

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 14842	Project Address: 3917 N Mississippi Ave
Hearing Date: 3/29/17	Appellant Name: Ben Taylor
Case No.: B-015	Appellant Phone: 716-238-3263
Appeal Type: Building	Plans Examiner/Inspector: Peter Drake
Project Type: commercial	Stories: 2 Occupancy: Mercantile Construction Type: V-A
Building/Business Name: 3917 N. Mississippi	Fire Sprinklers: No
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 17-103928-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Mercantile

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	1008.1.2/ Portland Community Design Standards 33.218.140.Q.4
Requires	<p>OSSC 1008.1.2</p> <p>Egress doors shall be of the pivoted or side hinged swinging type.</p> <p>Portland Community Design Standards 33.218.140.Q.4</p> <p>Ground level glass. All glass in ground level street-facing windows and doors must be clear or ornamental stained glass. Restrooms may have reflective or opaque glass.</p>
Proposed Design	<p>The proposed design provides two points of egress through doors 02 & 04, which are both of the side hinged type. The egress path to Mississippi Ave. passes from Door 02 through an exterior patio area. The exterior Patio contains a glass garage door 01A, which will be of clear glass, to match the adjacent roll-up garage doors, 01B & 01C.</p> <p>Door 01A will be open position during business hours and will provide a clear egress opening of approximately 7'-0".</p>
Reason for alternative	<p>Garage Door 01A is to be in the open position during business hours and closed during after hours to secure the exterior patio area and prevent vandalism. Building occupancy in the closed position is expected to be staff only that will be familiar with the building, alternate exits, and have the ability to operate the garage door.</p> <p>This project is within the Mississippi conservation district and will be pursuing the Portland Community Design Standards required for permit. Per item 33.218.140.Q.4 of the Portland Community Design Standards, all glass in ground floor windows is required to be clear.</p> <p>The glass garage doors are intended to both provide after hours security for the property, while meeting the intent of the Portland Design Standards.</p>

APPEAL DECISION

Egress through overhead door: Granted for "B" or "M" occupancy only. Overhead door must be readily openable from inside without use of key or special knowledge or effort.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

NEW COMMERCIAL BUILDING

3917 N. MISSISSIPPI AVE. PORTLAND, OR 97227

CODE SUMMARY

JURISDICTIONAL AUTHORITY:
CITY OF PORTLAND, BUREAU OF DEVELOPMENT SERVICES

APPLICABLE BUILDING CODES
PORTLAND ZONING CODE: TITLE 33
2014 OREGON STRUCTURAL SPECIALTY CODE
2014 OREGON MECHANICAL SPECIALTY CODE
2010 OREGON FIRE CODE
2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE
2014 OREGON ELECTRICAL SPECIALTY
2014 OREGON PLUMBING SPECIALTY CODE

TITLE 33: DEVELOPMENT STANDARDS:

ZONE: EX(d) (CHAPTER 33.140 - TABLE 140-3):
DESIGN OVERLAY ZONE

33.140.230: GROUND FLOOR WINDOW STANDARDS
50% OF THE LENGTH AND 25% OF EXTERIOR GROUND LEVEL WALL AREA.
-LENGTH OF FACADE: 27' 2 1/2"
-LENGTH OF WINDOWS: 22'-0"
(22'/27' 1/2" = 80% OF FACADE) 50% MIN.
-WALL AREA: 467'-0" SF
-WINDOW AREA: 154'-0" SF
(154'/467' = 32% OF FACADE) 25% MIN.

33.218.140 COMMUNITY DESIGN STANDARDS
33.218.140 A.3 BUILDING PLACEMENT: BENCH PROVIDED PER 100 SF OF HARDSURFACE EXTENSION.

MAX FAR: 3 TO 1
ACTUAL FAR:
(EXIST 2224 SF + NEW 2000 SF) / 5000 SF = .85

MAX HEIGHT: 65'
MAX HEIGHT DESIGN OVERLAY: 55'
ACTUAL HEIGHT: 20'

MIN. BUILDING SETBACK: 0 FT
(STREET LOT LINE)

LOT LINE ABUTTING "E" ZONE: 0'

MAX. BUILDING COVERAGE: 100%

GROUND FLOOR WINDOW STANDARDS APPLY: YES

PEDESTRIAN STANDARDS APPLY: YES

PARKING (33.266-TABLE 601): NONE REQUIRED

OSSC 2014

OCCUPANCY:
EXIST = B OCCUPANCY
NEW = M OCCUPANCY

CONSTRUCTION TYPE (TABLE 601):
EXIST = TYPE VB
NEW = TYPE VA

RATED CONSTRUCTION (TABLE 601/602):
PRIMARY STRUCTURAL FRAME: 1HR
BEARING WALLS: 1HR
EXT. NON-BEARING WALLS (<5' FIRE SEPARATION): 1 HR
INT. NON-BEARING WALLS: 0 HR
FLOOR CONSTRUCTION: 1 HR
ROOF CONSTRUCTION: 1 HR

MAX ALLOWABLE STORIES/SF (TABLE 503): 3/ 14,000 SF
ACTUAL STORIES/ SF: 2/<3,000 SF PER STORY

SPRINKLERED: NO

MAX OCCUPANCY (TABLE 1004.1.2):
LEVEL 1: 57 OCCUPANTS
LEVEL 2: 20 OCCUPANTS
TOTAL: 77 OCCUPANTS

EGRESS WIDTH (1005):
DOORS (1005.3.2): 36"
STAIRWAYS <50 OCC. (1009.4): 36" MIN.
PATHWAY (1023.2): 44" INCHES MIN.

STAIRWAYS (1009):
EXIT ACCESS STAIRWAYS (1009.3 - EXCEPTION 1)
IN OTHER THAN GROUP I-2 AND I-3 OCCUPANCIES, EXIT ACCESS STAIRWAYS THAT SERVE, OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY TWO STORIES ARE NOT REQUIRED TO BE ENCLOSED.

COMMON PATH (1014.3): 75' NON-SPRINKLERED

MAX TRAVEL DISTANCE (1016.2): 200' NON-SPRINKLERED

ACCESSIBLE ROUTE - MULTILEVEL BUILDINGS AND FACILITIES (1104.4 - EXCEPTION 1):
IN PRIVATE BUILDINGS OR FACILITIES THAT ARE LESS THAN THREE STORIES AND THAT HAVE LESS THAN 3,000 SF STORY, AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED.
(1104.4 - EXCEPTION 1):
LEVELS THAT DO NOT CONTAIN ACCESSIBLE ELEMENTS OR OTHER SPACES AS DETERMINED BY SECTION 1107 OR 1108 ARE NTO REQUIRED TO BE SERVED BY AN ACCESSIBLE ROUTE.

MINIMUM PLUMBING FIXTURES (TABLE 2902.1):
MERCANTILE
WATER CLOSETS REQUIRED: 1/500 OCCUPANTS
WATER CLOSETS PROVIDED: 2 WATER CLOSETS
LAVATORIES REQUIRED: 1/750 OCCUPANTS
LAVATORIES PROVIDED: 2 LAVATORIES

LEGEND

ROOM NAME	FLS ROOM TAG
FUNCTION	FUNCTION (OSSC TABLE 1004.1.2)
150 SF	SQUARE FOOTAGE
10 LF	LOAD FACTOR
50 OCC.	NUMBER OF OCCUPANTS

PATH OF TRAVEL/ COMMON PATH

EXIT
EXIT SIGN

50
OCCUPANT LOAD

FE
FIRE EXTINGUISHER

1 HR WALL

SYMBOLS

Room name	ROOM TAG	DRAWING NUMBER	CALLOUT
101	ROOM NUMBER	1	SHEET NUMBER
150 SF		1	BUILDING SECTION
DRAWING REVISION		1	DRAWING NUMBER
NEW SPOT ELEV		4	INTERIOR ELEVATION
		3	SHEET NUMBER

MATERIALS

CONCRETE	METAL - ALUMINUM
EARTH	METAL - STEEL
GRAVEL	*WOOD - BLOCKING
GYPSUM BOARD	*WOOD - CONTINUOUS
INSULATION - BATT	WOOD - FINISH
INSULATION - RIGID	WOOD - PLYWOOD

PROJECT TEAM

OWNER: CLIFF BELT
1820 N TERRY ST
PORTLAND, OR 97217

ARCHITECT: INTEGRATE ARCHITECTURE & PLANNING, P.C.
1715 N. TERRY ST.
PORTLAND, OR 97217
CONTACT: BEN TAYLOR
PHONE: 716-238-3263
EMAIL: BEN@INTEGRATEARCH.COM

CONTRACTOR: RC BELT CONSTRUCTION, INC.
3917 N MISSISSIPPI AVE
PORTLAND, OR 97227
CONTACT: CLIFF BELT
PHONE: 503-284-6171
EMAIL: CLIFF@RCBELT.COM
CCB#: 44632

STRUCTURAL ENGINEER: SFA DESIGN GROUP
9020 SW WASHINGTON SQUARE RD., SUITE 505
CONTACT: BEN HAWKEN
PHONE: 503-841-8311
EMAIL: BHAWKEN@SFDG.COM

PROJECT DESCRIPTION

3,799 SQ. FT. TWO STORY BUILDING AT SOUTH SIDE OF EXISTING COMMERCIAL BUILDING.
PROJECT INCLUDES NEW SHELL SPACE, WITH OCCUPANCY TO DETERMINED BY FUTURE TENANT.
PATIO/TERRACE AREAS, TWO NEW TOILET ROOMS, AND TRASH AREA.

DEFERRED SUBMITTALS

MECHANICAL
ELECTRICAL
PLUMBING

SITE & BUILDING INFO.

PROPERTY ID: R223682
TAX ROLL: MULTNOMAH, BLOCK 23, LOT 13
STATE ID: 1N1E22CD 5200
LOT SIZE: 5000 SF
ZONE: EX(d) - DESIGN OVERLAY

SHEET INDEX

A0.0	TITLE PAGE & CODE SUMMARY
A0.1	SITE PLAN
A2.1	DEMO/ FLOOR PLANS/ ROOF PLAN
A3.1	ELEVATIONS/ SECTIONS
A3.5	SCHEDULES/ ASSEMBLIES
A4.1	STAIRS
A6.1	REFLECTED CEILING PLANS/ INTERIOR ELEVATIONS
A8.1	DETAILS
A8.2	DETAILS
S1.1	GENERAL NOTES
S1.2	GENERAL NOTES
S2.1	(E)/N/FOUNDATION PLAN
S2.2	(E) ROOF/ (N) FLOOR/ LOWER ROOF FRAMING PLAN
S2.3	(N) INTERMEDIATE ROOF FRAMING PLAN
S2.4	(N) UPPER ROOF FRAMING PLAN
S4.1	FRAMING DETAILS
S5.1	FRAMING DETAILS
S5.2	FRAMING DETAILS
S5.3	FRAMING DETAILS

VICINITY MAP



1	XX/XX/2016	CITY COMMENTS
MARK	DATE	DESCRIPTION



TITLE PAGE & CODE SUMMARY

PERMIT SET
12/30/2016
NEW COMMERCIAL BUILDING

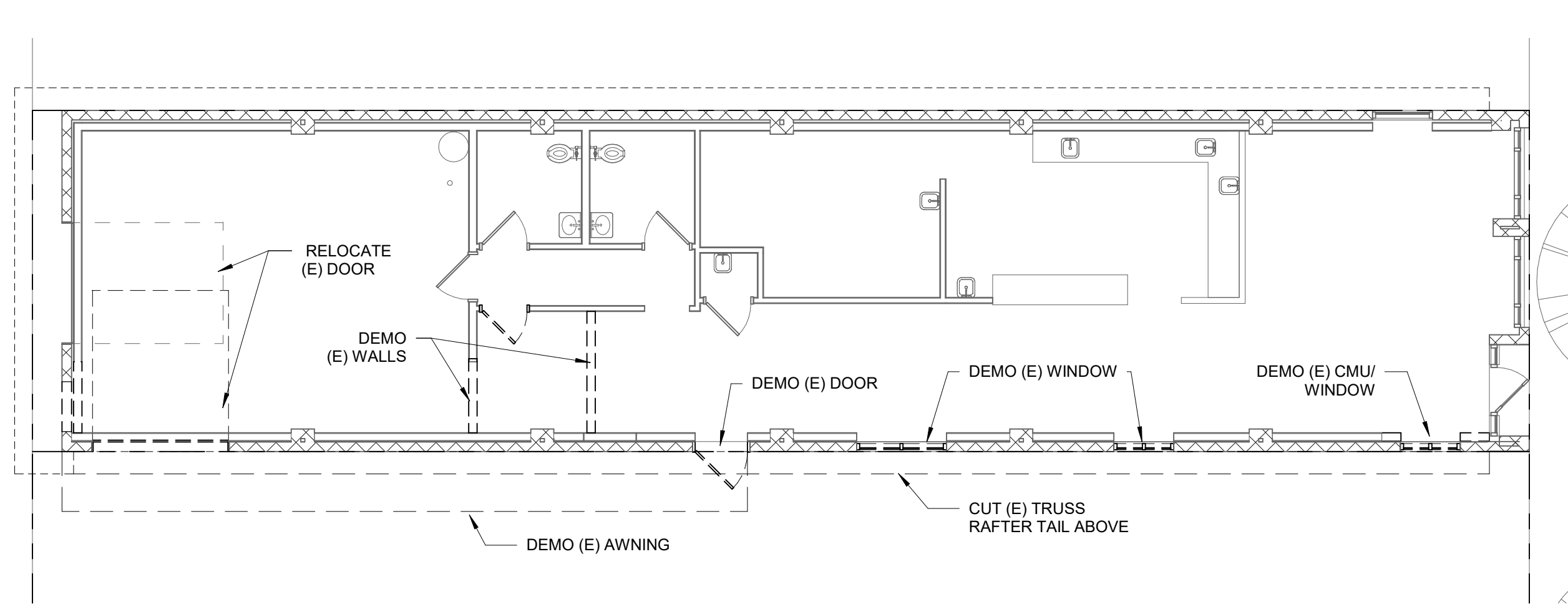
3917 N. MISSISSIPPI AVE.
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A0.0

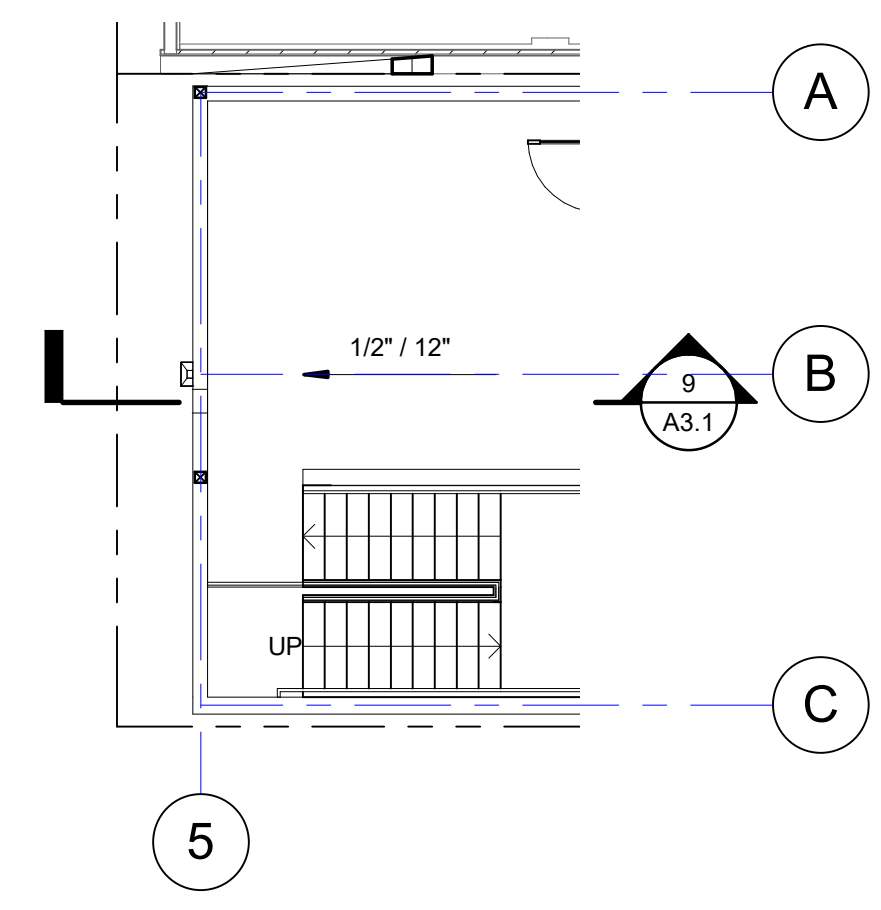
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1 LEVEL 1 - CODE/ LIFE SAFETY PLAN
1/8" = 1'-0"

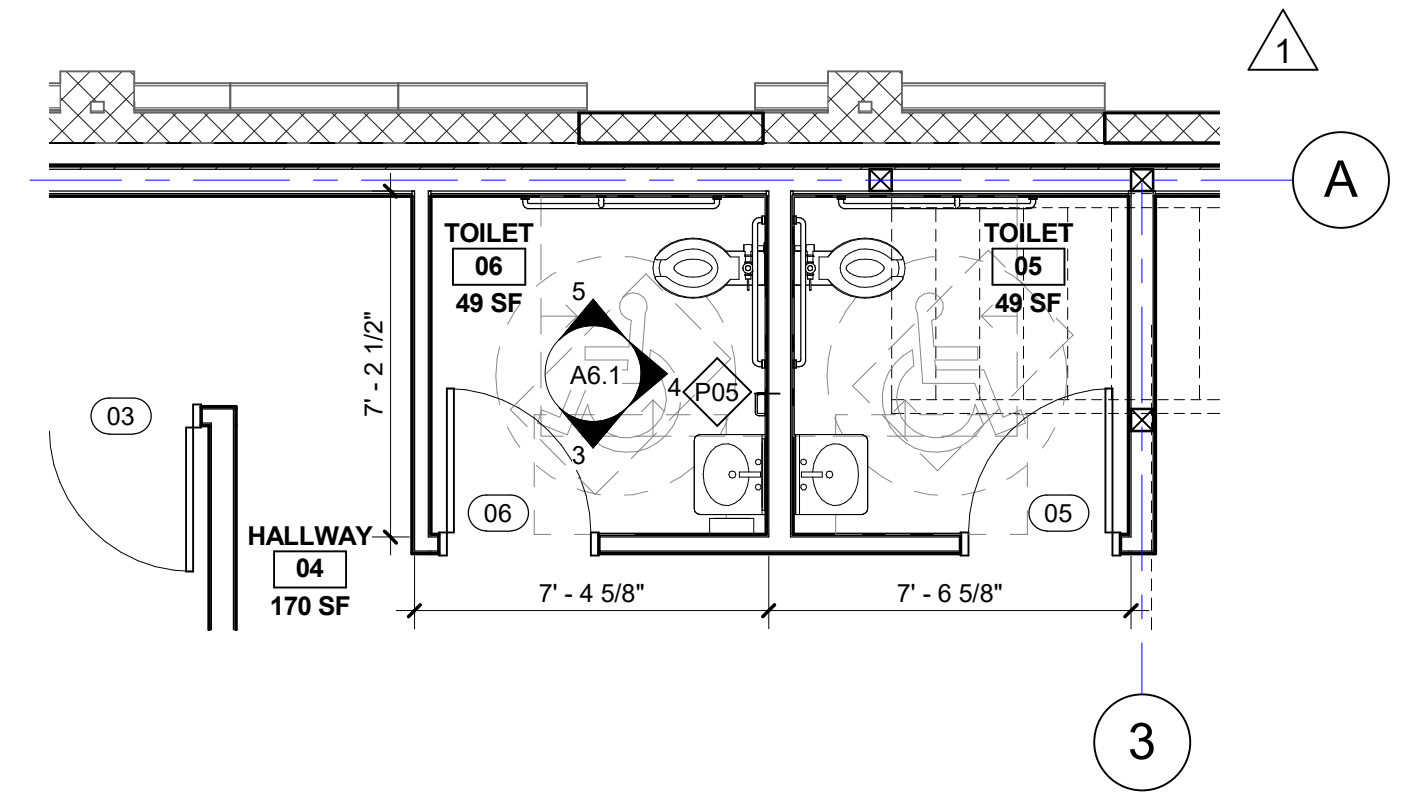
2 LEVEL 2 - CODE/ LIFE SAFETY PLAN
1/8" = 1'-0"



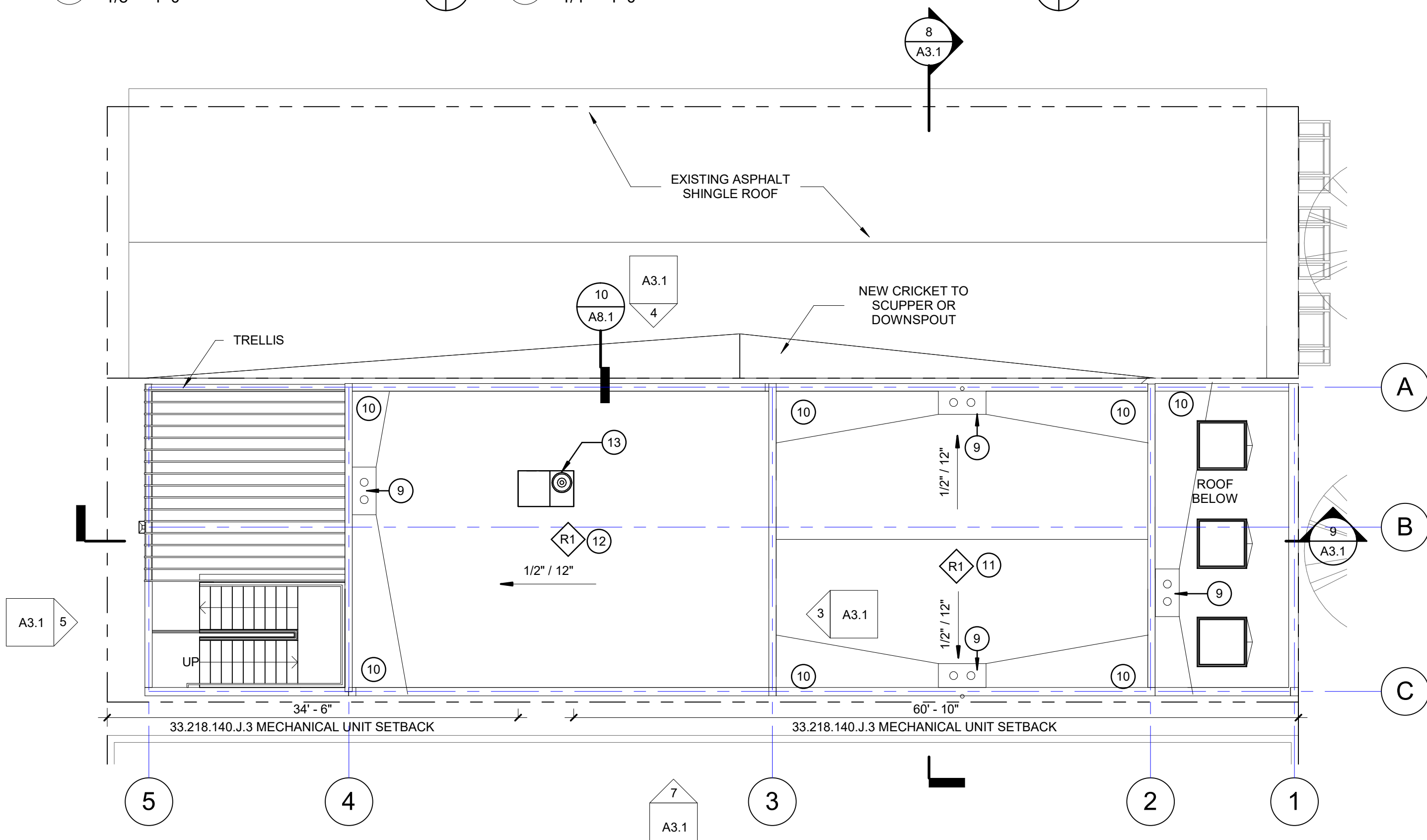
4 DEMO - LEVEL 1
1/8" = 1'-0"



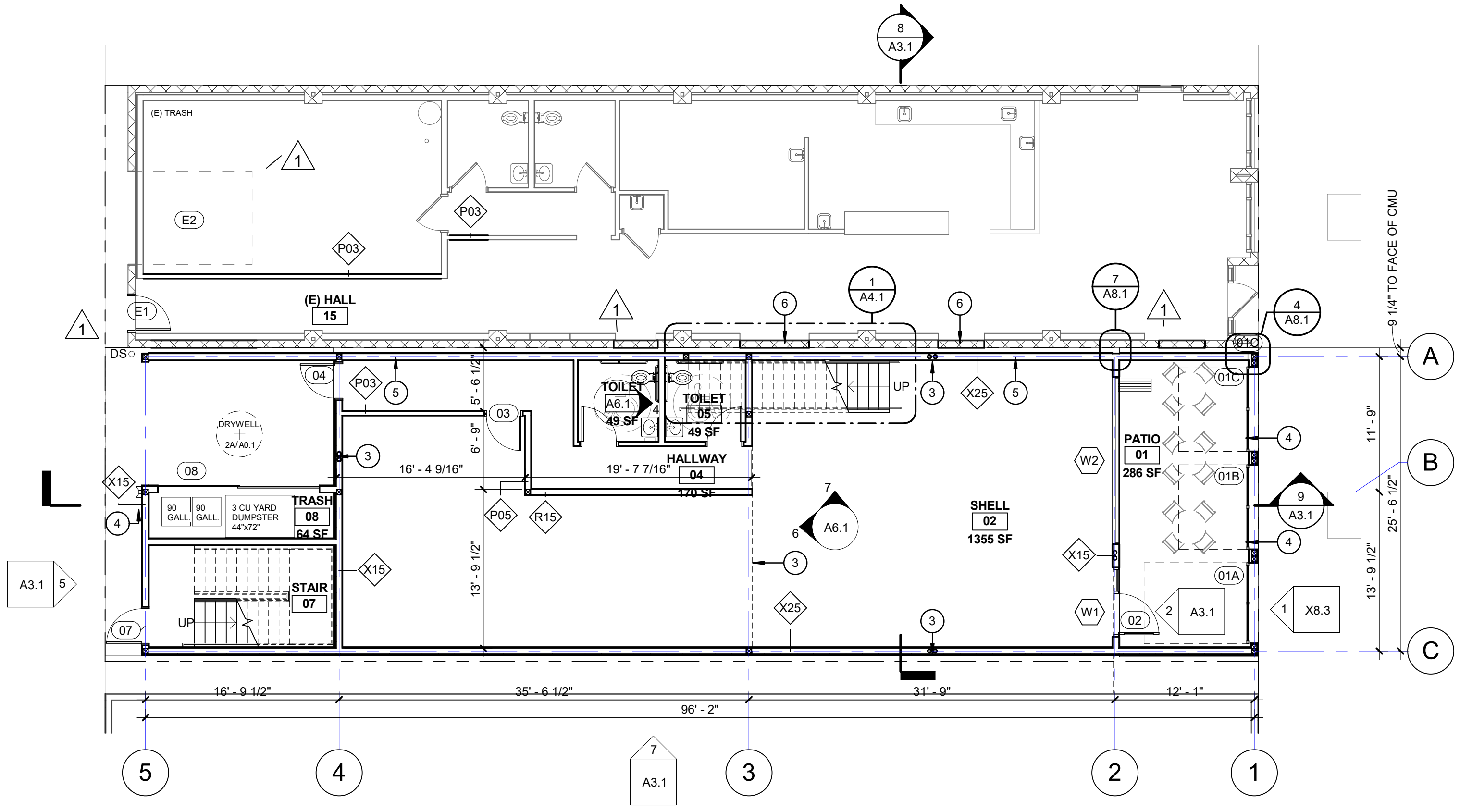
5 TERRACE - ROOF PLAN
1/8" = 1'-0"



6 PLAN - LEVEL 1 ENLARGED
1/4" = 1'-0"

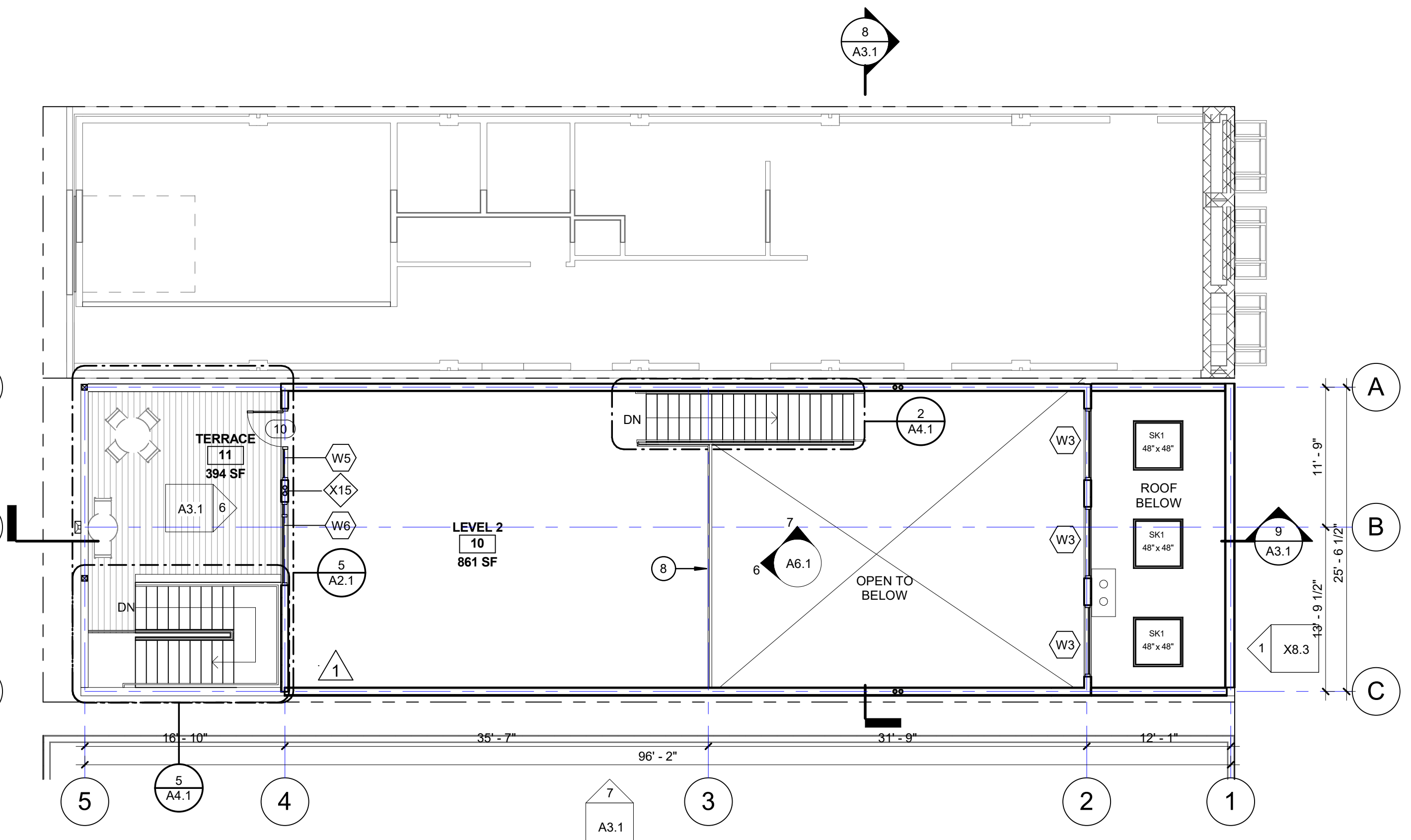


3 ROOF PLAN
1/8" = 1'-0"



1 PLAN - LEVEL 1
1/8" = 1'-0"

GROSS: 2,498 SF



2 PLAN - LEVEL 2
1/8" = 1'-0"

GROSS: 1,286 SF

GENERAL NOTES

- A. REFER TO ASSEMBLIES ON SHEET A3.5 FOR WALL, FLOOR AND ROOF INFORMATION.
- B. GRID LINES ARE TO CENTERLINE OF FRAMING.
- C. DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.

KEY NOTES

- 1 METAL LATTICE W/ PLANTER BOX BELOW
- 2 BENCH
- 3 INTERNAL DRAIN
- 4 SCUPPER W/ DOWNSPOUT
- 5 NO EXTERIOR STUCCO FINISH AT FIRST FLOOR WALL
- 6 INFILL CMU AT EXISTING OPENINGS
- 7 FLOOR LINE ABOVE
- 8 42" GUARD RAIL
- 9 ROOF DRAIN
- 10 ROOF CRICKET. 3/8"/12" MIN. SLOPE
- 11 FLAT STRUCTURE. PROVIDE ROOF SLOPE WITH TAPERED INSULATION ABOVE REQUIRED
- 12 SLOPE STRUCTURE
- 13 NEW ROOFTOP PACKAGE MECHANICAL UNIT. NO SCREENING REQUIRED PER 33.218.140.J.3

1	XX/XX/2016	CITY COMMENTS
MARK	DATE	DESCRIPTION



DEMO/ FLOOR PLANS/ ROOF PLAN

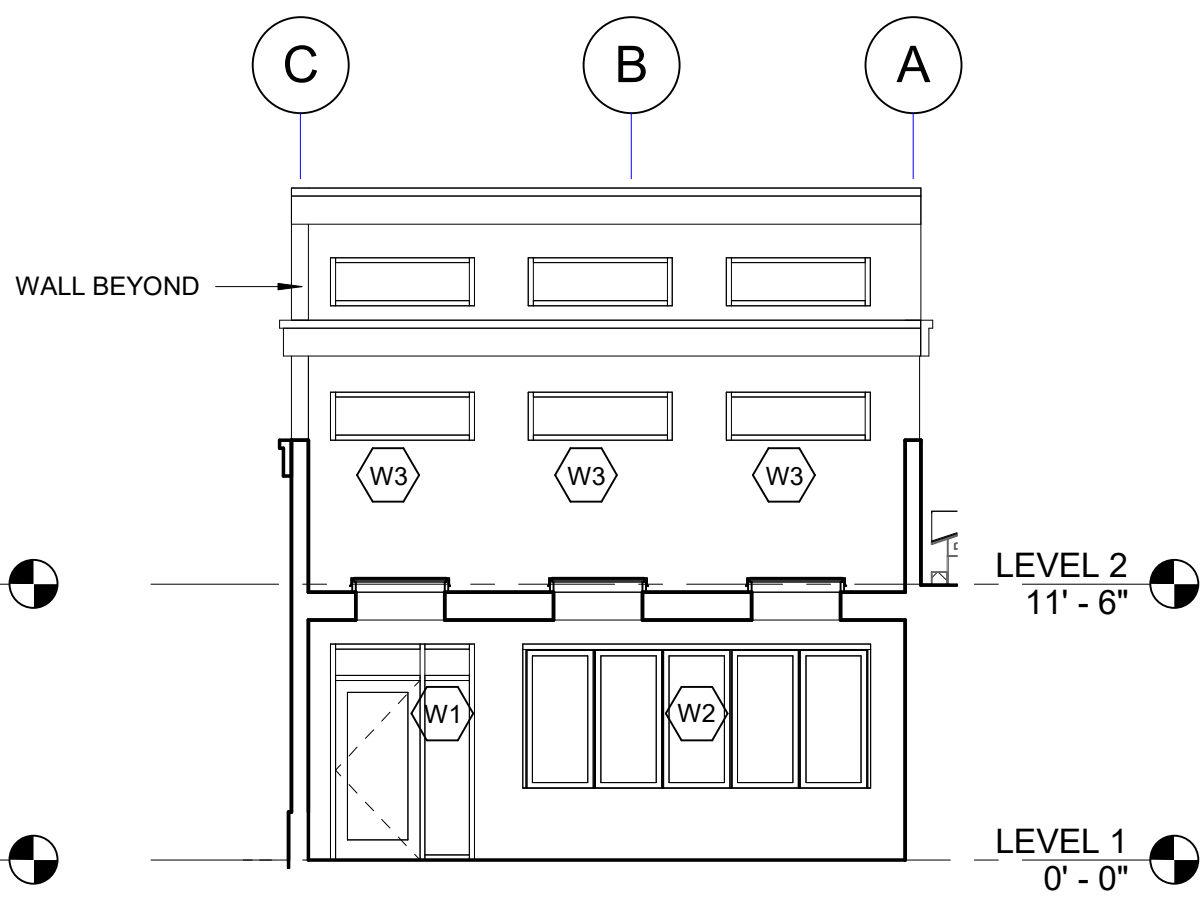
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A2.1

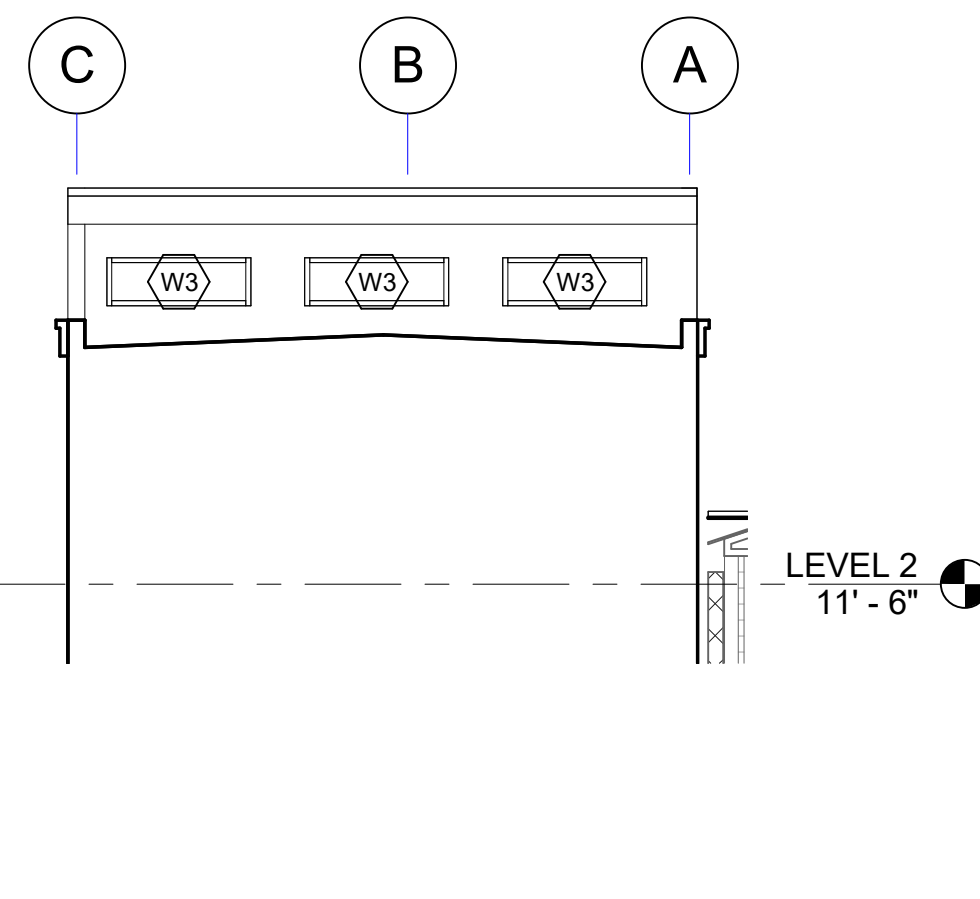
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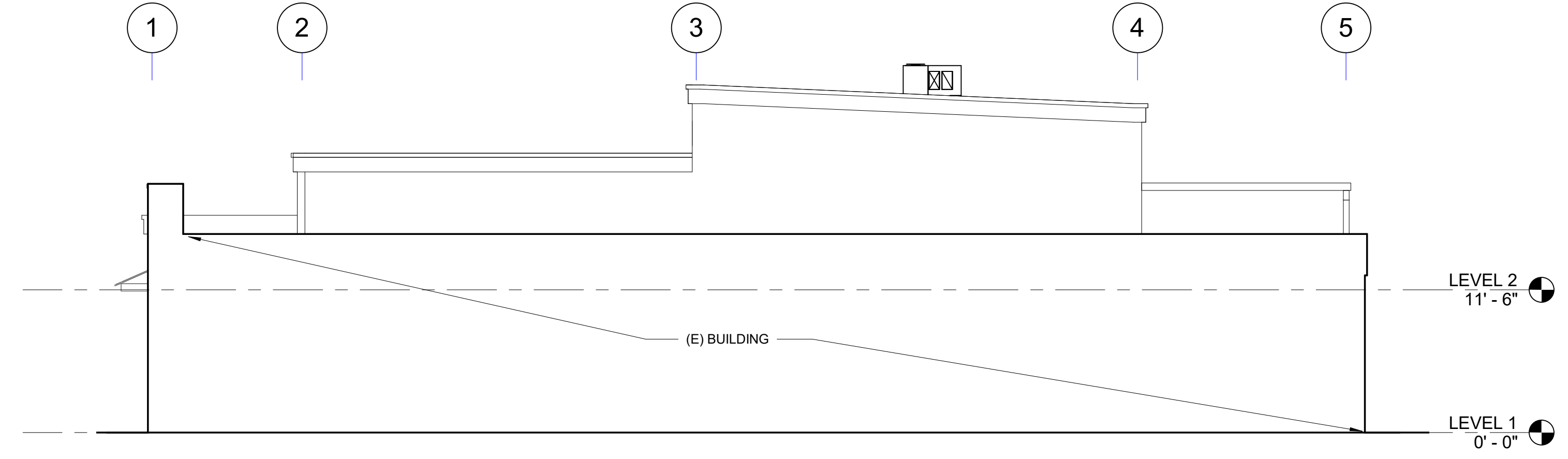
1 EAST ELEVATION
1/8" = 1'-0"



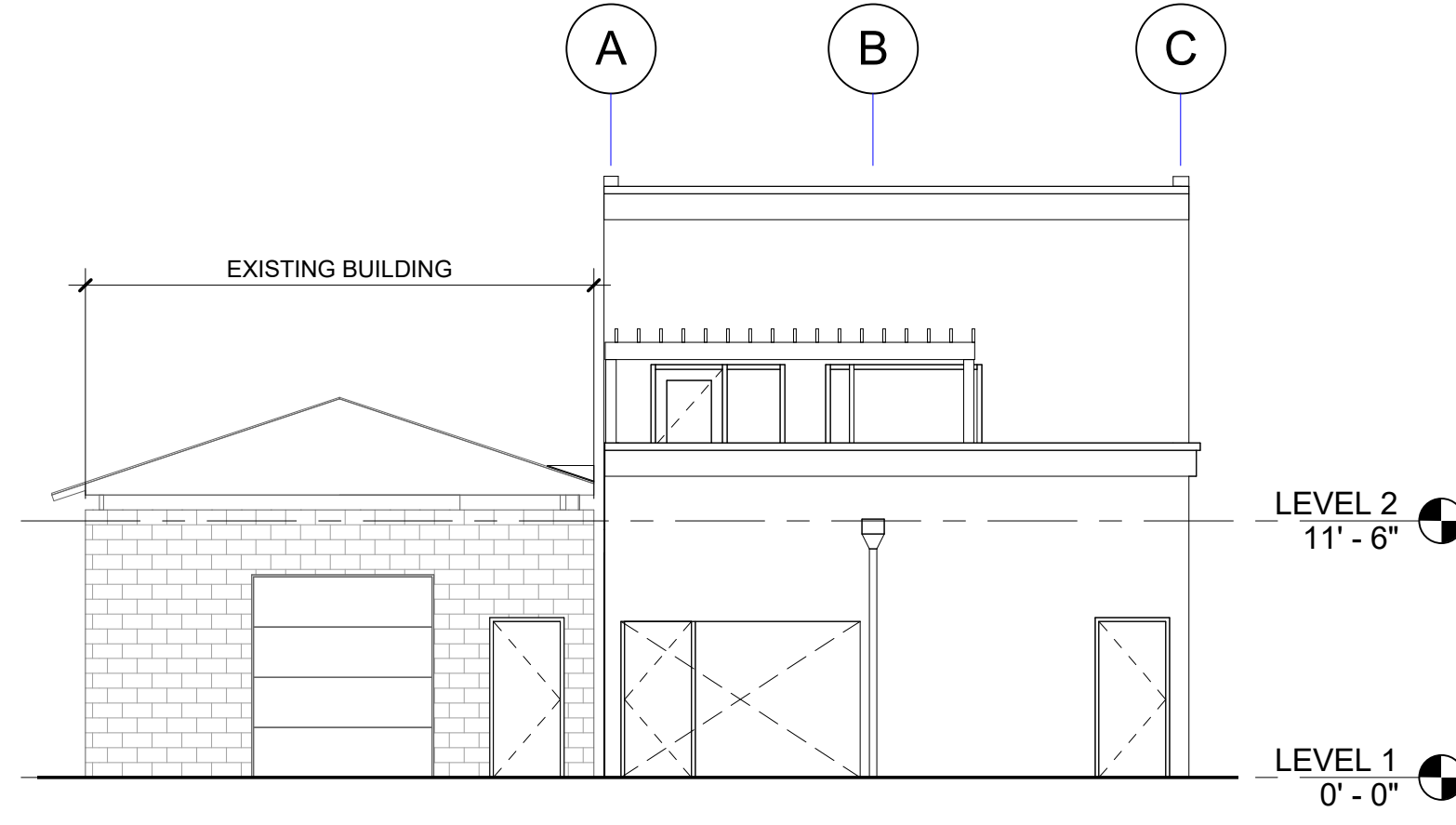
2 PATIO FACADE
1/8" = 1'-0"



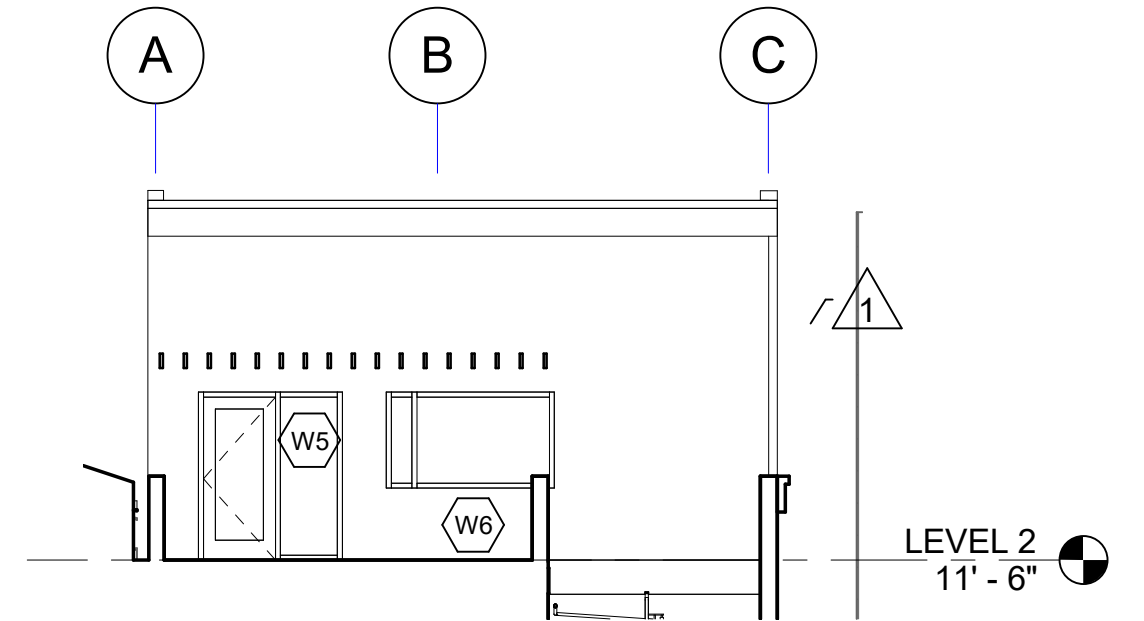
3 UPPER ROOF
1/8" = 1'-0"



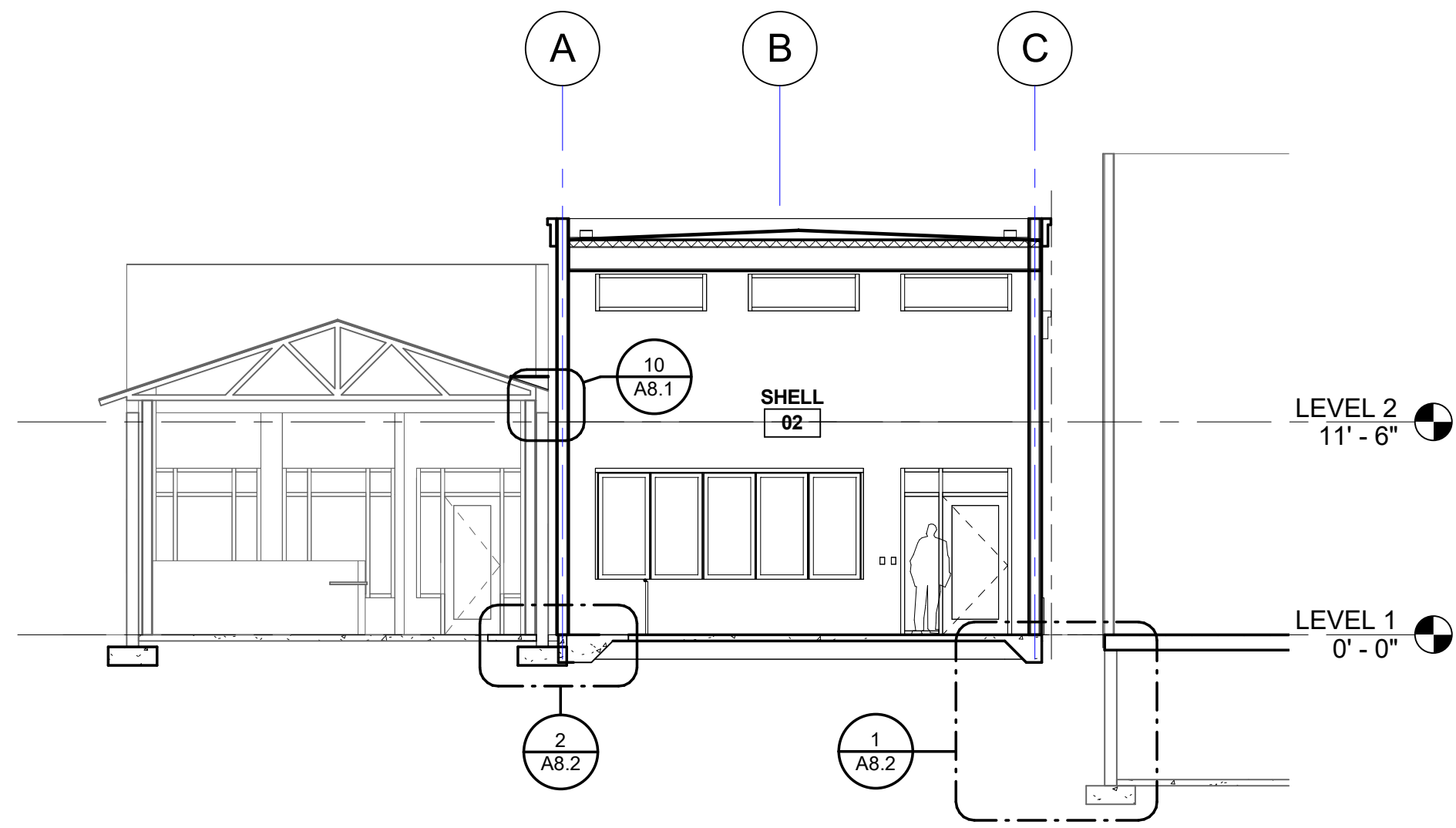
4 NORTH ELEVATION
1/8" = 1'-0"



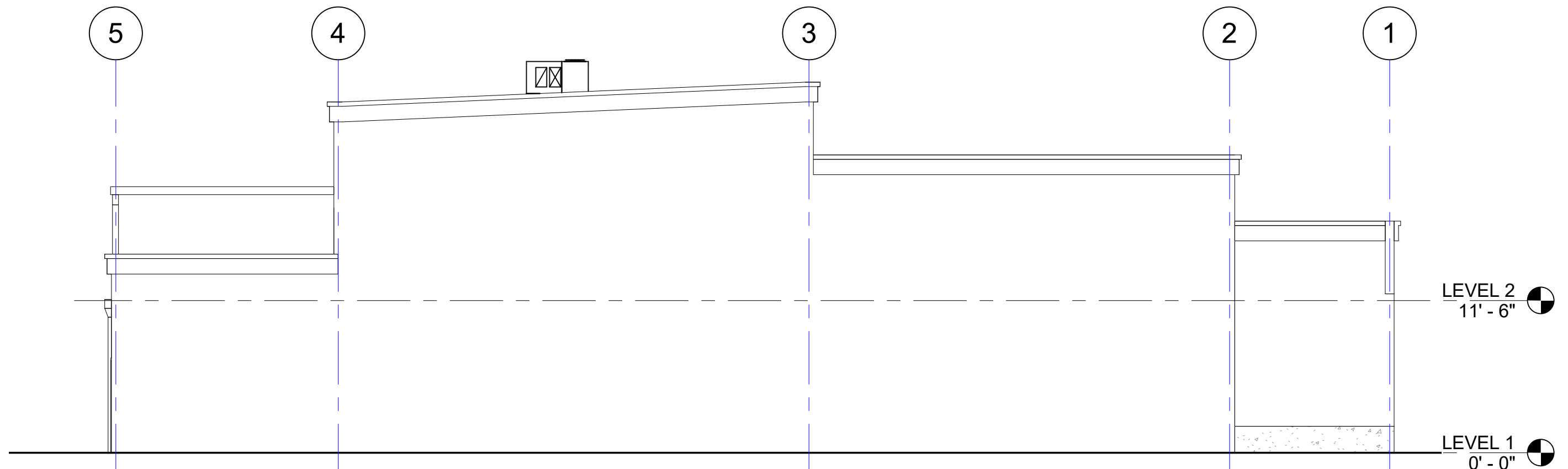
5 WEST ELEVATION
1/8" = 1'-0"



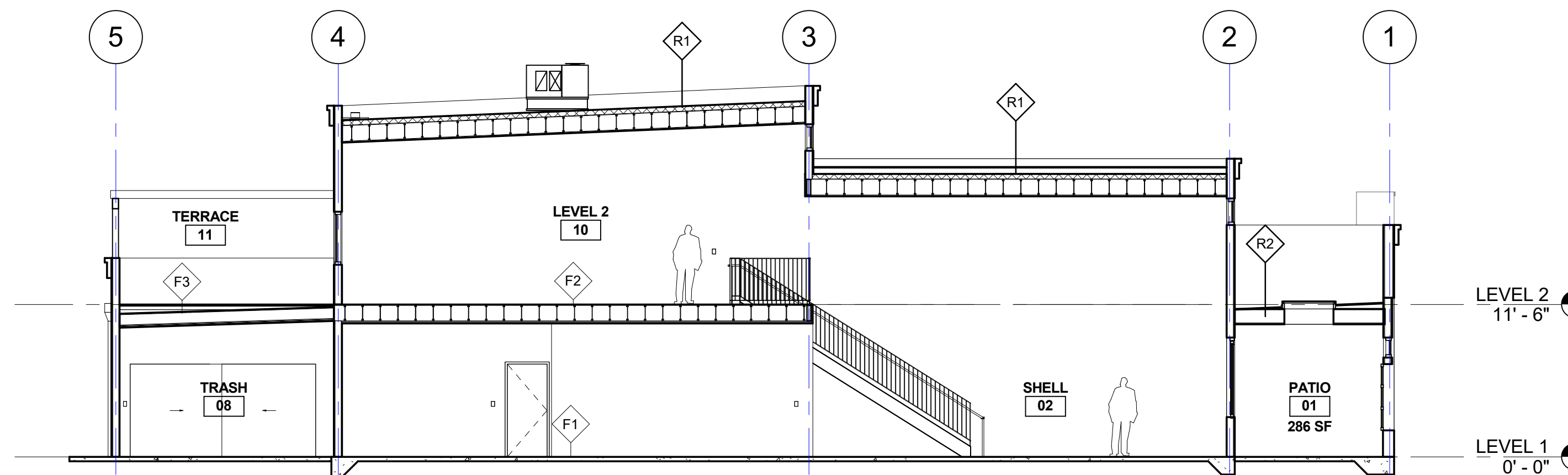
6 LEVEL 2 - WEST
1/8" = 1'-0"



8 SECTION - LOOKING EAST2
1/8" = 1'-0"



7 SOUTH ELEVATION
1/8" = 1'-0"



9 SECTION - LOOKING NORTH1
1/8" = 1'-0"

GENERAL NOTES

A. REFER TO A3.5 FOR
ASSEMBLY INFORMATION

LEGEND

	STUCCO 1
	STUCCO 2
	SACKED CONCRETE

1 XX/XX/2016 CITY COMMENTS
MARK DATE DESCRIPTION



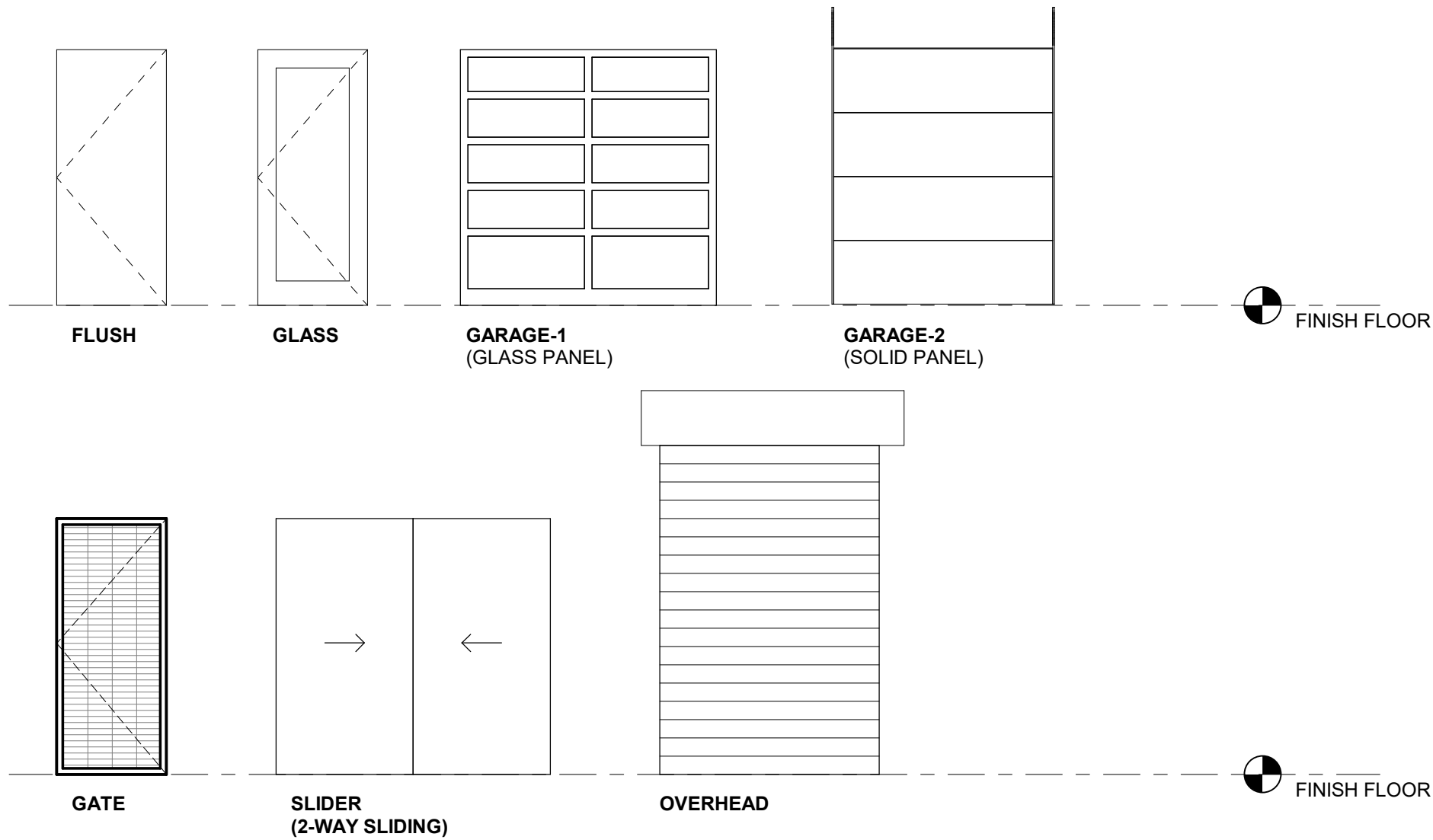
ELEVATIONS/ SECTIONS

PERMIT SET
12/30/2016
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A3.1

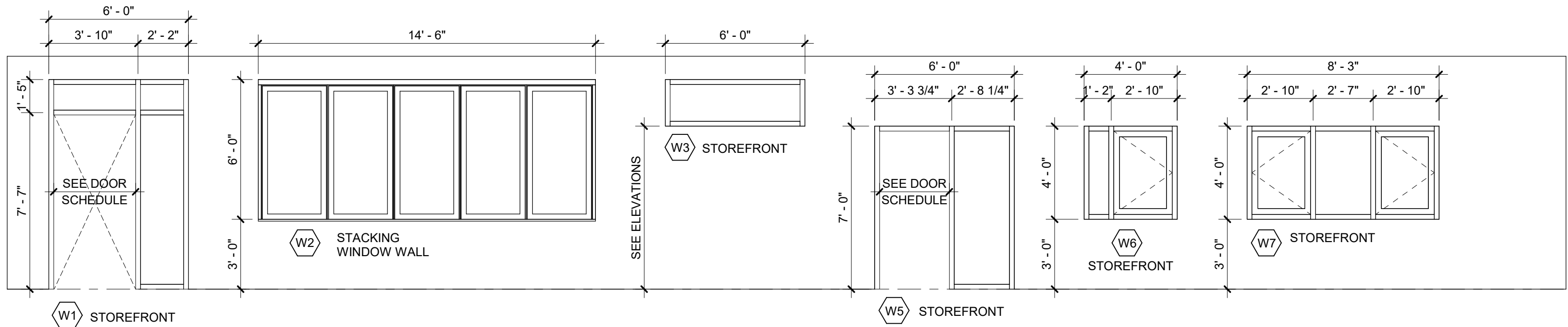
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DOOR SCHEDULE												
MARK	ROOM NUMBER	ROOM NAME	DOOR				FRAME		FIRE RATING	HDWR	COMMENTS	Revision
			SIZE		TYPE	MATERIAL	TYPE	FINISH				
			WIDTH	HEIGHT								
01A	01	PATIO	7' - 0"	9' - 0"	GARAGE-1	MFR.	MFR.	AL		01	NORTHWEST DOOR - MODERN CLASSIC	
01B	01	PATIO	7' - 4"	5' - 0"	GARAGE-1	MFR.	MFR.	AL		01	NORTHWEST DOOR - MODERN CLASSIC	
01C	01	PATIO	7' - 4"	5' - 0"	GARAGE-1	MFR.	MFR.	AL		01	NORTHWEST DOOR - MODERN CLASSIC	
02	02	SHELL	3' - 6 1/4"	7' - 5 3/4"	GLASS	AL	MFR.	AL		02	PROVIDE SIGN: DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. 1" HIGH LETTERS ON A CONSTRAING BACKGROUND	1
03	04	HALLWAY	3' - 0"	7' - 0"	FLUSH	MTL	HM	PT		03		
04	04	HALLWAY	3' - 0"	7' - 0"	FLUSH	MTL	HM	PT		05	PROVIDE SIGN: DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. 1" HIGH LETTERS ON A CONSTRAING BACKGROUND	1
05	04	HALLWAY	3' - 0"	7' - 0"	FLUSH	WD	HM	PT		07		1
06	06	TOILET	3' - 0"	7' - 0"	FLUSH	WD	HM	PT		07		1
07	07	STAIR	3' - 0"	7' - 0"	FLUSH	MTL	HM	PT				
08	08	TRASH	14' - 0"	7' - 0"	GATE	MTL						
10	10	LEVEL 2	3' - 0"	6' - 9 1/2"	GLASS	AL	MFR.	AL		02		
E1	15	(E) HALL	3' - 0"	7' - 0"	FLUSH	MTL		PT				



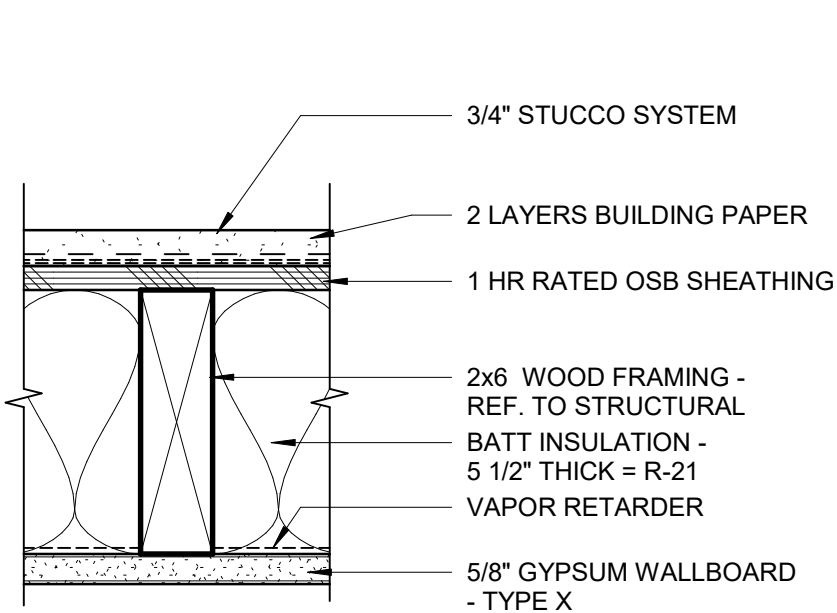
DOOR TYPES

1/4" = 1'-0"



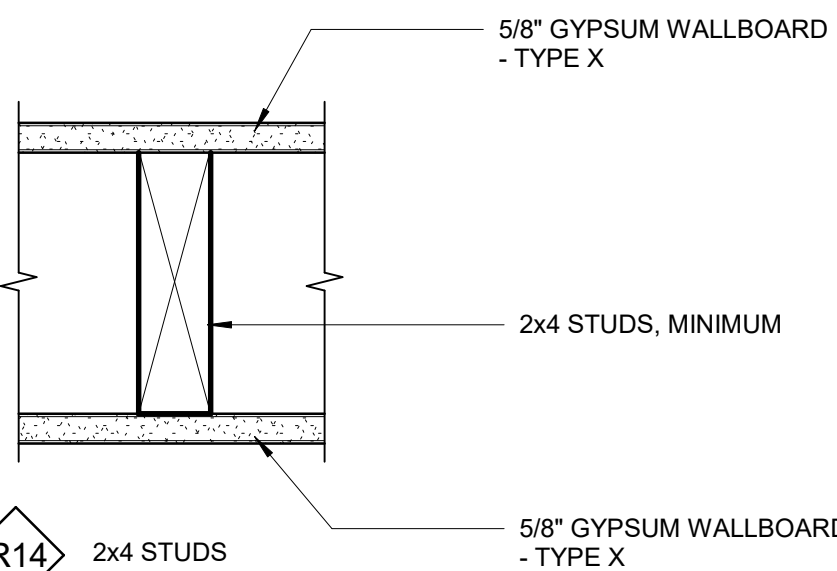
WINDOW SCHEDULE

1/4" = 1'-0"



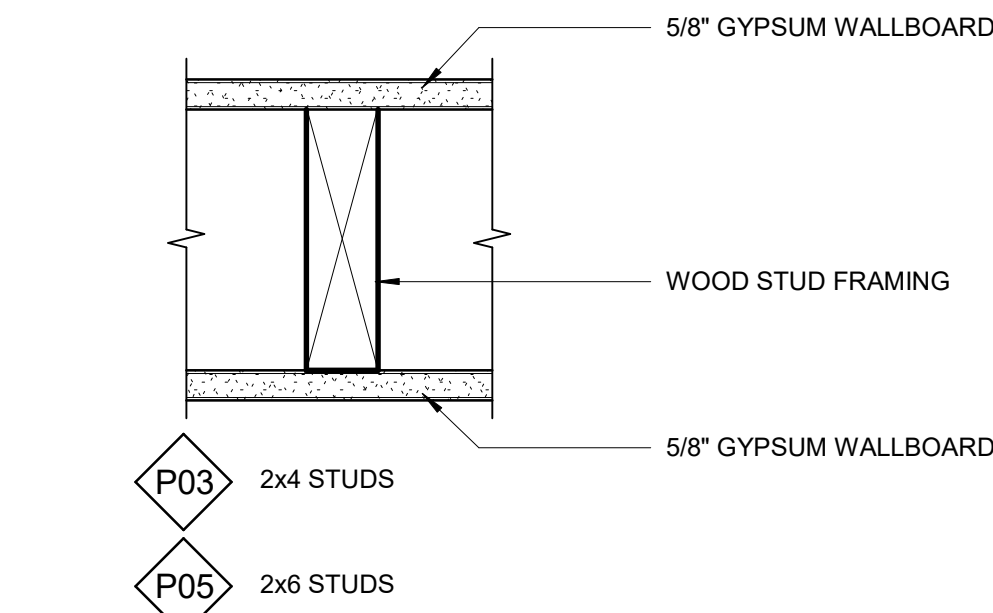
X15 EXT. STUCCO WALL (1 HR)

3" = 1'-0"



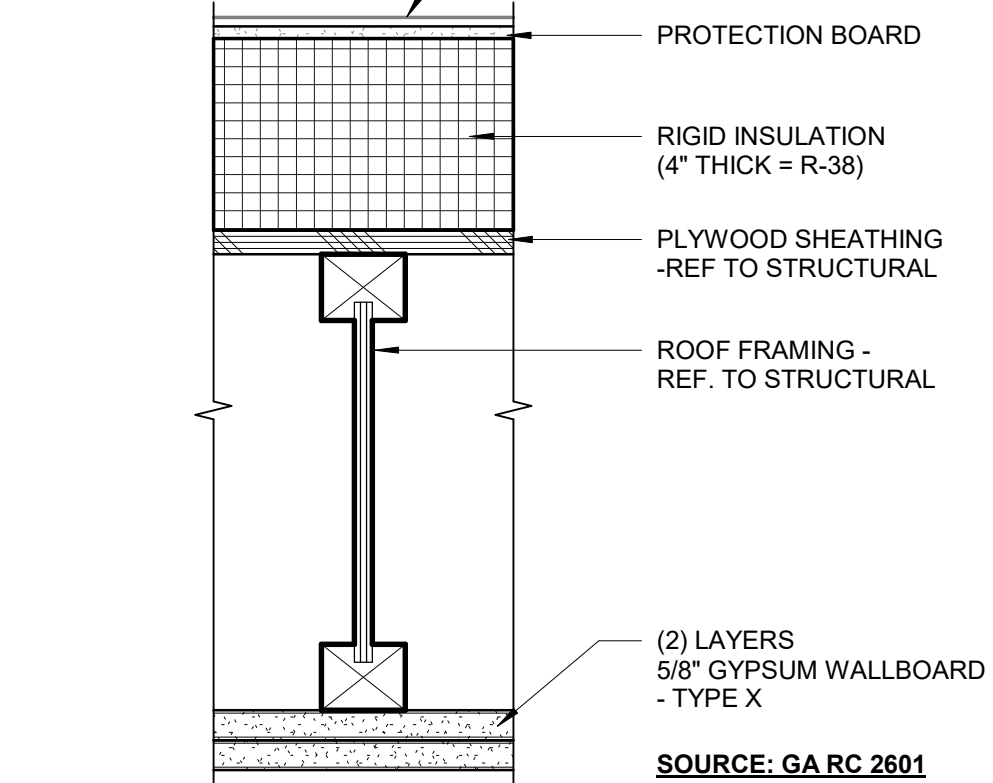
R1X INTERIOR BEARING (1 HR WALL)

3" = 1'-0"



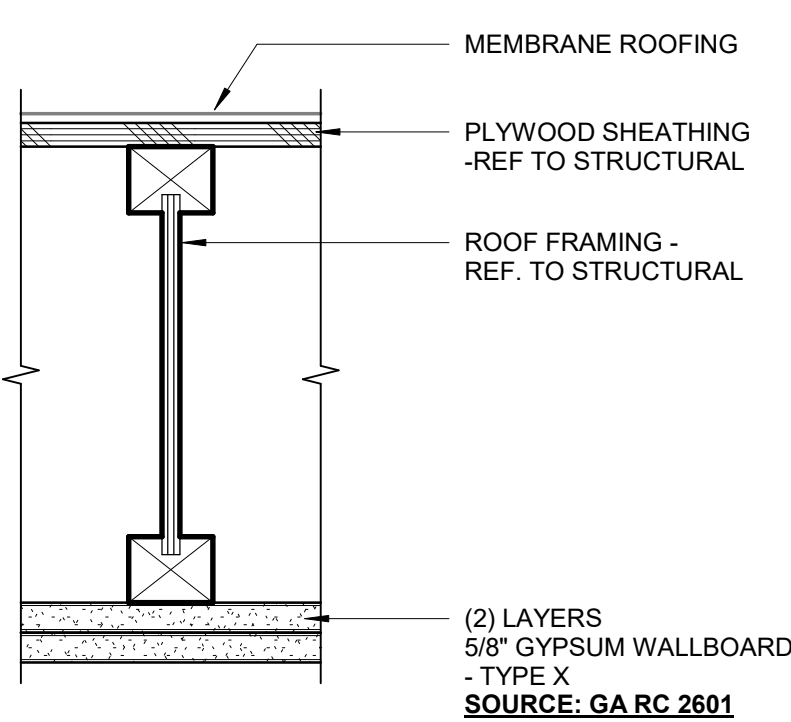
P0X INTERIOR PARTITION

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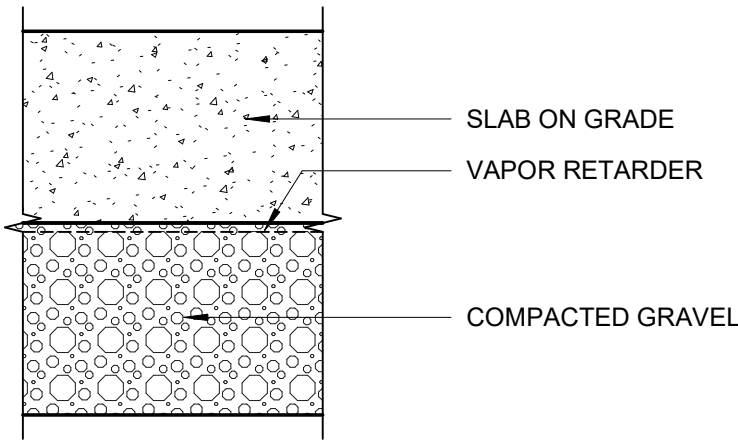
RC1 ROOF/ CEILING (1 HR)

3" = 1'-0"



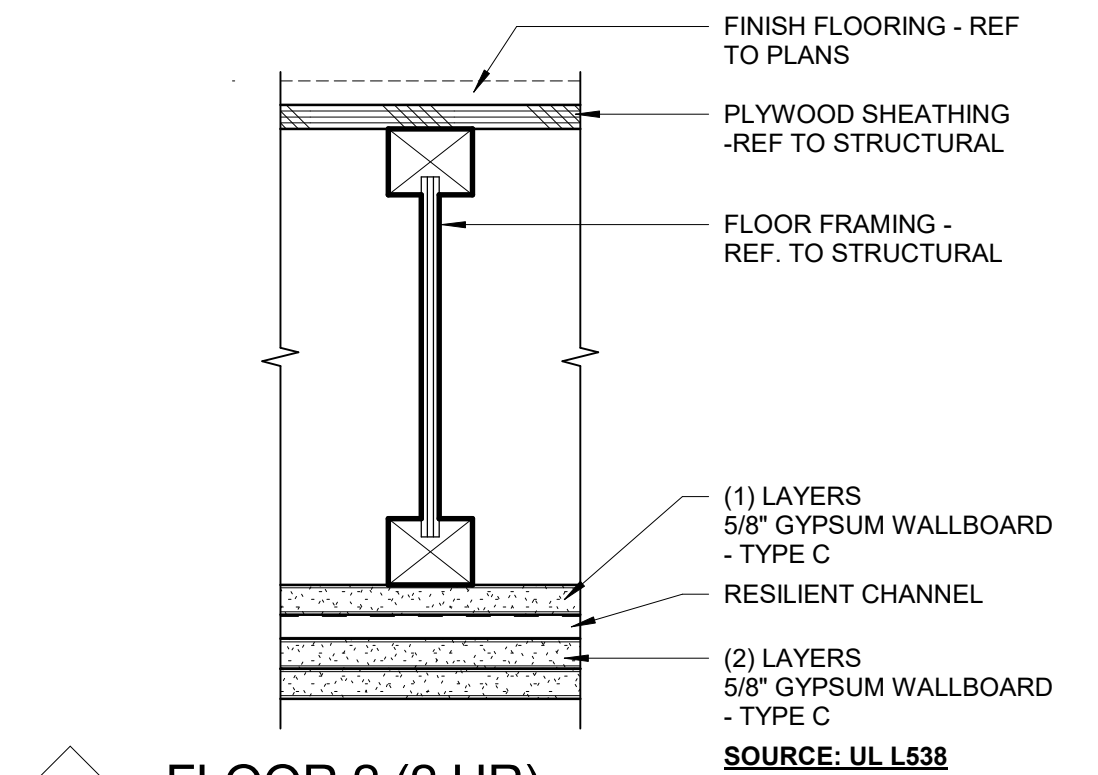
RC2 ROOF/CEILING 2 (1 HR)

3" = 1'-0"



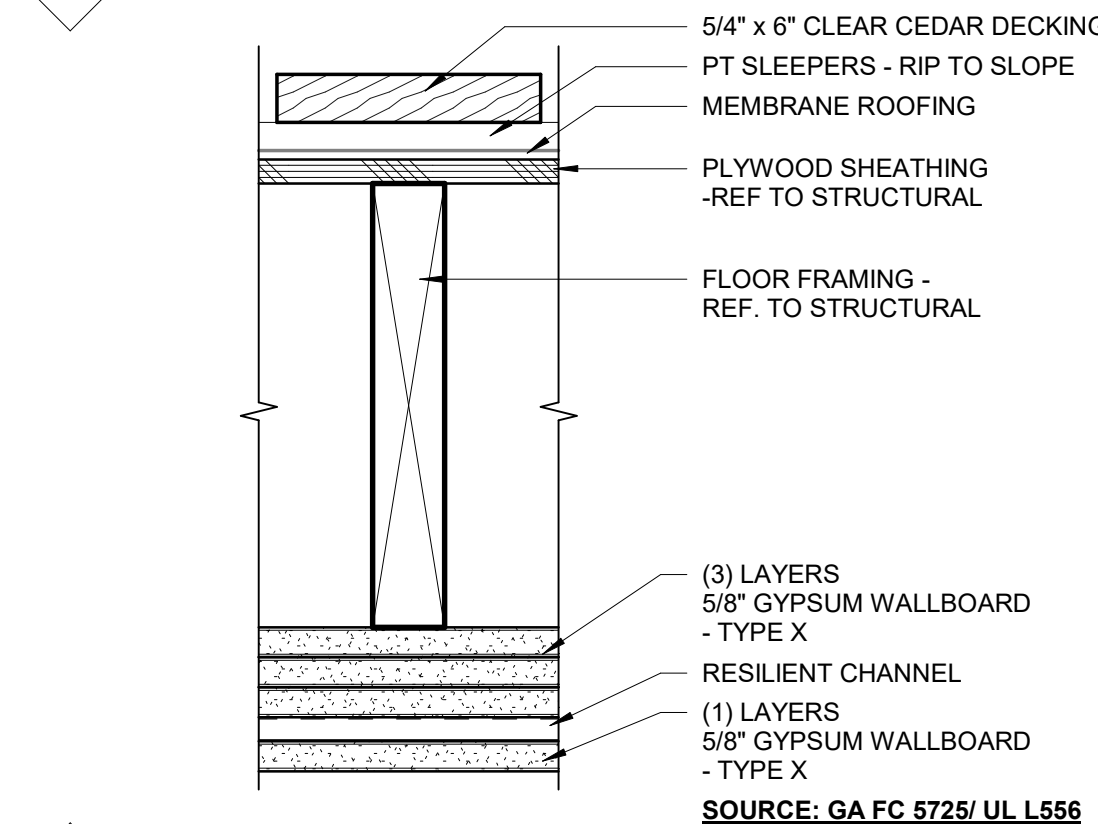
F1 FLOOR 1

3" = 1'-0"



F2 FLOOR 2 (2 HR)

3" = 1'-0"

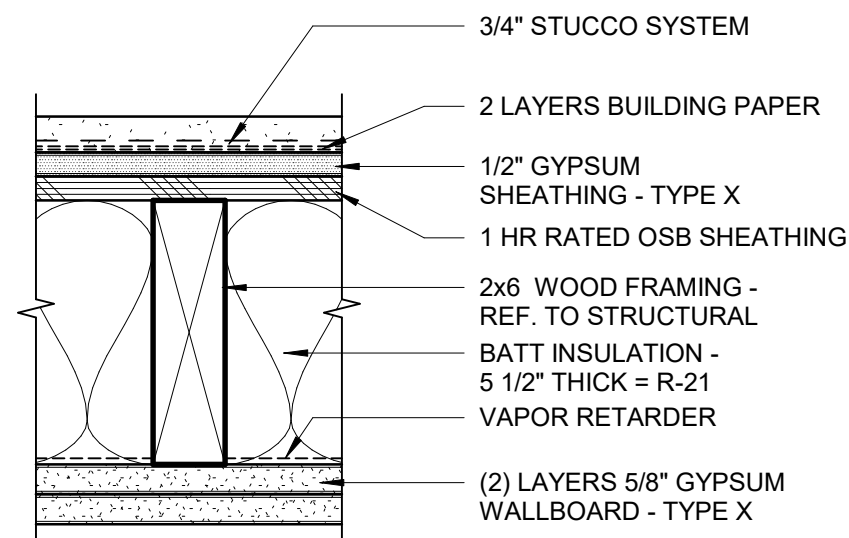


F3 FLOOR 3 - TERRACE (2 HR)

3" = 1'-0"

X25 EXT. STUCCO WALL (2 HR)

3" = 1'-0"

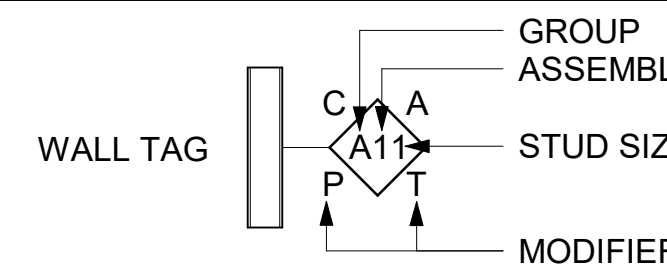


SOURCE: UL W408

GENERAL NOTES - WALLS

WHERE PARTITIONS ARE U.L. LISTED ASSEMBLIES FOR PROPRIETARY MANUFACTURERS, PROVIDE U.L. LISTED ASSEMBLIES FOR ANY ALTERNATE PRODUCTS INSTALLED.

WALL TYPE LEGEND



GROUP
P = PARTITION, NON-RATED
R = RATED FIRE BARRIER (I.B.C. NUMBER)

ASSEMBLY
0 = NON-RATED, FRAMING FULL HEIGHT, FINISH FULL ONE SIDE, SEALANT
1 = 1-HOUR RATED, FIRE TAPE AND CAULK
2 = 2-HOUR RATED, FIRE TAPE AND CAULK

STUD SIZE
3 = 3 1/2" WOOD STUDS AT 16"O.C.
5 = 5 1/2" WOOD STUDS AT 16"O.C.
7 = 7 1/4" WOOD STUDS AT 16"O.C.

MODIFIER
A = ACOUSTIC INSULATION & SEALANT
C = 5/8" RESILIENT FURRING CHANNELS
E = EXISTING CONSTRUCTION
P = PLYWOOD UNDERLAYMENT, SHEAR OR WALL REINFORCEMENT
T = TILE FINISH AREA: SUBSTITUTE CEMENTITIOUS BACKER BOARD
S = SHEAR WALL

GENERAL NOTES

- COORDINATE FRAME SIZES WITH WALL THICKNESS AT NEW AND EXISTING CONDITIONS
- FENESTRATION REQUIREMENTS (OEESC TABLE 502.3):
WINDOWS: U =0.45
SHCH

ABBREVIATIONS

AL	ALUMINUM
FF	FACTORY FINISH
GL	GLASS
HM	HOLLOW METAL
MFR	MANUFACTURER
MTL	METAL
PFM	PREFINISHED METAL FRAME
PT	PAINT
SC	SOLID CORE
SGF	SOLID GROUT FRAME
SMOKE	S LABEL (SMOKE LABEL)
WD	WOOD
20 MIN.	20 MIN. UL RATED DOOR ASSEMBLY
45 MIN.	45 MIN. UL RATED DOOR ASSEMBLY
60 MIN.	60 MIN. UL RATED DOOR ASSEMBLY
90 MIN.	90 MIN. UL RATED DOOR ASSEMBLY

SCHEDULES/ ASSEMBLIES

PERMIT SET
12/30/2016
NEW COMMERCIAL BUILDING

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A3.5

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