

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 14935	Project Address: 2171-2175 NE Weidler St
Hearing Date: 4/12/17	Appellant Name: Lou Montgomery
Case No.: B-024	Appellant Phone: 503-516-4823
Appeal Type: Building	Plans Examiner/Inspector: Connie Jones
Project Type: commercial	Stories: 3 Occupancy: R-1 Construction Type: V-N
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: Need to start new application
Plan Submitted Option: mail [File 1]	Proposed use: 4 - plex

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1009.9.3 and 1208.2

Requires 1009.9.3 Enclosures under interior stairways shall be protected by 1-hour fire-resistive-rated construction.
1208.2 Minimum ceiling height in laundry room shall be not less than 7'

Proposed Design This laundry room is in the stairwell. It is 6'9" long and 3' wide. It currently has lath and plaster on both sides of the interior walls. the ceiling is under the upper stairs and the floor is over the basement ceiling. The basement is currently being used as a laundry room only. This is additional laundry facilities for the convenience of the tenants. Per Table 721.1(1), the wall construction is very close to meeting the 1 hour requirement. The wall thickness of the room is approximately 5 1/2". Per 12-1.1 of this chart, that meets the 1 hr requirement of the walls. the only portion of this room that abuts living space for a unit is the 3' of wall to the interior side of the appliances. That abuts the kitchen wall behind the refrigerator of unit #1. We propose to replace the existing door with a 1 hr fire door to meet the intent of the code.

the ceiling height is 6'10" in front of the stacked appliances. the requirement is 7'. This room was a closet that was built into the staircase when the stairs were closed off and the additional units were added. these laundry facilities are an added convenience for the renters. The ceiling height was never an issue for a closet.

Reason for alternative For the fire separation requirement, we believe that the intent of the code is meant with the lath and plaster. In addition, we will add a 1 hr door to further meet the code.

the closet was most likely created in 1993 when the other units were added. The ceiling height for a closet was not a concern. the convenience of having additional laundry facilities is to benefit the

renters at the older structure. the renters still have the option of using the existing laundry facilities in the basement. The basement ceiling height of 6'11" was already approved through an appeal in 1993

APPEAL DECISION

1. One hour equivalency of existing wall / ceiling in laundry space beneath interior stair enclosure: Denied. Proposal does not provide equivalent Life Safety protection.

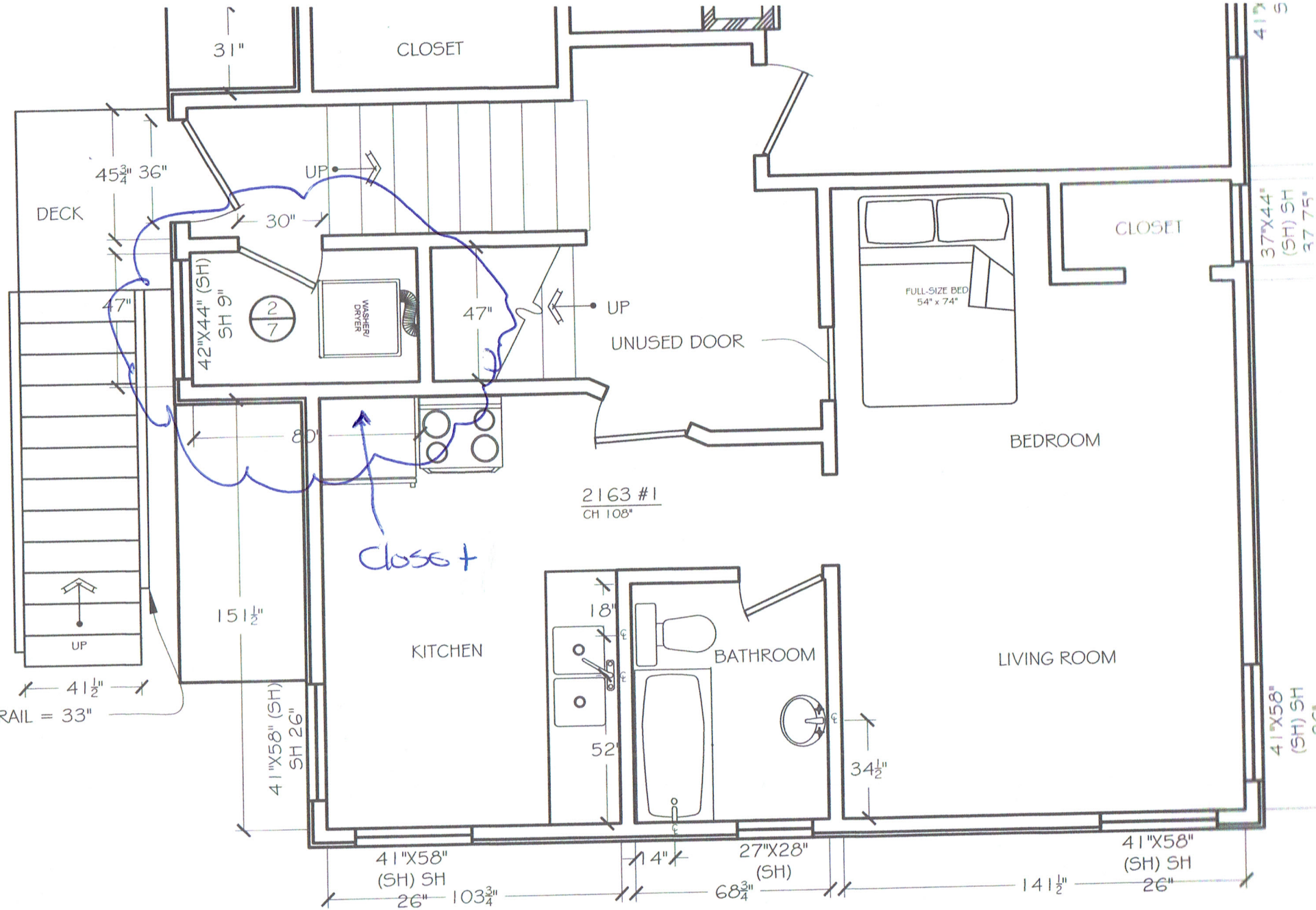
2. Ceiling height less than 7 feet: Denied. Proposal does not provide equivalent Life Safety.

Appellant may contact John Butler (503-823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

TOTAL RISE = 12 @ 6-1/4"

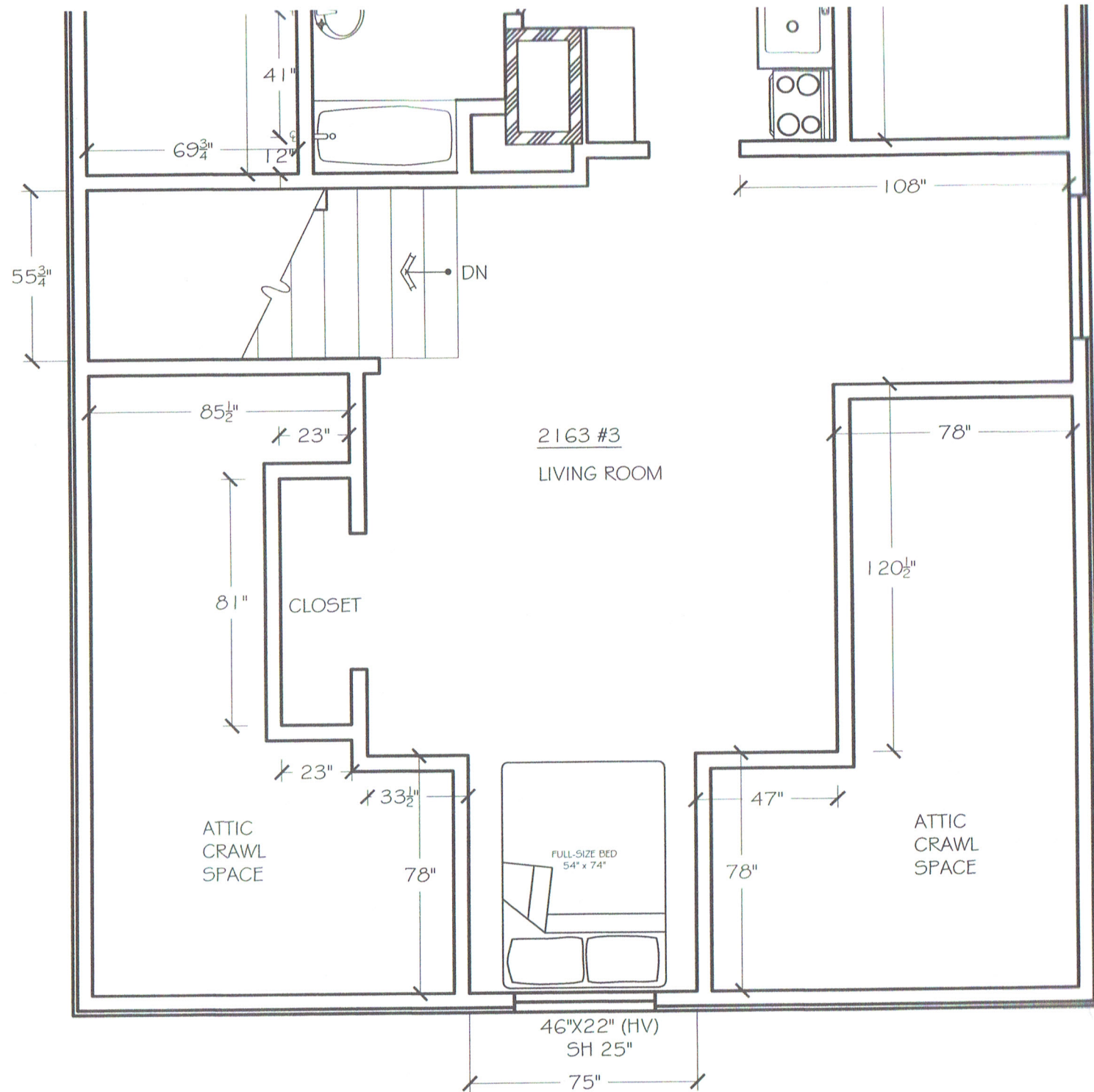
NDRAIL = 33"



UNIT 2163 #1 AND 2163 #2 EXISTING SECOND FLOOR PLAN

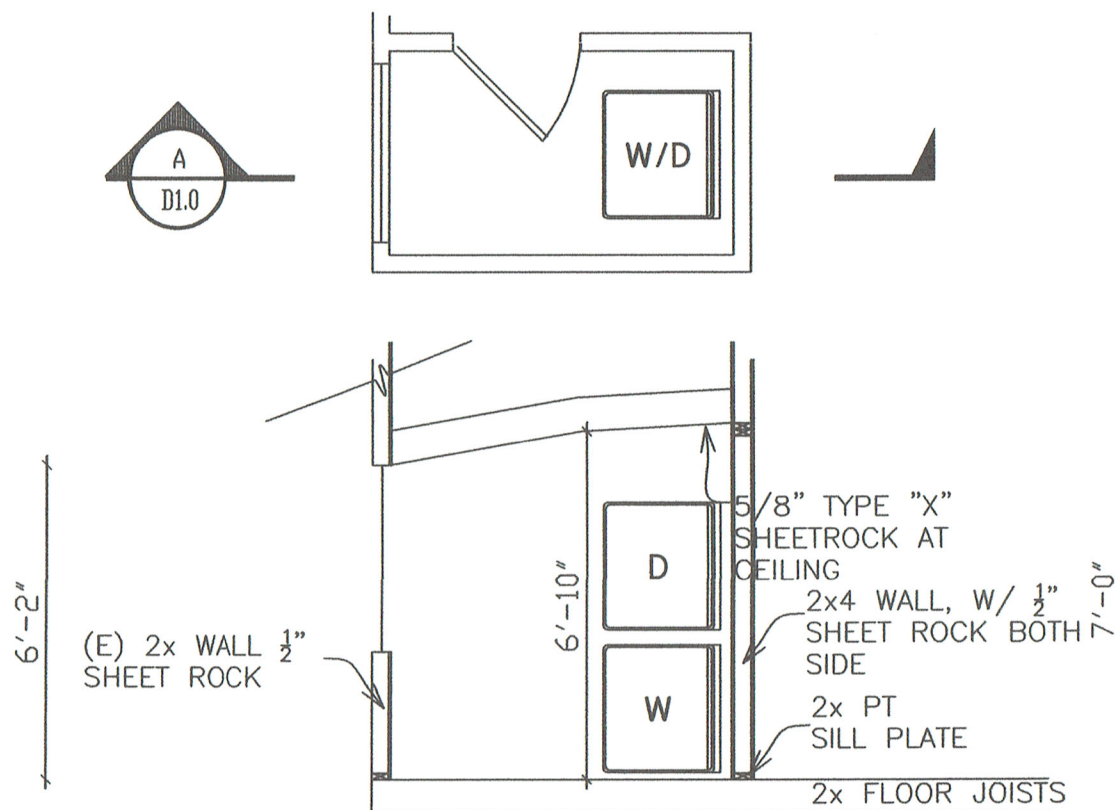
SCALE: 1/8" = 1'-0"

1/4



2163 #3 EXISTING THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

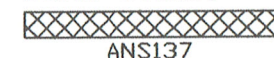


LAUNDRY ROOM PLANS A/D1.0

1/4"=1'-0"

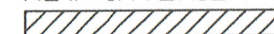
EXISTING WALLS TO REMAIN

DEMO WALLS



ANS137

NEW INTERIOR WALLS



ANS131

SIMPL HOME DESIGNS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY / VALIDITY OF CONTRACTOR / OWNER SUPPLIED INFORMATION. THE CONTRACTOR / OWNER IS RESPONSIBLE TO CHECK THE PLANS, EXISTING SITE CONDITION, DIMENSIONS, AND TO NOTIFY THE DESIGN OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES MAY RESULT IN ADDITIONAL COST TO THE OWNER.

SIMPL HOME DESIGNS
4931 SW 76TH AVE., PMB 211
PORTLAND OR 97225
503-515-6495 0 503-719-4825 F
mikem@ezpermits.biz

TERRY CAVANAGH & LOVE, SCOTT
2171 NE WEIDLER ST
PORTLAND, OR 97232

D1.0