HR FIRE PARTITION
	SOUTH PROPERTY LINE WALL	2 HR FIRE WALL
	1ST - 2ND LEVEL AREA SEPARATION	1 HR FLOOR - CEILING
	EXIT ENCLOSURES	2 HR FIRE BARRIER
	ELEVATOR SHAFT, CHASES	2 HR FIRE BARRIER

OPENING FIRE PROTECTION: CORRIDOR DOORS 20 MINUTE

EXTERIOR WALL	SOUTH WALL	0' FSD	NOT PERMITTED
OPENING PROTECTION	WEST WALL	10' FSD	45% UNPROTECTED ALLOWED
	NORTH WALL	34.75' FSD	NO LIMIT
	EAST WALL	34.75' FSD	NO LIMIT

BUILDING OCCUPANCY DATA:

ROOM	AREA	OLF	OCCUPANT LOAD
DWELLING UNITS	25,189	200 G	126
GARAGE	4,100	200 G	21

BUILDING EGRESS:

EXITING	REQUIRED	PROVIDED
MAIN LEVEL	6	6
LEVELS 2, 3, 4	2	2
LEVEL 5	1	1

STAIRWAYS (2) INTERIOR EXIT STAIRWAYS PROVIDED

FIRE DETECTION & SUPPRESSION:

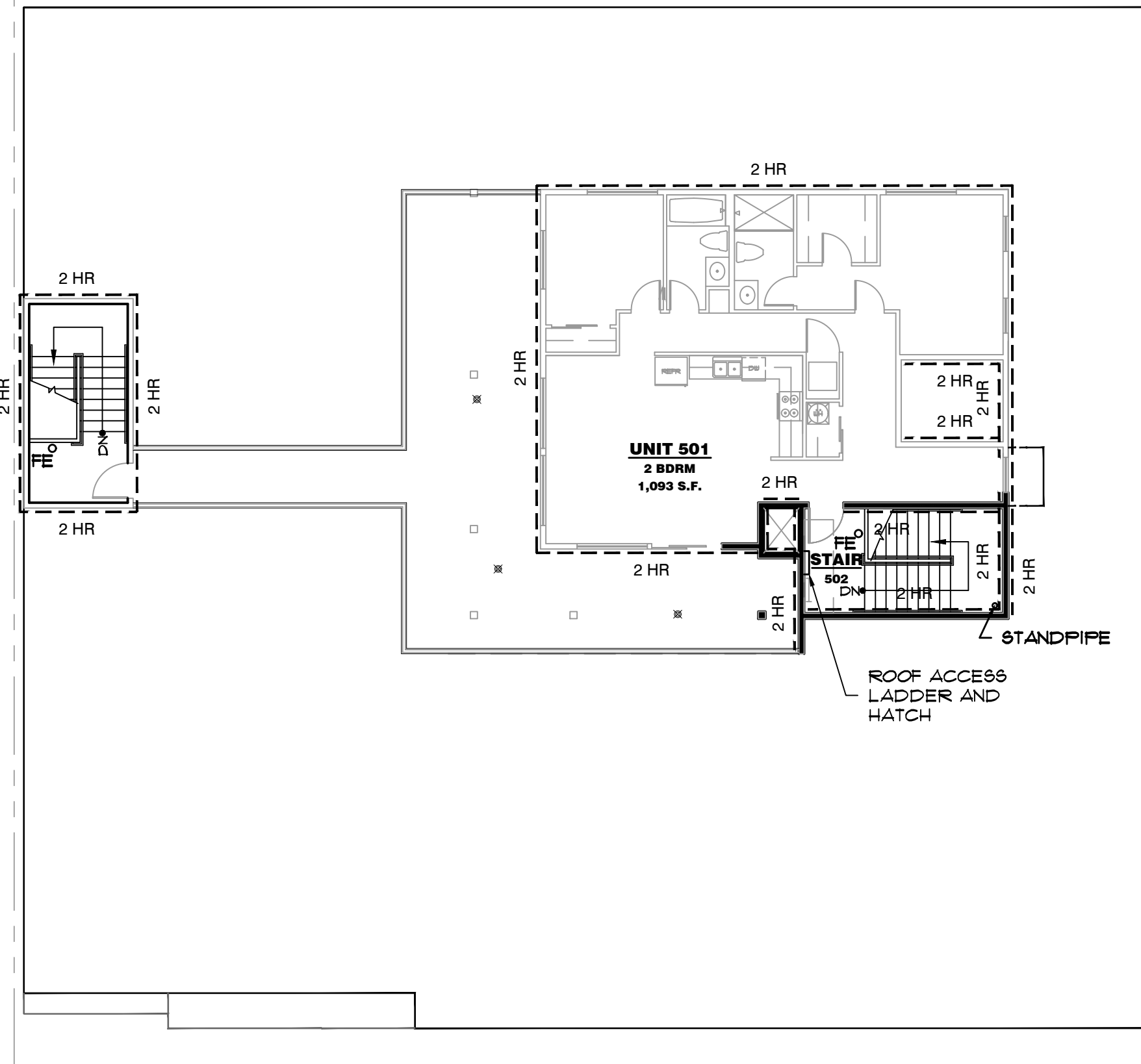
SMOKE DETECTION / FIRE ALARM	COMPLETE SYSTEM TO BE PROVIDED AS A DESIGN-BUILD SEPARATE PERMIT
SPRINKLERS	NFPA 13 SYSTEM TO BE INSTALLED IN ENTIRE BUILDING (DESIGN-BUILD SEPARATE PERMIT)

ACCESSIBILITY:

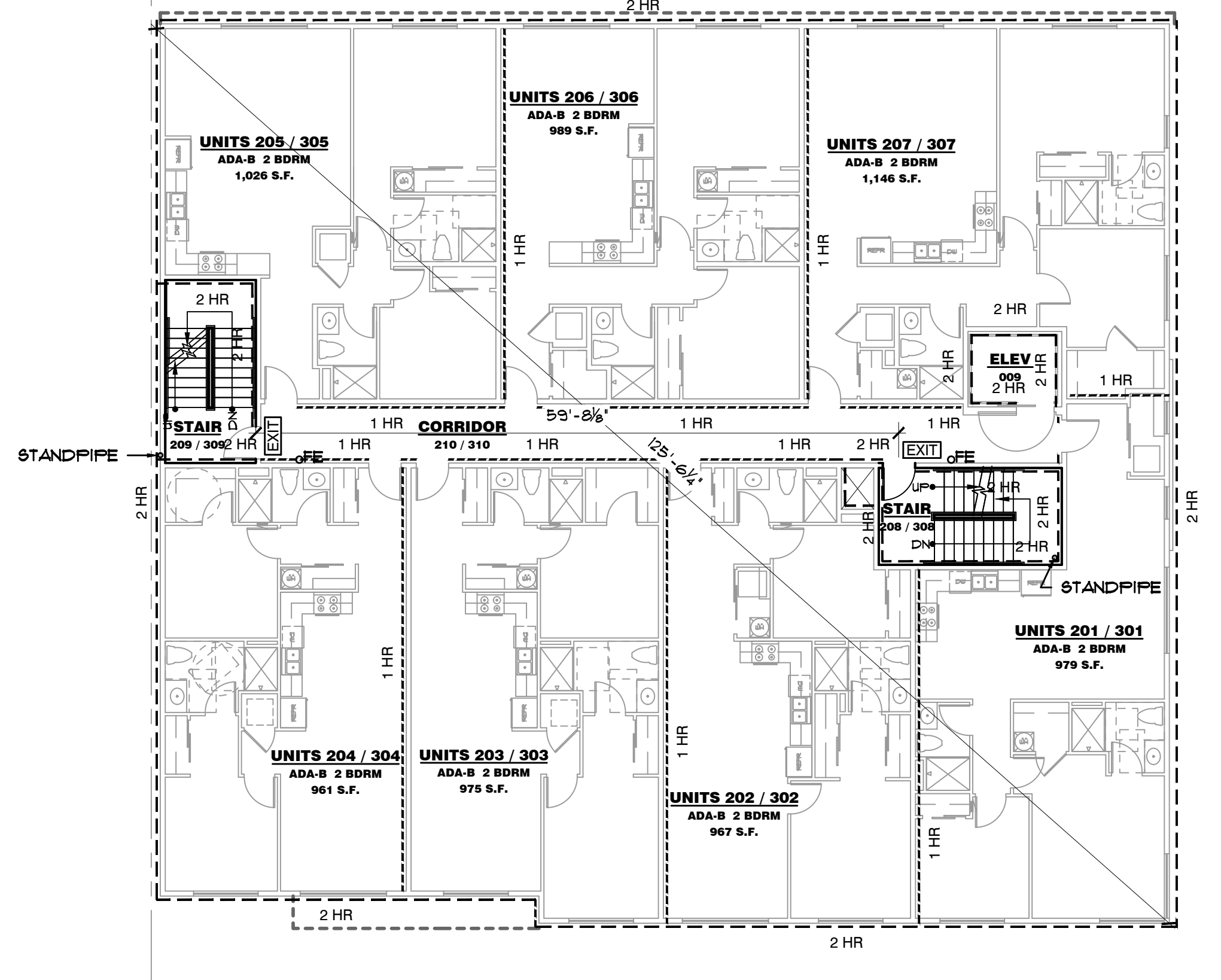
COMMON AREAS	FULLY ACCESSIBLE
DWELLING UNITS	(1) TYPE A MAIN LEVEL ONE BEDROOM UNIT (1) TYPE A MAIN LEVEL TWO BEDROOM UNIT ALL LEVEL 2, 3 & 4 UNITS - TYPE B LEVEL 5 UNIT NOT ACCESSIBLE (NO ELEVATOR SERVICE)

NOTES:

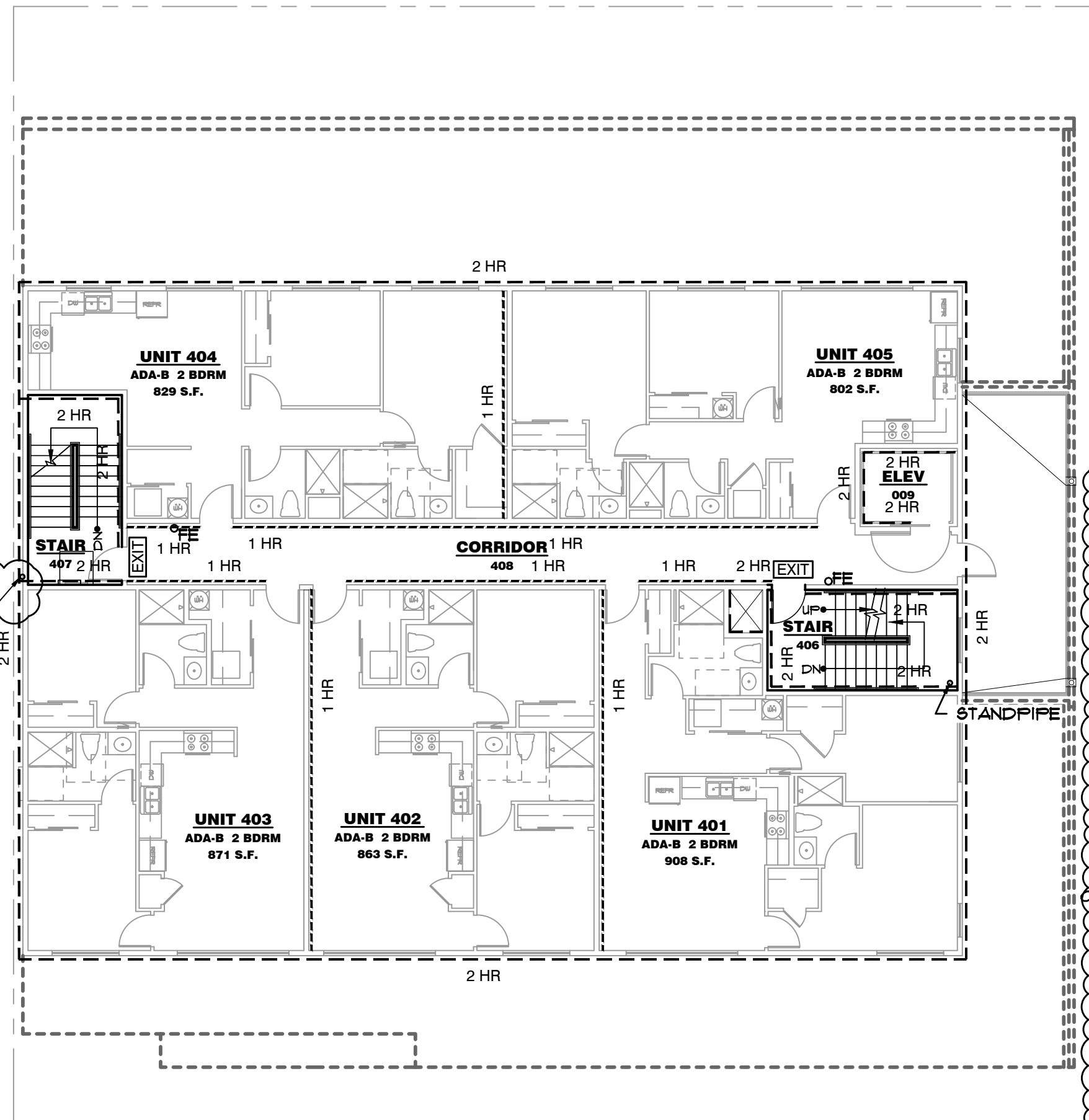
- THE CONTRACTOR SHALL FULLY COMPLY WITH THE CURRENT EDITION OF THE STATE OF OREGON STRUCTURAL SPECIFICATIONS (OREGON MODIFIED INTERNATIONAL BUILDING CODE), IBC PLUMBING, MECHANICAL, ELECTRICAL & FIRE CODES & ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES OR REGULATIONS. THE CONTRACTOR IS TO OBTAIN ALL REQUIRED PERMITS AND LICENSES REQUIRED FOR THE WORK. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.
- ELECTRICAL, MECHANICAL & LOW VOLTAGE WORK TO BE DESIGN-BUILD UNDER SEPARATE PERMIT.
- CONTRACTOR TO PROVIDE EGRESS LIGHT FIXTURES W/ BATTERY BACK-UP ALONG EXIT PATH & IN OTHER AREAS TO MEET MINIMUM ILLUMINATION LEVELS AS REQUIRED BY CODE.
- FIRE SPRINKLERS SHALL BE INSTALLED & CHARGED AS WORK PROGRESSES.
- FIRE DOORS AT EACH STAIR LANDING SHALL BE INSTALLED AS WORK PROGRESSES TO PROVIDE COMPARTMENTALIZATION.
- CONTRACTOR TO PROVIDE 24 HOUR SECURITY / SURVEILLANCE DURING CONSTRUCTION.
- ALL DUCTS AND VENTS PENETRATING EXTERIOR FIRE RATED WALLS TO BE 26 GA. MIN. ALL CONDUIT AND PIPING PENETRATIONS TO BE FIRESTOPPED.



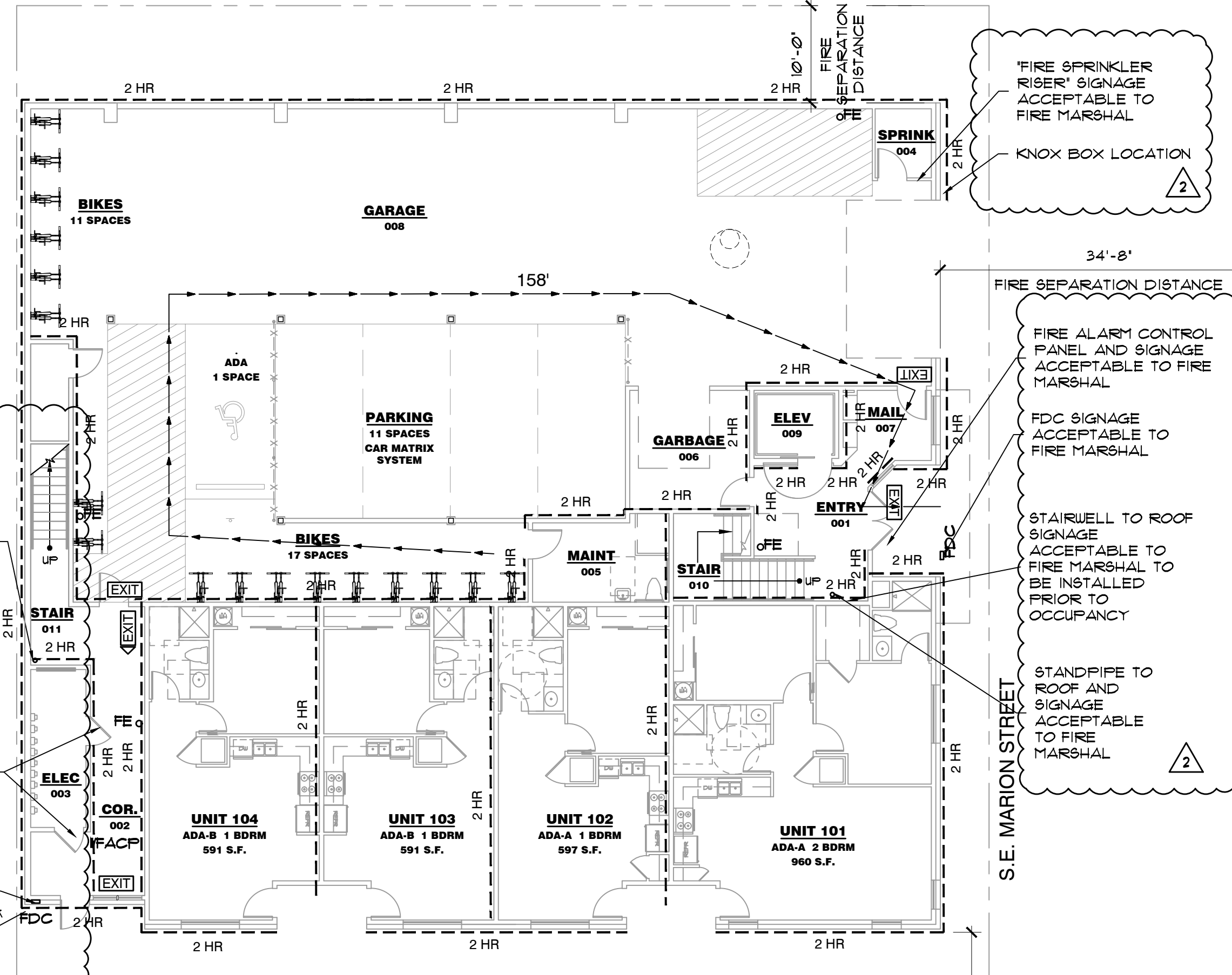
5TH LEVEL FIRE & LIFE SAFETY PLAN



2ND & 3RD LEVEL FIRE & LIFE SAFETY PLAN



4TH LEVEL FIRE & LIFE SAFETY PLAN



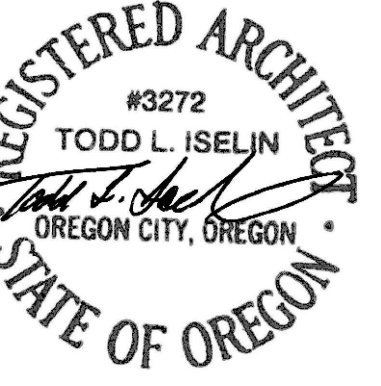
MAIN LEVEL FIRE & LIFE SAFETY PLAN

FE = 2" TYPE AB FIRE EXTINGUISHER W/ WALL BRACKET
FDC = FIRE DEPT CONNECTION - PROVIDE W/ REQUIRED SIGNAGE VISIBLE FROM R.O.W. COORDINATE W/ FIRE SPRINKLER CONTRACTOR
FACP = FIRE ALARM CONTROL PANEL



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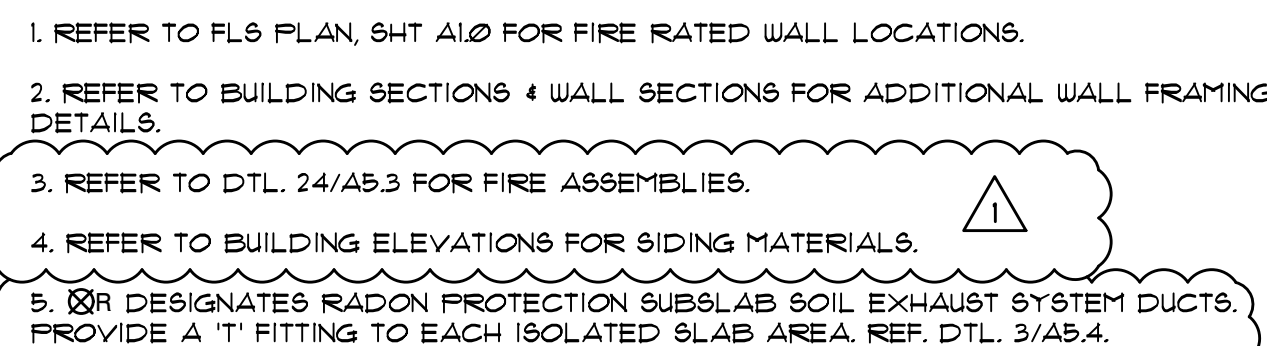


YELLOW SUBMARINE LLC
THE GARTHWICK
13th AND MARION ST
PORTLAND, OREGON

PROJ. NO.: 1546
FILE: A-FLS
DATE: 6/27/2016
REVISIONS
1: 12/9/16 4: 02/13/17
2: 1/9/17 5: 04/7/17
3: 1/18/17
SHEET #

A1.1

FIRE & LIFE SAFETY PLANS





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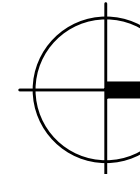
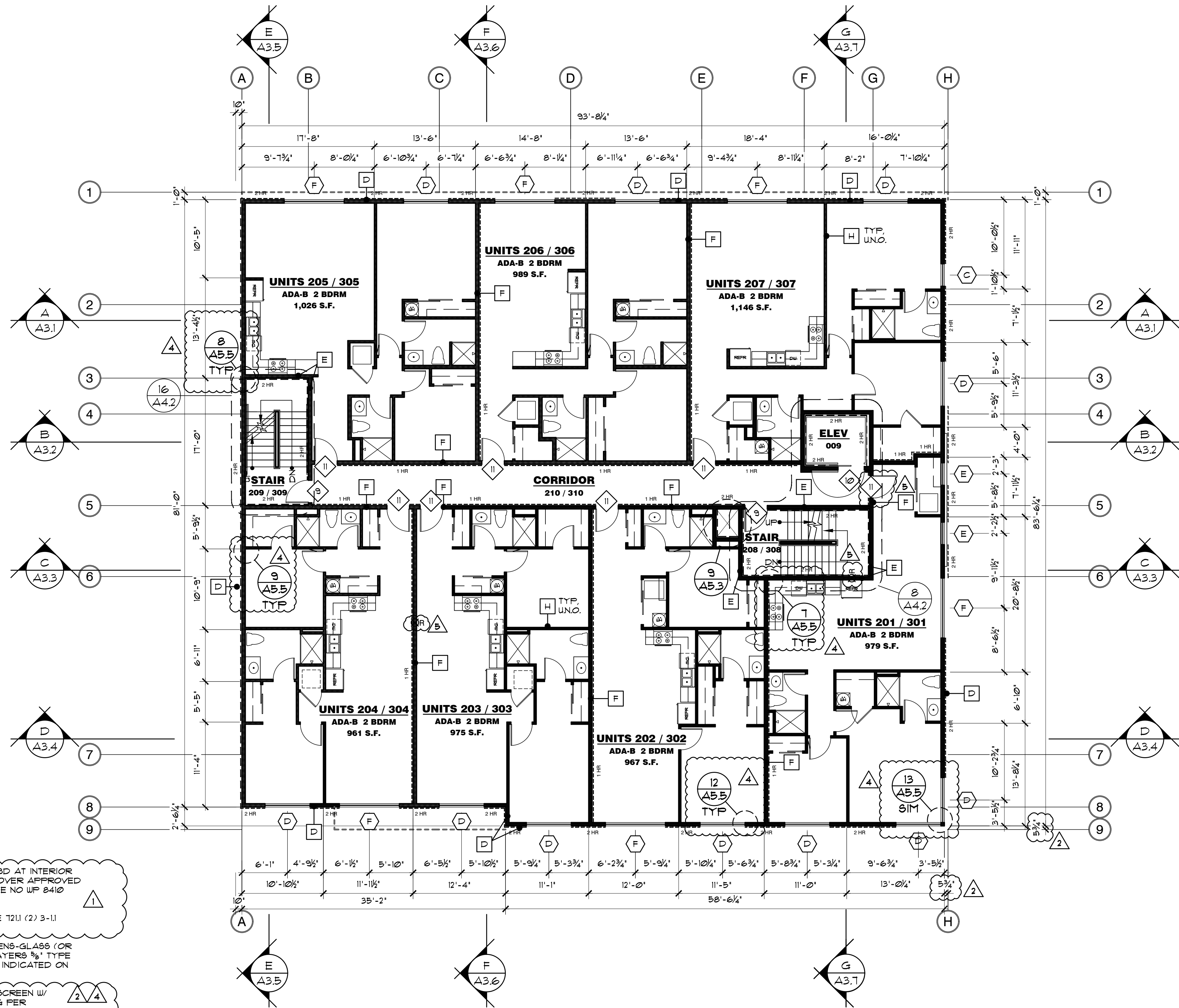


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A1.3

2ND & 3RD LEVEL FLOOR
PLANS



SECOND & THIRD FLOOR PLAN

1/8" = 1'-0"

WALL TYPE LEGEND

- A** 2x WOOD STUD WALL PER STRUCTURAL W/ (2) LAYER 5/8" TYPE 'X' GYP BD AT INTERIOR AND R-21 BATT INSUL W/ BRICK VENEER AT EXTERIOR W/ 1" AIR SPACE OVER APPROVED WRB ON 5/8" EXTERIOR GYP SHTHG ON PLYWD. 2 HR RATED PER GA FILE NO WP 8410 WHERE INDICATED ON FLS PLAN, SHT A10
- B** 8" DECORATIVE CMU WALL PER STRUCTURAL. 2 HR RATED - IBC TABLE 7211 (2) 3-11 WHERE INDICATED ON FLS PLAN, SHT A10
- C** 2x6 @ 16" O.C. W/ NON-COMBUSTIBLE SIDING OVER WRB, (1) LAYER 5/8" DENS-GLASS (OR EQUAL) GYP SHTHG & PLY SHTHG PER STRUCTURAL @ EXTERIOR (2) LAYERS 5/8" TYPE 'X' GYP BD @ INTERIOR, R-21 BATT INSUL. (2 HR RATED - WP8415 WHERE INDICATED ON FLS PLAN, SHT A10)
- D** 2x6 @ 16" O.C. W/ 1/2" PORTLAND CEMENT STUCCO EXTERIOR OVER RAINSCREEN W/ APPROVED WRB ON (1) LAYER 5/8" TYPE 'X' GYP SHTHG ON PLY SHTHG PER STRUCTURAL @ EXTERIOR, (2) LAYERS 5/8" TYPE 'X' GYP BD @ INTERIOR, R-21 BATT INSUL. (2 HR RATED - IBC TABLE 7211.15-16 WHERE INDICATED ON FLS PLAN, SHT. A10) PER C.O.P. CODE GUIDE FOR ALT TO FRM FRAMING IN TYPE III CONSTRUCTION.
- E** 2x6 @ 16" O.C. W/ (2) LAYERS 5/8" TYPE 'X' GYP BD ONE SIDE & (2) LAYERS 5/8" TYPE 'X' GYP BD OVER RC-1 CHANNELS @ 24" O.C. @ ONE SIDE, 3 1/2" UNFACED BATT INSUL. (2 HR RATED - WP3825 WHERE INDICATED ON FLS PLAN, SHT A10)
- F** 2x6 @ 16" O.C. W/ (2) LAYERS 5/8" TYPE 'X' GYP BD ONE SIDE & (2) LAYERS 5/8" TYPE 'X' GYP BD OVER RC-1 CHANNELS @ 24" O.C. @ ONE SIDE, 3 1/2" UNFACED BATT INSUL. (2 HR RATED - WP3242 WHERE INDICATED ON FLS PLAN, SHT A10)
- G** CHASE WALL (2 HR RATED - WP1051)
- H** 2x4 @ 16" O.C. (2x6 AS REQ'D @ PLUMB'G WALLS) W/ (1) LAYER 1/2" GYP BD EA. SIDE, 3 1/2" UNFACED BATT INSUL.

NOTE:

1. REFER TO FLS PLAN, SHT A10 FOR FIRE RATED WALL LOCATIONS.
2. REFER TO BUILDING SECTIONS & WALL SECTIONS FOR ADDITIONAL WALL FRAMING DETAILS.
3. REFER TO DTL. 24/A5.3 FOR FIRE ASSEMBLIES.
4. REFER TO BUILDING ELEVATIONS FOR SIDING MATERIALS.
5. RR DESIGNATES RADON PROTECTION SUBSLAB SOIL EXHAUST SYSTEM DUCTS. PROVIDE A 'T' FITTING TO EACH ISOLATED SLAB AREA. REF. DTL. 3/A5.4.




REGISTERED ARCHITECT
#3272
TODD L. ISELIN
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STATE OF OREGON

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PORTLAND, OREGON

A1.4


LEVEL FLOOR PLAN



- A** 2x WOOD STUD WALL PER BRICK VENEER W/ (2) LAYER 3/8" TYPE 'X' GYP BD AT INTERIOR AND R-21 BATT INSUL W/ STRUCT VENEER AT EXTERIOR W/ 1" AIR SPACE OVER APPROVED WRB ON 3/8" EXTERIOR GYP SHTNG ON PLTYD. 2 HR RATED PER GA FILE NO WP 8410 WHERE INDICATED ON FLS PLAN, SHT A10 

B 8' DECORATIVE CMU WALL PER STRUCTURAL. 2 HR RATED - IBC TABLE 721.1 (2) 3-11 WHERE INDICATED ON FLS PLAN, SHT A10.


C 2x6 @ 16" O.C. W/ NON-COMBUSTIBLE SIDING OVER WRB. (1) LAYER 3/8" DENS-GLASS (OR EQUIV) GYP SHTNG & FLY SHTNG FER STRUCTURAL @ EXTERIOR (2) LAYERS 3/8" TYPE 'X' GYP BD @ INTERIOR R-21 BATT INSUL. (2 HR RATED - WP8415 WHERE INDICATED ON FLS PLAN, SHT A10)

D 2x6 @ 16" O.C. W/ 1/2" PORTLAND CEMENT STUCCO EXTERIOR OVER RAINSCREEN W/ APPROVED WRB ON (1) LAYER 3/8" TYPE 'X' GYP SHTNG ON FLY SHTNG FER STRUCTURAL @ EXTERIOR (2) LAYERS 3/8" TYPE 'X' GYP BD @ INTERIOR R-21 BATT INSUL. (2 HR RATED - IBC TABLE 721.1 5-16 WHERE INDICATED ON FLS PLAN, SHT. A10) *FER C.O.P. CODE GUIDE FOR ALT TO FRM FRAMING IN TYPE III CONSTRUCTION. 

E 2x6 @ 16" O.C. W/ (2) LAYERS 3/8" TYPE 'X' GYP BD ONE SIDE & (2) LAYERS 3/8" TYPE 'X' GYP BD OVER RC-1 CHANNELS @ 24" O.C. @ ONE SIDE, 3/2" UNFACED BATT INSUL. (2 HR RATED - WP8325 WHERE INDICATED ON FLS PLAN, SHT A10)

F 2x6 @ 16" O.C. W/ (2) LAYERS 3/8" TYPE 'X' GYP BD ONE SIDE & (2) LAYERS 3/8" TYPE 'X' GYP BD OVER RC-1 CHANNELS @ 24" O.C. @ ONE SIDE, 3/2" UNFACED BATT INSUL. (2 HR RATED - WP8324 WHERE INDICATED ON FLS PLAN, SHT A10)

G CHASE WALL. (2 HR RATED - WP1051)

H 2x4 @ 16" O.C. (2x6 AS REQ'D PER PLUMB'G WALLS) W/ (1) LAYER 1/2" GYP BD EA. SIDE, 3/2" UNFACED BATT INSUL. 

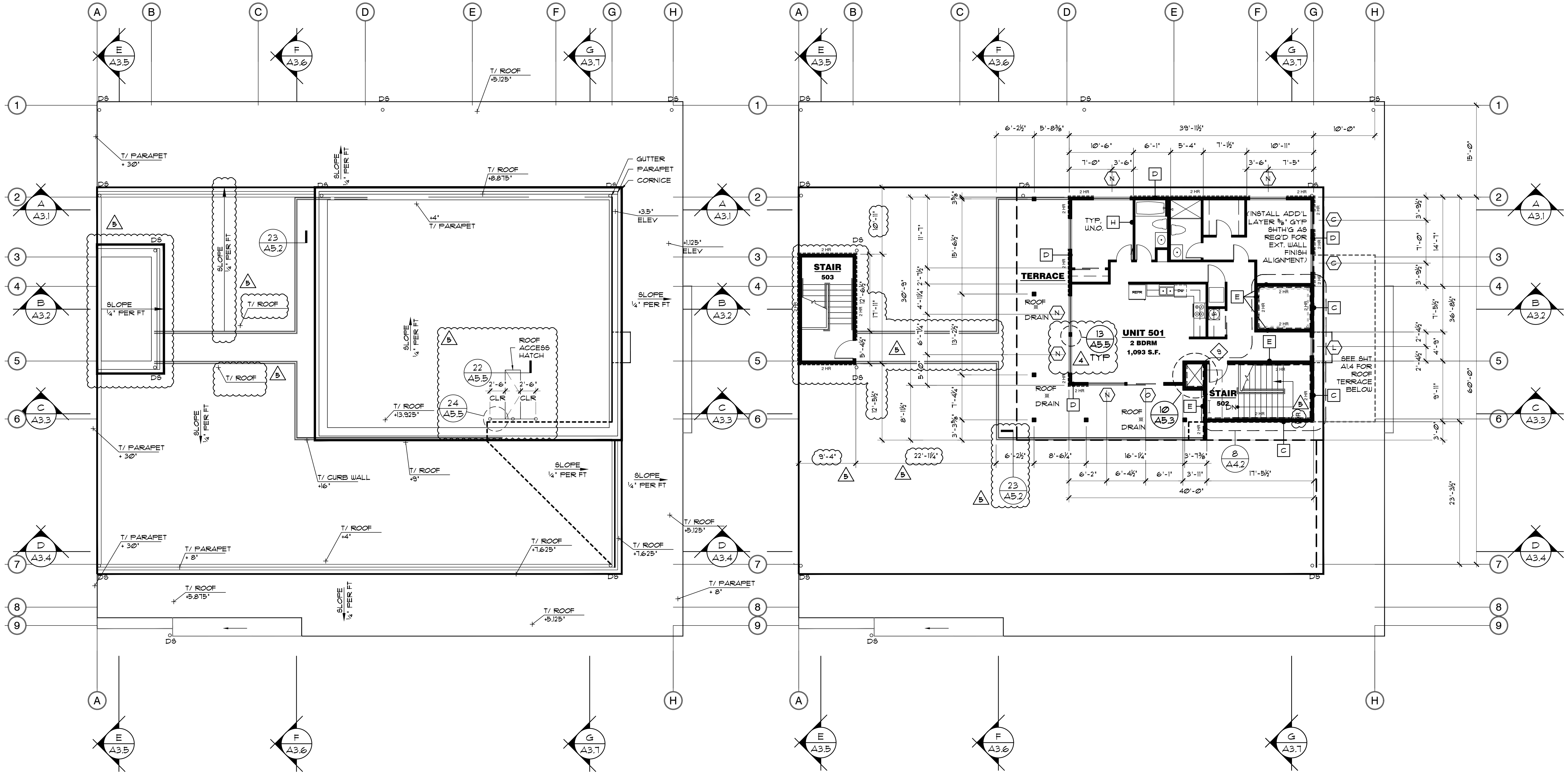
NOTE:

1. REFER TO FLG PLAN, SHT A10 FOR FIRE RATED WALL LOCATIONS.
2. REFER TO BUILDING SECTIONS & WALL SECTIONS FOR ADDITIONAL WALL FRAMING DETAILS.
3. REFER TO DTL. 24/A5.3 FOR FIRE ASSEMBLIES.
4. REFER TO BUILDING ELEVATIONS FOR SIDING MATERIALS.

5. ☒ R DESIGNATES RADON PROTECTION SUBSLAB SOIL EXHAUST SYSTEM DUCTS. PROVIDE A 'T' FITTING TO EACH ISOLATED SLAB AREA. REF. DTL. 3/A5.4.

FOURTH FLOOR PLAN

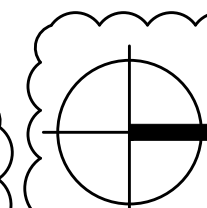
$$\frac{1}{8}'' = 1'-0''$$



 **FIFTH LEVEL ROOF PLAN**
1/8" = 1'-0"

WALL TYPE LEGEND

- A** 2x WOOD STUD WALL PER STRUCTURAL W/ (2) LAYER 5/8" TYPE 'X' GYP BD AT INTERIOR AND R-21 BATT INSUL W/ BRICK VENEER AT EXTERIOR W/ 1" AIR SPACE OVER APPROVED URBS ON 5/8" EXTERIOR GYP SHTG ON FLYTUD. 2 HR RATED PER GA FILE NO WP 8410 WHERE INDICATED ON FL5 PLAN, SHT A10
- B** 8" DECORATIVE CMU WALL PER STRUCTURAL. 2 HR RATED - IBC TABLE 1211 (2) 3-11 WHERE INDICATED ON FL5 PLAN, SHT A10
- C** 2x6 @ 16" O.C. W/ NON-COMBUSTIBLE SIDING OVER URBS, (1) LAYER 5/8" DENS-GLASS (OR EQUAL) GYP SHTG & FLY SHTG PER STRUCTURAL @ EXTERIOR (2) LAYERS 5/8" TYPE 'X' GYP BD @ INTERIOR R-21 BATT INSUL. (2 HR RATED - WP8415 WHERE INDICATED ON FL5 PLAN, SHT A10)
- D** 2x6 @ 16" O.C. W/ 1/2" PORTLAND CEMENT STUCCO EXTERIOR OVER RAINSCREEN W/ APPROVED URBS ON (1) LAYER 5/8" TYPE 'X' GYP SHTG ON FLY SHTG PER STRUCTURAL @ EXTERIOR, (2) LAYERS 5/8" TYPE 'X' GYP BD @ INTERIOR R-21 BATT INSUL. (2 HR RATED - IBC TABLE 1211 15-16 WHERE INDICATED ON FL5 PLAN, SHT. A10) PER C.O.P. CODE GUIDE FOR ALT TO FRM FRAMING IN TYPE III CONSTRUCTION.
- E** 2x6 @ 16" O.C. W/ (2) LAYERS 5/8" TYPE 'X' GYP BD ONE SIDE & (2) LAYERS 5/8" TYPE 'X' GYP BD OVER RC-1 CHANNELS @ 24" O.C. @ ONE SIDE. 3 1/2" UNFACED BATT INSUL. (2 HR RATED - WP3825 WHERE INDICATED ON FL5 PLAN, SHT A10)
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- G** CHASE WALL (2 HR RATED - WP1051)
- H** 2x4 @ 16" O.C. (2x6 AS REQD @ PLUMB'G WALLS) W/ (1) LAYER 1/2" GYP BD EA. SIDE. 3 1/2" UNFACED BATT INSUL.

 **FIFTH FLOOR PLAN**
T/ ROOF AND T/ PARAPET ELEVATIONS ARE DISTANCE ABOVE TOP OF ROOF SHTG UNLESS NOTED OTHERWISE
1/8" = 1'-0"

- 2. REFER TO BUILDING SECTIONS & WALL SECTIONS FOR ADDITIONAL WALL FRAMING DETAILS.
- 3. REFER TO DTL. 24/A5.3 FOR FIRE ASSEMBLIES.
- 4. REFER TO BUILDING ELEVATIONS FOR SIDING MATERIALS.
- 5. BR DESIGNATES RADON PROTECTION SUBSLAB SOIL EXHAUST SYSTEM DUCTS. PROVIDE A 'T' FITTING TO EACH ISOLATED SLAB AREA. REF. DTL. 3/A5.4.




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A1.5

FIFTH LEVEL FLOOR PLAN &
ROOF PLANS

R:\2015 Projects\1546 The Garthwick\Drawings\1546-A-FP.dwg, A1.5, 4/10/2017 5:09:46 AM, Iselin Architects, PC, 503-656-1942, 1307 7th St Oregon City, OR 97045