

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

**Appeal ID:** 14738

**Project Address:** 620 NE 20th Ave

**Hearing Date:** 3/8/17

**Appellant Name:** Scott Sholar

**Case No.:** B-011

**Appellant Phone:** 5034442223

**Appeal Type:** Building

**Plans Examiner/Inspector:** Maureen McCafferty

**Project Type:** commercial

**Stories:** 6 **Occupancy:** R-2 **Construction Type:** I-A, III-B

**Building/Business Name:**

**Fire Sprinklers:** Yes - throughout

**Appeal Involves:** Erection of a new structure

**LUR or Permit Application No.:** 16-144056-CO

**Plan Submitted Option:** pdf [File 1] [File 2] [File 3]  
[File 4] [File 5]

**Proposed use:** Mixed Use Multi-family Housing

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 2014 OSSC 1012.6

#### Requires

1012.6 Handrail extensions. Handrails shall return to a wall, guard or the walking surface or shall be continuous to the handrail of an adjacent stair flight or ramp run. Where handrails are not continuous between flights, the handrails shall extend horizontally at least 12 inches beyond the top riser and continue to slope for the depth of one tread beyond the bottom riser. The extensions of handrails shall be in the same direction of the stair flights at stairways and the ramp runs at ramps.

#### Proposed Design

The permitted project is a new multi-family building located in the Kerns neighborhood currently under construction with the framing of Level 3 beginning. The building construction is fully sprinkled (NFPA 13) with 5 stories of Type IIIB over 1 story of Type IA.

The proposed handrail extension at the base of Stair 1 on Level 1 would turn 90 degrees following the path of travel, sloping for 11" to match the stair slope and then a 12" horizontal extension for a total extension of 1'-11". This additional horizontal extension will allow handrail users additional time to orient themselves in the direction of travel. The wall would terminate at the stair nosing allowing for the handrail to turn 90 degrees, similar to the continuation of handrails at intermediate landings. See Exhibit B for proposed design.

#### Reason for alternative

The current permitted drawings have the handrail extension and wall protruding into the landing reducing the path of travel to 3'-7" while the stair width is 4'-2" (stair/landing width is only required to be 48" per OSSC 1007.3 since the highest occupant load exiting requires significantly less width). The proposed handrail revision provides a 4'-6" wide stair landing at the exit discharge level of the stairway, which is 4" wider than required. Adjusting the stair run would not be feasible as the project is starting to frame Level 3 with Level 1 concrete poured (L1 stairs walls are

concrete) and Level 2 PT slab poured. There is also a PT slab tendon located at the top riser for the staircase going between Levels 1 and 2 not allowing for the concrete to be removed.

The proposed design provides equivalent life safety as the handrail is continuing in the path of travel towards the stairwell's exit. The proposed design also provides additional space at the Level 1 landing from the permitted drawings to reduce any potential bottle-neck issues during egress.

See Exhibit A, C, D, and E for current permitted design and occupant load information.

## APPEAL DECISION

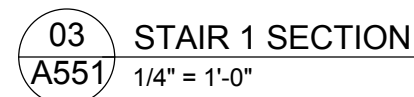
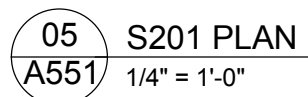
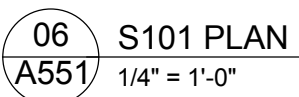
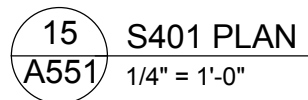
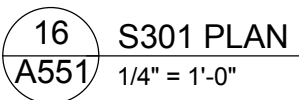
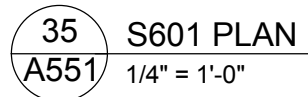
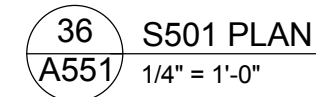
**Handrail extension turned 90 degrees at bottom landing: Denied. Proposal does not provide equivalent safety.**

**The Board approves modification to the as-permitted configuration that reduces the handrail extension dimension such that the clear width of 3'-7" increases to 3'-8".**

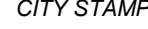
**Appellant may contact Maureen McCafferty (503-823-7850) with questions.**

For the option granted, the Administrative Appeal Board finds with the conditions noted, that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.



KEYNOTES - VERTICAL CIRCULATION	
2	WRAP HANDRAILS AS LANDINGS, TYP
3	STANDPIPE
5	HOISTWAY BEAM
6	ELEVATOR SUMP
7	SHIPS LADDER
8	CANE DETECTION



604 NE 20TH AVE  
PORTLAND, OR 97232

3	5/24/16	CHECKSHEET 1-3
11	7/13/16	CHECKSHEET 1-6

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SHEET NO.

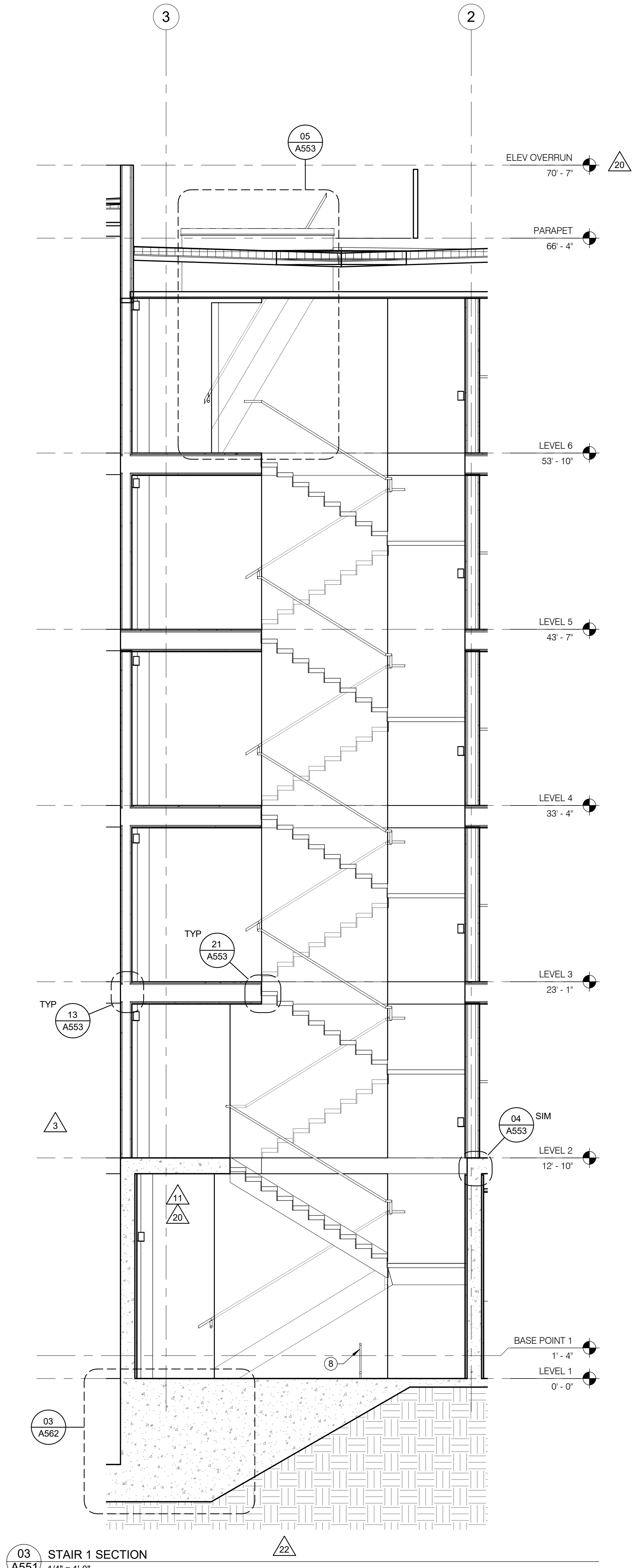
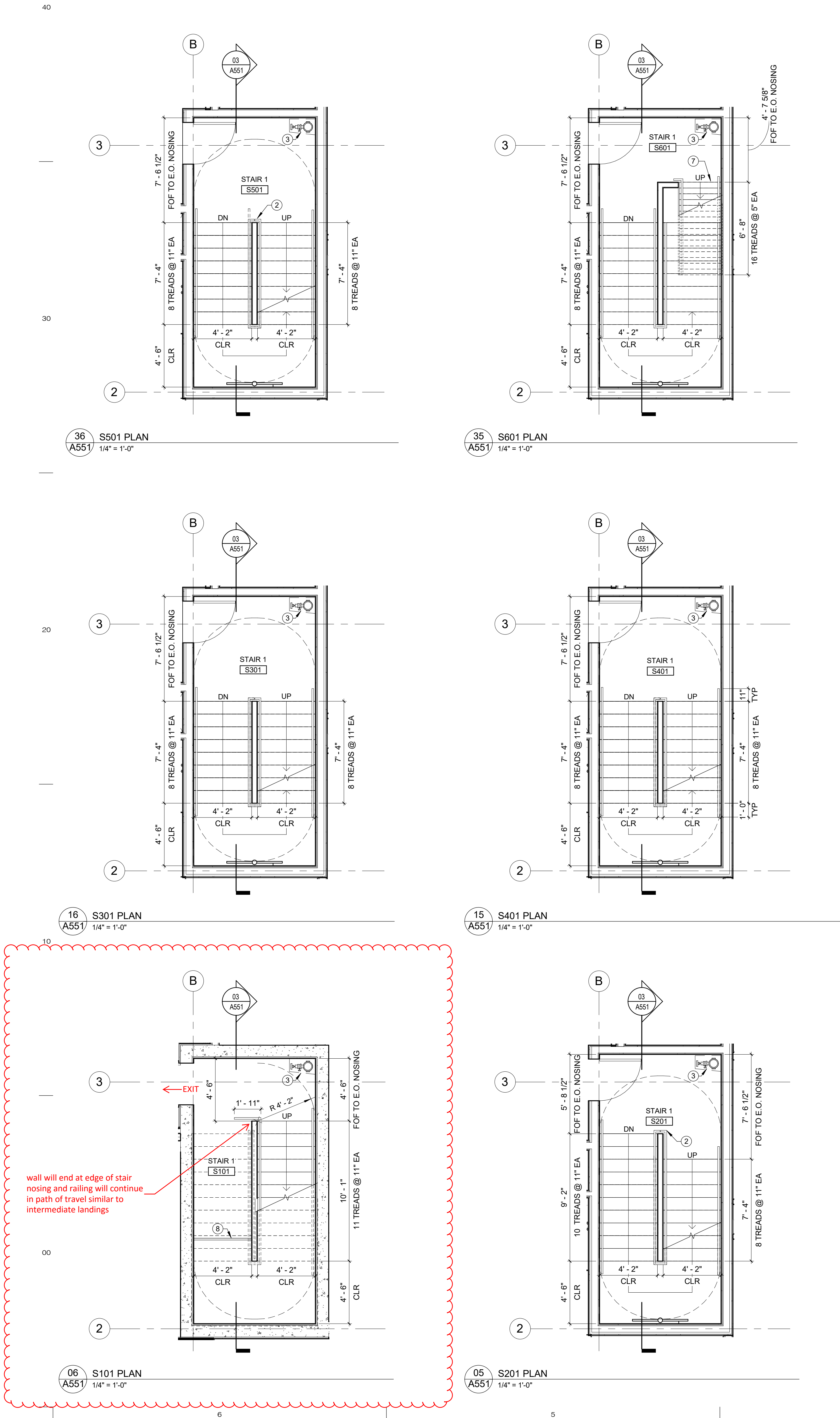
# A551

# BUILDING PERMIT



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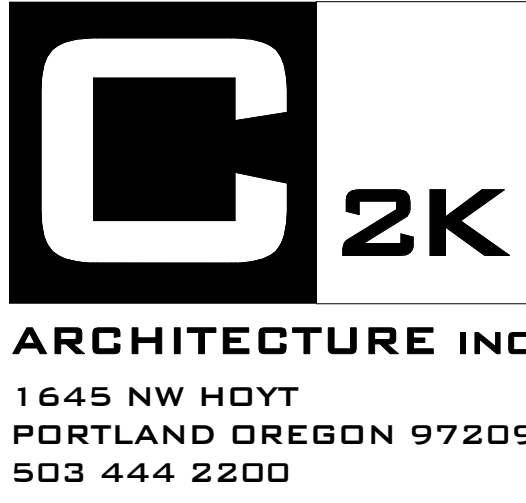
EXHIBIT A - Proposed Stair 1 Handrail Extension @ Level 1 Design  
Code Section being Appealed: 2014 OSSC 1012.6



GENERAL NOTES - VERTICAL CIRCULATION

- COORDINATE FINAL STAIR ELEVATIONS WITH FINISHED FLOOR ELEVATIONS
- ELEVATOR EQUIPMENT SHOWN IS DIAGRAMMATIC, VERIFY SPECIFIC REQUIREMENT WITH ELEVATOR MANUFACTURER.
- CLR DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH

KEYNOTES - VERTICAL CIRCULATION	
2	WRAP HANDRAILS AS LANDINGS, TYP
3	STANDPIPE
5	HOISTWAY BEAM
6	ELEVATOR SUMP
7	SHIPS LADDER
8	CANE DETECTION
9	ELEVATOR AUTOTRANSFORMER, SEE ELECTRICAL



HOYT20  
APARTMENTS

GREEN LIGHT DEVELOPMENT  
620 NE 20TH AVE  
PORTLAND, OR 97232

PROJECT NO.:	15183
DRAWN:	Author
DATE:	20 SEPTEMBER 2016 100% CONSTRUCTION SET
REVISION:	DESCRIPTION:
3	5/24/16 CHECKSHEET 1-3
11	7/13/16 CHECKSHEET 1-6
20	9/20/16 100 CD SET
22	10/14/16 RF 1 012

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SHEET TITLE:  
VERTICAL CIRCULATION -  
STAIR 1

SHEET NO.:

A551

100% CONSTRUCTION SET



GENERAL NOTES - PLANS

1. ARCHITECTURAL REFERENCE 0'-0" = 138.1 ON SURVEY AND CIVIL DOCUMENTS
2. CONTRACTOR TO SET AND VERIFY CONTROL POINTS FOR LAYOUT PER CONTRACT DOCUMENTS, NOTIFY ARCHITECT OF ANY DISCREPANCIES
3. SEE SHEET A001 FOR LEGEND
4. PLAN DIMENSIONS ARE TO FACE OF STUD/CMU, UNO CLR DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH
5. SEE ASSEMBLIES ON A191 AND A192
6. BUILDING FLOOR PLANS PROVIDE THE FOLLOWING INFORMATION
  - DIMENSIONS
  - ROOM TAGS AND NUMBERS
  - DOOR TAGS - SEE DOOR SCHEDULE
  - WALL TAGS
  - KEYNOTES
  - DETAIL REFERENCES
  - BUILDING SECTIONS
  - ENLARGED PLAN CALLOUTS
7. DOOR OPENINGS NOT DIMENSIONED ARE LOCATED 4" FROM ADJACENT WALL CORNER ON HINGE SIDE
8. SEE SHEETS A510-A513 FOR UNIT PLAN INFORMATION

KEYNOTES - PLANS

1	ALIGN FACE OF FINISH
2	BICYCLE STAPLE RACK
3	WALL-HUNG BICYCLE PARKING
4	BICYCLE REPAIR STAND
6	"VAN ACCESSIBLE" AND "WHEELCHAIR USER ONLY" DESIGNATION SIGNAGE MOUNTED 60" AFF (SIGNS R7-8 AND R7-8P), CENTER ABOVE WHEEL STOP
7	DUMPSTER
8	SHORT-TERM BIKE PARKING PROVIDED BY COP BIKE FUND
9	PICKET FENCE WITH WIRE MESH BACKING
10	PAVERS, SAND SET
11	RETAINING WALL
12	ARCHITECTURAL CONCRETE FINISH
13	BOLLARD
14	PATIO GUARDRAIL
15	GLASS PATIO DIVIDING WALL
16	4" WIDE WHITE LINES, TYP
17	WHITE RETRO-REFLECTIVE 3" STROKE WIDTH WITH BLUE RETRO-REFLECTIVE BACKGROUND
18	WHEEL STOP, TYP

HOYT20  
APARTMENTS

GREEN LIGHT DEVELOPMENT

604 NE 20TH AVE  
PORTLAND, OR 97232

PROJECT NO.: 15183

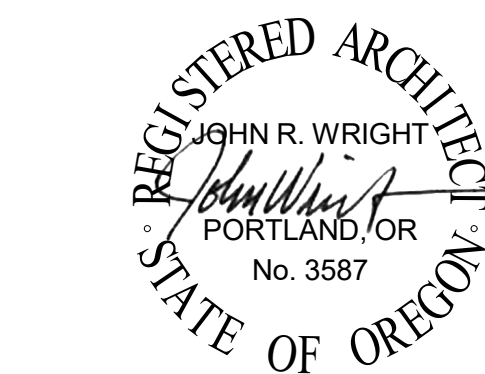
DRAWN: Author

DATE: 01 APRIL 2016  
BUILDING PERMIT

REVISION: DESCRIPTION:

3	5/24/16	CHECKSHEET 1-3
4	5/31/16	ADDENDUM A
7	6/23/16	CHECKSHEET 1-5
11	7/13/16	CHECKSHEET 1-6
12	7/22/16	CHECKSHEET 1-7
16	8/19/16	LIMITED NTP SET
17	8/23/16	CHECKSHEET 1-9

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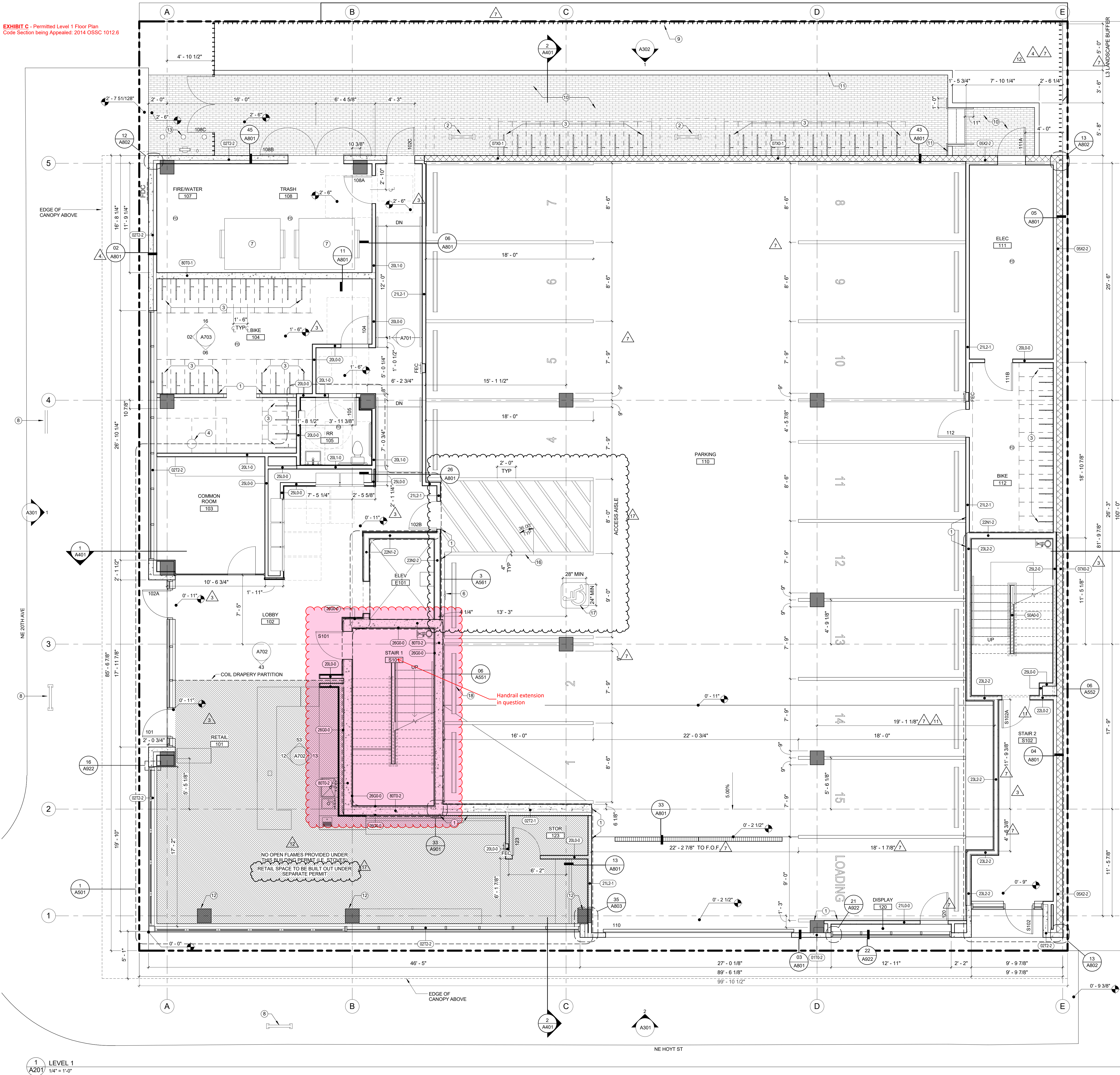


SHEET TITLE:  
LEVEL 1 FLOOR PLAN

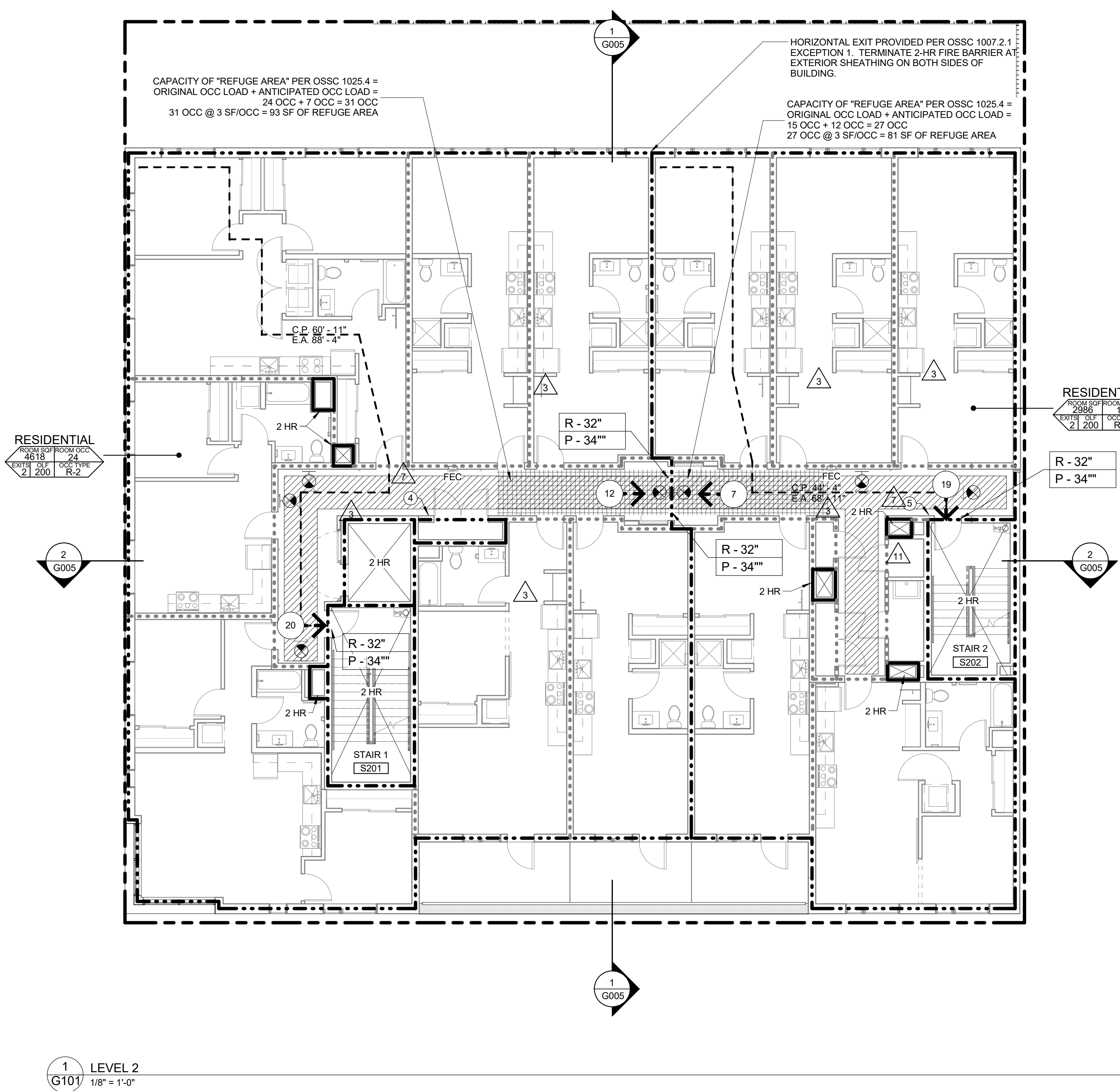
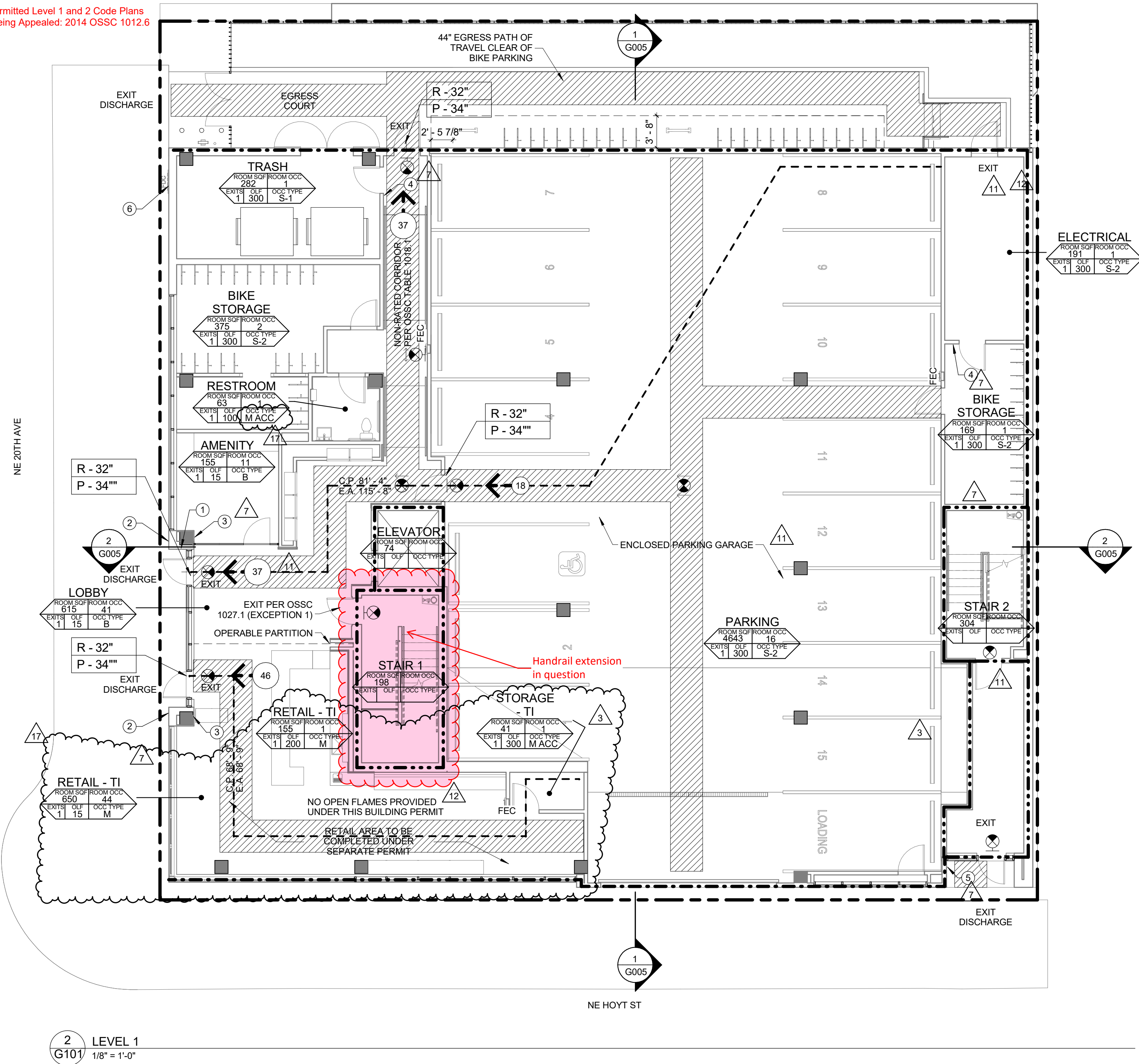
SHEET NO.:

A201

BUILDING PERMIT







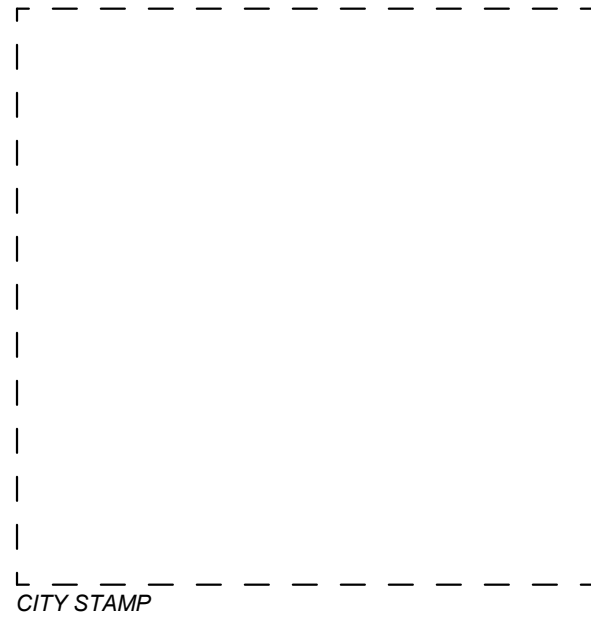
KEYNOTES - CODE SHEETS	
1	KNOX BOX
2	BUILDING ADDRESS, NUMBERS TO CONTRAST WITH THEIR BACKGROUND AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5".
3	OCCUPANT LOAD SIGNAGE, APPLICATIONS FOR OCCUPANT LOAD ARE AVAILABLE ONLINE AT: <a href="https://www.portlandoregon.gov/fire/article/230181">HTTPS://WWW.PORTLANDOREGON.GOV/FIRE/ARTICLE/230181</a>
4	EQUIPMENT ROOM SIGNAGE. ROOMS CONTAINING FIRE PROTECTION EQUIPMENT (AIR-CONDITIONING SYSTEMS, FIRE SPRINKLER, RISERS AND VALVES OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS) AND ELECTRICAL/MECHANICAL/ELEVATOR MACHINE ROOMS SHALL BE IDENTIFIED IN AN APPROVED MANNER. REQUIRED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.
5	STAIRWAY SIGNAGE INDICATING STAIRWAY CONTINUES TO ROOF, LOCATE AT STREET LEVEL AND ALL FLOOR LEVELS.
6	PROVIDE APPROVED SIGNAGE ON SIDE OF BUILDING FOR FDC
7	FIREPLACE, UL RATED AND GLASS COVERED OPENING
8	NO ROOF PENETRATIONS TO OCCUR WITHIN 5' OF EXTERIOR WALL

FLS SCHEDULE - LEVEL 1							
Name	Area	Exits Required	Level	Occupant Load Columns Occupant Load	Occupant Load FACTOR columns Occupant Load Factor	Occupant Type	Comments
AMENITY	155 SF	1	LEVEL 1	11	15	B	PER OSSC 303.1.2
BIKE STORAGE	375 SF	1	LEVEL 1	2	300	S-2	
BIKE STORAGE	169 SF	1	LEVEL 1	1	300	S-2	
ELECTRICAL	191 SF	1	LEVEL 1	1	300	S-2	
ELEVATOR	74 SF		LEVEL 1				CIRCULATION
LOBBY	615 SF	1	LEVEL 1	41	15	B	PER OSSC 303.1.2
PARKING	4643 SF	1	LEVEL 1	16	300	S-2	
RESTROOM	63 SF	1	LEVEL 1	1	15	M ACC	
RETAIL - TI	650 SF	1	LEVEL 1	44	15	M	TO BE UNDER SEPARATE PERMIT
RETAIL - TI	155 SF	1	LEVEL 1	1	200	M	TO BE UNDER SEPARATE PERMIT
STAIR 1	198 SF		LEVEL 1				CIRCULATION
STAIR 2	304 SF		LEVEL 1				CIRCULATION
STORAGE - TI	41 SF	1	LEVEL 1	1	300	M ACC	TO BE UNDER SEPARATE PERMIT
TRASH	282 SF	1	LEVEL 1	1	300	S-1	
	7914 SF		LEVEL 1	120			

FLS SCHEDULE - LEVEL 2							
Name	Area	Exits Required	Level	Occupant Load Columns Occupant Load	Occupant Load FACTOR columns Occupant Load Factor	Occupant Type	Comments
RESIDENTIAL	4618 SF	2	LEVEL 2	24	200	R-2	
RESIDENTIAL	2986 SF	2	LEVEL 2	15	200	R-2	
	7603 SF			39			

FIRE LIFE SAFETY LEGEND

- EXIT FIXTURE, DOUBLE-FACED, DIRECTION OF ARROW(S) AS SHOWN.
- EXIT FIXTURE, SINGLE-FACED, DIRECTION OF ARROW(S) AS SHOWN.
- COMMON PATH OF TRAVEL, EXIT ACCESS TRAVEL DISTANCE
- PROPERTY LINE
- LIFE SAFETY SUMMARY TAG
- TOTAL OCCUPANTS AT OCCUPANCY EXIT
- TOTAL OCCUPANTS AT EXIT DISCHARGE
- MINIMUM REQUIRED EGRESS WIDTH PROVIDED (CLEAR) EGRESS WIDTH
- 1/2 HOUR PARTITION - 1/3 HOUR DOOR
- 1 HOUR PARTITION - 1/3 HOUR DOOR
- 1 HOUR BARRIER - 1 HOUR DOOR
- 2 HR BARRIER - 1 1/2 HOUR DOOR
- 3 HR BARRIER - 3 HOUR DOOR
- EGRESS PATH OF TRAVEL AT REQUIRED WIDTH, MINIMUM ILLUMINATION FOR EXITING TO BE PROVIDED
- AREA OF REFUGE
- FIRE EXTINGUISHER CABINET



HOYT20  
APARTMENTS

GREEN LIGHT DEVELOPMENT  
604 NE 20TH AVE  
PORTLAND, OR 97232

PROJECT NO.: 15183  
DRAWN: Author  
DATE: 01 APRIL 2016  
BUILDING PERMIT

REVISION	DESCRIPTION
3	5/24/16 CHECKSHEET 1-3
7	6/23/16 CHECKSHEET 1-5
11	7/13/16 CHECKSHEET 1-6
12	7/22/16 CHECKSHEET 1-7
17	8/23/16 CHECKSHEET 1-9

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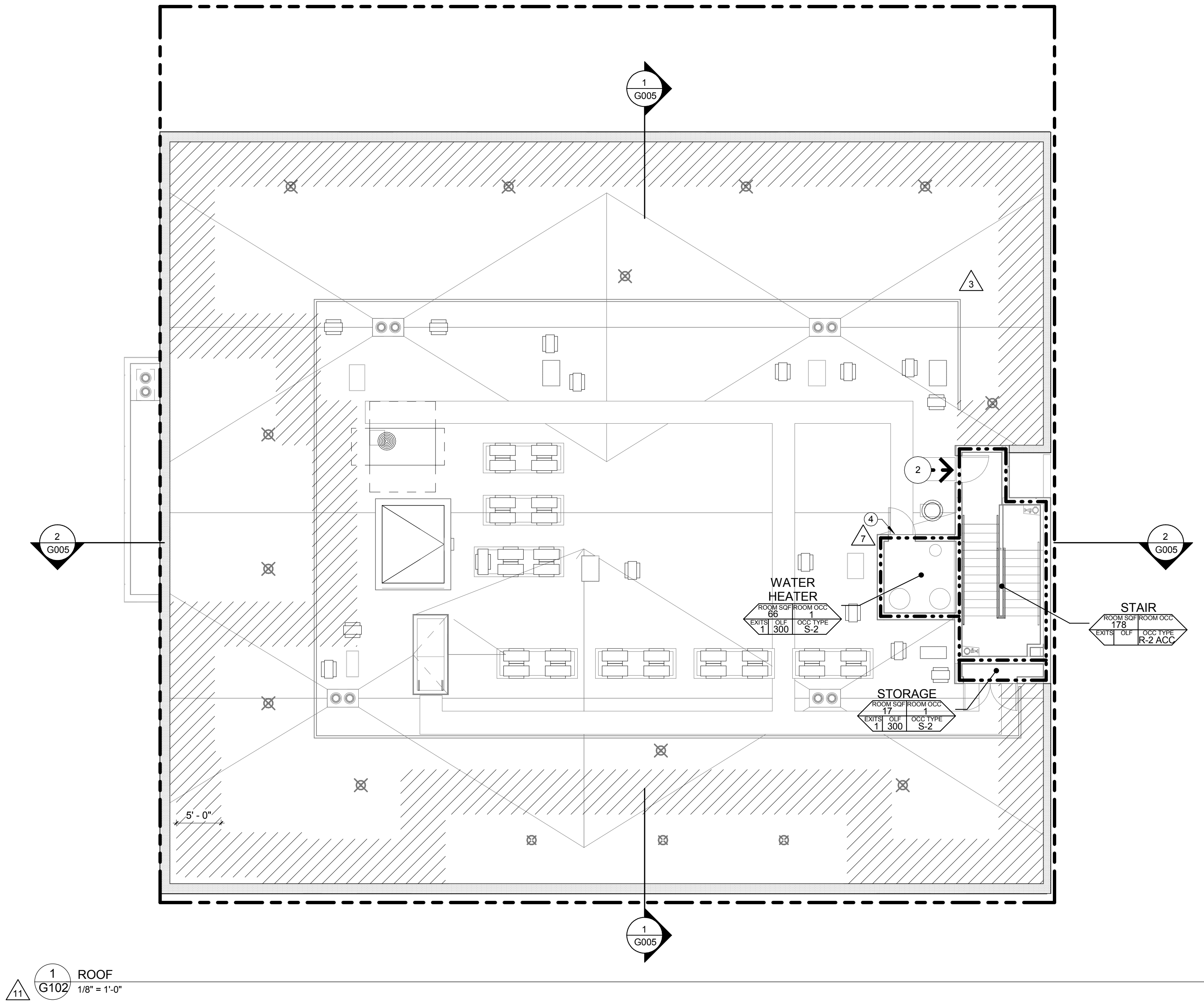
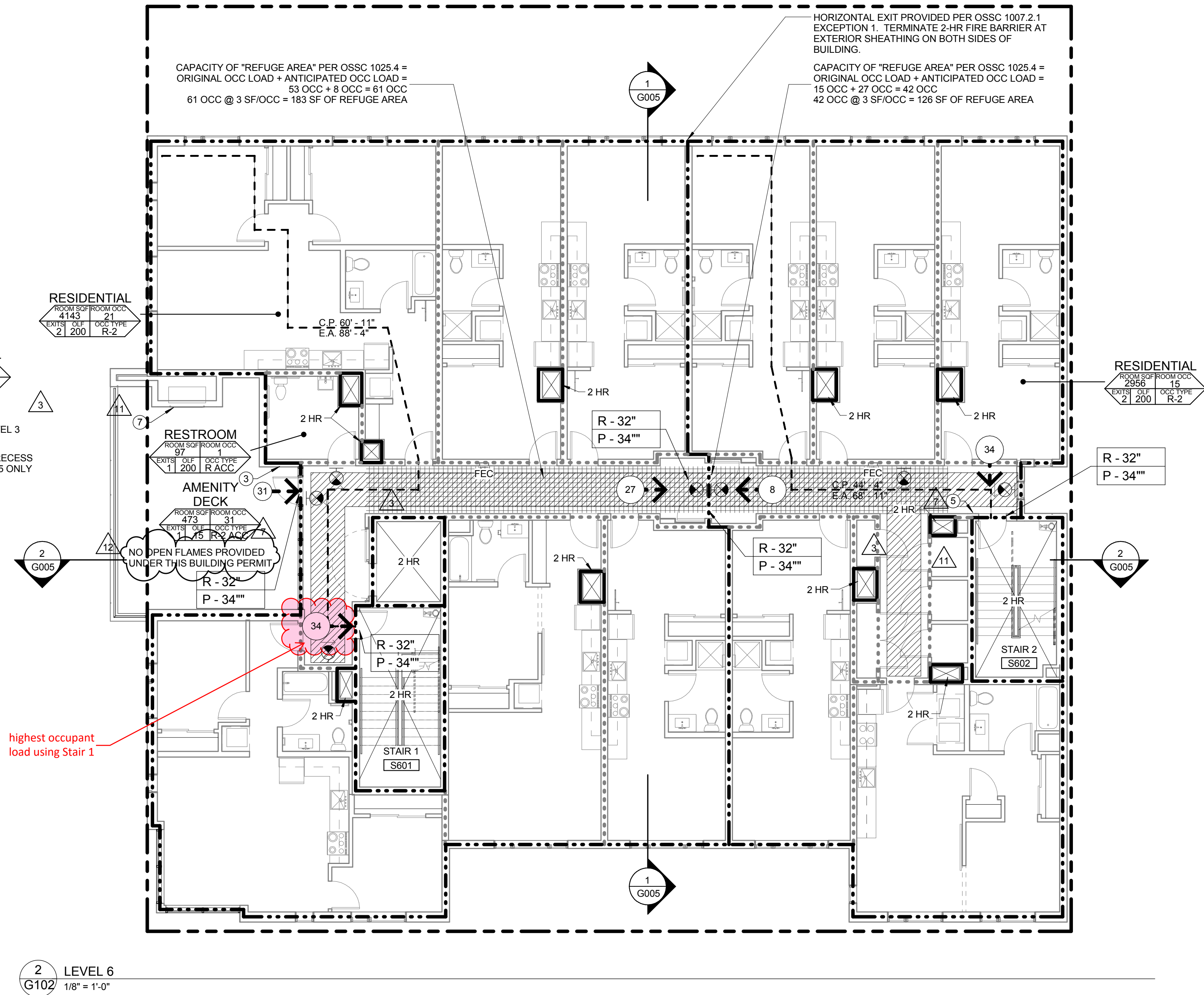
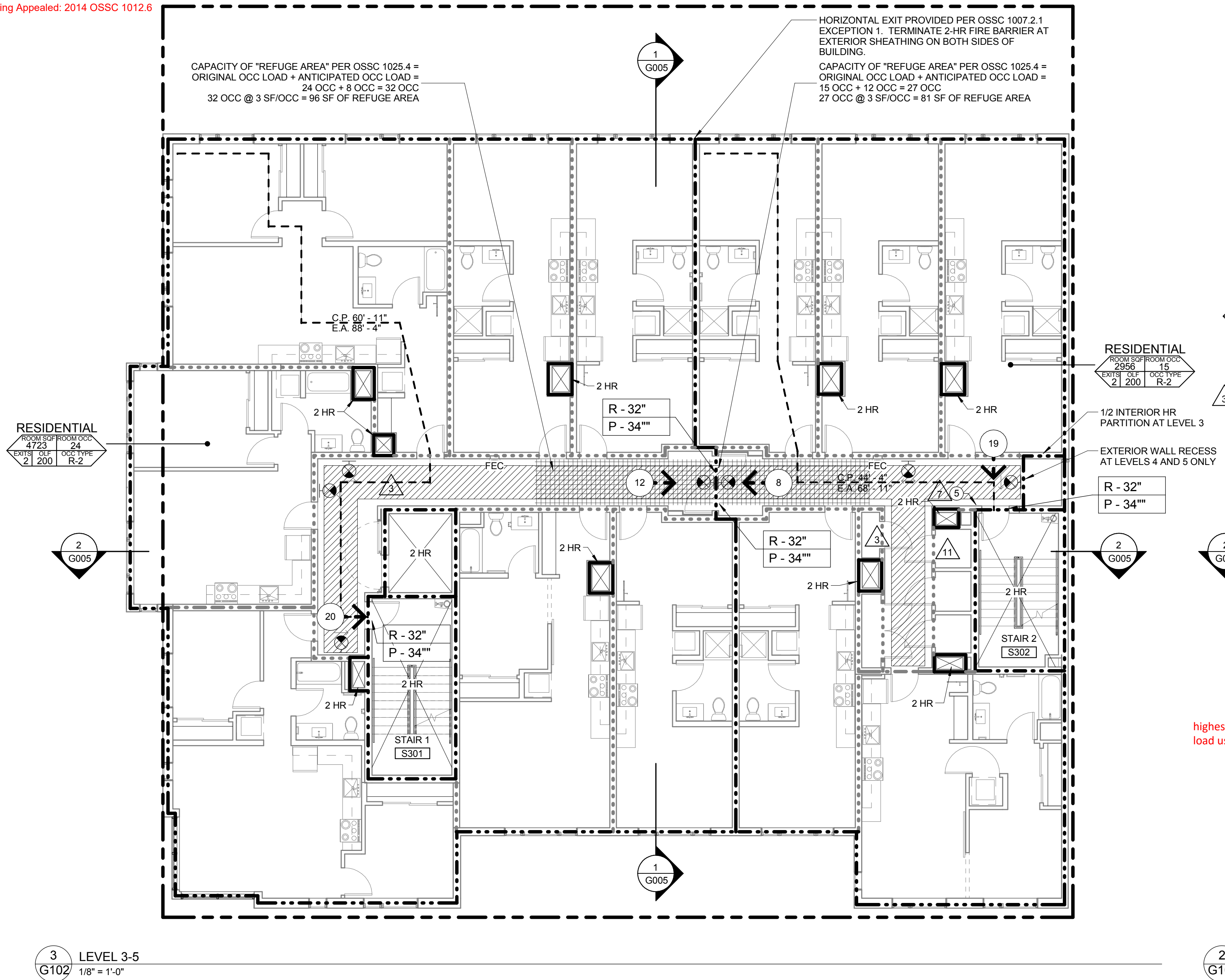


BUILDING PERMIT

SHEET TITLE:  
FIRE LIFE SAFETY - LEVEL 1  
AND 2

SHEET NO.:  
G101





FLS SCHEDULE - LEVEL 3							
Name	Area	Exits Required	Level	Occupant Load Columns Occupant Load	Occupant Load FACTOR columns Occupant Load Factor	Occupant Type	Comments
RESIDENTIAL	4723 SF	2	LEVEL 3	24	200	R-2	
RESIDENTIAL	2956 SF	2	LEVEL 3	15	200	R-2	
	7679 SF			39			

FLS SCHEDULE - LEVEL 6							
Name	Area	Exits Required	Level	Occupant Load Columns Occupant Load	Occupant Load FACTOR columns Occupant Load Factor	Occupant Type	Comments
AMENITY DECK	473 SF	1	LEVEL 6	31	15	R-2 ACC	PER OSSC 303.1.2
RESIDENTIAL	4143 SF	2	LEVEL 6	21	200	R-2	
RESIDENTIAL	2956 SF	2	LEVEL 6	15	200	R-2	
RESTROOM	97 SF	1	LEVEL 6	1	200	R ACC	
	7668 SF			68			

FLS SCHEDULE - ROOF							
Name	Area	Exits Required	Level	Occupant Load Columns Occupant Load	Occupant Load FACTOR columns Occupant Load Factor	Occupant Type	Comments
STAIR	178 SF	1	PARAPET	1	300	R-2 ACC	
STORAGE	17 SF	1	PARAPET	1	300	S-2	
WATER HEATER	66 SF	1	PARAPET	1	300	S-2	
	261 SF			2			

KEYNOTES - CODE SHEETS							
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6	PROVIDE APPROVED SIGNAGE ON SIDE OF BUILDING FOR FDC						
7	FIREPLACE, UL RATED AND GLASS COVERED OPENING						

FIRE LIFE SAFETY LEGEND

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- EXIT FIXTURE, SINGLE-FACED, DIRECTION OF ARROW(S) AS SHOWN.
- C.P. XX'XX" E.A. XX'XX"
- PROPERTY LINE
- LIFE SAFETY SUMMARY TAG
- TOTAL OCCUPANTS AT OCCUPANCY EXIT
- TOTAL OCCUPANTS AT EXIT DISCHARGE
- R-37" P-40"
- MINIMUM REQUIRED EGRESS WIDTH PROVIDED (CLEAR) EGRESS WIDTH
- 1/2 HOUR PARTITION - 1/3 HOUR DOOR
- 1 HOUR PARTITION - 1/3 HOUR DOOR
- 1 HOUR BARRIER - 1 HOUR DOOR
- 2 HR BARRIER - 1 1/2 HOUR DOOR
- 3 HR BARRIER - 3 HOUR DOOR
- EGRESS PATH OF TRAVEL AT REQUIRED WIDTH, MINIMUM ILLUMINATION FOR EXITING TO BE PROVIDED
- AREA OF REFUGE
- FEC
- FIRE EXTINGUISHER CABINET



HOYT20  
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DATE: 01 APRIL 2016  
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REVISION	DESCRIPTION
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BUILDING PERMIT



SHEET TITLE:  
FIRE LIFE SAFETY - LEVEL  
3-ROOF

SHEET NO.:

G102