



HOLST for Home Forward

Type III Design Review, LU 21-111639 HRM AD

Submitted December 03, 2021

## TEAM

PROPERTY RE: 1839 NE 14th Ave  
App. for a Type III Review,  
LU 21-111639 HRM AD  
December 3, 2021

SUBMITTED:

ARCHITECT:  
CONTACT: HOLST  
Dave Otte, Principal/Owner  
dotte@holstarc.com  
503 233 9856

LANDSCAPE:  
CONTACT: GROUNDWORKSHOP  
Tommy Solomon, Partner  
ts@groundworkshop.net  
971 544 7418

CIVIC ENGINEER:  
CONTACT: VEGA CIVIL ENGINEERING  
Martha Williamson, Managing Principal  
martha@vegacivil.com  
503 349 1381

OWNER:  
CONTACT: HOME FORWARD  
Robert Dell, Project Manager  
robert.dell@homeforward.org  
503 943 0645

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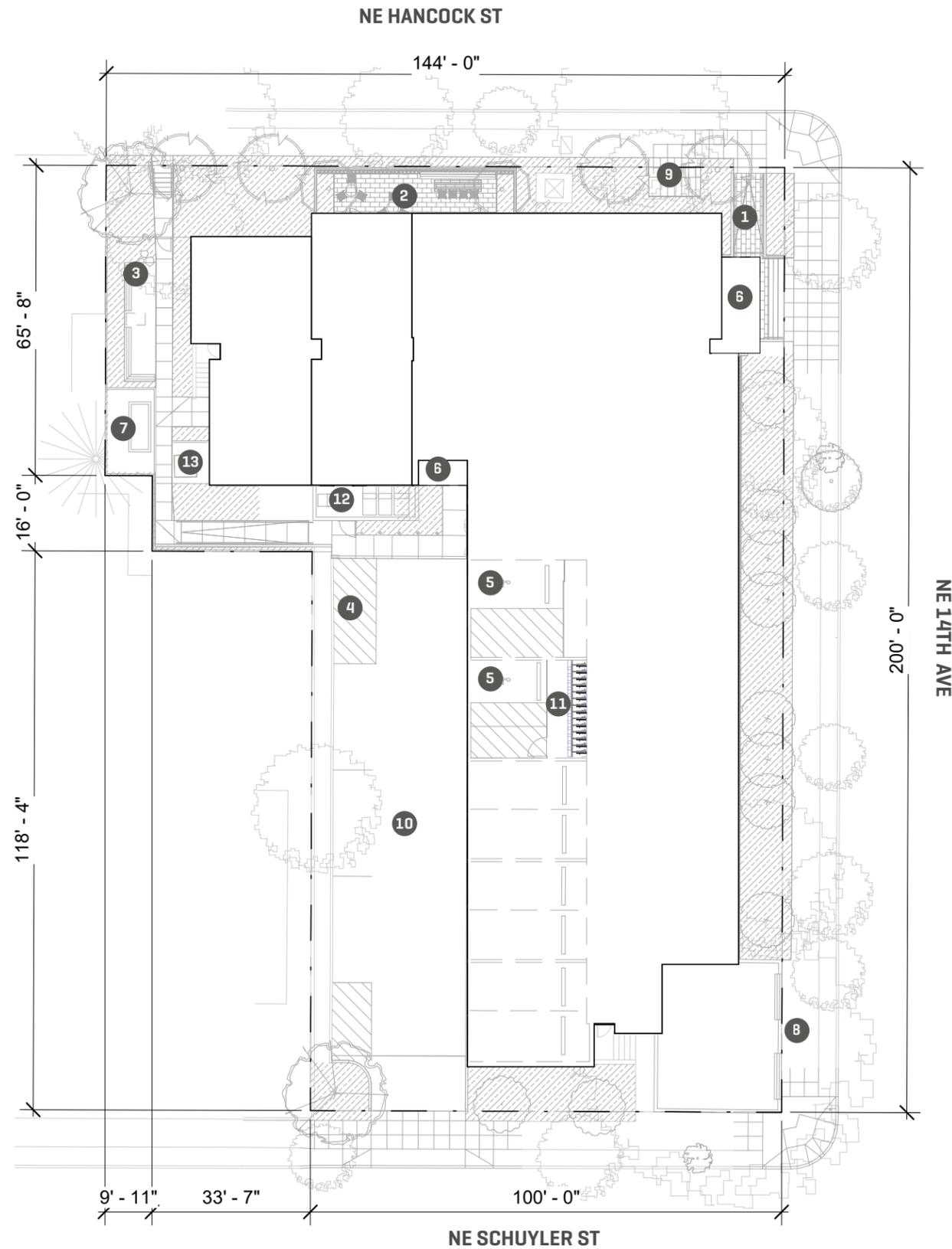
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## ZONING SUMMARY

PROPERTY ADDRESS	1839 NE 14TH AVE	
PROPERTY ID	R182582	
COUNTY	MULTNOMAH	
STATE ID	1N1E26CD-09200, -09300, -09400, -09500, -08800	
ZONING MAP	2831	
SITE AREA	23,433 SF [0.54 ACRES]	
LAND USE ZONING	RM3D - RESIDENTIAL MULTI-DWELLING 3 [WITH DESIGN OVERLAY]	
COMP PLAN	MD-U - MULTI-DWELLING - URBAN CENTER	
HISTORIC DISTRICT	IRVINGTON HISTORIC DISTRICT	
CONSERVATION DISTRICT	N/A	
PLAN DISTRICT	N/A	
DESIGN REVIEW	TYPE III	
HISTORIC RESOURCE	NON-CONTRIBUTING	
	<b>REQUIRED</b>	<b>PROVIDED [NO CHANGE TO EXISTING, U.N.O.]</b>
MIN DENSITY	1 UNIT PER 1,000 SF SITE AREA	4.1 UNITS PER 1,000 SF [95 UNITS / 23,433 SF]
MAX FAR	2:1 [4:1 W/ AFFORDABLE BONUS]	3.04:1 [71,170 SF / 23,433 SF]
BASE HEIGHT	65 FT [75FT W/ BONUS]	50'-8" FT
MIN BUILDING SETBACKS	10' [FRONT] / 5' [SIDE/REAR]	FRONT, SIDE AND REAR ARE EXISTING, CONFORMING
MAX BUILDING SETBACKS	20'	[SEE ABOVE]
MAX BUILDING COVERAGE	85%	50% [11,763 SF / 23,433 SF]
MIN LANDSCAPED AREA	15%	18% [4,221 SF / 23,433 SF]
MIN PARKING	0 [FOR AFFORDABLE HOUSING]	11
MAX PARKING	0	[SEE ABOVE]
DRIVE AISLE WIDTH	20' MIN	<b>SEE MODIFICATION #1</b>
BIKE PARKING - LONG TERM	12 [1 PER 8 UNITS] + 2 [OFFICE] = 14	14
BIKE PARKING - SHORT TERM	5 [1 PER 20 UNITS]	6
LOADING SPACES	1 STANDARD 'B' @ 18' X 9' X 10'	1 STANDARD 'B' @ 18' X 9' X 10'
CONDITIONAL USES	NONE	NONE
LANDSCAPE BUFFERS	5' OF L2/L3 AT PARKING	<b>SEE MODIFICATION #2, #3</b>

**\*MODIFICATIONS REQUESTED**



- 1 ENTRY PLAZA
- 2 NORTH TERRACE
- 3 WEST SENSORY GARDEN TERRACE
- 4 STANDARD 'B' LOADING SPACE
- 5 ADA PARKING
- 6 CANOPY
- 7 PROPOSED EMERGENCY GENERATOR
- 8 SOUTH SEATING
- 9 SHORT-TERM BIKE PARKING - 3 RACKS (6 SPACES)
- 10 PARKING LOT REPAVING
- 11 LONG-TERM BIKE PARKING - 14 RACKS
- 12 PROPOSED MECH CONDENSING UNITS
- 13 EXISTING TRANSFORMER TO REMAIN





**LEGEND**

- ASSEMBLY / COMMUNITY ROOM
- RESIDENTIAL
- BUSINESS / ACCESSORY USE - OFFICE
- MECH. / B.O.H.





**LEGEND**

- RESIDENTIAL
- MECH. / B.O.H.





**LEGEND**

- RESIDENTIAL
- MECH. / B.O.H.

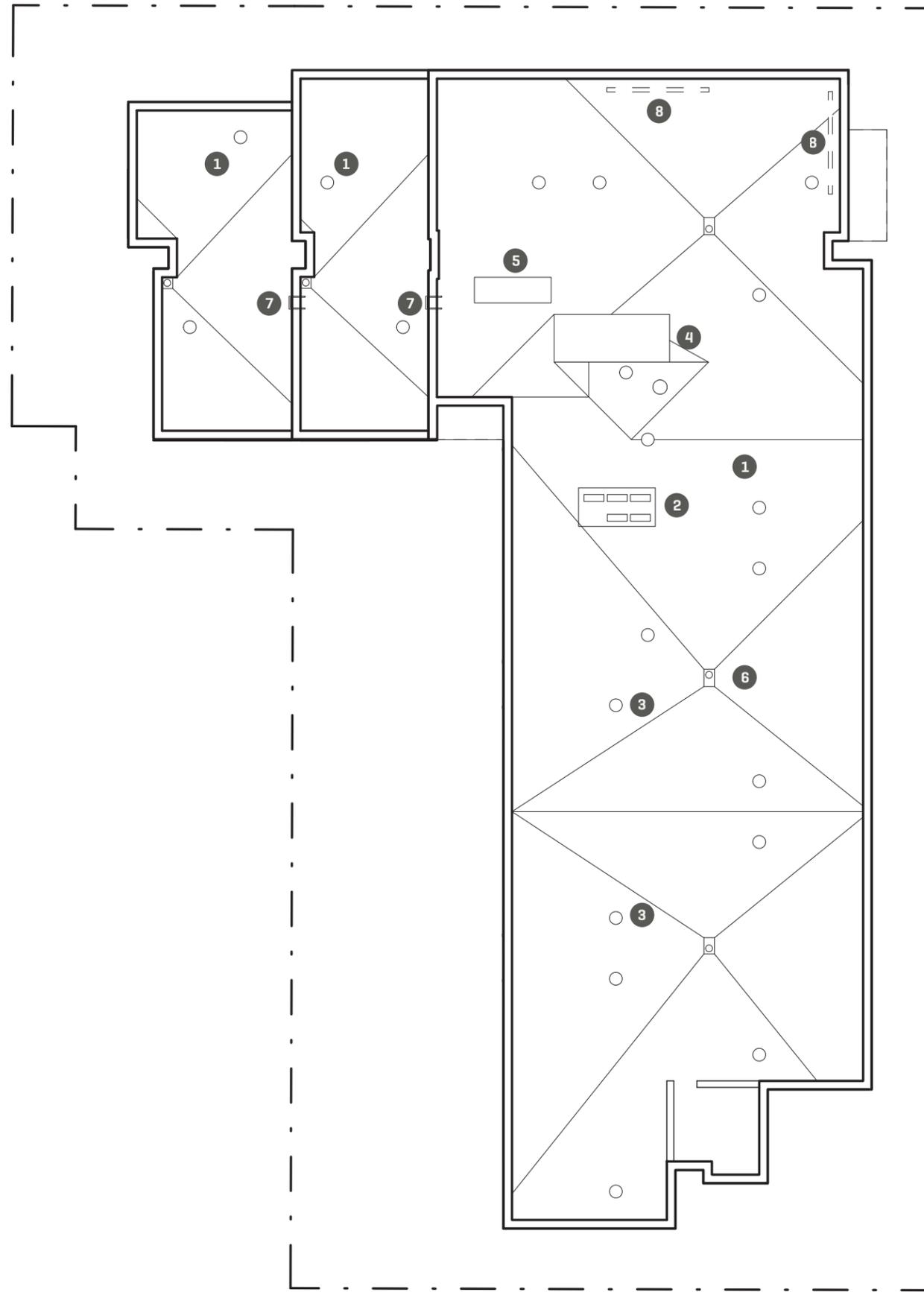




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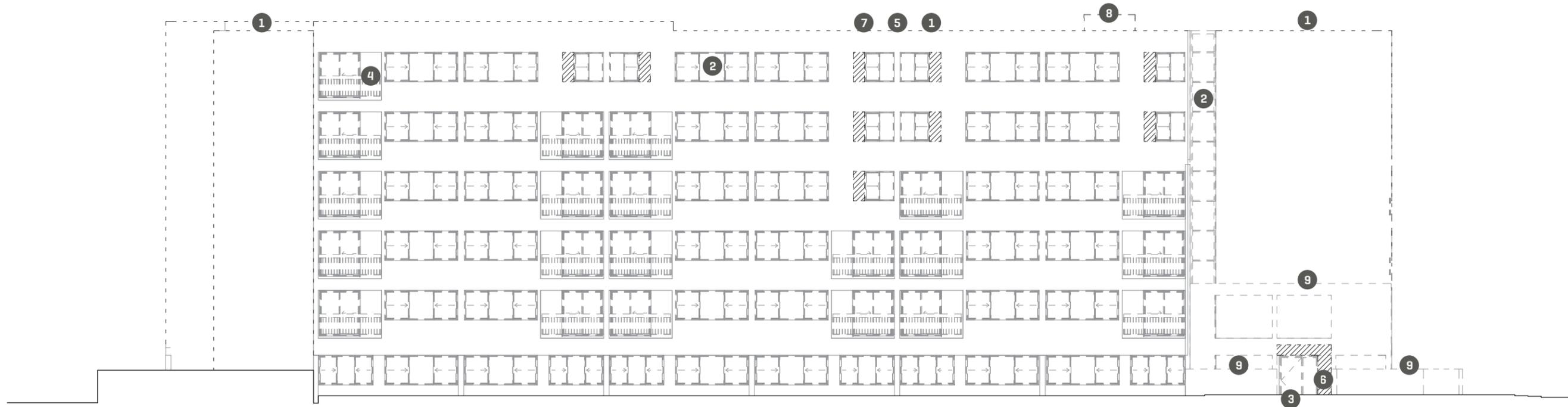
- RESIDENTIAL
- MECH. / B.O.H.





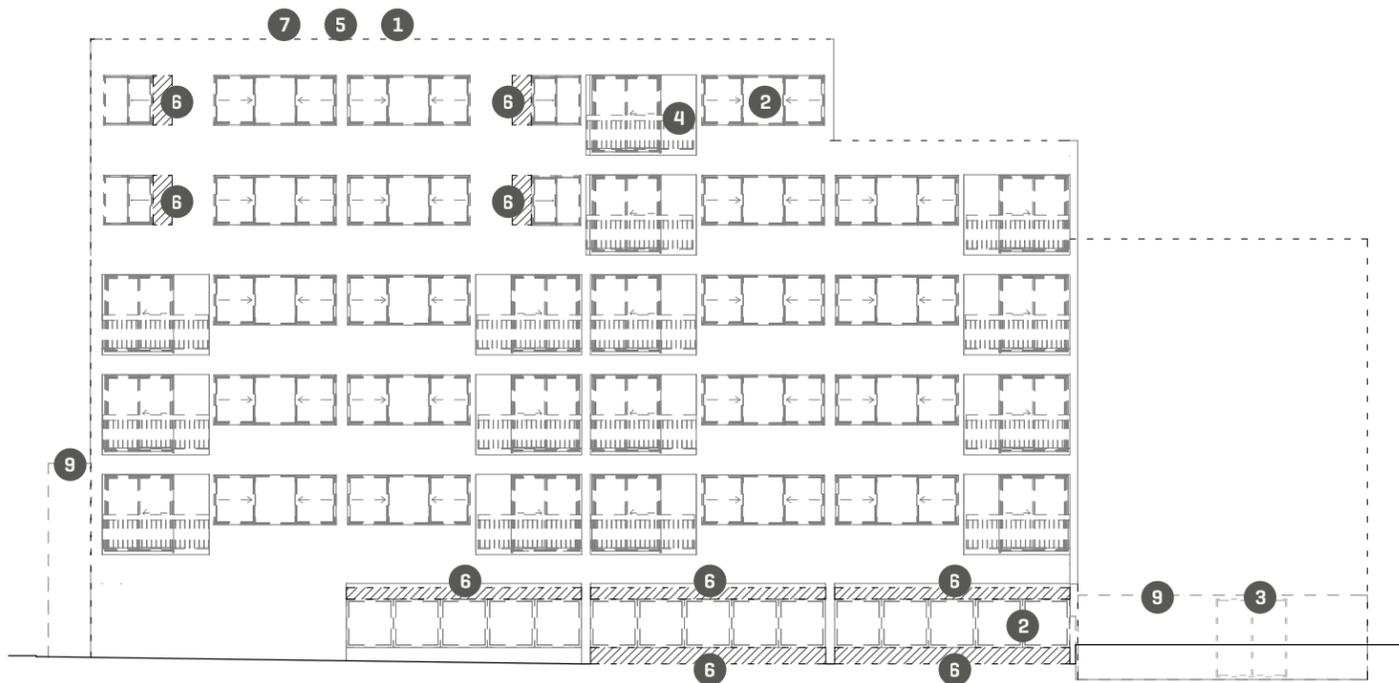
- 1 (N) SBS ROOFING SYSTEM
- 2 (N) HEAT PUMPS
- 3 (E) GRAVITY EXHAUST VENT
- 4 (E) ELEVATOR PENTHOUSE
- 5 (E) ROOF SCUTTLE
- 6 (E) ROOF DRAIN
- 7 (E) ROOF LADDER
- 8 (E) VERIZON EQUIPMENT





### DEMOLITION EAST ELEVATION

SCALE: 1/16" = 1'-0"

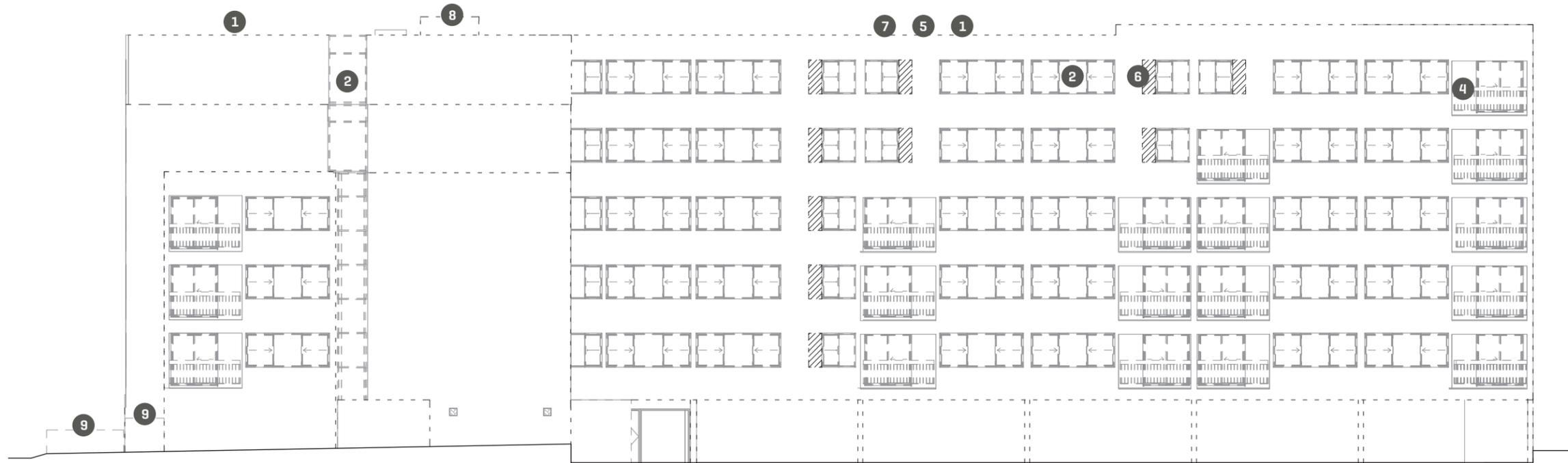


### DEMOLITION NORTH ELEVATION

SCALE: 1/16" = 1'-0"

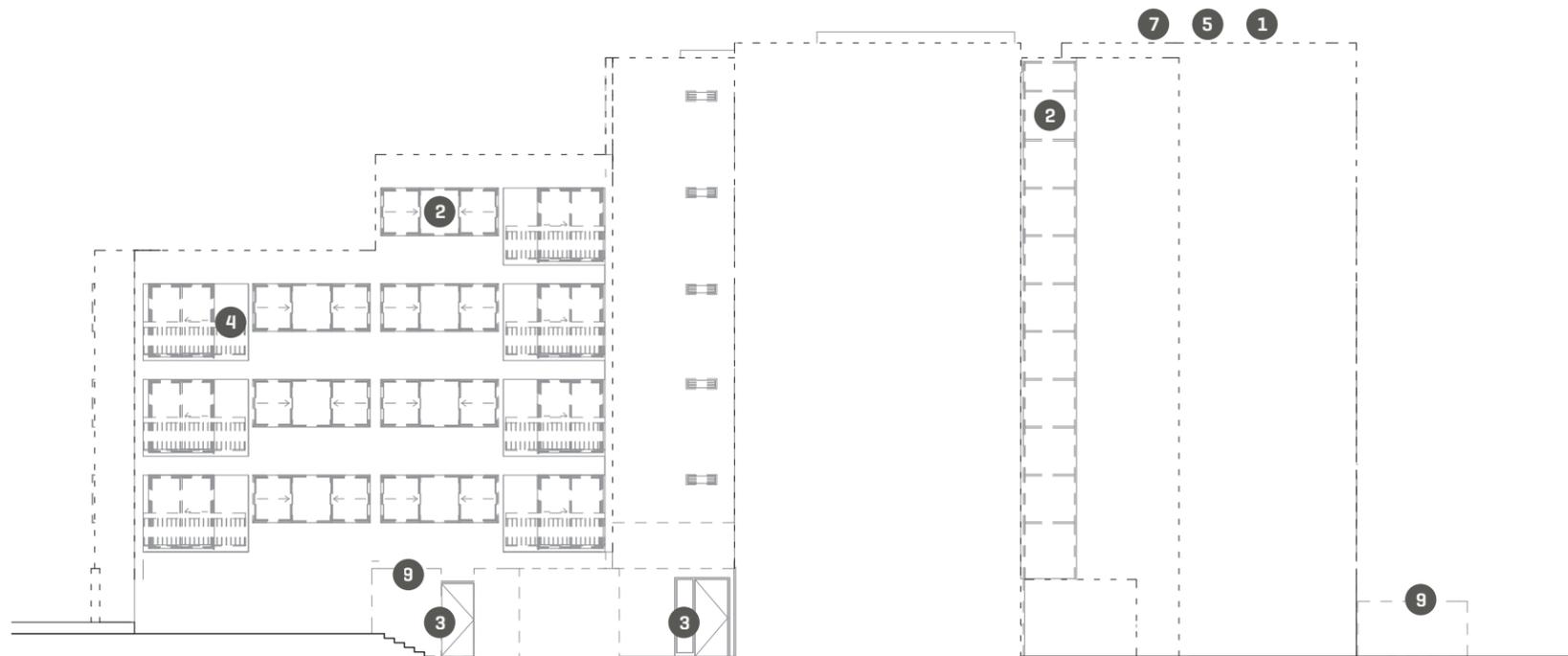
#### KEYNOTES

- ① Exterior Cladding: Remove exterior wall cladding, including lath, all fasteners, exterior insulation, sheathing, batt insulation from stud cavities. Existing metal framing, CMU and/or concrete to remain, unless noted otherwise.
- ② Windows: Remove window units, storefront system or curtainwall and associated flashings and fasteners.
- ③ Doors: Remove door, frame and all associated hardware and anchors.
- ④ Balconies: Remove guardrail and associated fasteners, sliding doors and associated hardware and anchors and balcony sheet metal flashing.
- ⑤ Parapets: Remove sheet metal coping from parapets.
- ⑥ New Opening: Remove portion of wall indicated for enlarged window openings.
- ⑦ Roof: Remove roofing system, including all inclusion, cover boards, and flashings down to existing concrete slab.
- ⑧ Elevator penthouse: Remove all finishes for new cladding and roofing.
- ⑨ Wing wall: Demo entire wing wall, cladding and structure. Prep area where attached to building facade for new scope of work.



## DEMOLITION WEST ELEVATION

SCALE: 1/16" = 1'-0"



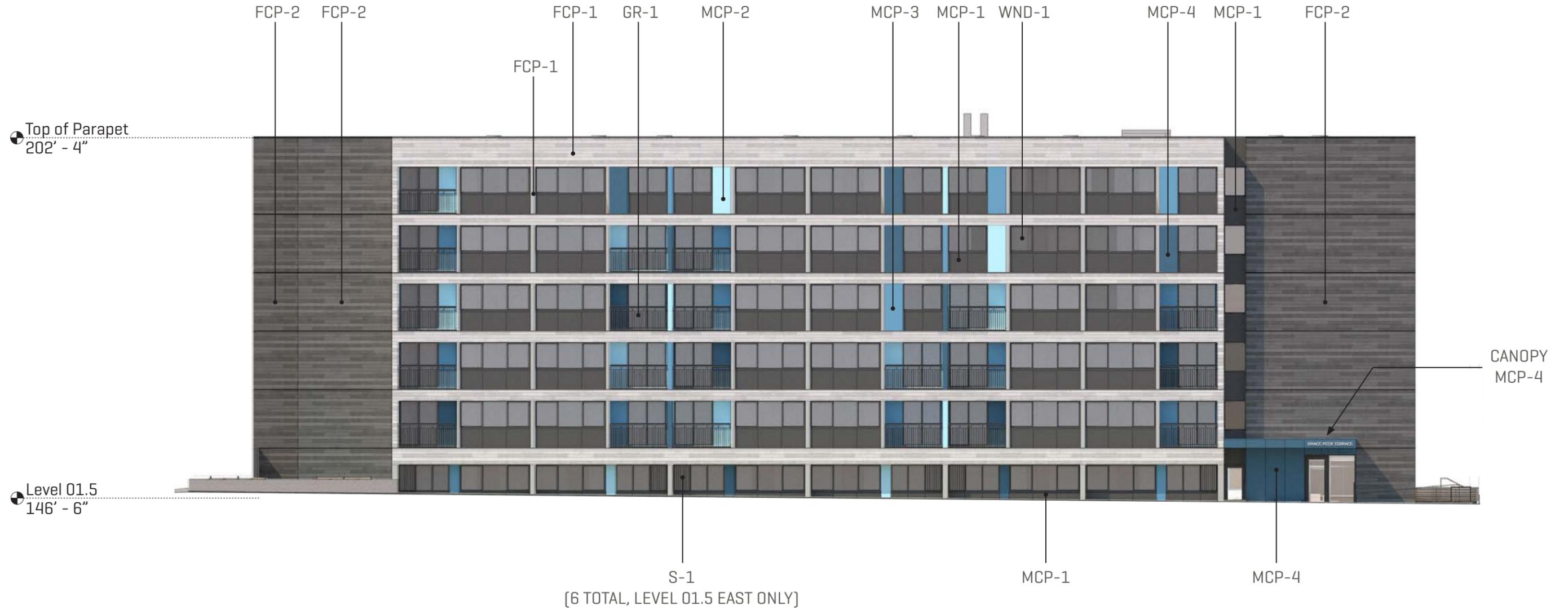
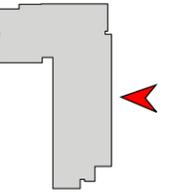
## DEMOLITION SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

### KEYNOTES

- 1 Exterior Cladding: Remove exterior wall cladding, including lath, all fasteners, exterior insulation, sheathing, batt insulation from stud cavities. Existing metal framing, CMU and/or concrete to remain, unless noted otherwise.
- 2 Windows: Remove window units, storefront system or curtainwall and associated flashings and fasteners.
- 3 Doors: Remove door, frame and all associated hardware and anchors.
- 4 Balconies: Remove guardrail and associated fasteners, sliding doors and associated hardware and anchors and balcony sheet metal flashing.
- 5 Parapets: Remove sheet metal coping from parapets.
- 6 New Opening: Remove portion of wall indicated for enlarged window openings.
- 7 Roof: Remove roofing system, including all inclusion, cover boards, and flashings down to existing concrete slab.
- 8 Elevator penthouse: Remove all finishes for new cladding and roofing.
- 9 Wing wall: Demo entire wing wall, cladding and structure. Prep area where attached to building facade for new scope of work.

EAST



**FCP-1**  
Oko Skin  
Panel



**FCP-2**  
Oko Skin  
Panel



**MCP-1**  
Aluminum  
Composite  
Metal Panel



**MCP-2**  
Light Blue



**MCP-3**  
Medium Blue



**MCP-4**  
Dark Blue



**WND-1**  
Vinyl Window



**SF-1**  
Aluminum  
Storefront



**GR-1**  
Guardrail



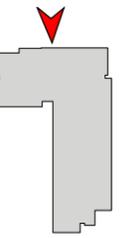
**S-1**  
Security  
Screens



**P-1**  
High-  
Performance  
Paint



NORTH



1  
C.22

FCP-1 MCP-2 WND-1 MCP-3 GR-1 FCP-2 MCP-4 FCP-2

MCP-1 FCP-1 WND-1 \*

Top of Parapet  
202' - 4"

CANOPY  
MCP-4

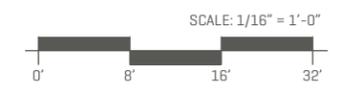
Level 01.5  
146' - 6"

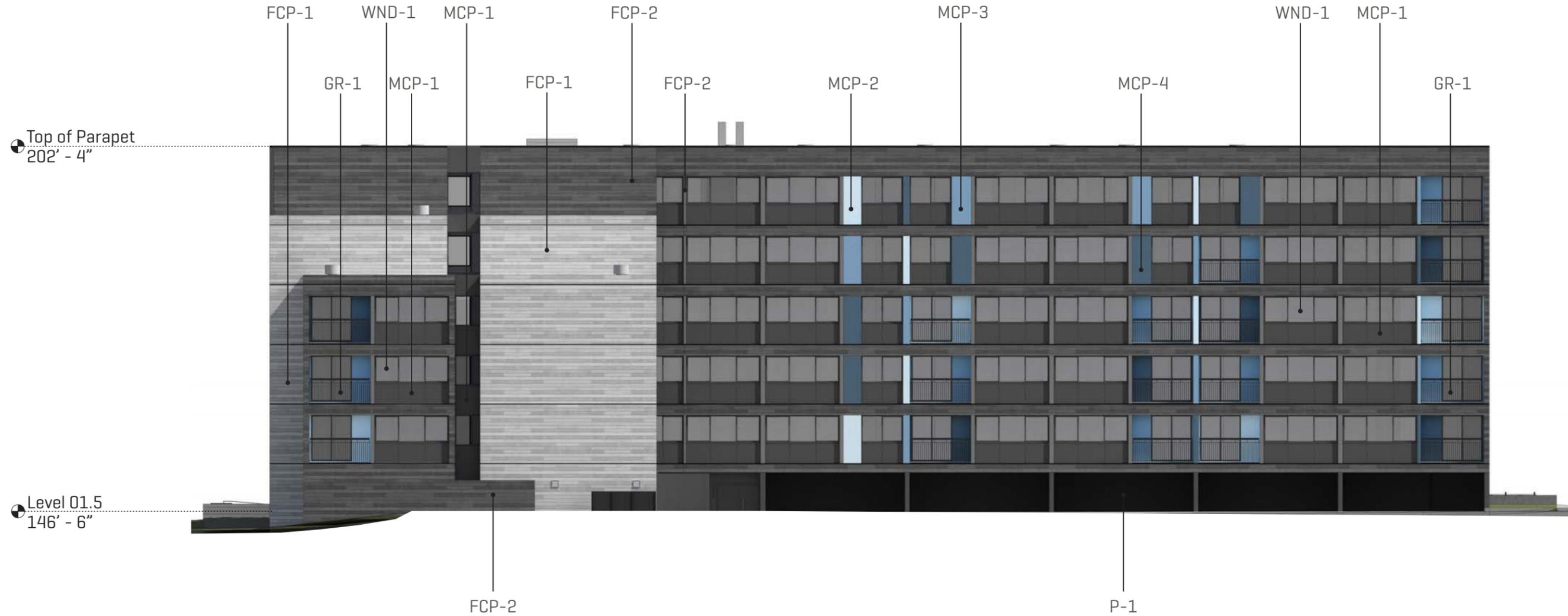
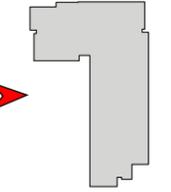
FCP-2 MCP-1 SF-1 SF-1 SF-1 FCP-2



**FCP-1** Oko Skin Panel  
**FCP-2** Oko Skin Panel  
**MCP-1** Aluminum Composite Metal Panel  
**MCP-2** Light Blue  
**MCP-3** Medium Blue  
**MCP-4** Dark Blue  
**WND-1** Vinyl Window  
**SF-1** Aluminum Storefront  
**GR-1** Guardrail  
**S-1** Security Screens  
**P-1** High-Performance Paint

\* NEW WND-1 UTILIZES EXISTING WALL OPENING. REF DEMO ELEVATION, C.10.





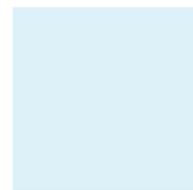
**FCP-1**  
Oko Skin  
Panel



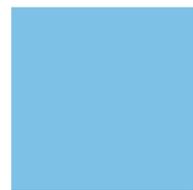
**FCP-2**  
Oko Skin  
Panel



**MCP-1**  
Aluminum  
Composite  
Metal Panel



**MCP-2**  
Light Blue



**MCP-3**  
Medium Blue



**MCP-4**  
Dark Blue



**WND-1**  
Vinyl Window



**SF-1**  
Aluminum  
Storefront



**GR-1**  
Guardrail



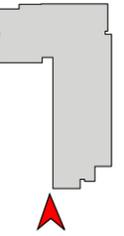
**S-1**  
Security  
Screens



**P-1**  
High-  
Performance  
Paint

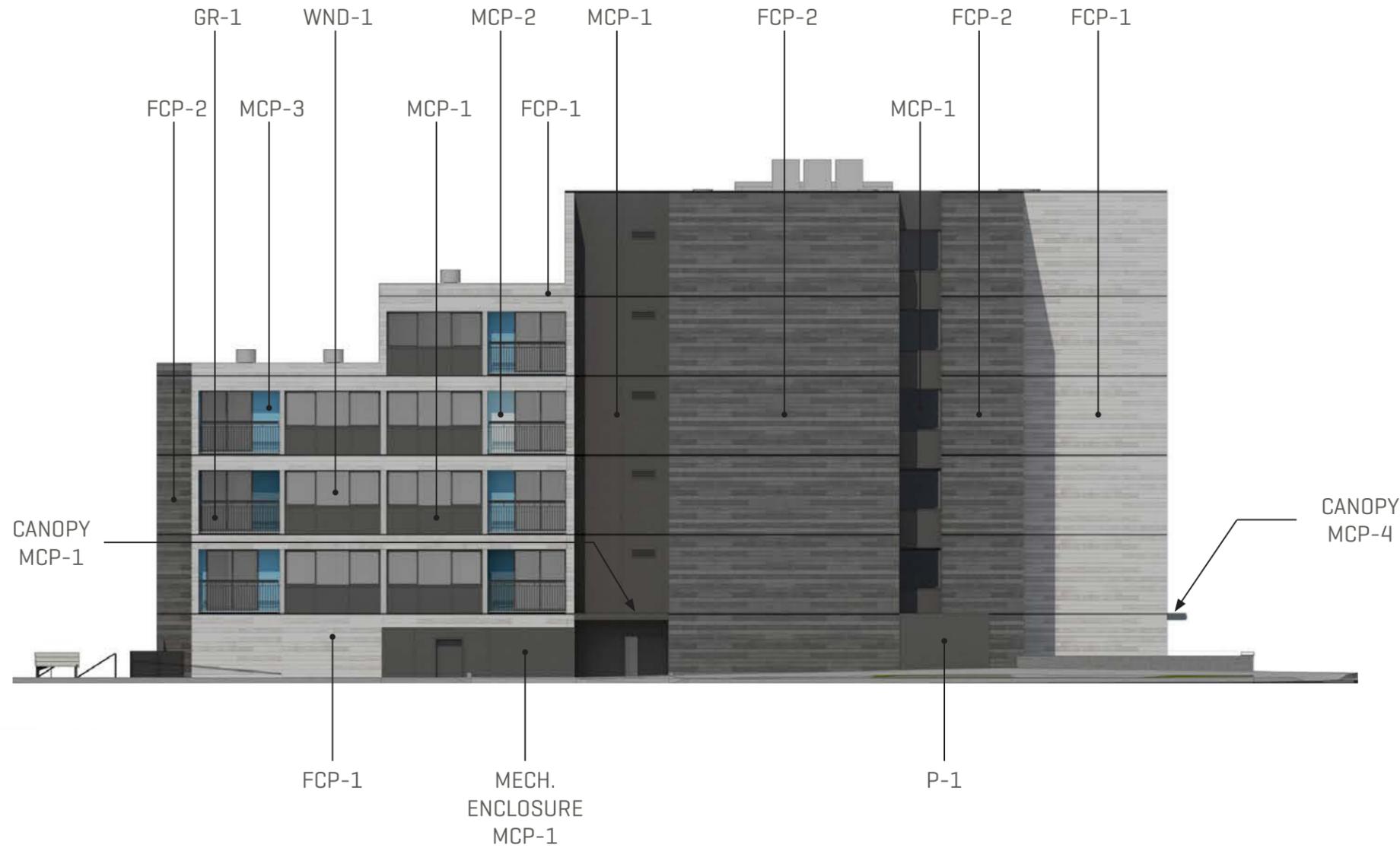


SOUTH



Top of Parapet  
202' - 4"

Level 01.5  
146' - 6"



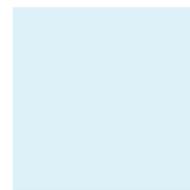
**FCP-1**  
Okoskin  
Panel



**FCP-2**  
Okoskin  
Panel



**MCP-1**  
Aluminum  
Composite  
Metal Panel



**MCP-2**  
Light Blue



**MCP-3**  
Medium Blue



**MCP-4**  
Dark Blue



**WND-1**  
Vinyl Window



**SF-1**  
Aluminum  
Storefront



**GR-1**  
Guardrail



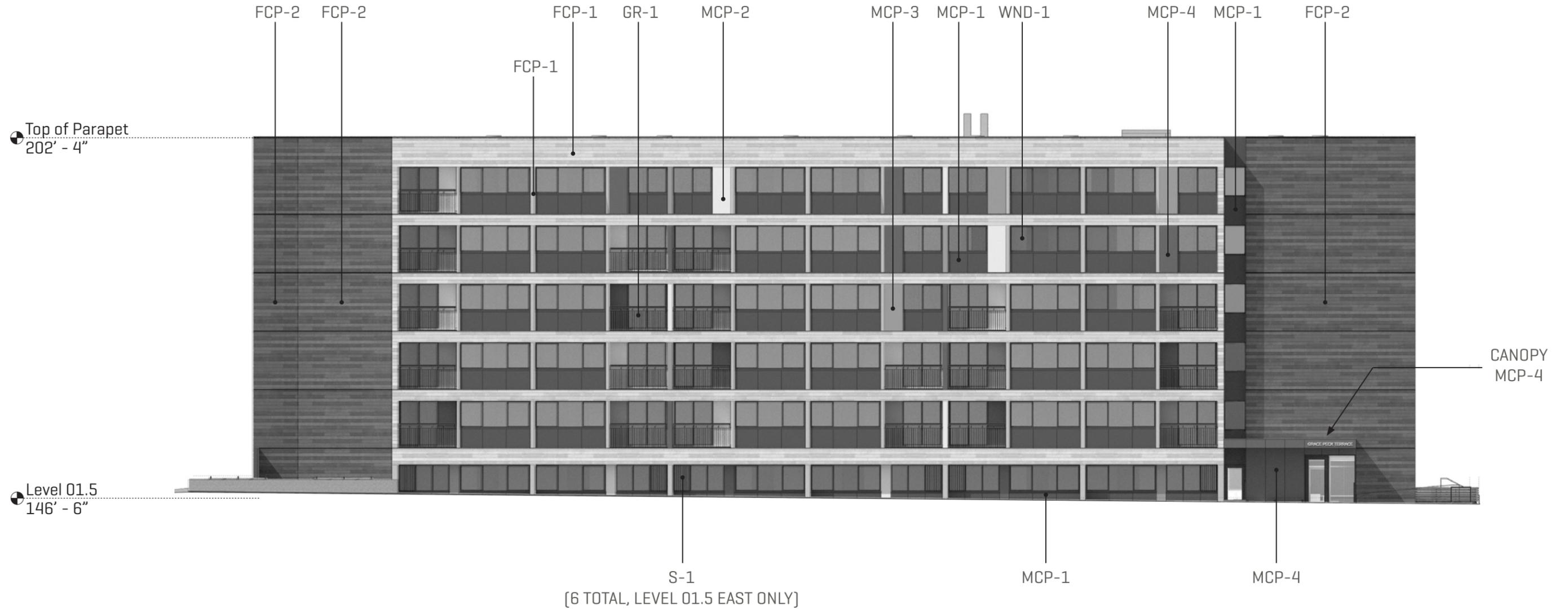
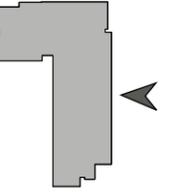
**S-1**  
Security  
Screens



**P-1**  
High-  
Performance  
Paint



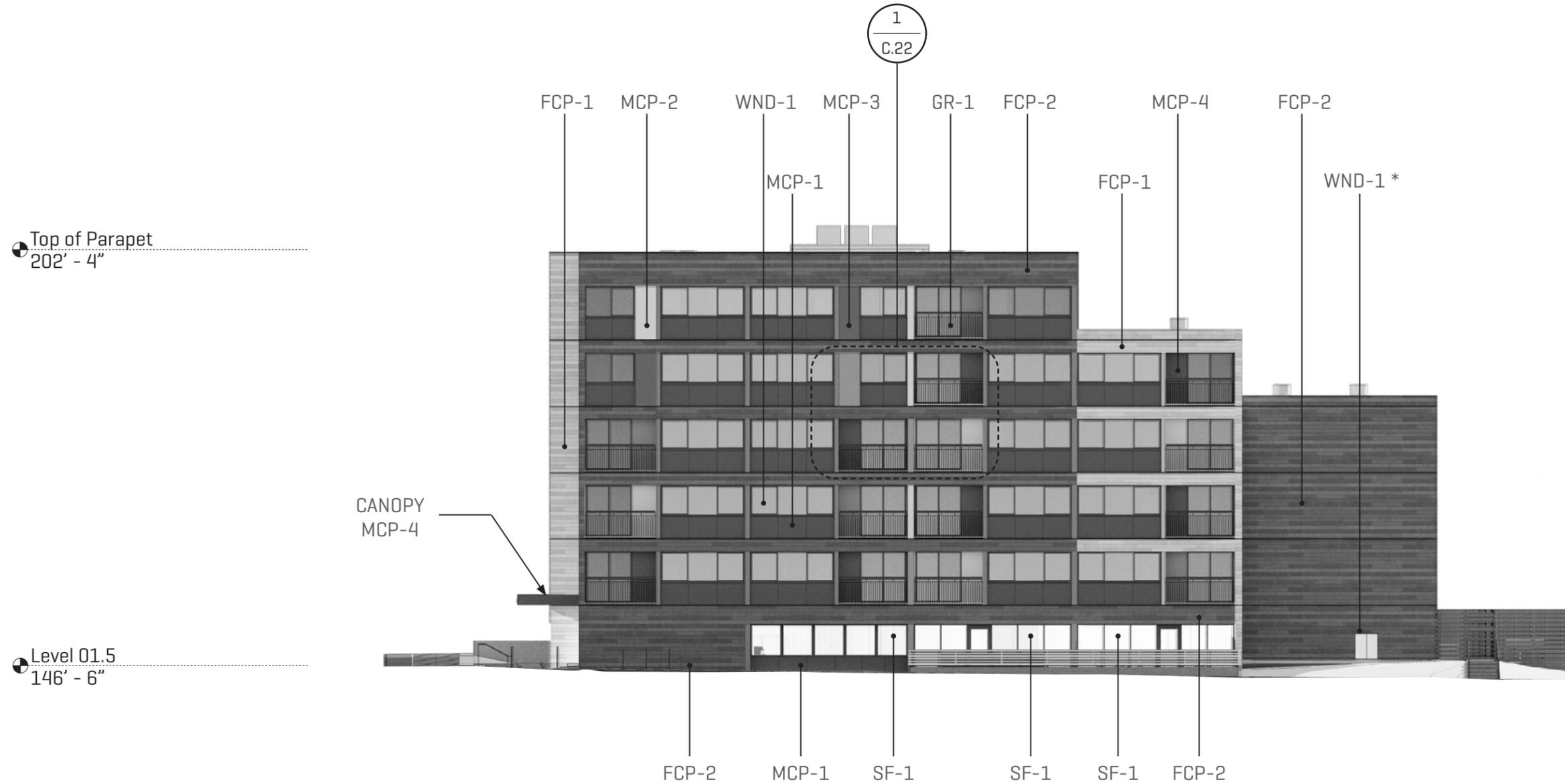
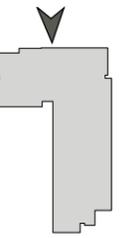
EAST



LEGEND			
FCP-1	Oko Skin Panel [Off-white]	MCP-4	Metal Composite Panel [Dark Blue]
FCP-2	Oko Skin Panel [Silver gray]	P-1	High-Performance Paint
GR-1	Guardrail	S-1	Security Screens
MCP-1	Metal Composite Panel [Gray]	SF-1	Aluminum Storefront
MCP-2	Metal Composite Panel [Light Blue]	WND-1	Commercial Vinyl Window
MCP-3	Metal Composite Panel [Medium Blue]		



NORTH

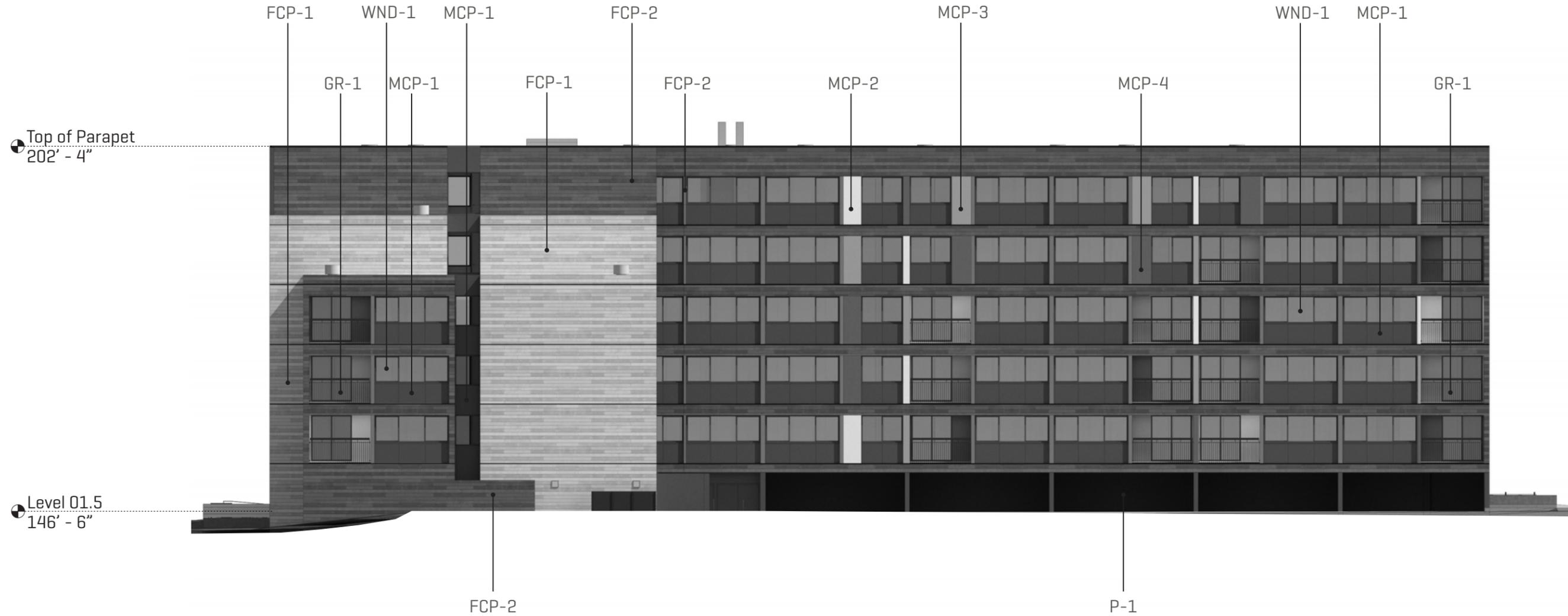
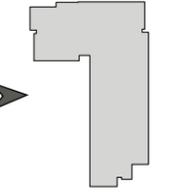


LEGEND			
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GR-1	Guardrail	S-1	Security Screens
MCP-1	Metal Composite Panel [Gray]	SF-1	Aluminum Storefront
MCP-2	Metal Composite Panel [Light Blue]	WND-1	Commercial Vinyl Window
MCP-3	Metal Composite Panel [Medium Blue]		

\* NEW WND-1 UTILIZES EXISTING WALL OPENING. REF DEMO ELEVATION, C.10.



WEST

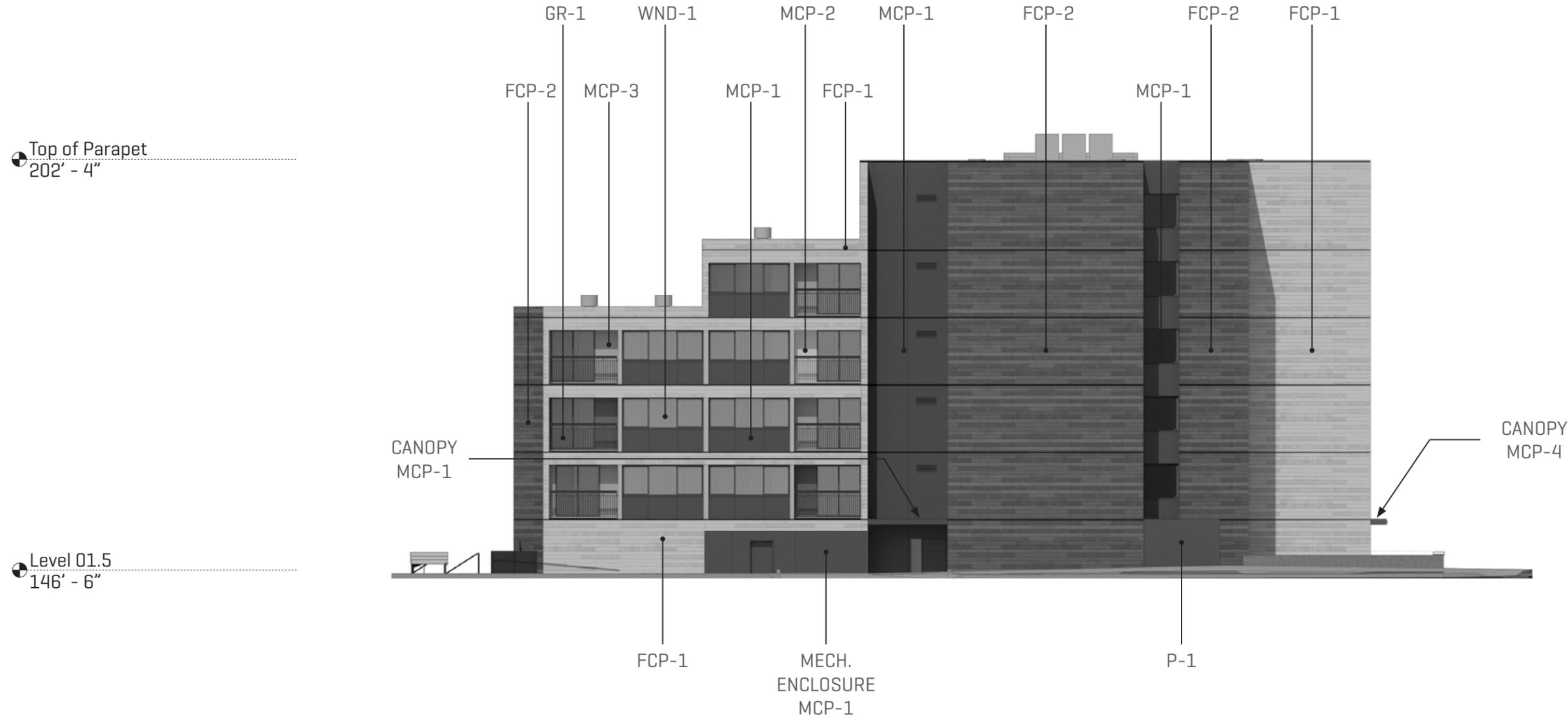
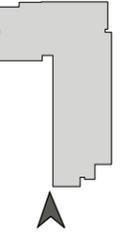


**LEGEND**

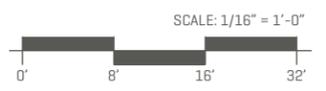
FCP-1	Oko Skin Panel [Off-white]	MCP-4	Metal Composite Panel [Dark Blue]
FCP-2	Oko Skin Panel [Silver gray]	P-1	High-Performance Paint
GR-1	Guardrail	S-1	Security Screens
MCP-1	Metal Composite Panel [Gray]	SF-1	Aluminum Storefront
MCP-2	Metal Composite Panel [Light Blue]	WND-1	Commercial Vinyl Window
MCP-3	Metal Composite Panel [Medium Blue]		



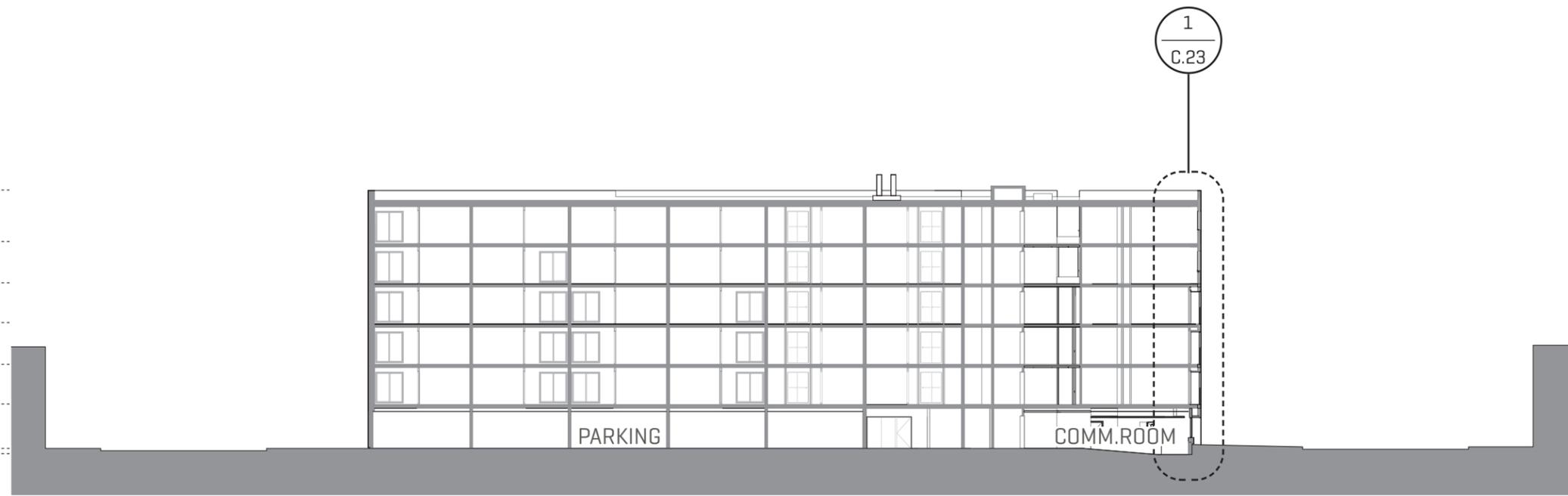
SOUTH



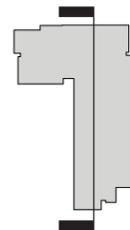
LEGEND			
FCP-1	Oko Skin Panel [Off-white]	MCP-4	Metal Composite Panel [Dark Blue]
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GR-1	Guardrail	S-1	Security Screens
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MCP-2	Metal Composite Panel [Light Blue]	WND-1	Commercial Vinyl Window
MCP-3	Metal Composite Panel [Medium Blue]		



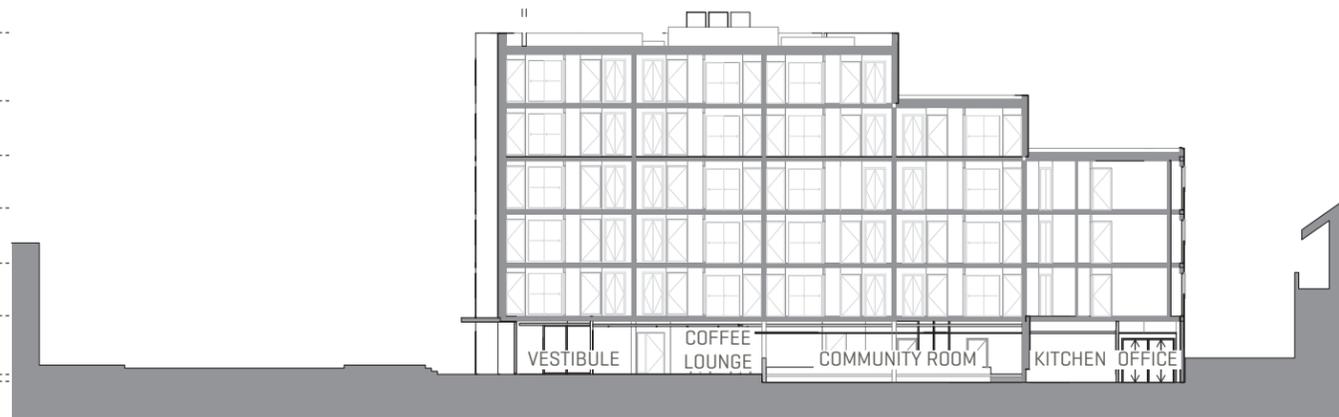
- T.O. Parapet  
202' - 4"
- Level 6  
190' - 10"
- Level 5  
182' - 1 1/2"
- Level 4  
173' - 5"
- Level 3  
164' - 8 1/2"
- Level 2  
156' - 0"
- Level 1.5  
146' - 6"
- Level 1  
145' - 2"



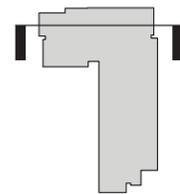
**SECTION N-S**  
SCALE: 1" = 30'-0"

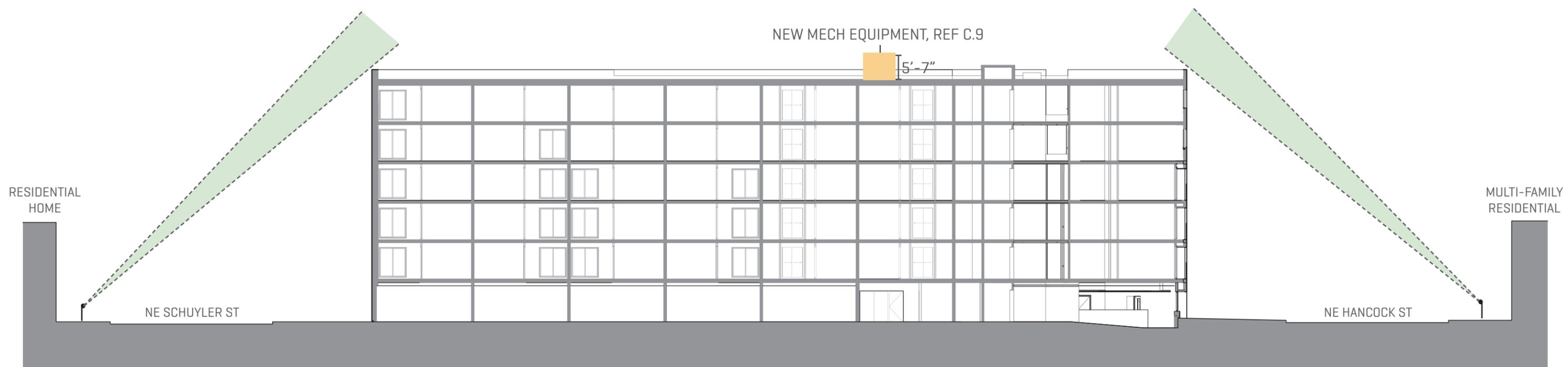


- T.O. Parapet  
202' - 4"
- Level 6  
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- Level 1.5  
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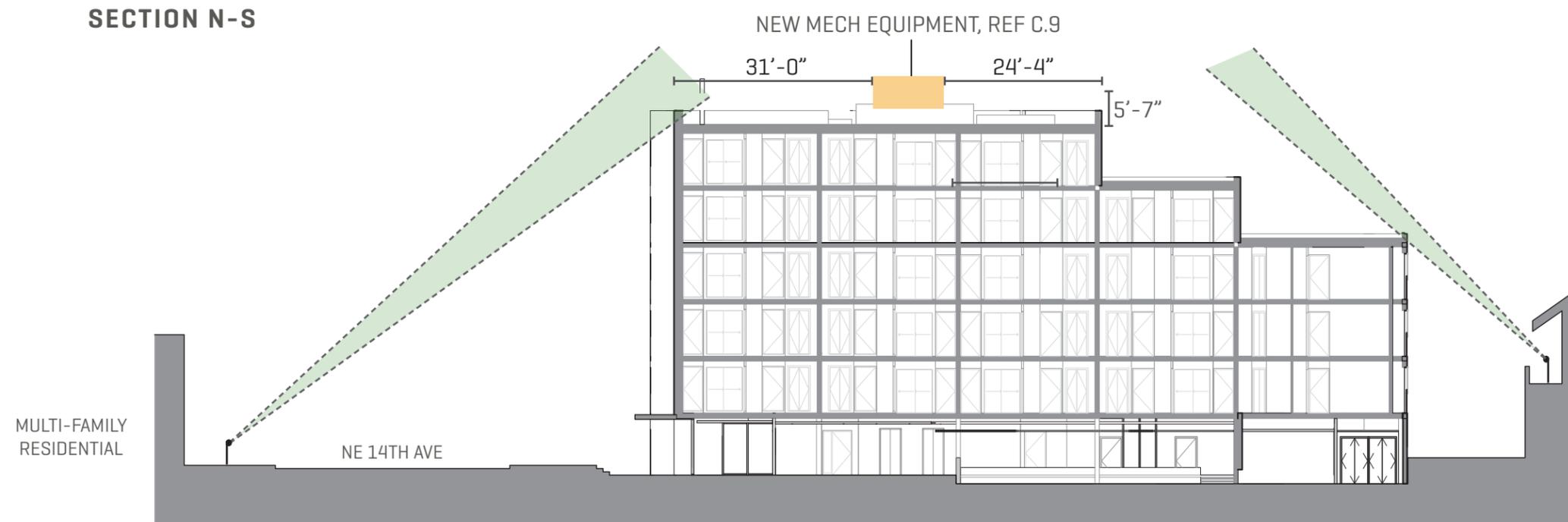


**SECTION E-W**  
SCALE: 1" = 30'-0"

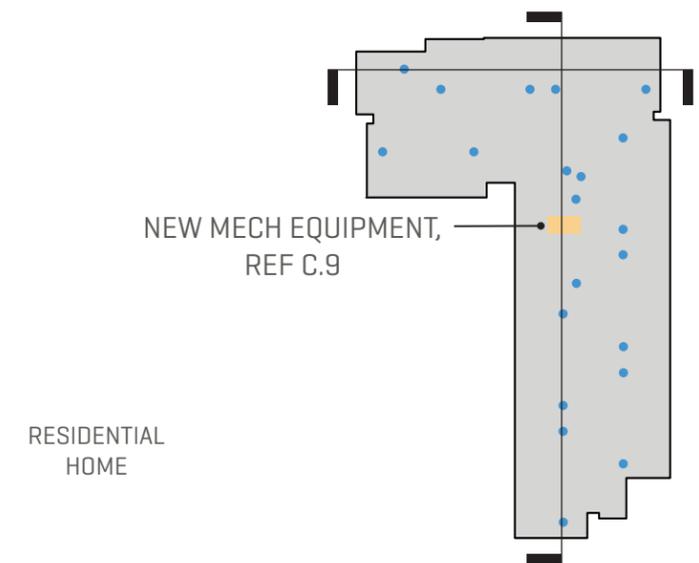




**SECTION N-S**



**SECTION E-W**

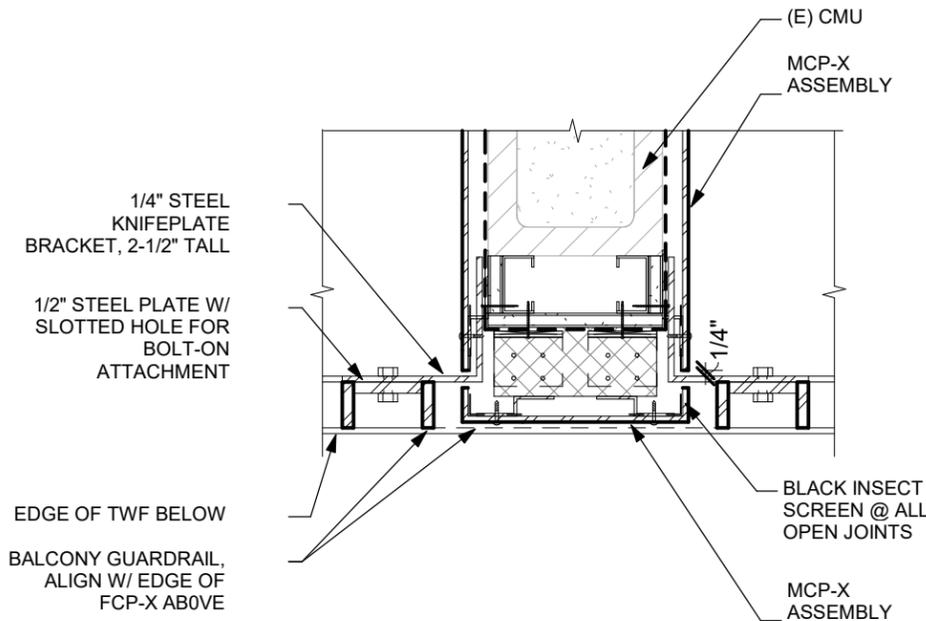


**REFERENCE PLAN**

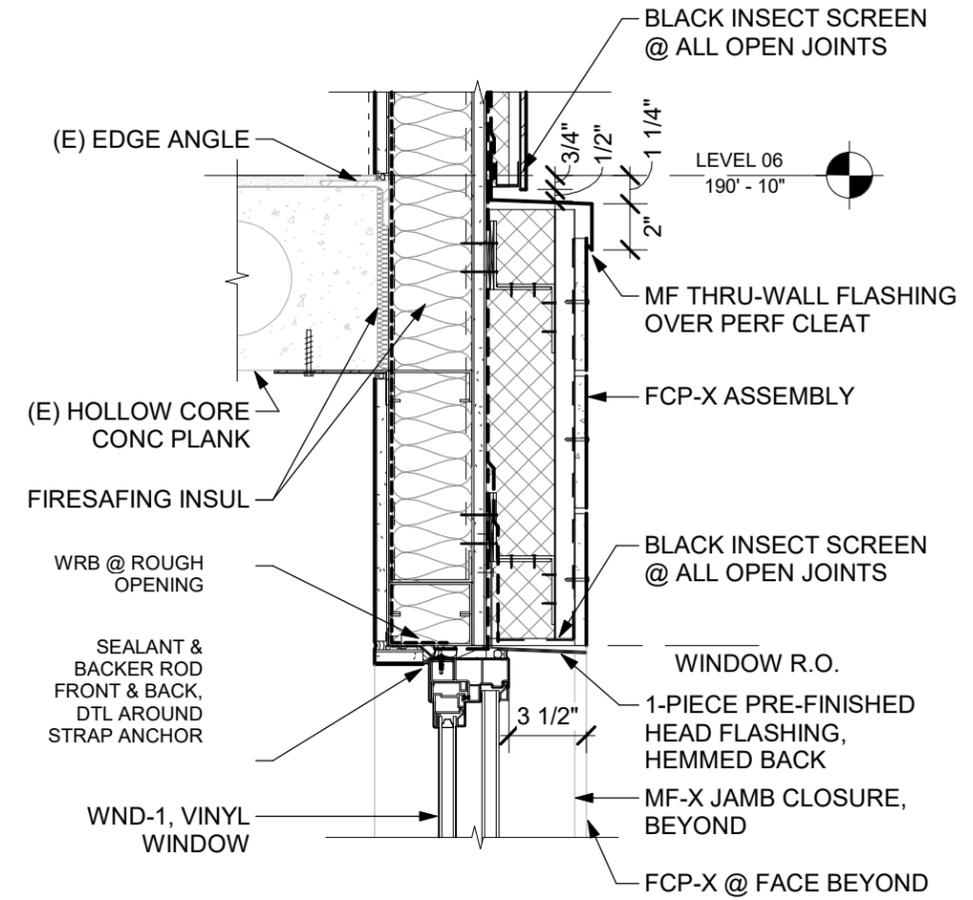
**LEGEND**

- MECHANICAL EQUIPMENT \*
- EXHAUST VENTS
- PEDESTRIAN VIEW ANGLE

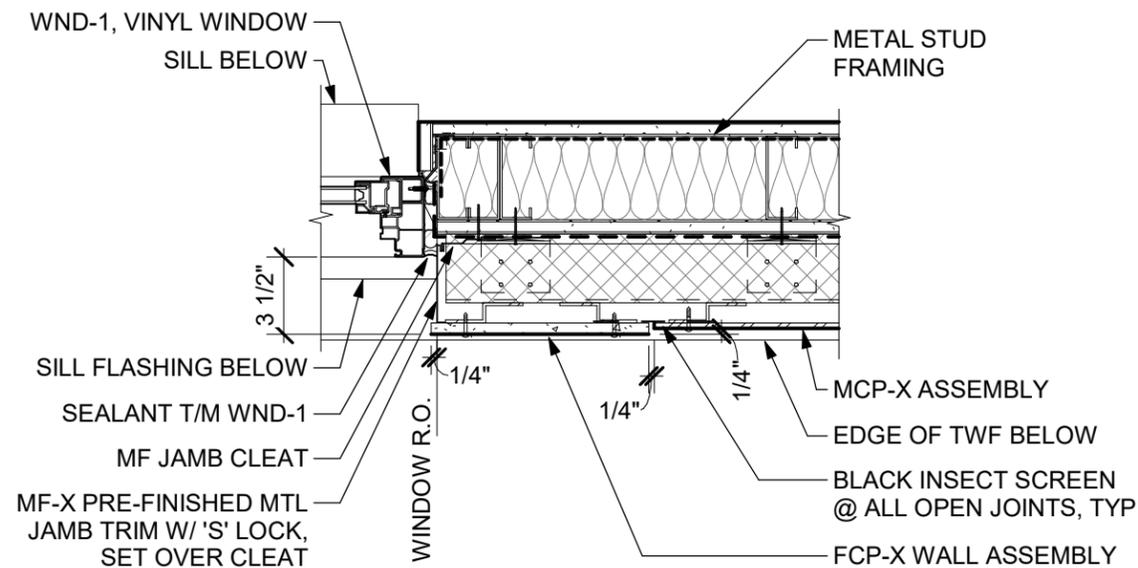
\* PER 33.120.215.C.4.b EQUIPMENT MAY EXTEND UP TO 10' ABOVE HEIGHT LIMIT WHEN SETBACK 15' MIN AT STREET-FACING FACADES.



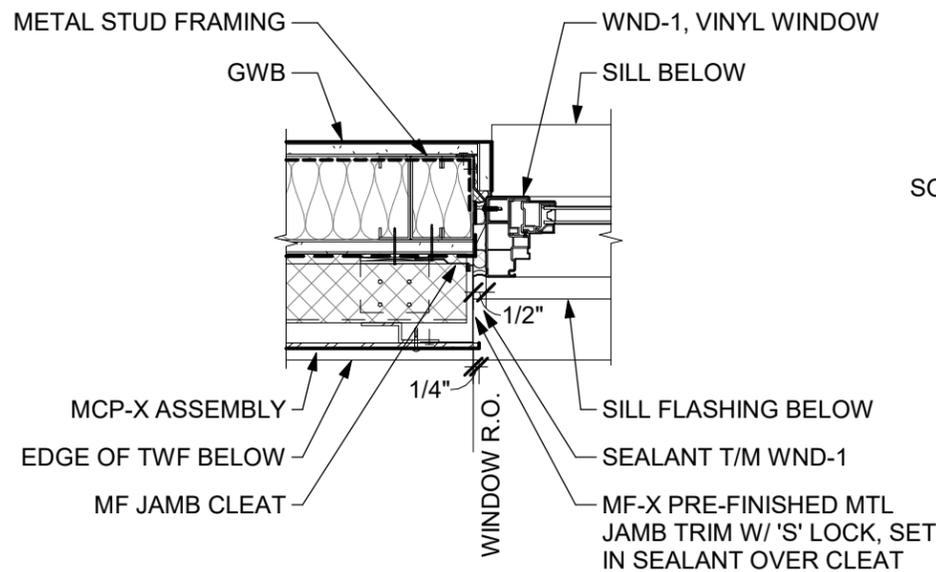
**E TYP MCP-X WING WALL @ BALCONIES**  
SCALE: 1 1/2" = 1'-0"



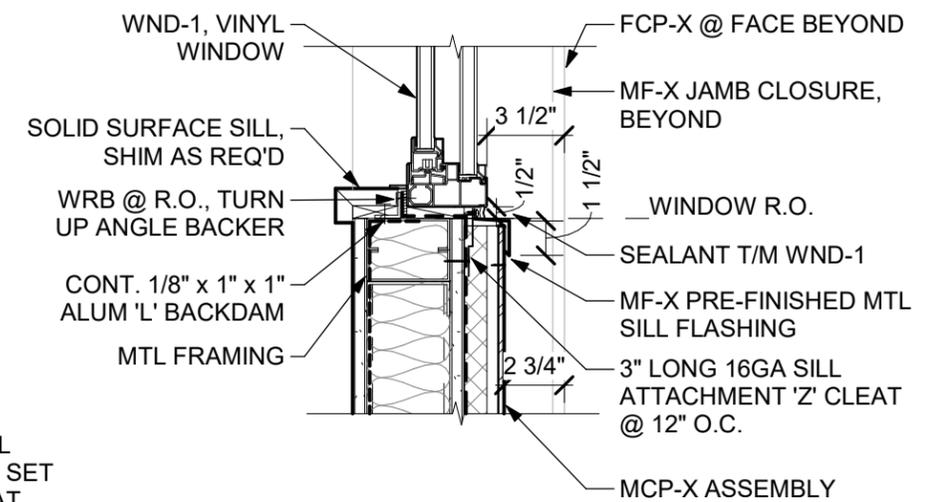
**D TYP WND-1 HEAD @ FCP-X**  
SCALE: 1 1/2" = 1'-0"



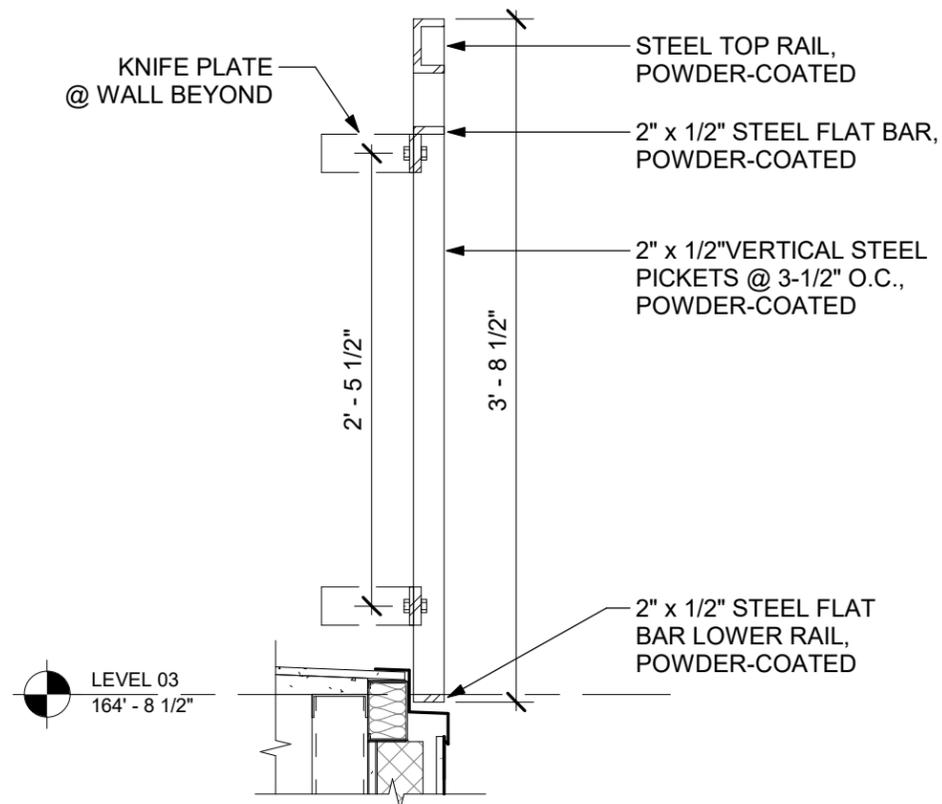
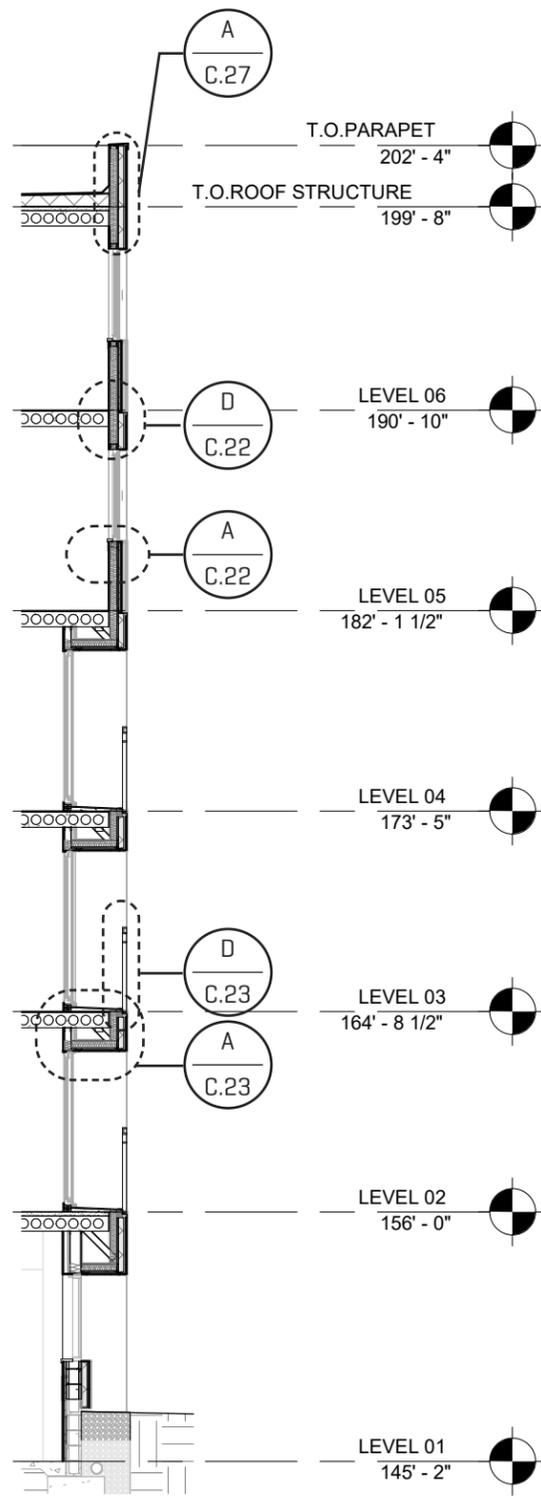
**C TYP WND-1 JAMB @ FCP-X**  
SCALE: 1 1/2" = 1'-0"



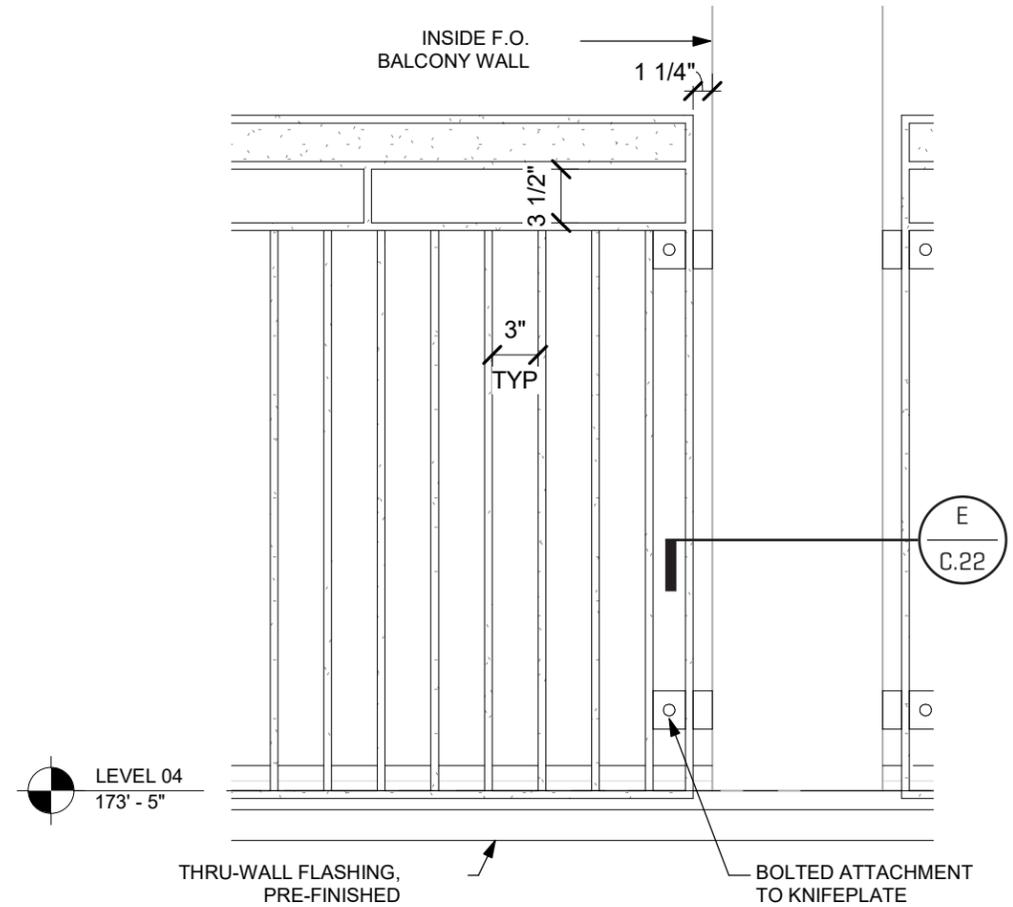
**B TYP WND-1 JAMB @ MCP-X**  
SCALE: 1 1/2" = 1'-0"



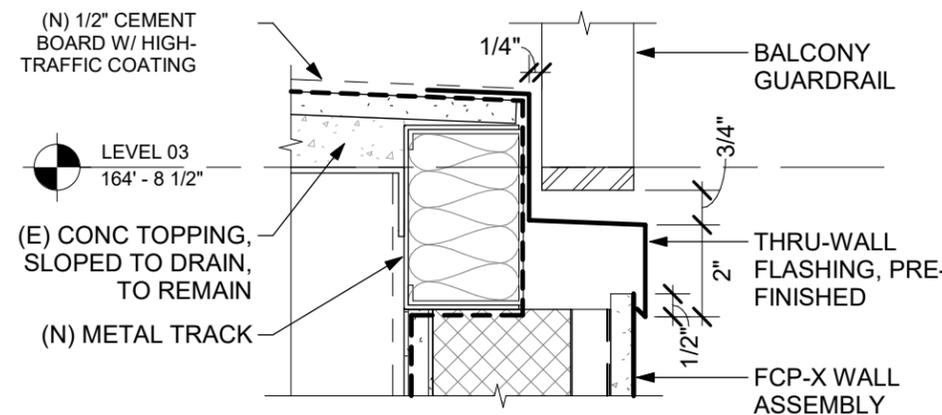
**A TYP WND-1 SILL @ MCP-X**  
SCALE: 1 1/2" = 1'-0"



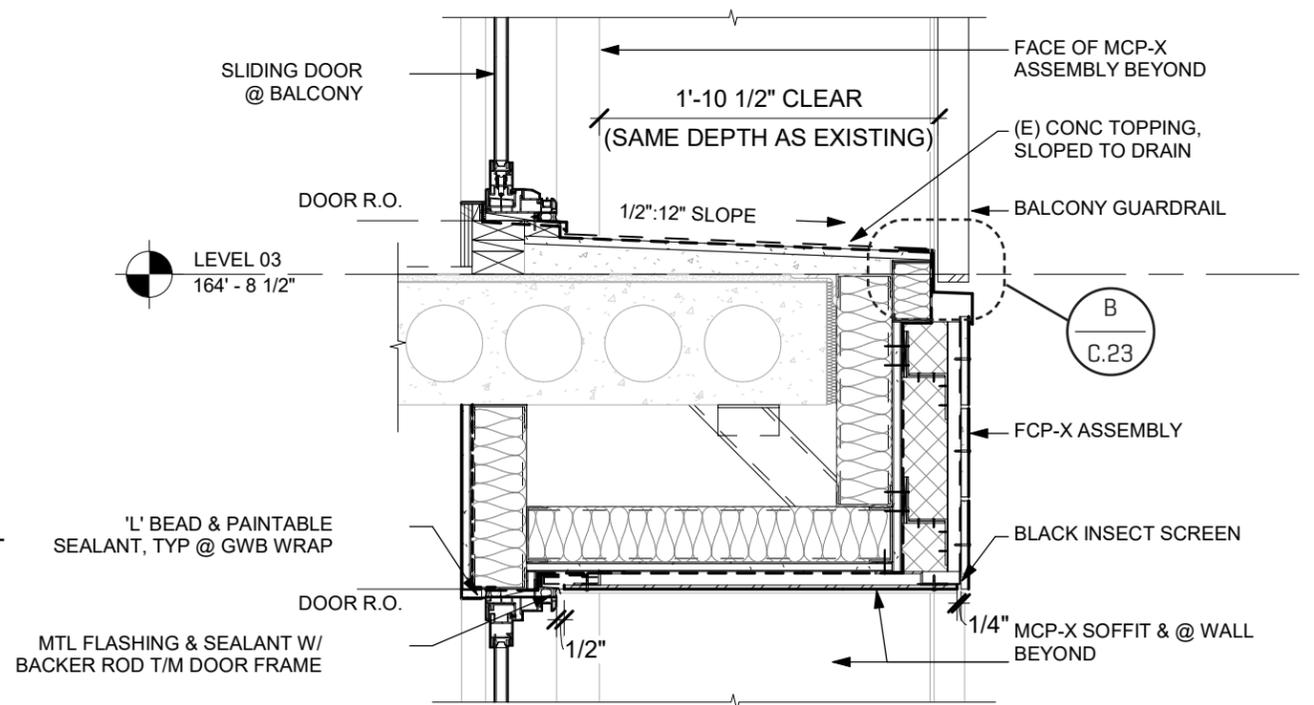
**D BALCONY GUARDRAIL SECTION, TYP**  
SCALE: 1" = 1'-0"



**C BALCONY GUARDRAIL PARTIAL ELEV, TYP**  
SCALE: 1" = 1'-0"

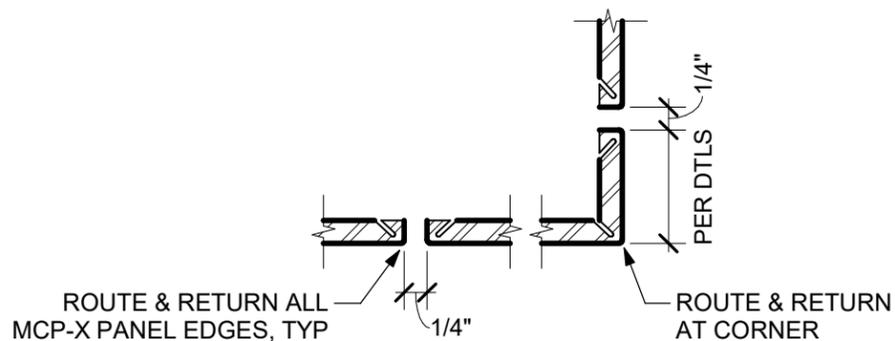


**B THRU WALL FLASHING @ GUARDRAIL, TYP**  
SCALE: 3" = 1'-0"

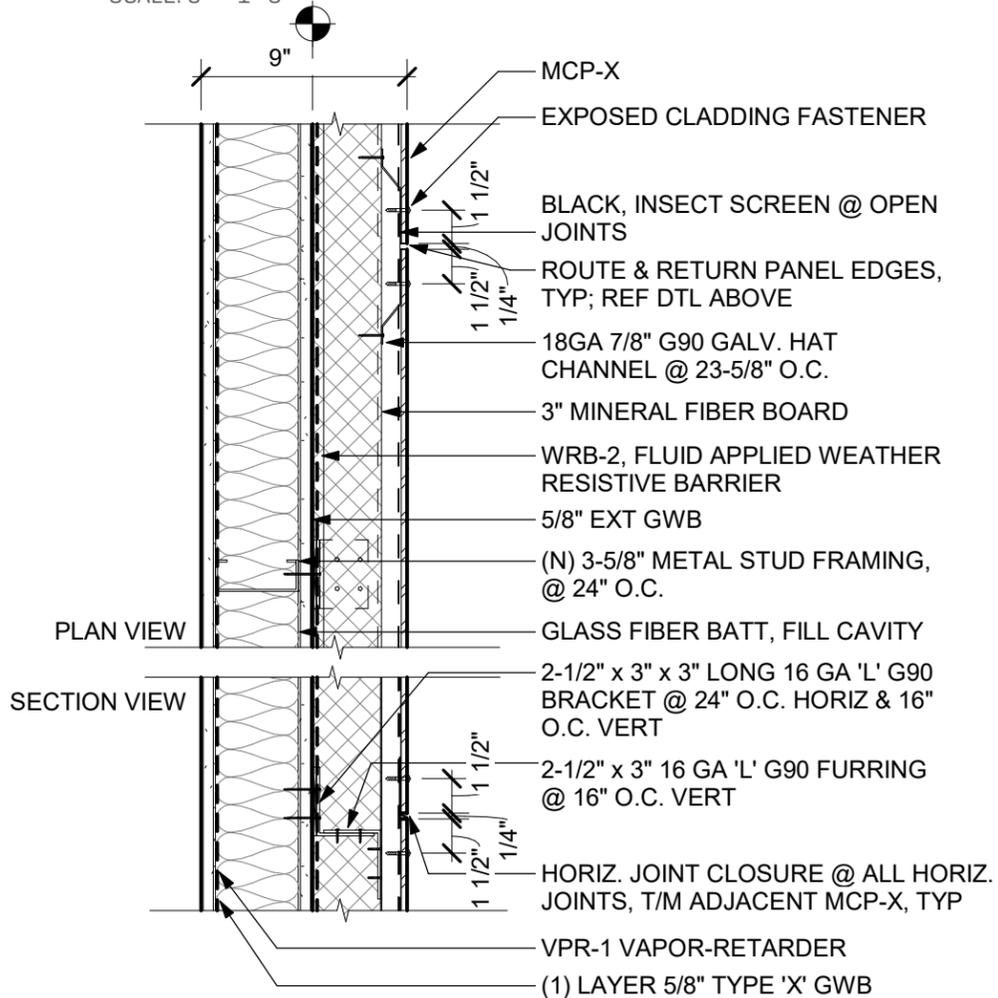


**A BALCONY SOFFIT, TYP**  
SCALE: 1" = 1'-0"

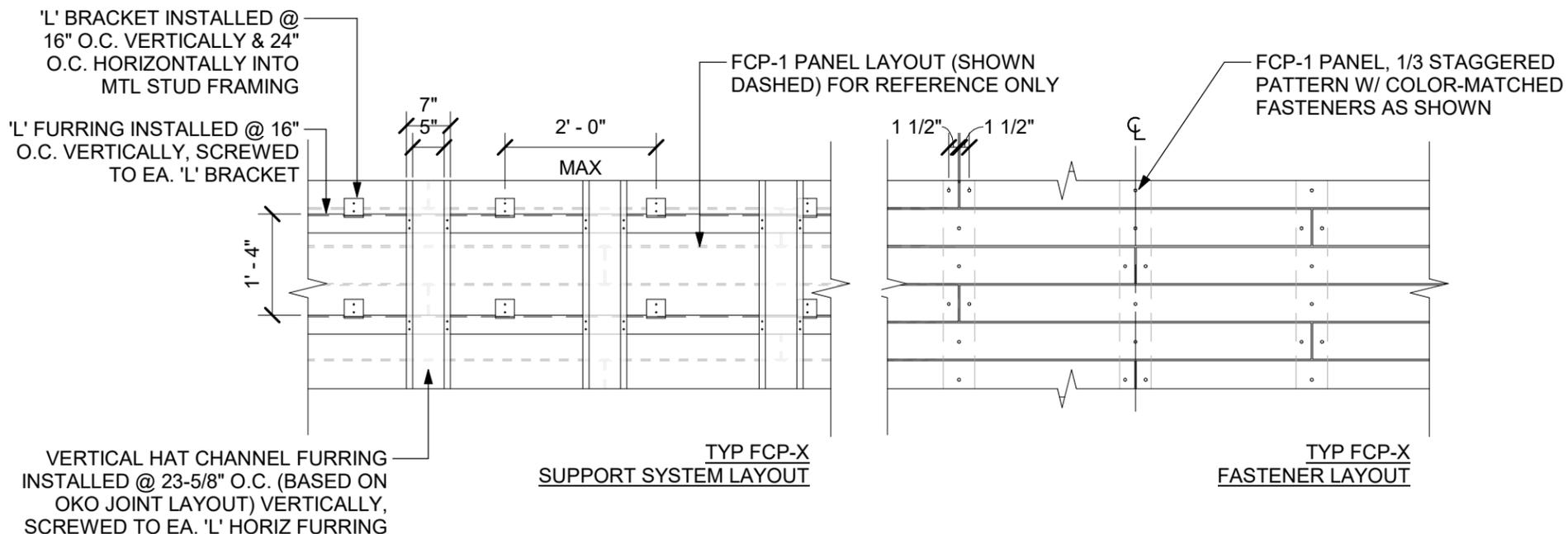
**1 TYP BUILDING SECTION @ BALCONIES**  
SCALE: 1/8" = 1'-0"



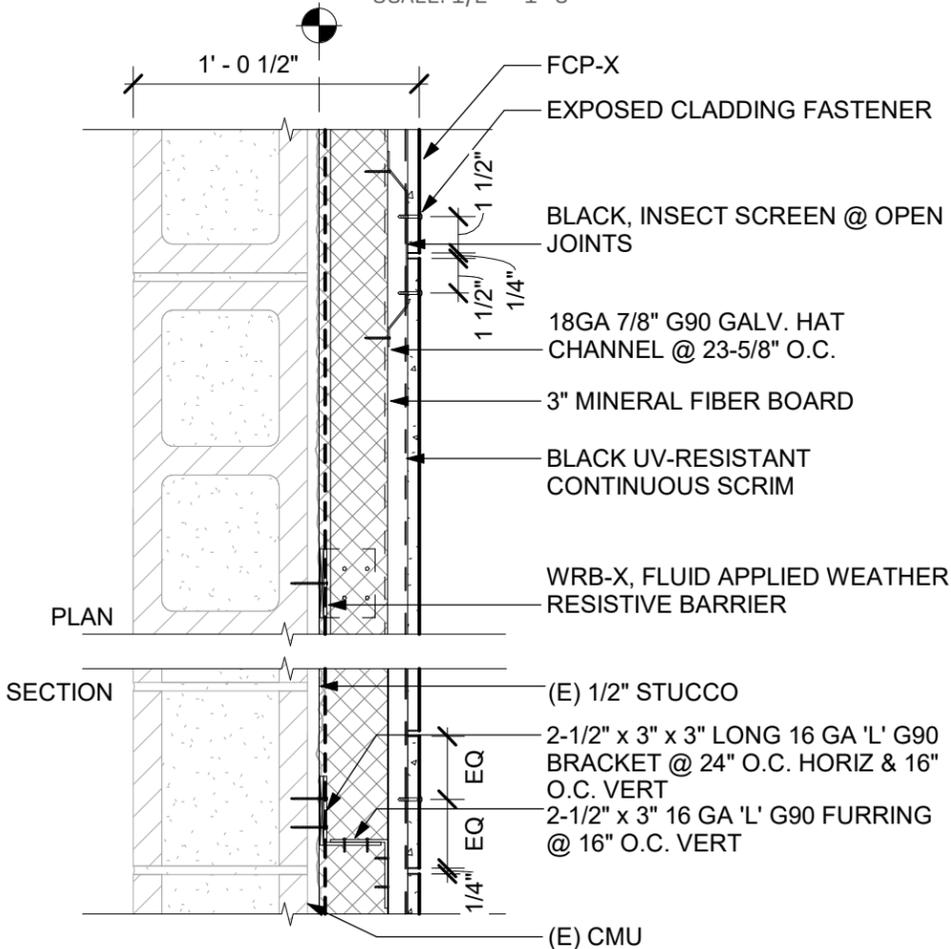
**E** MCP-X PANEL EDGE - ROUTE & RETURN, TYP  
SCALE: 6" = 1'-0"



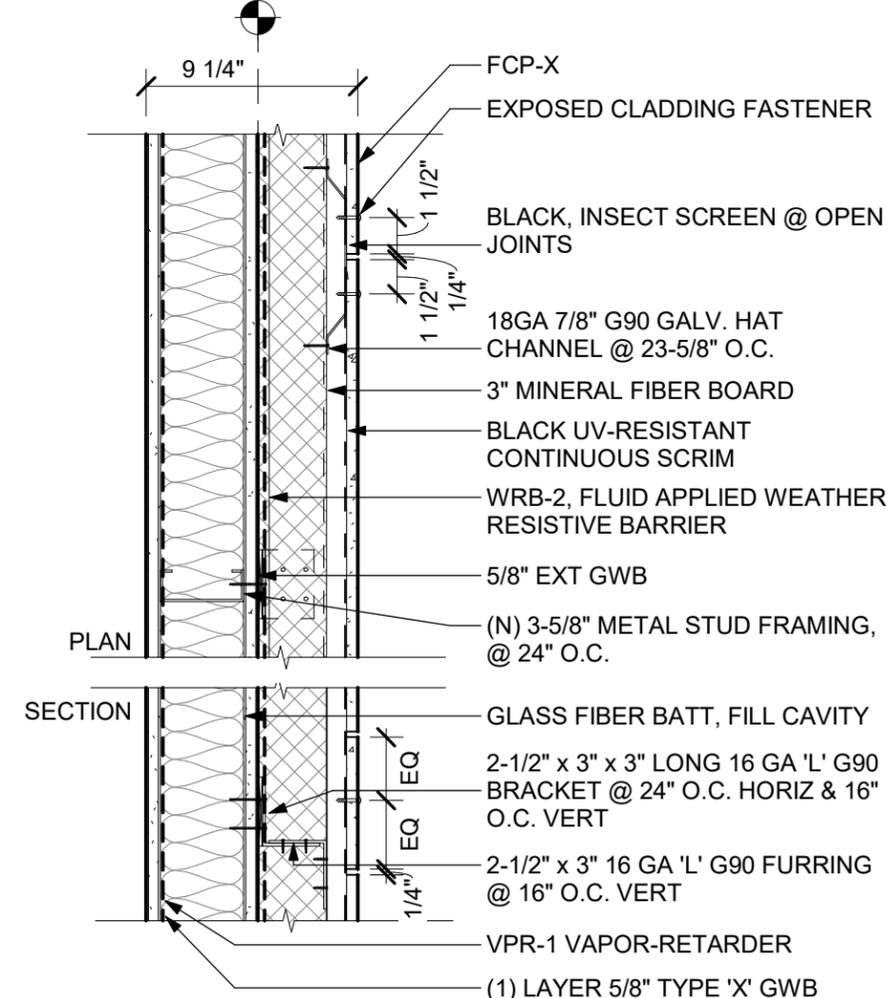
**C** MCP-X WALL ASSEMBLY @ (N) METAL FRAMING  
SCALE: 1 1/2" = 1'-0"



**D** FCP-X PANEL LAYOUT, TYP  
SCALE: 1/2" = 1'-0"



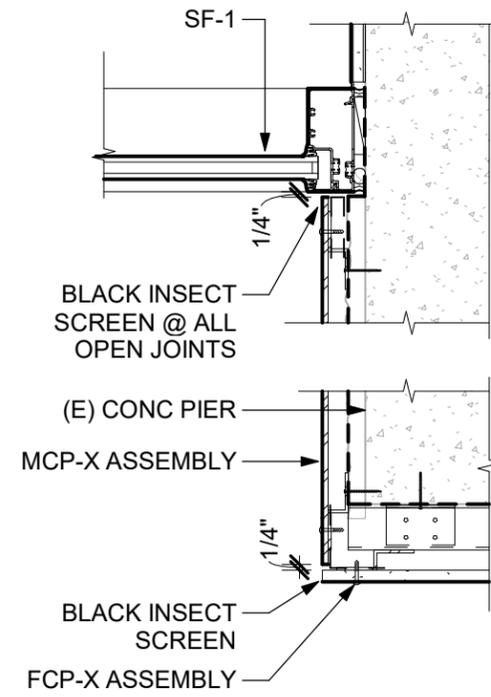
**B** FCP-X WALL ASSEMBLY @ (E) CMU  
SCALE: 1 1/2" = 1'-0"



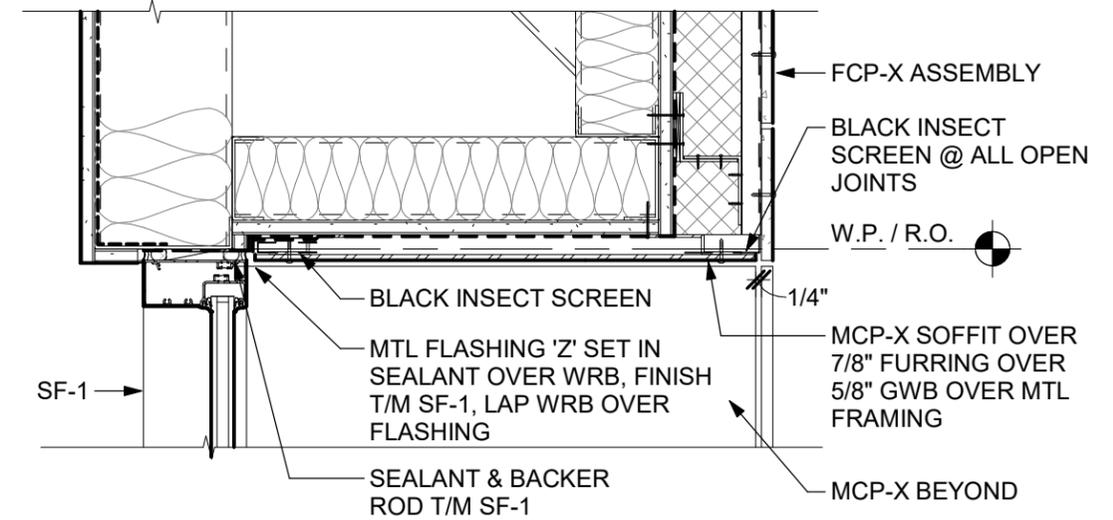
**A** FCP-X WALL ASSEMBLY @ (N) METAL FRAMING  
SCALE: 1 1/2" = 1'-0"



2 RENDERING OF NORTH TERRACE & SF-1 STOREFRONT



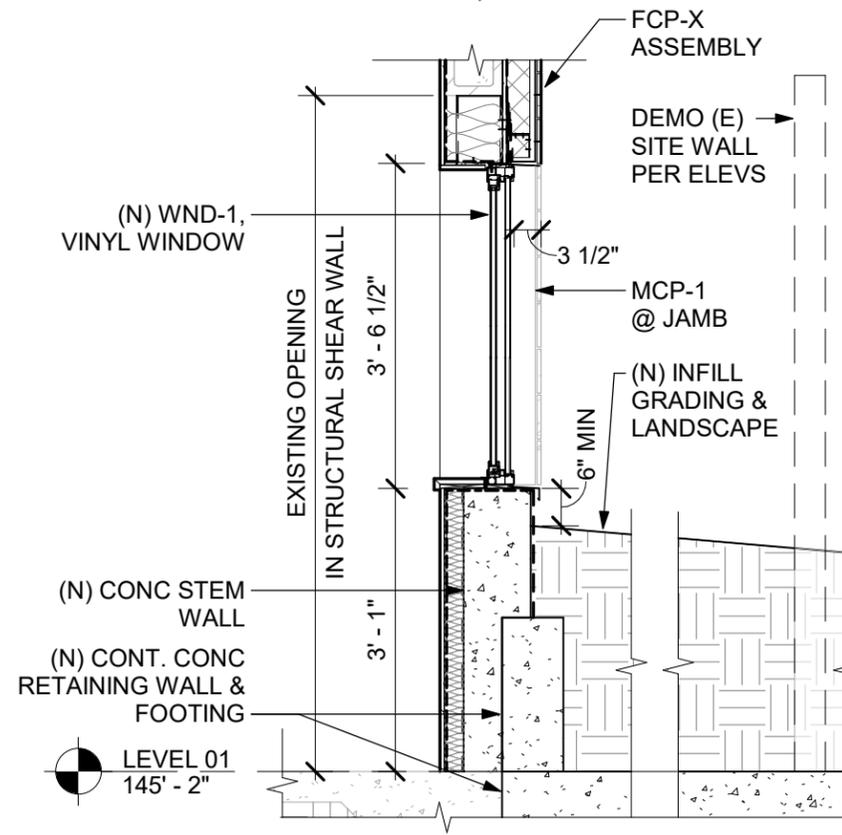
D PLAN DTL @ SF-1 JAMB  
SCALE: 1 1/2" = 1'-0"



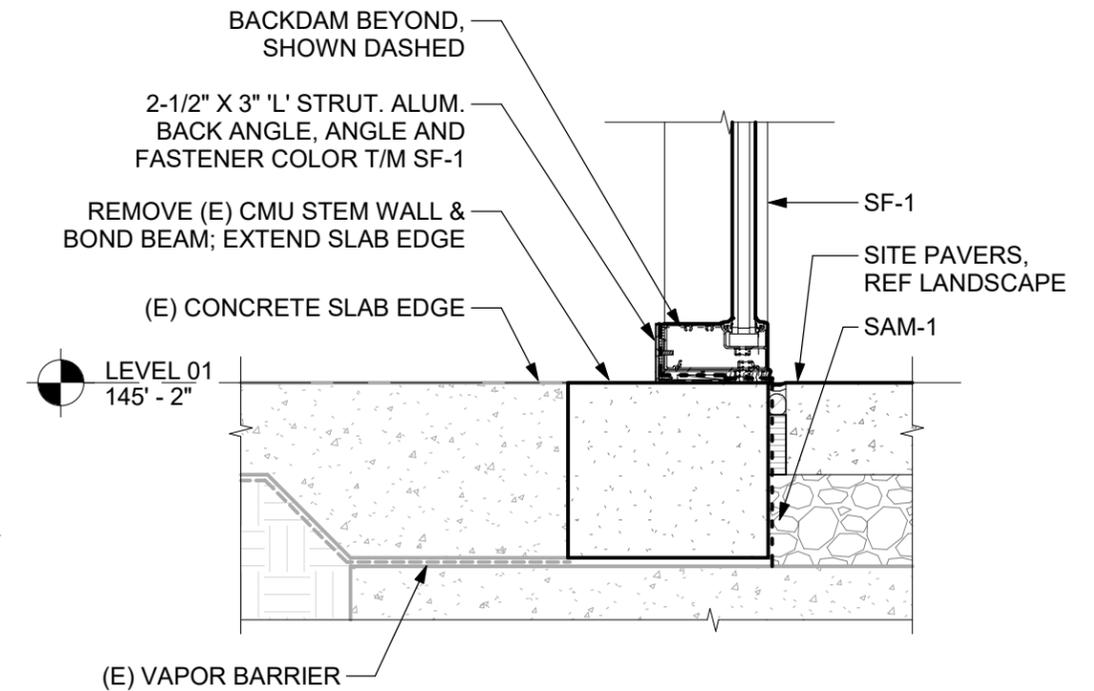
C SECTION DTL @ SF-1 STOREFRONT HEAD  
SCALE: 1 1/2" = 1'-0"



1 RENDERING @ WND-1 OFFICE WINDOW



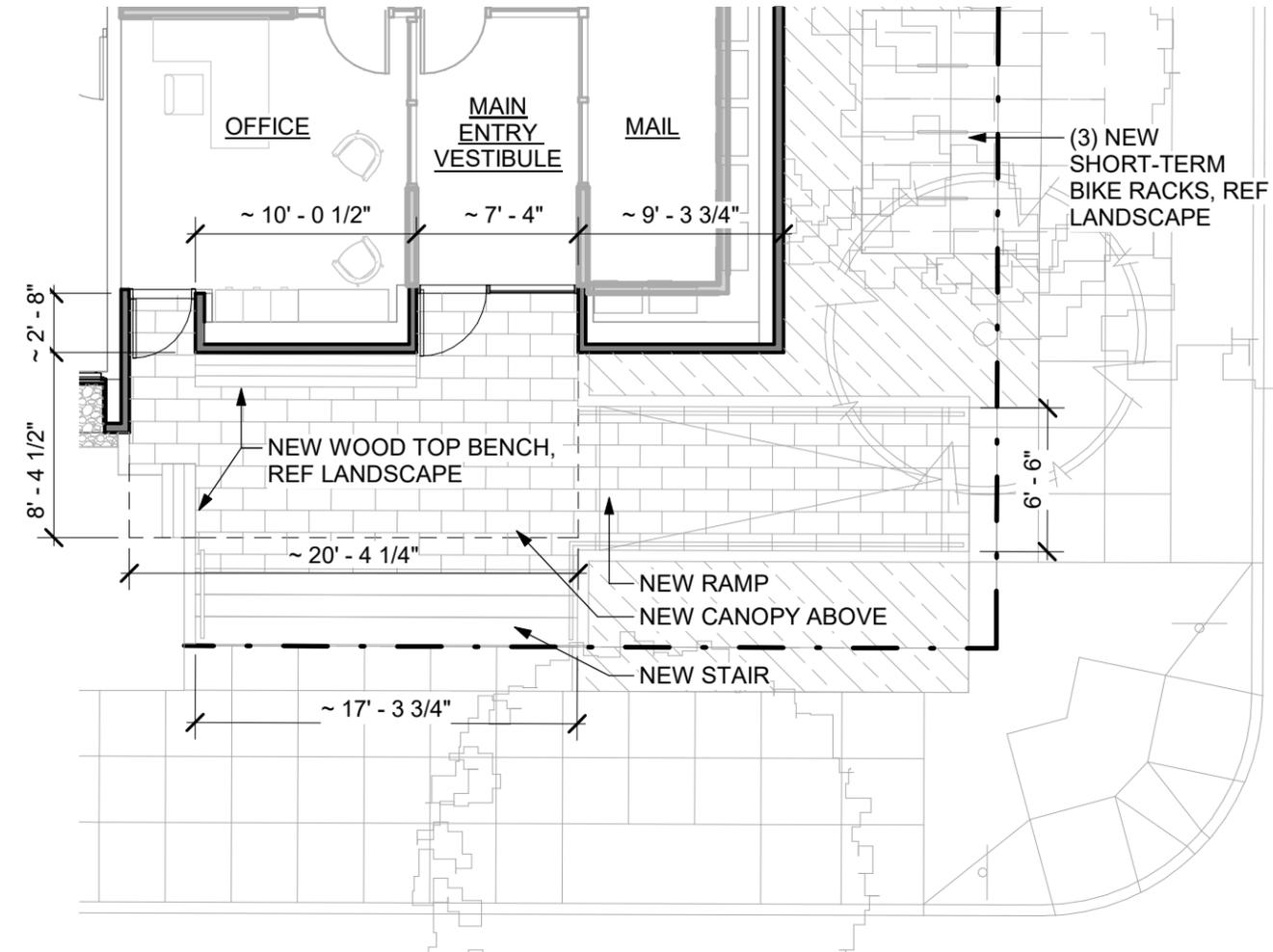
B SECTION DTL @ WND-1 OFFICE  
SCALE: 1 1/2" = 1'-0"



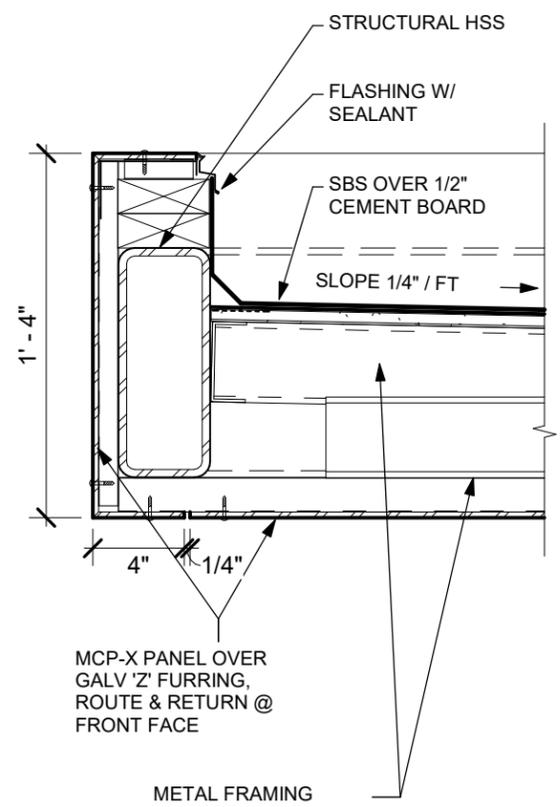
A SECTION DTL @ SF-1 STOREFRONT SILL  
SCALE: 1 1/2" = 1'-0"



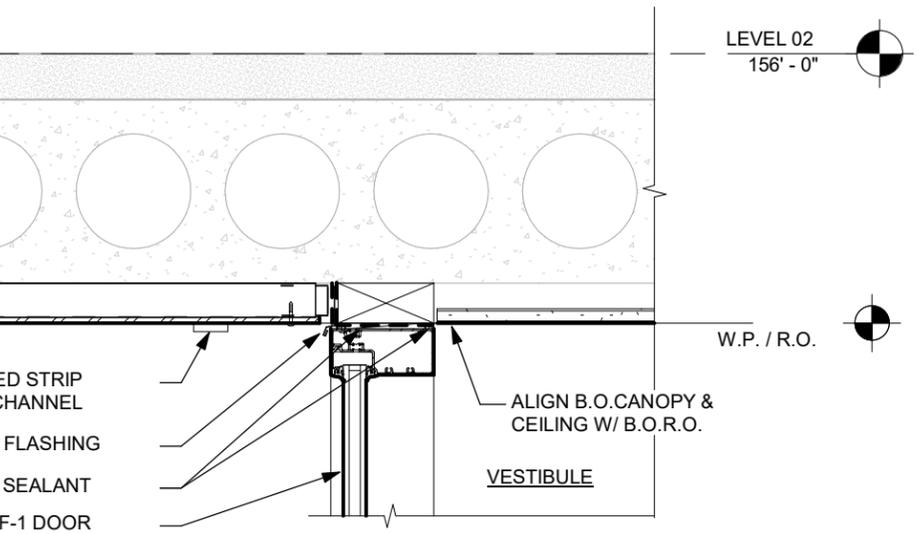
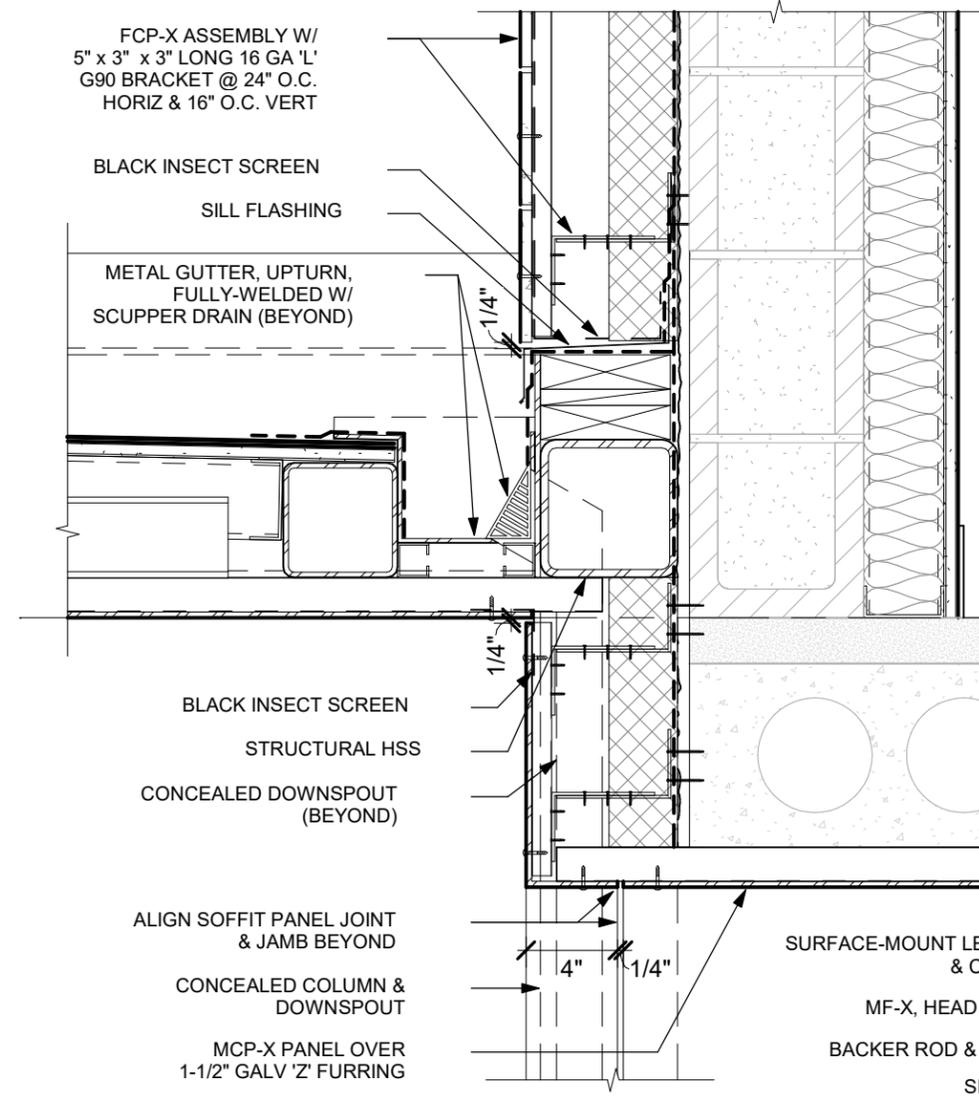
1 MAIN ENTRY RENDERING

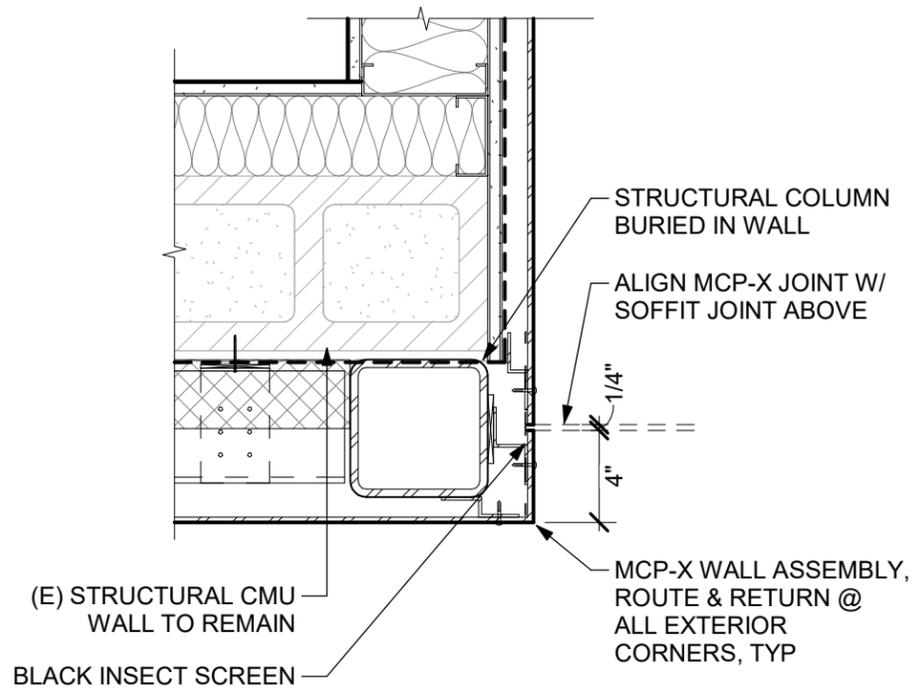


B ENLARGED PLAN MAIN ENTRY  
SCALE: 1/8" = 1'-0"

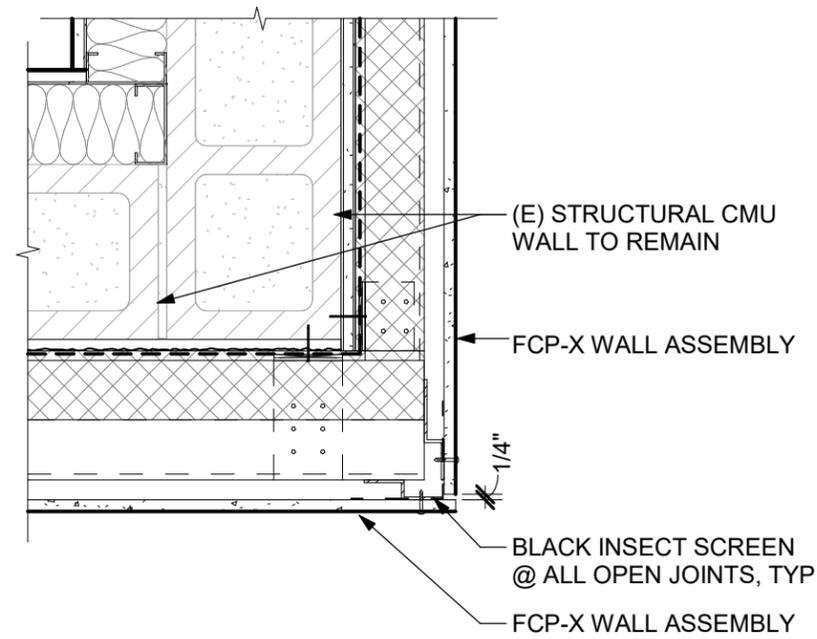


A CANOPY SECTION DETAIL  
SCALE: 1-1/2" = 1'-0"

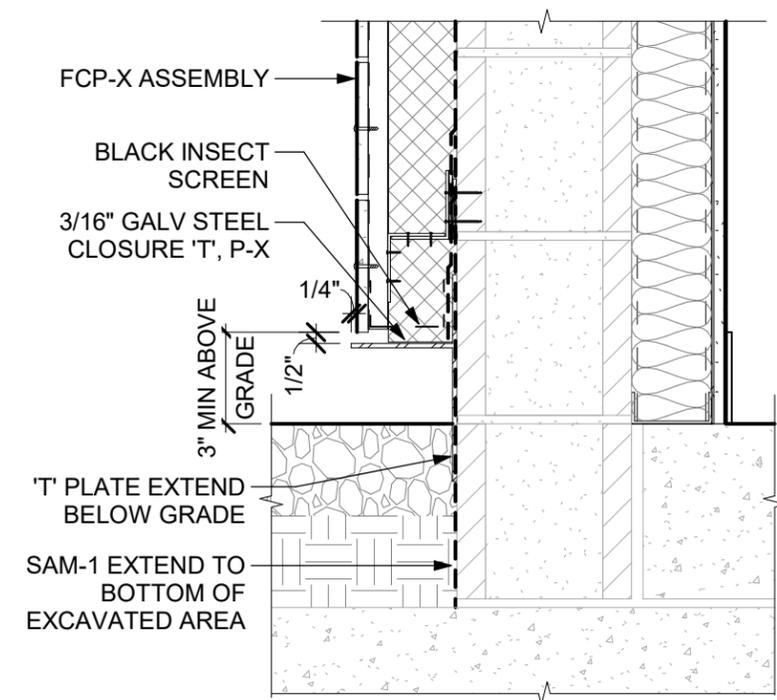




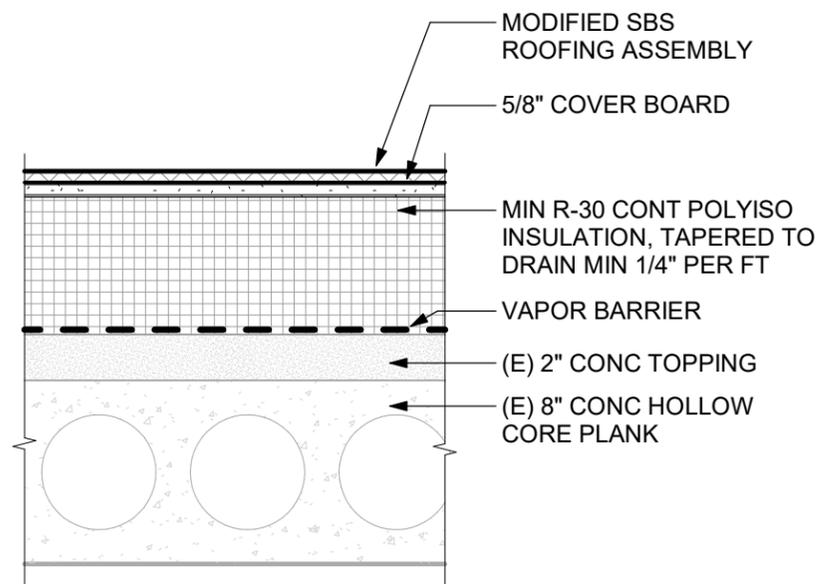
**E MCP-X CORNER DETAIL, TYP**  
SCALE: 1 1/2" = 1'-0"



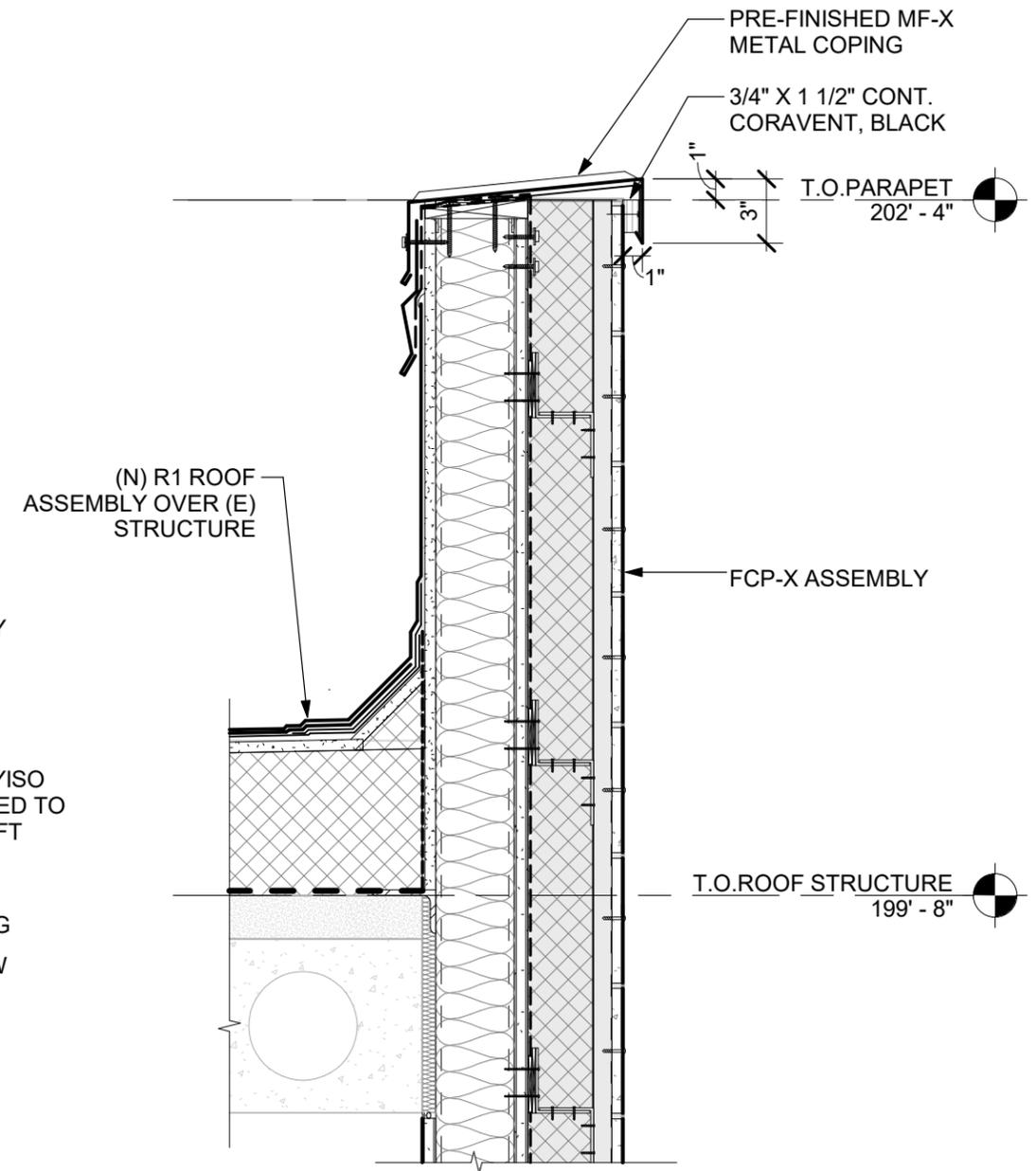
**D FCP-X CORNER DETAIL, TYP**  
SCALE: 1 1/2" = 1'-0"



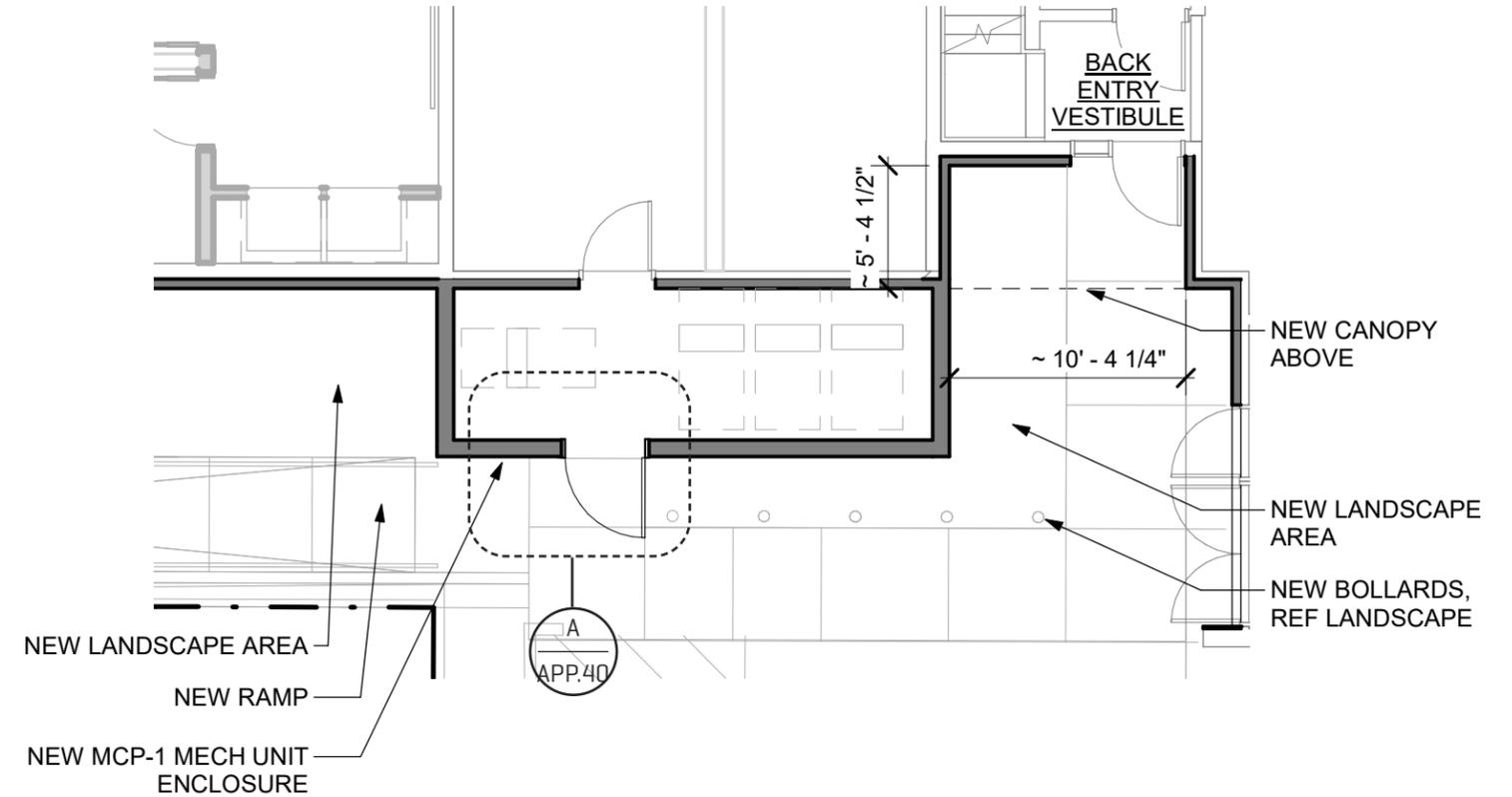
**C FCP-X BASE DETAIL, TYP [SIM @ MCP-X]**  
SCALE: 1 1/2" = 1'-0"



**B ROOF ASSEMBLY, TYP**  
SCALE: 1 1/2" = 1'-0"

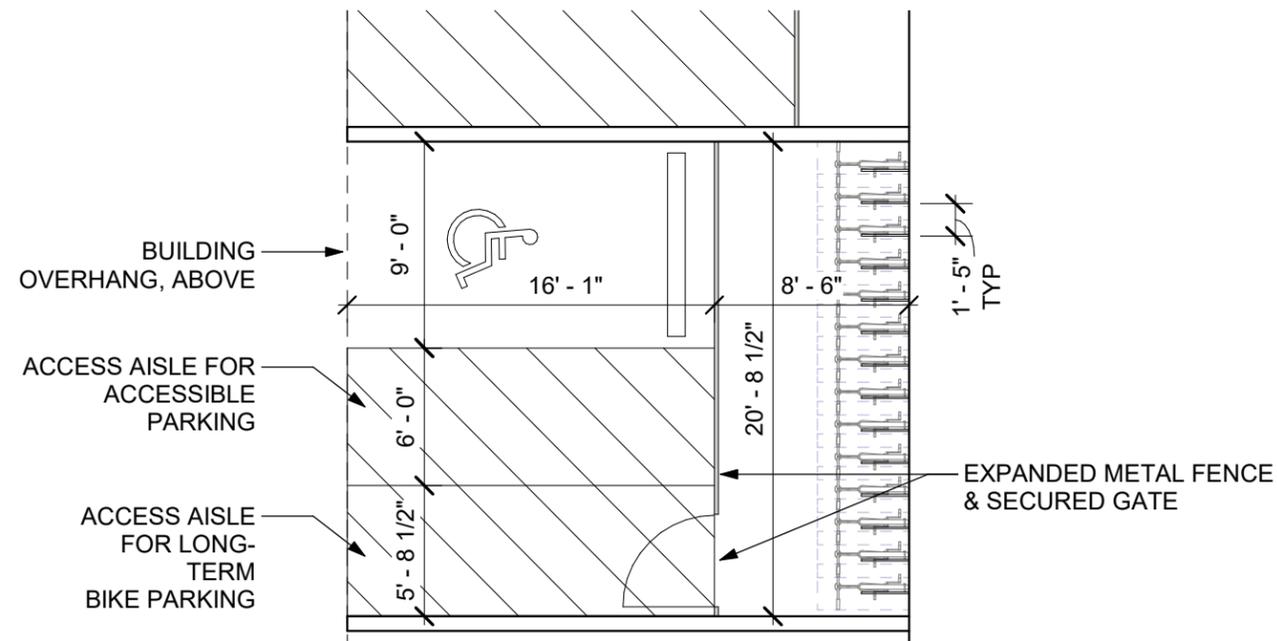


**A PARAPET DETAIL @ FCP-X [SIM @ MCP-X]**  
SCALE: 1 1/2" = 1'-0"

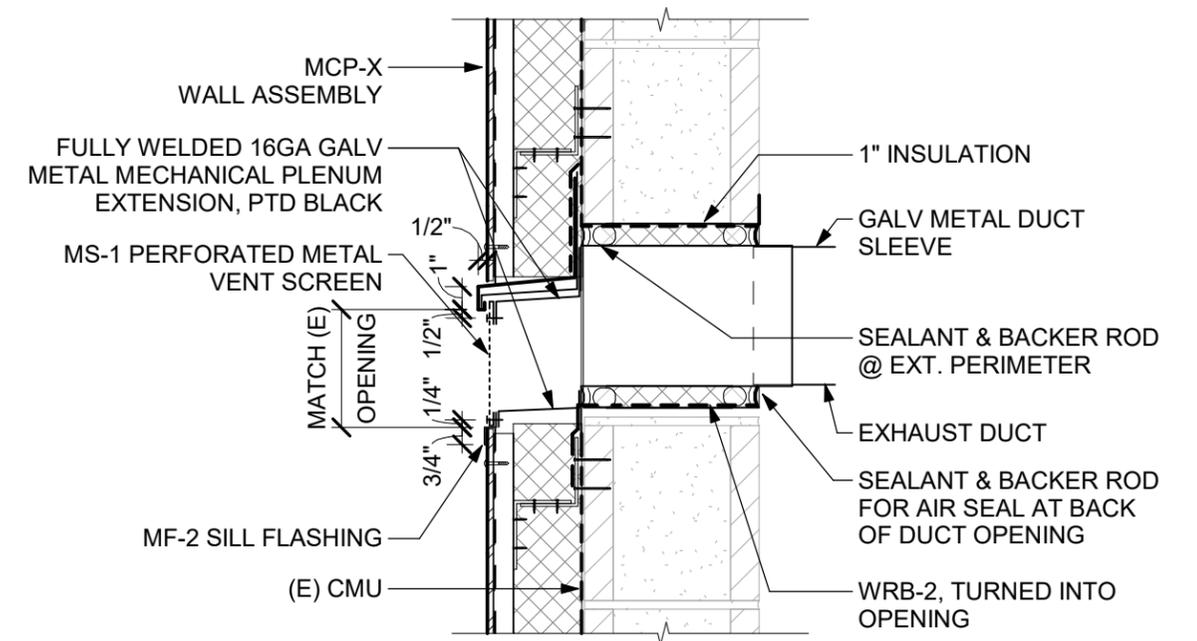


1 BACK ENTRY RENDERING

B ENLARGED PLAN BACK ENTRY  
SCALE: 1/8" = 1'-0"



C LONG-TERM BIKE PARKING ENLARGED PLAN  
SCALE: 1/8" = 1'-0"



A LOUVRE DETAIL, TYP  
SCALE: 1 1/2" = 1'-0"

A

OKO SKIN PANEL, FCP-1, FCP-2  
RIEDER



Private residence Toronto | Diamond Schmitt Architects | liquid black, two surfaces, face fastened

AT 1/3 STAGGERED,  
HORIZONTAL PATTERN

AT VERTICAL  
BANDS

Sizes

öko skin standard

147 x 1800 x 13 mm | 5.79" x 70.87" x 1/2"  
mix of three surfaces matt, ferro light, ferro



öko skin flex

width from 110 to 302 mm | 4.33" to 11.89" and  
length from 700 to 2500 mm | 27.56" to 98.42" on request



The slats can be cut to size and holes can be drilled by the craftsmen directly on site. Edges don't require sealing after cutting the slats.

Colors and surfaces

öko skin is through-colored including iron oxide and natural additives. The authentic colors of öko skin fit well in landscapes and blend with nature and the environment. Each palette includes three textures

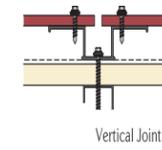
ferro, ferro light and matt which create a naturally varied and vivid surface. The play of colors within a certain color shade is intentional and enhances the character of concrete.



\* Discounted color \*\* Premium colors

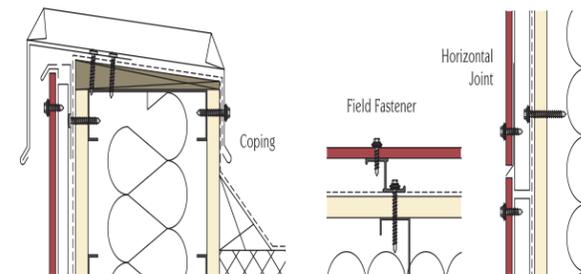
B

ALUMINUM COMPOSITE METAL PANEL, MCP-1, MCP-2, MCP-3, MCP-4  
NORTHCLAD



Vertical Joint

Find what you're looking for at  
[www.northclad.com](http://www.northclad.com)



Coping

Field Fastener

Horizontal Joint



NorthClad® Rainscreen Solutions  
11831 Beverly Park Road, Building C  
Everett, WA 98204

Phone: (425) 740-3702  
Fax: (425) 485-3503

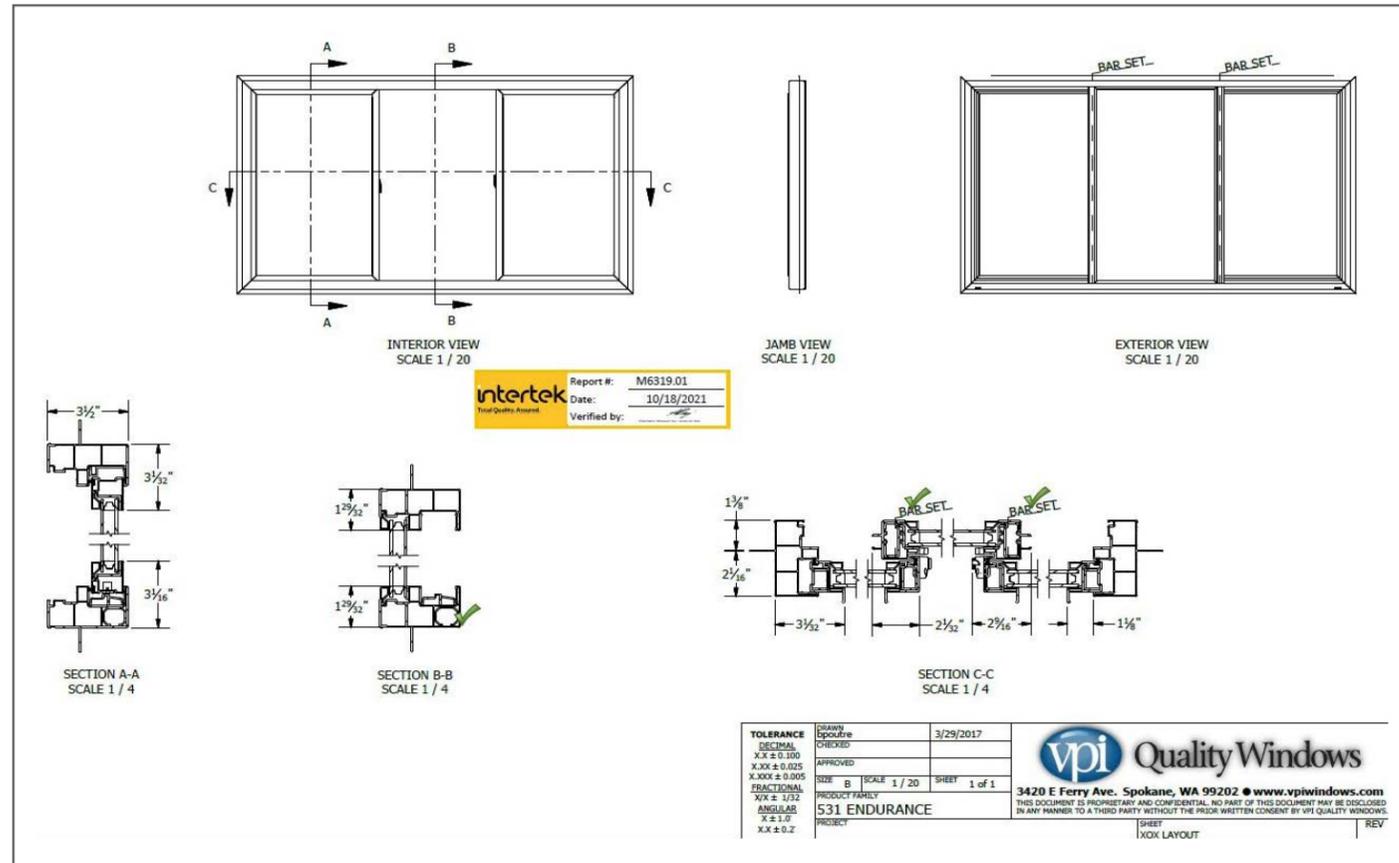
[www.northclad.com](http://www.northclad.com)



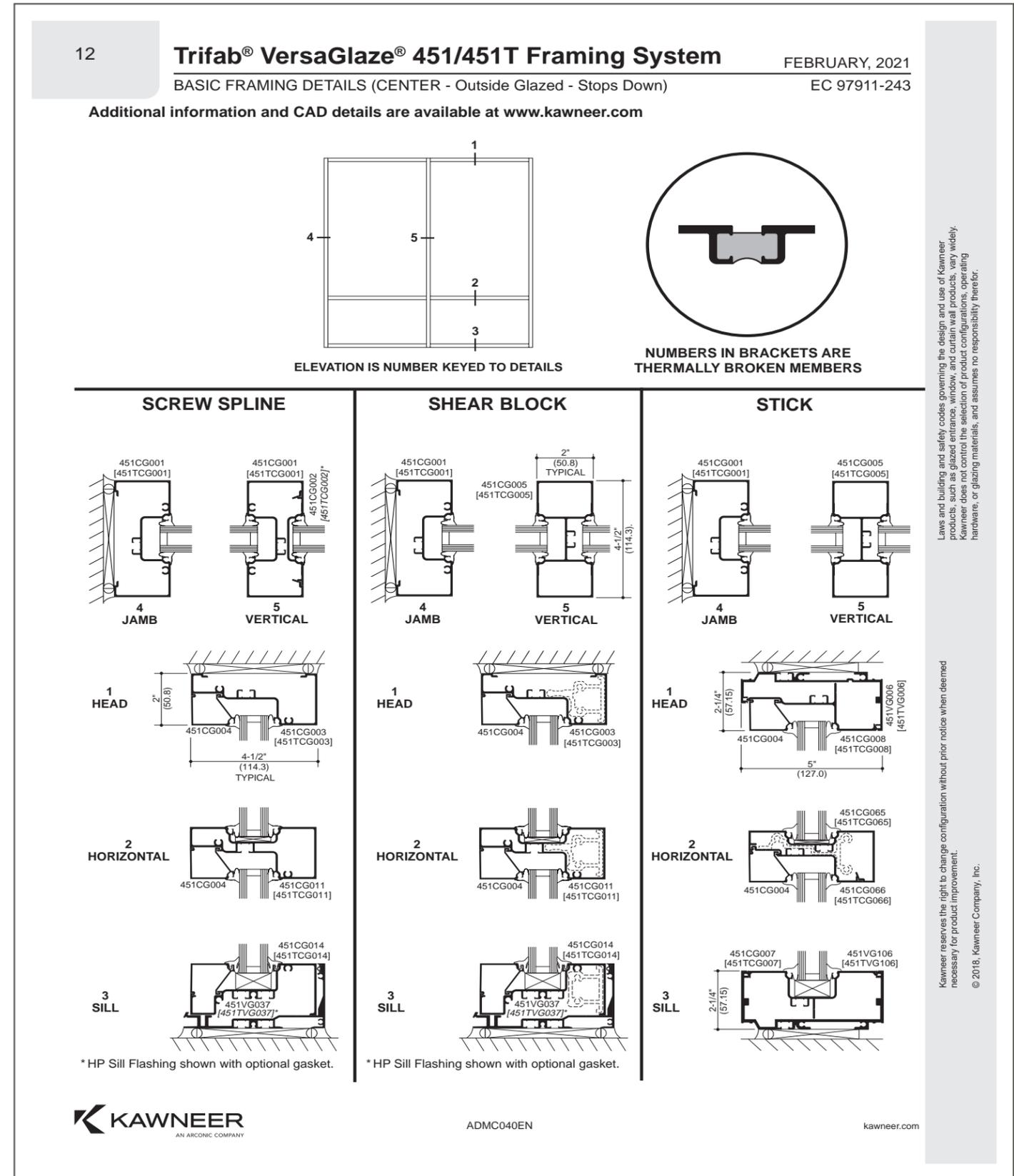
Visit [www.northclad.com](http://www.northclad.com) today to review the entire NorthClad® line of products.



VINYL WINDOW, WND-1  
VPI WINDOWS



STOREFRONT, SF-1  
KAWNEER

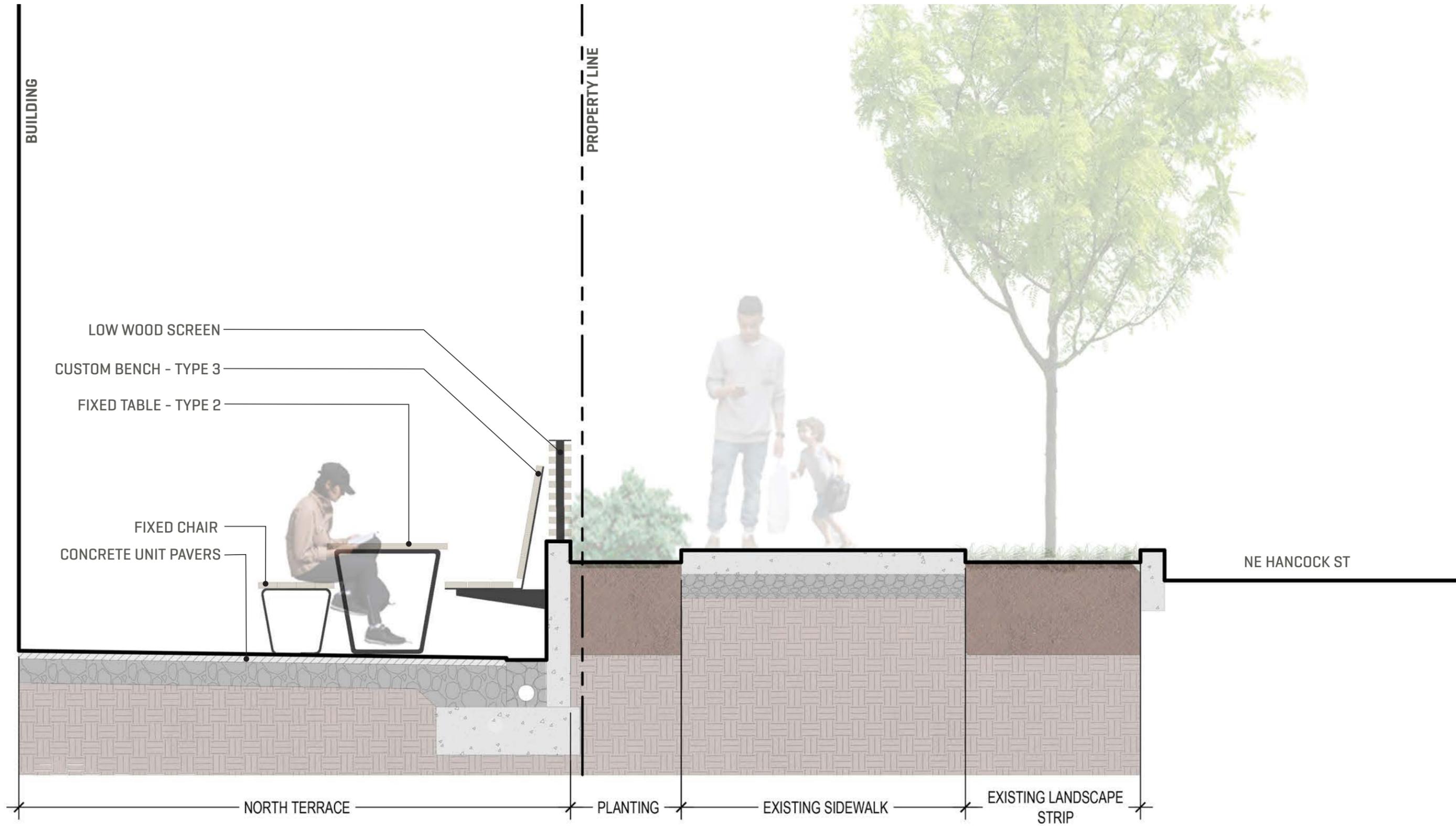




SCALE: 1" = 30' - 0" 

## LEGEND

- 01 Improved Entry
- 02 North Terrace
- 03 Gated Garden Entry
- 04 Sensory Garden Terrace
- 05 New Paving and Striping, per Civil
- 06 Integrated Seating at Existing Wall
- 07 Bike Parking [3 Racks]
- 08 Utility Enclosure
- 09 Existing Tall Evergreen Screen to Remain
- 10 Long Term Bike Storage [14 Racks]
- 11 Proposed Generator
- 12 Existing Transformer to Remain



SECTION - A  
 SCALE: 1/2" = 1' - 0"

**REQUIRED LANDSCAPE AREA**

(PER TABLE 120-3)

TOTAL SIZE OF SITE (SF): 23,443 SF  
 MINIMUM LANDSCAPE REQUIRED: 15% (3,516 SF)  
**LANDSCAPE AREA PROPOSED: 18% (4,221 SF)**

**LANDSCAPING AND SCREENING: FRONTAGES**

**TREES SIZES PER LENGTH OF FRONTAGE:**  
 1-LARGE / 30'; 1-MEDIUM / 22'; 1-SMALL / 15';  
 EXISTING TREE: 64" DBH (10 MEDIUM TREES EQUIVALENT)

**NE HANCOCK ST**  
 LENGTH OF FRONTAGE: 140'  
 REQUIRED PLANTING TYPE: L1 BUFFER, 10' MIN. DEPTH  
 TREES SIZES PROVIDED: 1 LARGE, 4 MEDIUM, 2 SMALL  
 FRONTAGE ACCOUNTED FOR: 148'

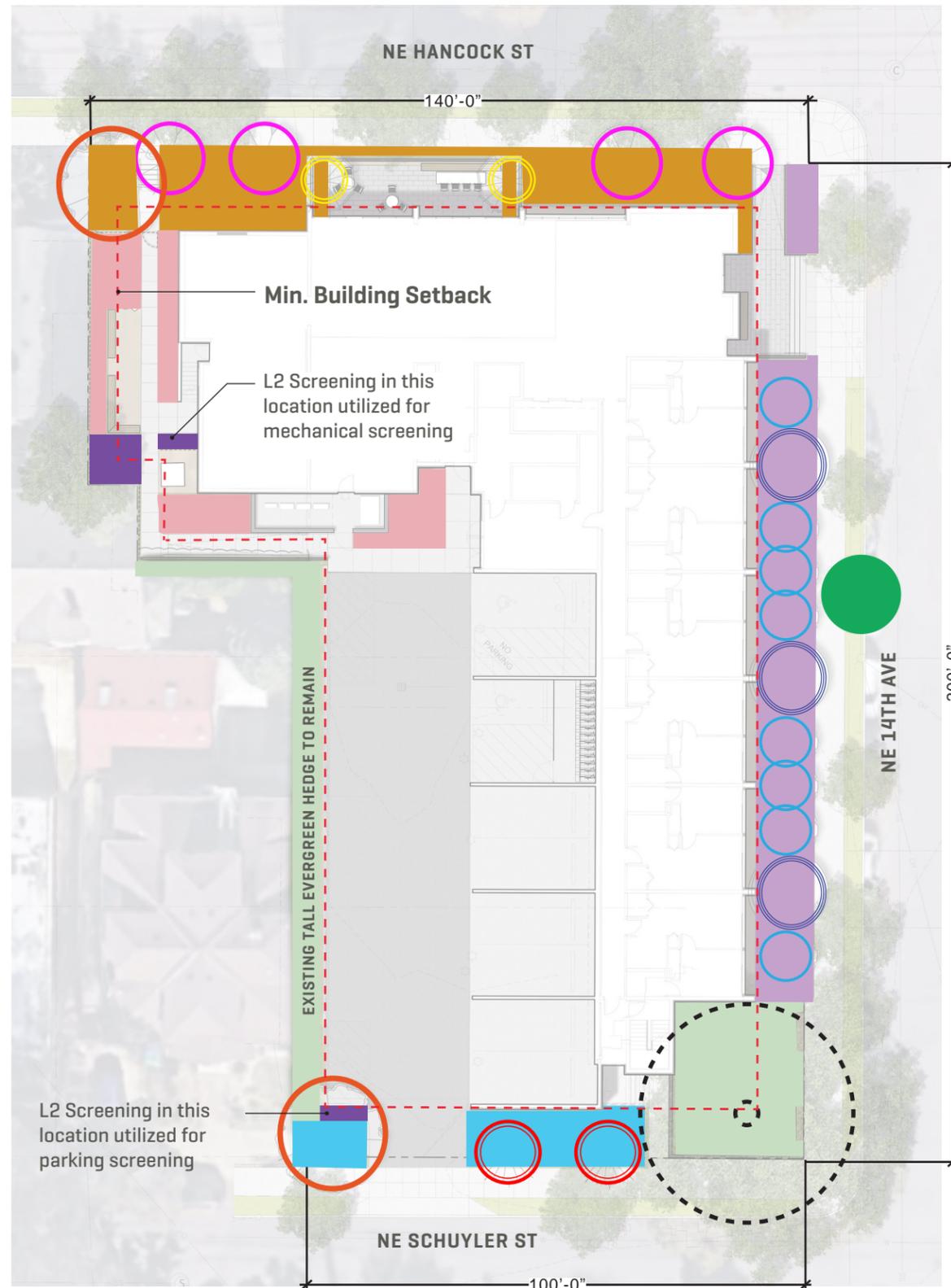
**NE 14TH AVE**  
 LENGTH OF FRONTAGE: 200'  
 FRONTAGE SCREENING: L1 BUFFER, 10' MIN. DEPTH  
 TREES SIZES PROVIDED: \*5 MEDIUM, 8 SMALL,  
 FRONTAGE ACCOUNTED FOR: 230'  
 \* 2 EXISTING MEDIUM TREES APPLIED

**NE SCHUYLER ST**  
 LENGTH OF FRONTAGE: 100'  
 FRONTAGE SCREENING: L1 BUFFER, 10' MIN. DEPTH  
 TREES SIZES PROVIDED: 1 LARGE, \*2 MEDIUM, 2 SMALL  
 FRONTAGE ACCOUNTED FOR: 104'  
 \* 2 EXISTING MEDIUM TREES APPLIED

**LANDSCAPE IN BUILDING SETBACK**  
 ALL LANDSCAPING WITHIN THE MIN. BUILDING SET BACK IS PLANTED TO MIN. L1-STANDARD EXCEPT FOR AREAS OF PASSIVE RECREATION AND PEDESTRIAN USAGE ALLOWED BY CODE 33.120.235.B.1.b

**REQUIRED PARKING LANDSCAPE**  
 P1 PARKING LOT INTERIOR LANDSCAPE  
 SITE IS EXEMPT FROM P1 REQUIREMENTS  
 CONSIDERING THERE IS FEWER THAN 10 PARKING SPACES (PER 33.266.G.3.a)

**L2 LOW SCREENING**  
 5' DEPTH PROVIDED AT SOUTHWEST CORNER OF PARKING LOT



**L2 SCREENING**

**PLANTING TYPE 1 - NORTH FRONTAGE**

**PLANTING TYPE 2 - EAST FRONTAGE**

**PLANTING TYPE 3 - SOUTH FRONTAGE**

**PLANTING TYPE 4 - SENSORY GARDEN**

**EXISTING TO REMAIN**

**Street Tree**

- Pistachia chinensis (Chinese Pistache) 2.5" Caliper

**On-Site Trees**

- Cladrastis kentukea (Yellow Wood)
- Cercis canadensis (Eastern Redbud)
- Lagerstroemia x 'natchez' (Natchez Crape myrtle)
- Rhamnus purshiana (Cascara Tree)
- Cercidiphyllum japonicum (Katsura Tree)
- Magnolia Kobus (Kobus Magnolia)
- Existing To Remain

**ON-SITE TREE DENSITY CHART**

**PROPOSED ON-SITE TREES:** (300 SF/SMALL TREE, 500 SF/MED. TREE, 1,000 SF/LG. TREE)  
**EXISTING TREES:** TREES THAT ARE 6 INCHES OR LARGER IN DIAMETER COUNT AS ONE MEDIUM CANOPY SIZE TREE FOR EACH FULL INCREMENT OF 6 DIAMETER INCHES.

SYM.	BOTANICAL NAME COMMON NAME	DBH	SIZE	QTY	CANOPY FACTOR	AREA
X1	TILIA CORDATA LITTLE LEAF LINDEN	64	MED.	10	500	5000 SF
CK	CLADRASTIS KENTUKEA AMERICAN YELLOWWOOD	1.5	LG.	2	1000	2000 SF
CC	CERCIS CANADENSIS EASTERN REDBUD	1.5	SMALL	3	300	900 SF
LN	LAGERSTROEMIA X 'NATCHEZ' CRAPE MYRTLE	1.5	SMALL	8	300	2400 SF
RP	RHAMNUS PURSHIANA CASCARA TREE	1.5	SMALL	2	300	600 SF
CJ	CERCIDIPHYLLUM JAPONICUM KATSURA TREE	1.5	SMALL	2	300	600 SF
MK	MAGNOLIA KOBUS KOBUS MAGNOLIA	1.5	MED.	4	500	2000 SF

TOTAL SITE AREA = 23,522 SF  
 TOTAL DENSITY REQUIRED FOR SITE (20% OF TOTAL SITE) = 10,703 SF  
 TOTAL TREE AREA PROPOSED = 13,500 SF, EXCEEDS STANDARD

**PLANTING TYPE 1**  
NORTH FRONTAGE



Rhododendron x 'Cunningham's'  
[Cunningham's White Rhododendron]



Ilex Crenata 'Compacta'  
[Compact Japanese Holly]



Astilbe x arendsii 'Snowdrift'  
[False Spirea]



Polystichum munitum  
[Western Sword Fern]



Liriope Muscari  
[Royal Purple Lily Turf]

**PLANTING TYPE 2**  
EAST FRONTAGE



Lonicera pileata  
[Privet Honeysuckle]



Ilex Glabra 'Shamrock'  
[Compact Inkberry]



Viburnum davidii  
[Davids Viburnum]



Anemone x hybrida  
[Honorine Jobert Anemone]



Carex Oshimensis 'Everillo'  
[Everillo Sedge]



Liriope Muscari  
[Royal Purple Lily Turf]

**PLANTING TYPE 3**  
SOUTH FRONTAGE



Viburnum davidii  
[Davids Viburnum]



Liriope Muscari  
[Royal Purple Lily Turf]

**L2 SCREENING**  
3' HT. EVERGREEN SHRUBS



*Viburnum davidii*  
[Davids Viburnum]



*Liriope Muscari*  
[Royal Purple Lily Turf]

**PLANTING TYPE 3**  
SENSORY GARDEN



*Arbutus unedo 'Compacta'*  
[Dwarf Strawberry Madrone]



*Echinacea purpurea 'magnus'*  
[Magnus Coneflower]



*Deschampsia cespitosa*  
[Tufted Hair Grass]



*Lavendula hidcote*  
[English Lavender]



*Sarcococca confusa*  
[Sweet Box]



*Carex oshimensis 'Everillo'*  
[Everillo Sedge]



*Anemone x hybrida*  
[Honorine Jobert Anemone]

TREES



Lagerstroemia x 'Natchez'  
[Natchez Grape]



Cercis canadensis  
[Eastern Redbud]



Rhamnus purshiana  
[Cascara Tree]



Magnolia Kobus  
[Kobus Magnolia]



Cladrastis kentukea  
[Yellowwood Tree]

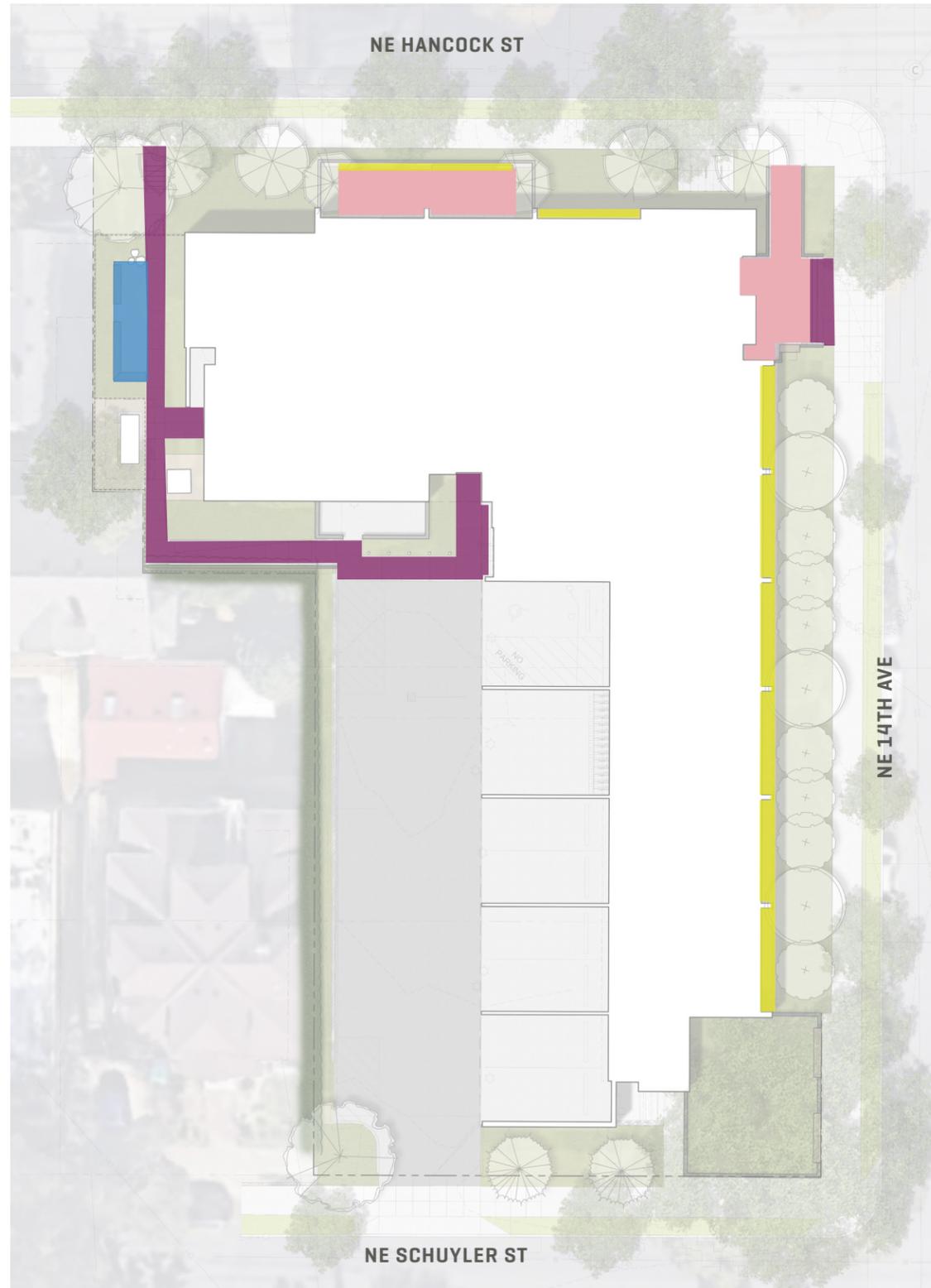


Pistachia chinensis  
[Pistache Tree]



Cercidiphyllum japonicum  
[Katsura Tree]





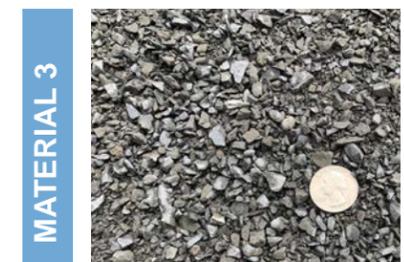
# SITE MATERIALS



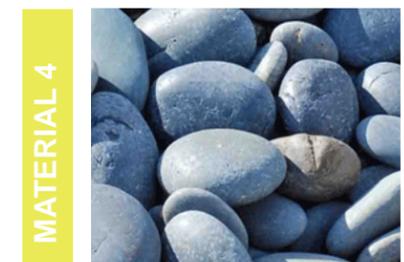
**MATERIAL 1**  
Concrete Unit Pavers  
Pre-Cast Pavers 12" x 24"



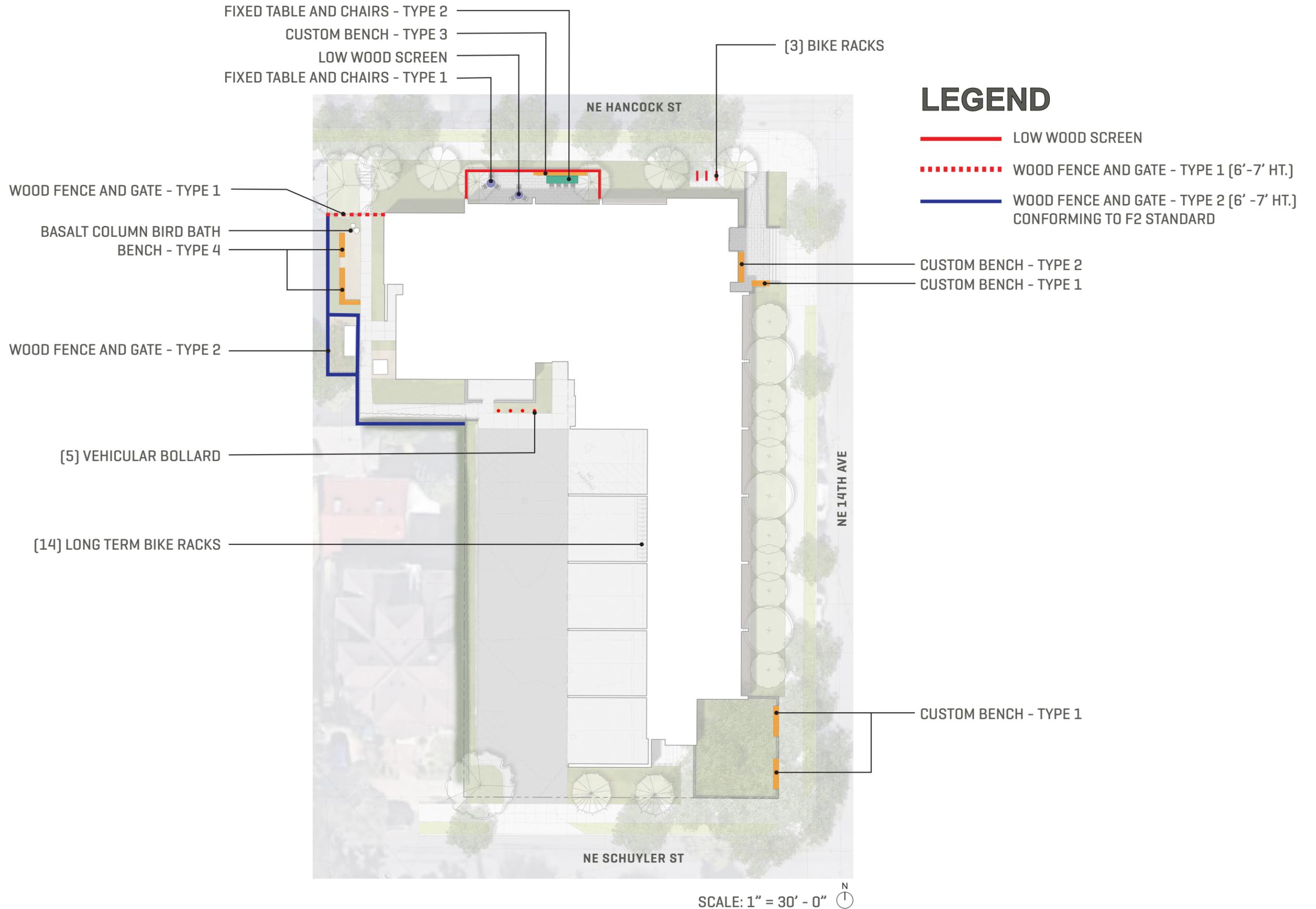
**MATERIAL 2**  
Concrete Paving  
Light Broom Finish



**MATERIAL 3**  
Crushed Stone Paving  
Stabilized 1/4" minus basalt



**MATERIAL 4**  
Drainage Strip  
Decorative River Rock





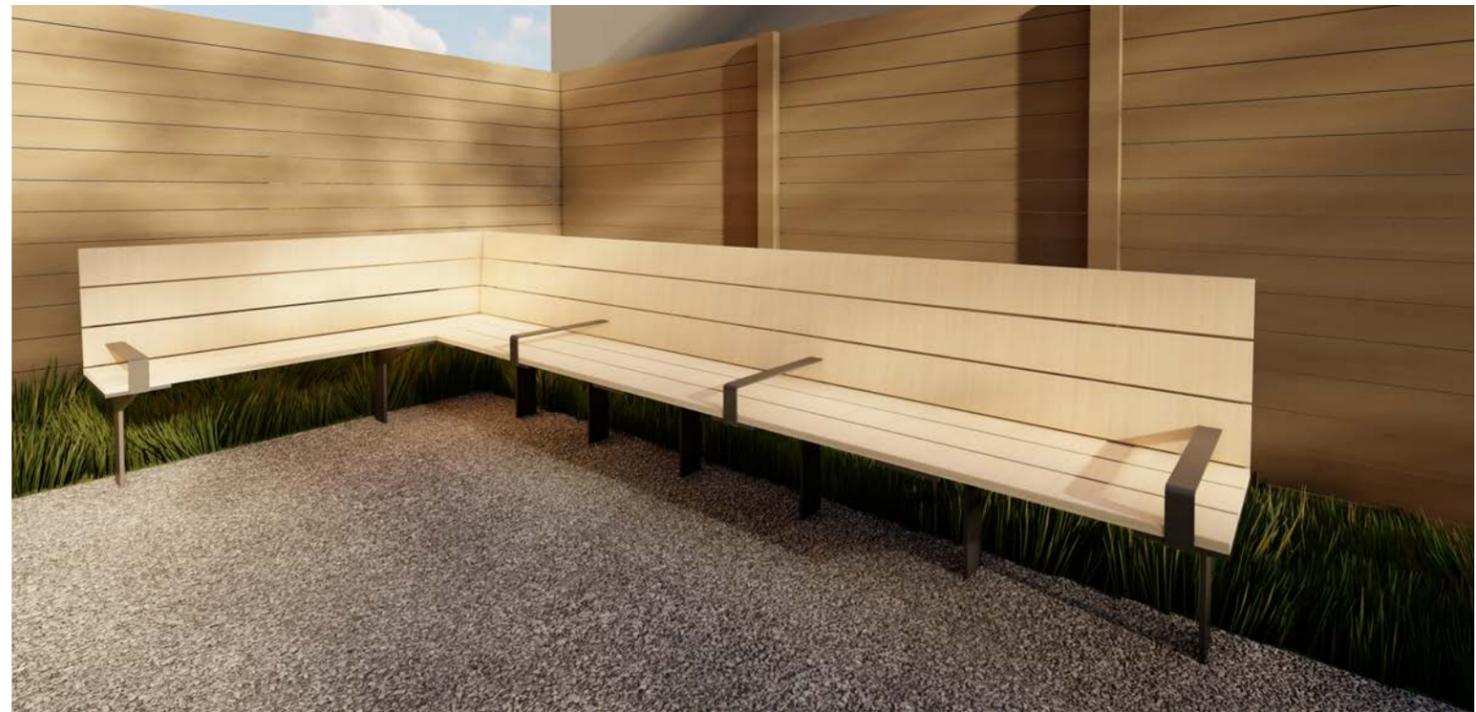
**Custom Bench - Type 1**  
 Custom Fabrication - Conceptual Visualization



**Custom Bench - Type 3**  
 Custom Fabrication - Conceptual Visualization



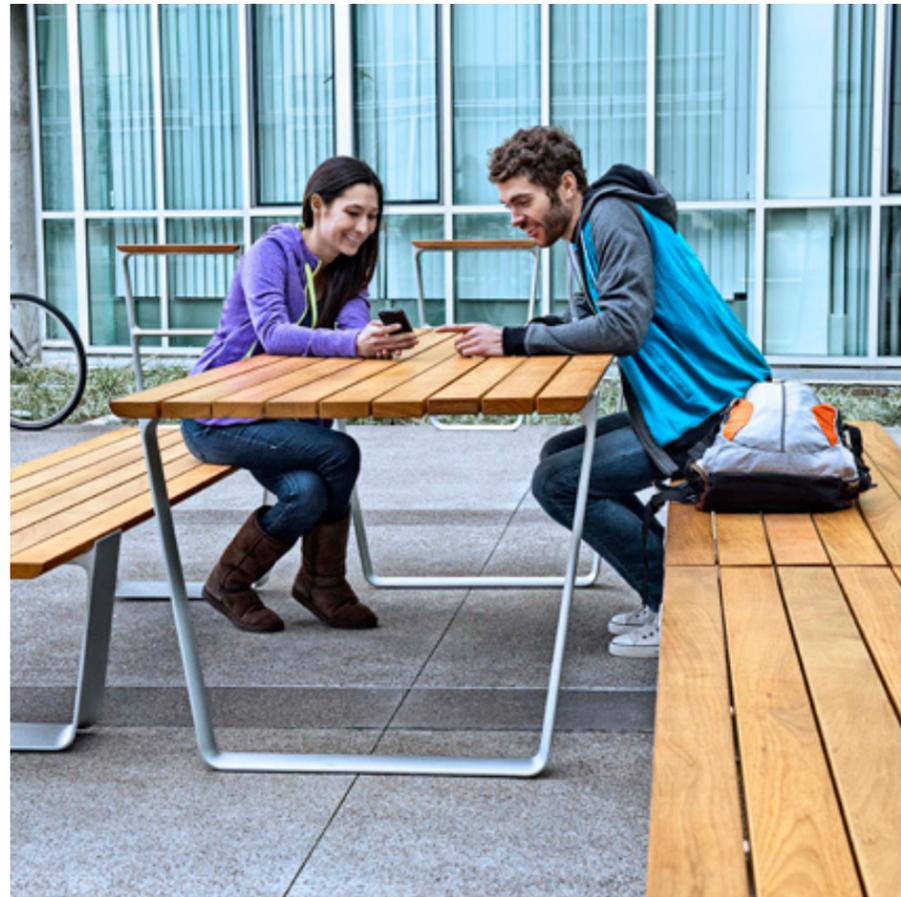
**Custom Bench - Type 2**  
 Custom Fabrication - Conceptual Visualization



**Custom Bench - Type 4**  
 Custom Fabrication - Conceptual Visualization



**Bird Baths**  
Basalt Column - Conceptual Imagery



**Fixed Table and Chair - Type 2**  
Conceptual Imagery

**HUNTCO**  
SITE FURNISHINGS Tradition & Innovation

Bike racks, lockers, benches and architectural site furnishings since 1980.

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**THE BURNSIDE**

The refined, high-security Burnside, with its no-scratch protective bumper, is a superior means to show your respect for cyclists by protecting their investment.

**CONSTRUCTION/MATERIAL**  
Outer: 2" x 1" Stainless Steel Rectangular Tubing  
Inner Bar: .25" x 2" Stainless Steel Flat Bar  
Bumper: Santoprene TPV  
Flanges: 2" x 6" Stainless Steel

**DIMENSIONS**  
- 28" Length  
- 6" Width  
- 33.4" Height

**MOUNTING OPTIONS**  
 Flange Mount (Shown)  
(4) .4" Mounting Holes  
 In-Ground  
11" Leg Extensions

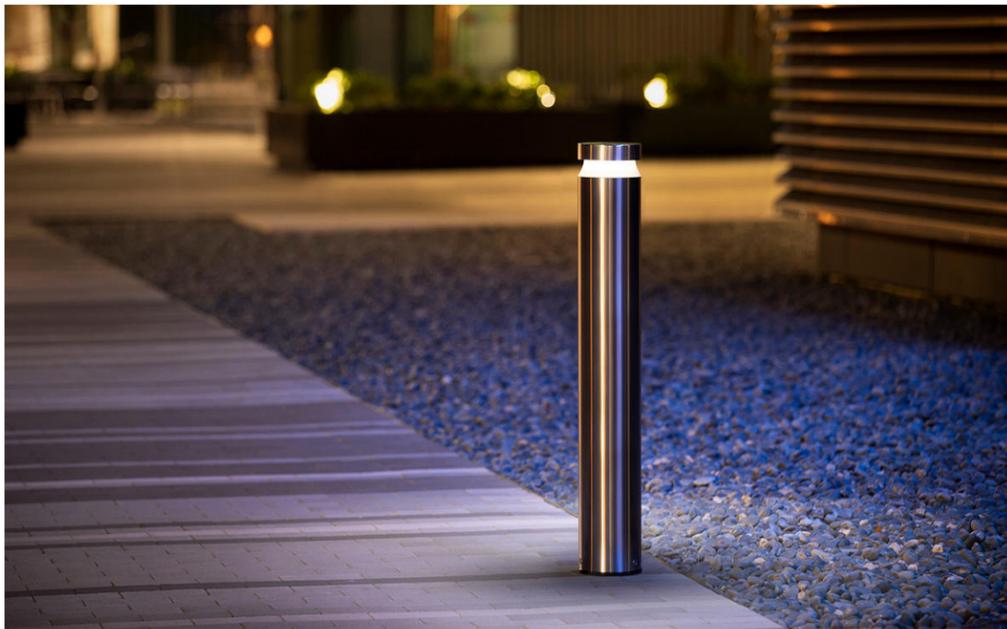
**FINISH**  
Stainless Steel Bead Blast Finish

**RECOMMENDED LAYOUT**

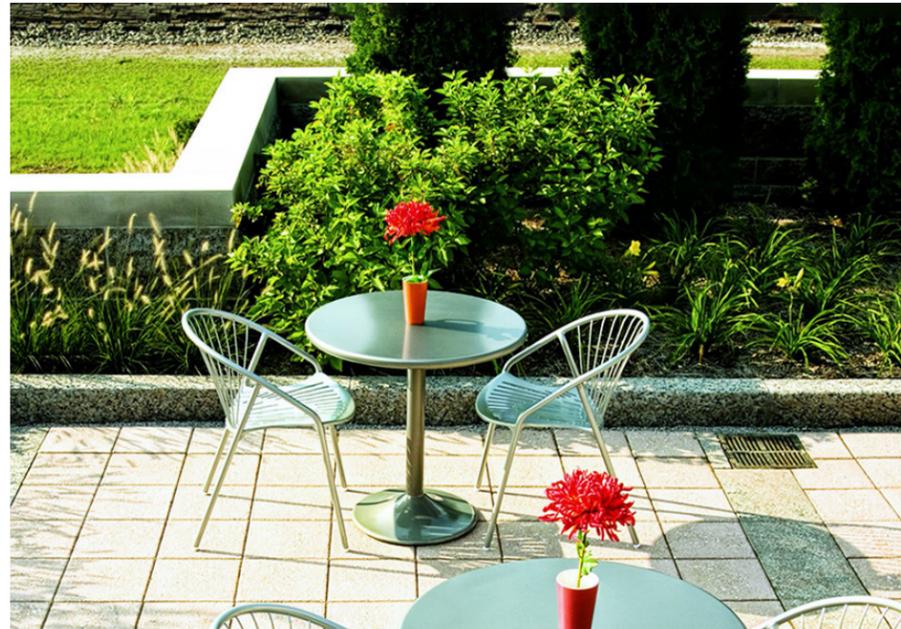
**NOTES:**  
"Bike" is 70"  
# Minimum Spacing  
(#) Recommended Spacing

**CONTRACTOR:** \_\_\_\_\_  
**JOB:** \_\_\_\_\_  
**NOTES:** \_\_\_\_\_

Manufactured in the Pacific Northwest



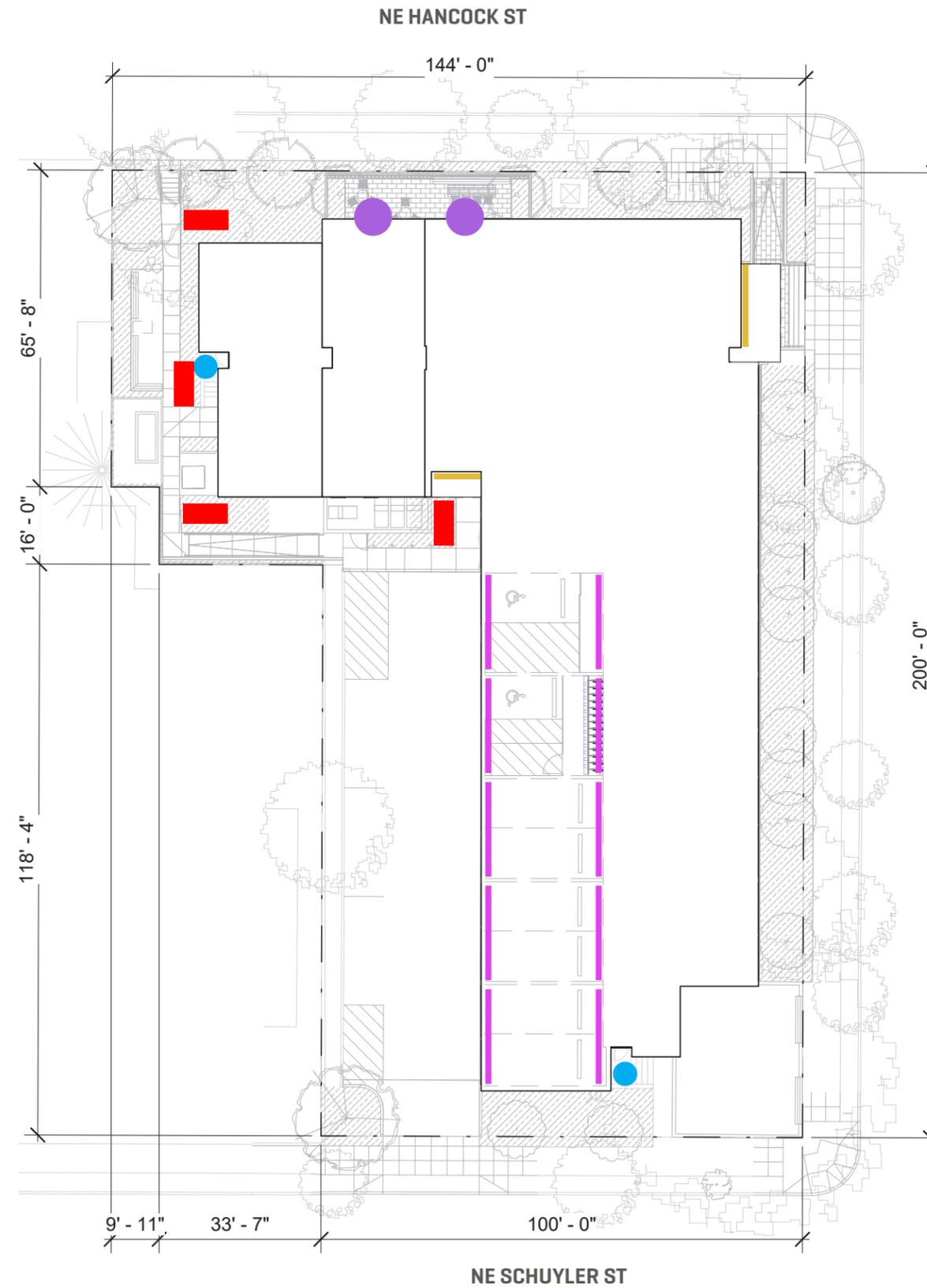
**Vehicular Bollards**  
Forms and Surface - Helio Bollard



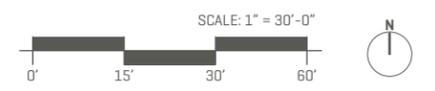
**Fixed Tables and Chairs - Type 1**  
Conceptual Imagery



**Bike Rack**  
Huntco - Burnside Bike Rack



- 1 ■ BEGA, 77237  
GARDEN AND PATHWAY BOLLARD 
- 2 — INFINA, DL-AC-FLEX  
FLEXIBLE LED LINEAR STRIP  
[UNDERSIDE OF PARKING SOFFIT] 
- 3 ● LITHONIA, WDGE1 LED  
EXTERIOR SCENCE 
- 4 ● LITHONIA LIGHTING, LDN6  
6" OPEN AND WALLWASH LED,  
NEW CONSTRUCTION  
DOWNLIGHT 
- 5 — NULITE REGOLO RXT-R  
SURFACE MOUNT WITH FLUSH LENS  
[UNDERSIDE OF CANOPIES]



1

**BEGA, 77237**  
GARDEN AND PATHWAY BOLLARD

LED garden and pathway bollard

**Post construction:** One piece extruded aluminum. All aluminum in the construction is marine grade and copper free.  
**Lamp Enclosure:** One piece die cast aluminum housing attached to post by two (2) stainless steel set screws. Matte safety glass lens. Fully gasketed using a one piece molded silicone gasket.  
**Electrical:** 2.1W LED luminaire, 3.4 total system watts, -30°C start temperature. Integral 12V AC driver provided must be operated using remote magnetic transformer. Standard LED color temperature is 3000K with a >90 CRI.

**Note:** LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

**Anchor base:** Anchor post provided made of galvanized steel. Bollards are secured to post using two (2) stainless steel set screws.

**Finish:** Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

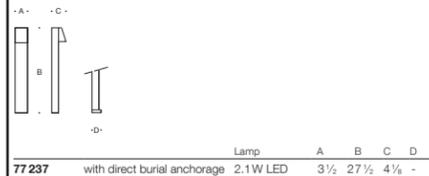
**Please note:** BEGA's approach to product design is to innovate, not follow. With a steadfast commitment to quality, each product is conceived to satisfy a general or specific lighting task as defined by its architectural or exterior surroundings. The Home and Garden Collection is designed specifically for use in Residential and Light Commercial applications. Please reference our standard BEGA portfolio when mounting provisions for the rigorous demands of high-use commercial and/or vandal prone settings are required.

**CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65**

**Weight:** 6.3 lbs.

**Luminaire Lumens:** 136

Type:  
BEGA Product:  
Project:  
Voltage:  
Color:  
Options:  
Modified:



77 237 with direct burial anchorage 2.1W LED 3 1/2" 27 1/2" 4 1/4" -

**BEGA** 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com  
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2

**INFINA, DL-AC-FLEX**  
FLEXIBLE LED LINEAR STRIP



**DL-AC-FLEX**  
INFINA® LED FLEXIBLE LINEAR AC FLEXIBLE LINEAR STRIP PATENT NO.: 9,671,075 PATENT NO.: 9,746,144

Type \_\_\_\_\_  
 Project \_\_\_\_\_  
 Catalog No. \_\_\_\_\_



**DESCRIPTION**

INFINA® is the next generation of high lumen output, specification grade, flexible lighting system that incorporates JESCO's exclusive, patented, constant current, Driverless AC LED technology\*\* which operates directly off of line voltage - no additional power source required and no drivers to hide. With a run length of 150', the product can be dimmed with an ELV dimmer\*\*\*. The product is mounted either in a channel or with snap-in mounting clips. INFINA® is designed for dry, damp and wet locations. The LEDs are imbedded within a patented, flexible, optically clear thermoplastic jacket. For easy installation, JESCO offers a full complement of connectors.

**FEATURES**

- Provides up to 555 lm from 4.95W with an efficacy of 112 lm/W
- Patented constant current IC's provide uniform intensity over the entire run
- 3 Step Mac Adam LEDs
- JESCO's exclusive Driverless AC LED\*\* technology incorporated within our patented, flexible, optically clear thermoplastic jacket provides for true 50,000 hours of operation with 70% lumen maintenance
- Line voltage - No power supplies to hide
- Run length of 150 feet (4" increments)
- Rated for Indoor and Outdoor applications
- High CRI of 80+
- Available in 2400K, 2700K, 3000K, 3500K, 4000K, 5000K.\*
- Multiple mounting options available

**SERIES** - **COLOR**  
**DL-AC-FLEX** - [ ] + Input Termination Options:  
 24 - 2400K Indoor Hard Wire Pg. 2  
 27 - 2700K Outdoor Hard Wire Pg. 3  
 40 - 4000K Indoor Plug & Play Pg. 4  
 50 - 5000K Outdoor Plug & Play Pg. 5

**EXAMPLE: DL-AC-FLEX-40**

For 3000K and 3500K please check DL-AC-FLEX2-UT series

**PER UL AND ETL SAFETY STANDARDS, ALL AC LED STRIPS ARE NOT FIELD CUTTABLE.**

Field cutting will result in voiding the product warranty, possible electrical shock and damaging of the product.

Factory custom cut in precise 4" increments. Product is assembled to order and shipped ready for installation.

◆ A 5 YEAR LIMITED WARRANTY for applications that necessitate up to 16 consecutive operational hours per 24 hour period.  
 A 2 YEAR LIMITED WARRANTY for applications that necessitate more than 16 consecutive operational hours per 24 hour period.



www.jescolighting.com  
 support@jescolighting.com  
 Tech Support: 855.592.0029

15 Harbor Park Drive  
 Port Washington, NY 11050  
 Main Line: 800.527.7796  
 Fax Line: 855.265.5768

219 South 6th Ave  
 City of Industry, CA 91746  
 Main Line: 855.654.0110  
 Fax Line: 626.333.2955

**SPECIFICATIONS**

<b>Input Voltage</b>	120V AC			
<b>Wattage</b>	4.95W per ft.			
<b>CCT</b>	2400K	2700K	4000K	5000K
<b>Lumen*</b>	430 lm	480 lm	555 lm	580 lm
<b>Efficacy lm/W</b>	87	97	112	117
<b>Power Factor</b>	0.95			
<b>THD</b>	48			
<b>Max Run / Min Run</b>	150ft. / 4in.			
<b>Beam Angle</b>	160°			
<b>Lumen Maintenance†</b>	50,000 hours			
<b>Dimming</b>	ELV*** (See page 7 for detail)			
<b>Dimensions*</b>	7/8" W x 1/4" H			
<b>Environment</b>	Indoor/Outdoor - dry, damp and wet			
<b>Operating Temp.</b>	-22°F to 122°F			
<b>Certifications</b>	cETLus			
<b>Warranty</b>	5 Years*. See published warranty terms for detailed information.			



\* Contact factory for custom colors  
 \*\* Powered by Mag-LED  
 \*\*\* Never exceed dimmer max wattage, effectively dim down to 10%  
 For dimming options, see page 10 for detail.  
 † TM-21 calculation based on LM80 report  
 ◆ Nominal



**DL-AC-FLEX (INFINA®)**  
Order Calculations Sheet

3

**LITHONIA, WDGE1 LED**  
EXTERIOR SCONCE



**WDGE1 LED**  
Architectural Wall Sconce



Catalog Number \_\_\_\_\_  
 Notes \_\_\_\_\_  
 Type \_\_\_\_\_

Hit the Tab key or mouse over the page to see all interactive elements.

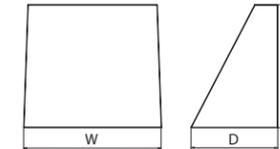
**Introduction**

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

**Specifications**

**Depth:** 5.5"  
**Height:** 8"  
**Width:** 9"  
**Weight:** 9 lbs  
 (without options)



**WDGE LED Family Overview**

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

**Ordering Information**

**EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT PE DDBXD**

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P1	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT	Shipped included SRM Surface mounting bracket  Shipped separately AWS 3/8inch Architectural wall spacer BBW Surface-mounted back box PBBW Premium surface-mounted back box (top, left, right conduit entry)
	P2	30K 3000K 35K 3500K 40K 4000K 50K* 5000K	90CRI	VW Visual comfort wide	347*	

**Options**

EAWH <sup>2</sup>	Emergency battery backup, CEC compliant (4W, 0°C min)	DDBXD	Dark bronze	DDBTXD	Textured dark bronze
PE <sup>4</sup>	PhotoCell, Button Type	DBLXD	Black	DBLTXD	Textured black
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD	Natural aluminum	DNATXD	Textured natural aluminum
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD	White	DWHGXD	Textured white
BCE	Bottom conduit entry for premium back box (PBBW). Total of 4 entry points.	DSSXD	Sandstone	DSSTXD	Textured sandstone

**Accessories**

WDGEAWS DDBXD U	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGEPBBW DDBXD U	WDGE Premium surface-mounted back box (specify finish)
WSSBW DDBXD U	Surface-mounted back box (specify finish)

**NOTES**  
 1 50K not available in 90CRI.  
 2 347V not available with EAWH, DS or PE.  
 3 EAWH not available with PE or DS.  
 4 PE not available with DS.



COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com  
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LITHONIA LIGHTING, LDN6  
6" OPEN AND WALLWASH LED,  
NEW CONSTRUCTION DOWNLIGHT



**FEATURES & SPECIFICATIONS**

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.  
**CONSTRUCTION** — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out), No. 12 AWG conductors, rated for 90°C.  
 Accommodates 12"-24" joist spacing.  
 Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.  
 Max ceiling thickness 1-1/2".  
**OPTICS** — LEDs are binned to a 3-step SDCM; 80 CRI minimum.  
 LED light source concealed with diffusing optical lens.  
 General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.  
 Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.  
**ELECTRICAL** — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.  
 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.  
 70% lumen maintenance at 50,000 hours.  
**LISTINGS** — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional). ENERGY STAR® certified product.  
**WARRANTY** — 5-year limited warranty. Complete warranty terms located at: [www.aaculight.com/CustomersResources/Terms\\_and\\_Conditions.aspx](http://www.aaculight.com/CustomersResources/Terms_and_Conditions.aspx)  
 Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number	
Notes	
Type	



**LDN6**  
6" OPEN and WALLWASH LED  
Non-IC  
New Construction Downlight



A+ Capable options indicated by this color background.

**ORDERING INFORMATION** Lead times will vary depending on options selected. Consult with your sales representative. **Example:** LDN6 35/15 L06AR LSS MVOLT EZ10

LDN6 Series	Color temperature	Lumens <sup>1</sup>	Aperture/Trim Color	Finish	Voltage
LDN6 6" round	27/ 2700K	05 500 lumens	L06 Downlight	AR Clear	MVOLT Multi-volt
	30/ 3000K	10 1000 lumens	LW6 Wallwash	LR <sup>2</sup> White	120 120V
	35/ 3500K	15 1500 lumens		BR <sup>2</sup> Black	277 277V
	40/ 4000K	20 2000 lumens		LS Specular	347 <sup>3</sup> 347V
	50/ 5000K	25 2500 lumens			

Driver	Options
GZ10 0-10V driver dims to 100%	SF <sup>4</sup> Single fuse TRW <sup>4</sup> White painted flange TRBL <sup>4</sup> Black painted flange EL Emergency battery pack with integral test switch. Not Certified in CA Title 20 MAEDBS
GZ1 0-10V driver dims to 1%	ELR Emergency battery pack with remote test switch. Not Certified in CA Title 20 MAEDBS
EZ10 0-10V eidoLED driver with smooth and flicker-free deep dimming performance down to 10%	ELSD Emergency battery pack with self-diagnostics, integral test switch. Not Certified in CA Title 20 MAEDBS
EZ1 0-10V eidoLED driver with smooth and flicker-free deep dimming performance down to 1%	ELRSD Emergency battery pack with self-diagnostics, remote test switch. Not Certified in CA Title 20 MAEDBS E10WCP Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB E10WCPR Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB NPP16D <sup>5</sup> nLight™ network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). NPP16DER <sup>6</sup> nLight™ network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.

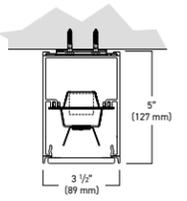
Accessories:	Notes
EAK ISSM 375 Compact interruptible emergency AC power system	1 Overall height varies based on lumen package; refer to dimensional chart on page 3.
EAK ISSM 125 Compact interruptible emergency AC power system	2 Not available with finishes.
GRA68 JZ Oversized trim ring with 8" outside diameter <sup>1</sup>	3 Not available with emergency options.
SCA6 Sloped ceiling adapter. Refer to TECH-SCA for more options.	4 Must specify voltage 120V or 277V.
	5 Available with clear (AR) reflector only.
	6 Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
	7 Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
	8 Not available with CP, NPS80EZ, NPS80ZER, NPP16D, NPP16DER or N80 options.
	9 NLTAR2 and NLTARER2 not recommended for metal ceiling installations.
	10 Fixture height is 6.5" for all lumen packages with HAO.
	11 Must specify voltage for 3000lm. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option.

NULITE REGOLO RXT-R  
SURFACE MOUNT WITH FLUSH LENS

DATE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_ TYPE: \_\_\_\_\_ QTY: \_\_\_\_\_



**REGOLO IP65 RATED RXT-R**  
Surface Mount /Flush Lens  
Direct Integral Driver



- IP65 rated exterior linear luminaire designed for demanding environments for protection against water, dust, oil, and non-corrosive material.
- Rugged three-sided .125" thick aluminum housing with welded seams and end caps. Housing standard finish is electrostatically applied textured white power coat paint. Optional silver, black, or custom color paints finishes.
- Long life distributed LED array in a variety of lumen output packages. LED color is available in 3000K, 3500K or 4000K with a CRI of 80 or 90. Custom outputs are available. Module is replaceable. 1.95x100,000 hrs.
- Fully sealed gasketed lens and electrical fittings.

**Light Output and Energy Consumption\***

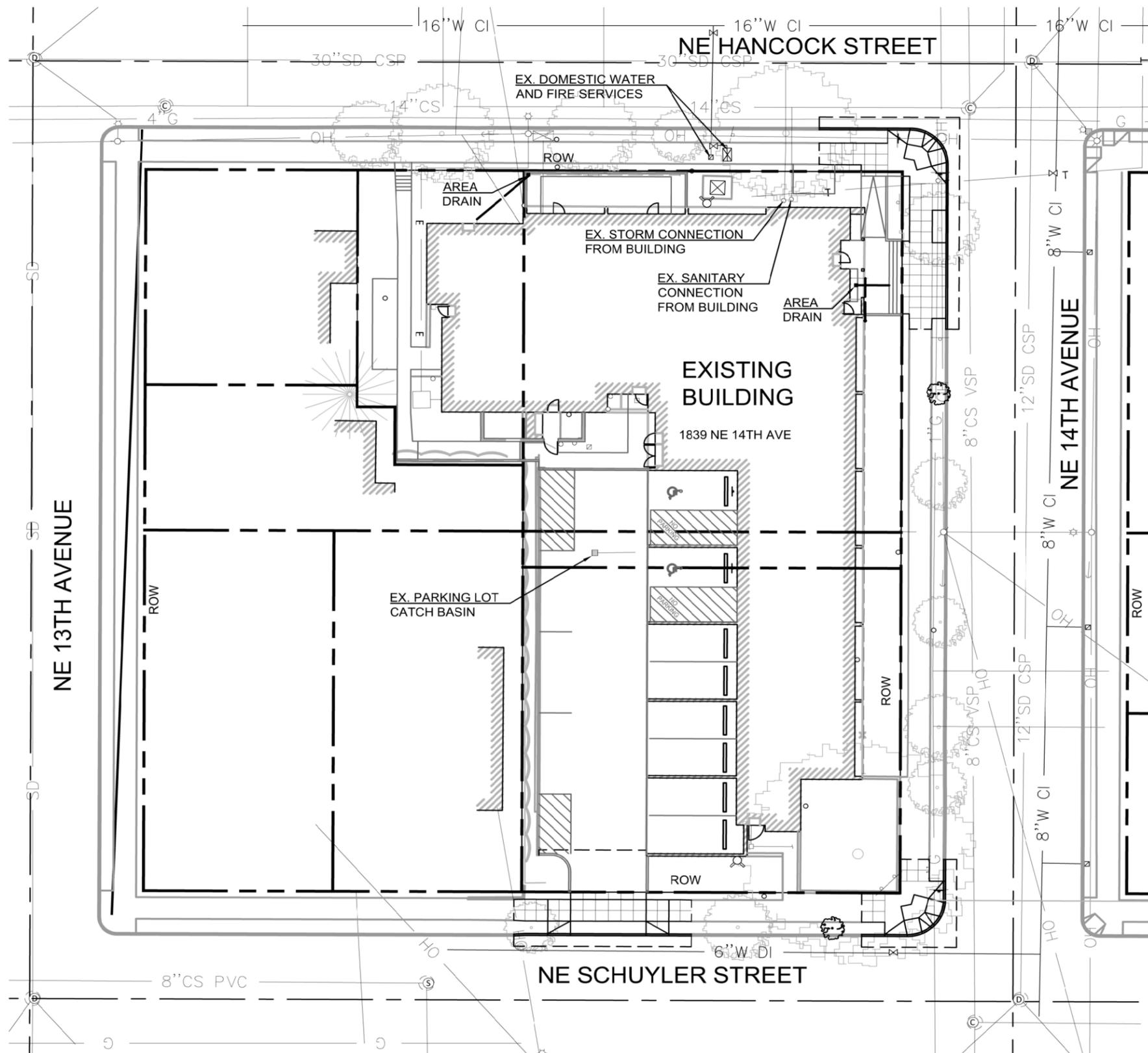
Light Level	lm/ft	Watts/ft	Efficacy
03	307	3.4	90.0
05	497	5.6	88.3
07	482	7.9	88.6
09	928	10.8	85.7

Lumen output may vary. 3500K / 80 CRI used for above results.

**ORDERING INFORMATION**  
SAMPLE NUMBER: RXT-R-FF-07L35-1C-U-D-W-4

RXT-R SERIES	FF DIRECT SHIELDING	LUMEN PACKAGE <sup>1</sup>	CRV CCT	CIRCUIT <sup>2</sup>
RXT-R - Regolo 4" wide IP65 rated surface mount	FF - Flush Frosted	03 - -300 lm/ft 05 - -500 lm/ft 07 - -700 lm/ft 09 - -900 lm/ft XX <sup>2</sup>	L30 - 80 CRI, 3000K L35 - 80 CRI, 3500K L40 - 80 CRI, 4000K H30 - 90 CRI, 3000K H35 - 90 CRI, 3500K H40 - 90 CRI, 4000K	1C - Single Circuit 1E - Single Circuit with EM Circuit 1B5 - Single Circuit with 5W Battery Pack 1B7 - Single Circuit with 7W Battery Pack 1B10 - Single Circuit with 10W Battery Pack 1B12 - Single Circuit with 12W Battery Pack CEC - CEC Compliant (10W Battery Pack)

VOLTAGE	DRIVER <sup>3</sup>	DALI Dimming	LUMINAIRE FINISH	LENGTH	OPTIONS
U - Universal 1 - 127 Volt 2 - 277 Volt	Dimming 0-10V D - Dims to 1% (Standard) D0 - Dims to 1%, fade to off D02 - Eddled Solodrive, dims to 0%	DALI Dimming ELE - Eddled Ecodrive, dims to 1% ELS - Eddled Solodrive, dims to 0% Lutron Dimming L12 - Lutron HiLume™ 2-Wire 120V Forward Phase, dims to 1% L15 - Lutron HiLume™ H-Series, dims to 1% L16 - Lutron HiLume™ S-Series, dims to 5%	W - White (Standard) S - Silver B - Black CC - Custom Color	2 - 2 ft 3 - 3 ft 4 - 4 ft 5 - 5 ft 6 - 6 ft 7 - 7 ft 8 - 8 ft XX <sup>4</sup> - x ft	G10 - Generator transfer device ETS <sup>5</sup> - Electronic transfer switch SLR - Fusing FDS - Finished end cap with integrated sensor SDS - Standard end cap sensor VR - Vandal resistant



## STORMWATER NARRATIVE

### PRIVATE SITE

STORMWATER MANAGEMENT IS TRIGGERED BY THE NEWLY CONSTRUCTED IMPERVIOUS AREA OF 2,025 SF, BUT AN ADEQUATE MANAGEMENT FACILITY CANNOT BE PROVIDED SO A SPECIAL CIRCUMSTANCES FORM WILL BE SUBMITTED REQUESTING A FEE-IN-LIEU.

### PUBLIC STREET IMPROVEMENTS

STORMWATER MANAGEMENT IS NOT REQUIRED FOR THE IMPROVEMENTS TO THE PUBLIC RIGHT OF WAY. THE EXISTING STORMWATER DRAINAGE FOR THE RIGHT OF WAY WILL BE PROTECTED DURING CONSTRUCTION.

## UTILITY CONTACTS

### ELECTRICAL

JOHN MOUDY  
 PORTLAND GENERAL ELECTRIC  
 JOHN.MOUDY@PACIFICORP.COM  
 503-880-1479  
 WORK ORDER NO. 8068154

### GAS

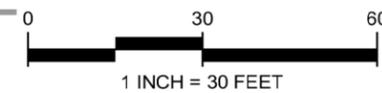
JEREMY LORENCE  
 NORTHWEST NATURAL GAS  
 JEREMY.LORENCE@NWNATURAL.COM  
 503-610-7693

### WATER

BEN KERSENS  
 PORTLAND WATER BUREAU  
 BEN.KERSENS@PORTLANDOREGON.GOV  
 503-823-3805

### STORM/SANITARY

ELLA INDARTA  
 PORTLAND BUREAU OF ENVIRONMENTAL SERVICES  
 ELLA.INDARTA@PORTLANDOREGON.GOV  
 503-823-2073

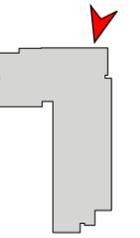


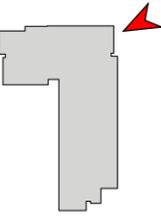
# VEGA

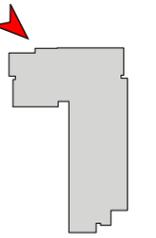
CIVIL ENGINEERING LLC  
 503.662.1901 | WWW.VEGACIVIL.COM

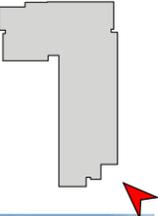


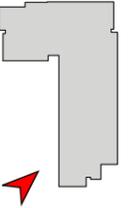
# APPENDIX

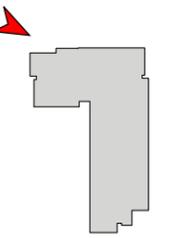


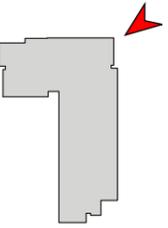


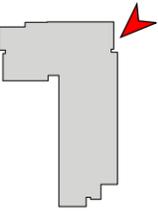


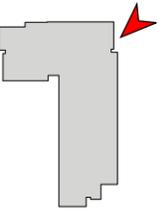


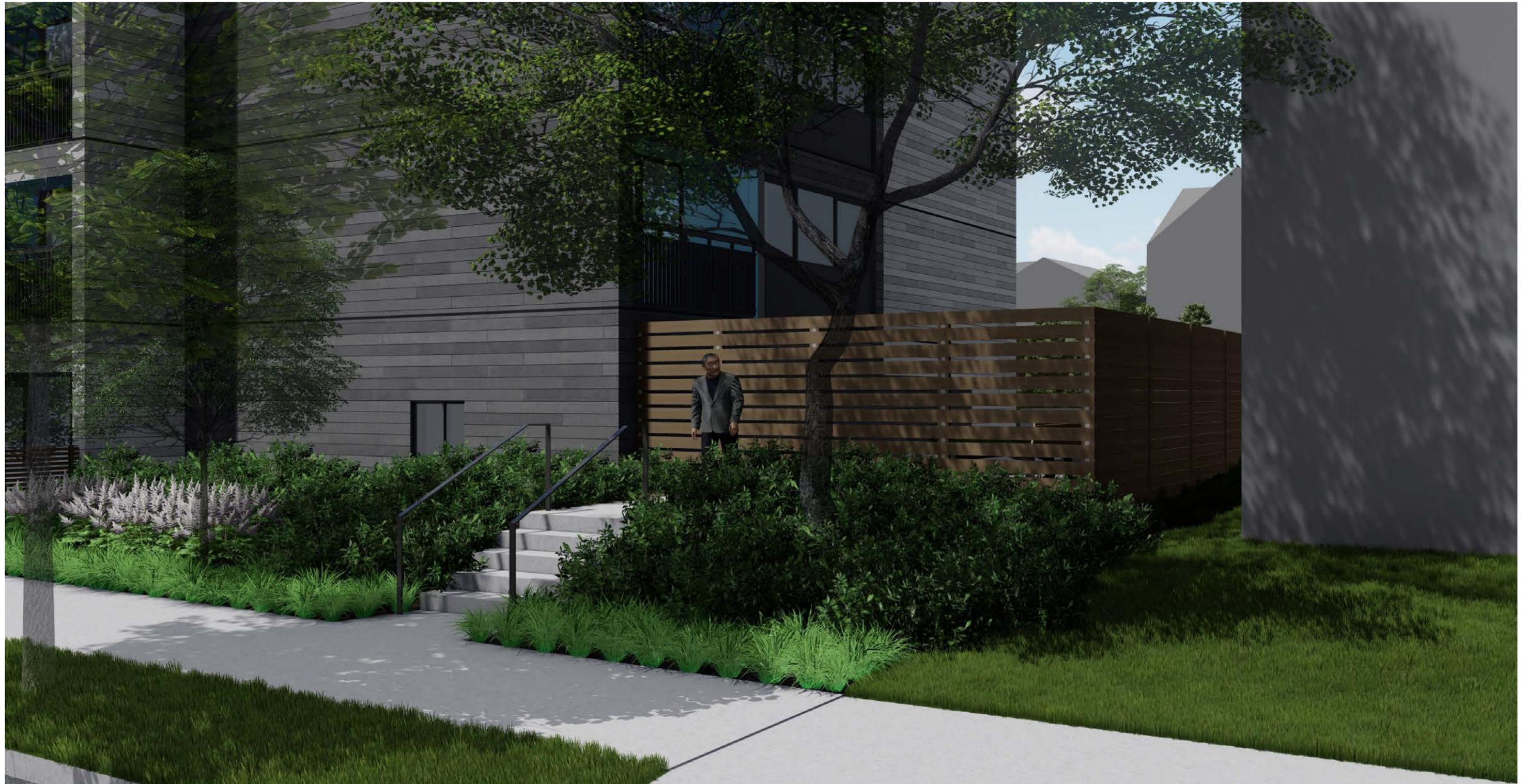
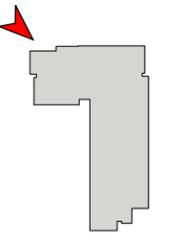


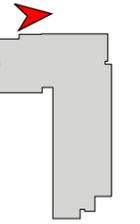


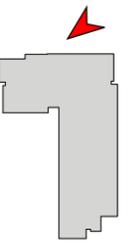


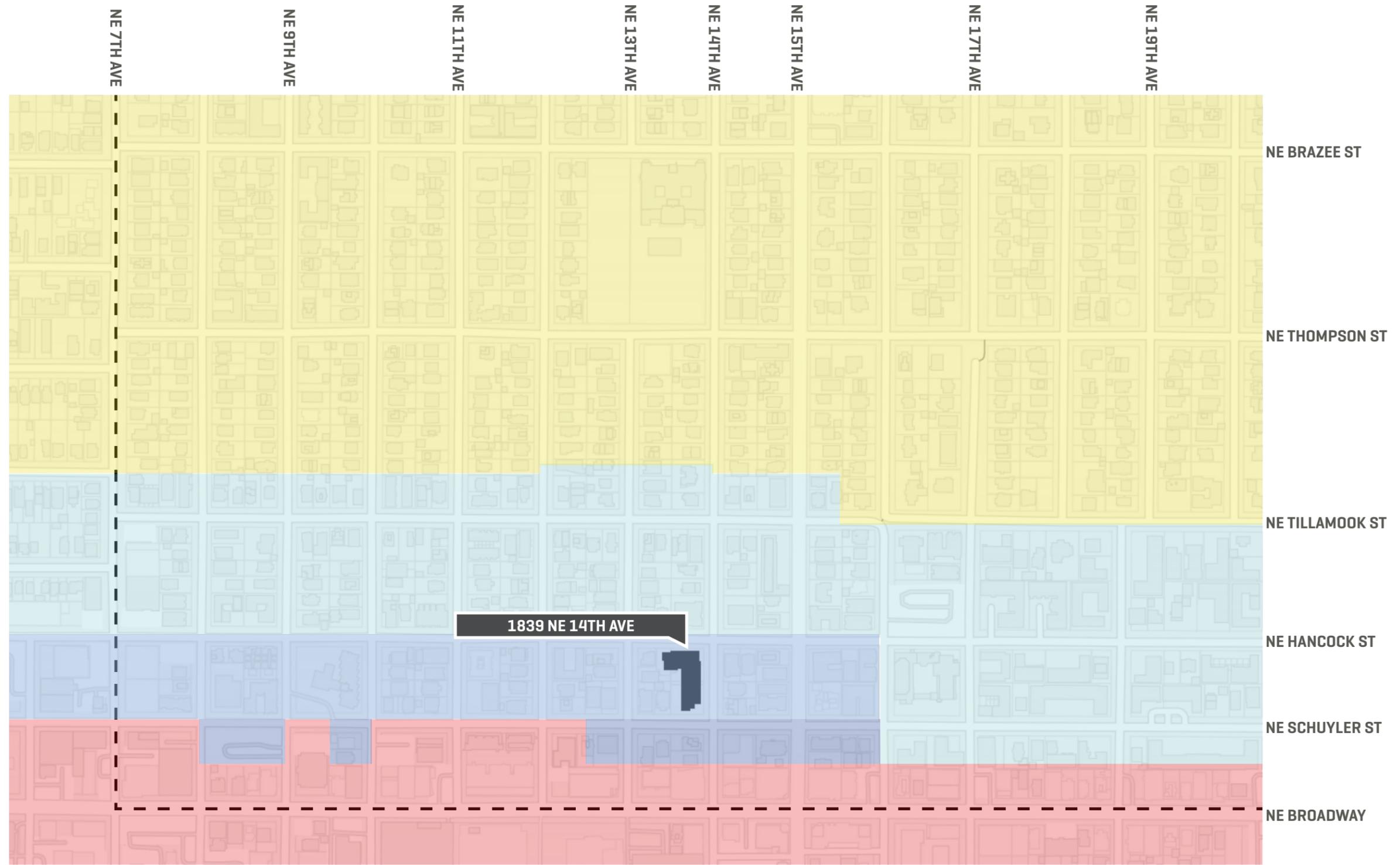


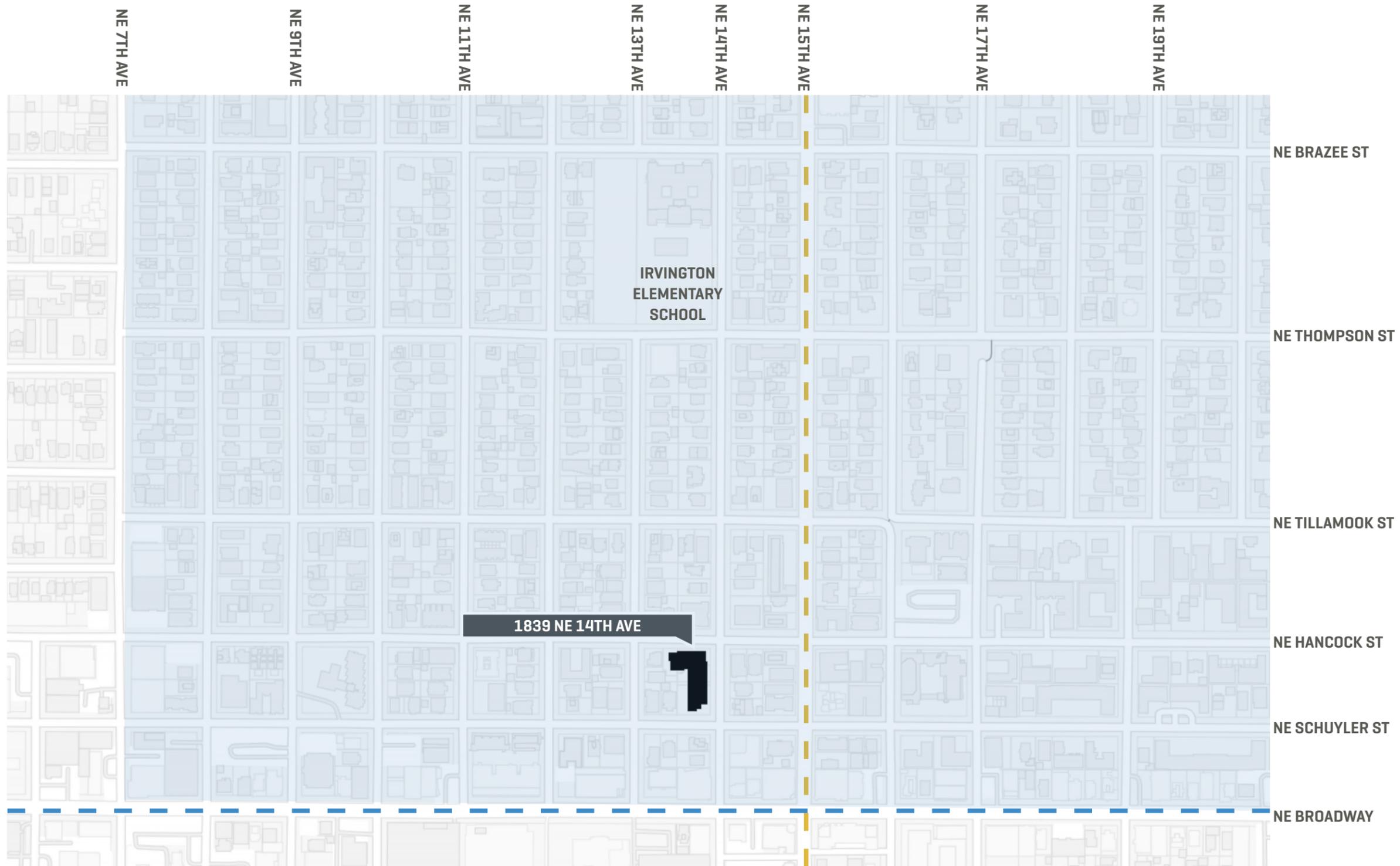












**LEGEND**

-  BUS ROUTE 17 AND 77
-  BUS ROUTE 8
-  IRVINGTON HISTORIC DISTRICT

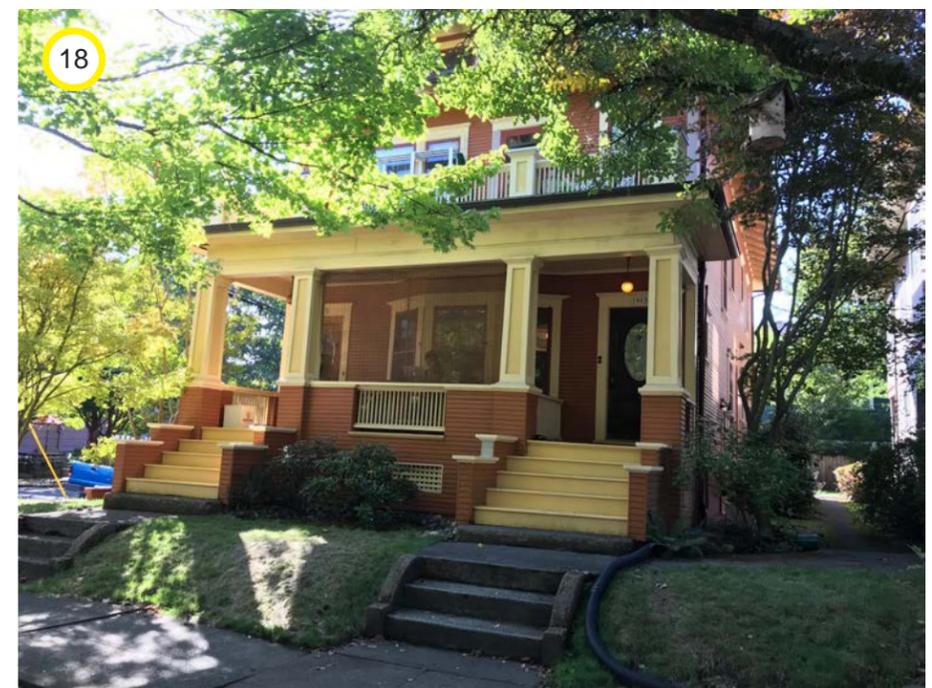














VIEW OF NE CORNER FROM NE 14TH AVE. AND NE HANCOCK ST



VIEW OF NW CORNER FROM NE HANCOCK ST

21



VIEW OF SE CORNER FROM NE SCHUYLER ST. AND NE 14TH AVE.

22



VIEW OF SW CORNER FROM NE SCHUYLER ST.

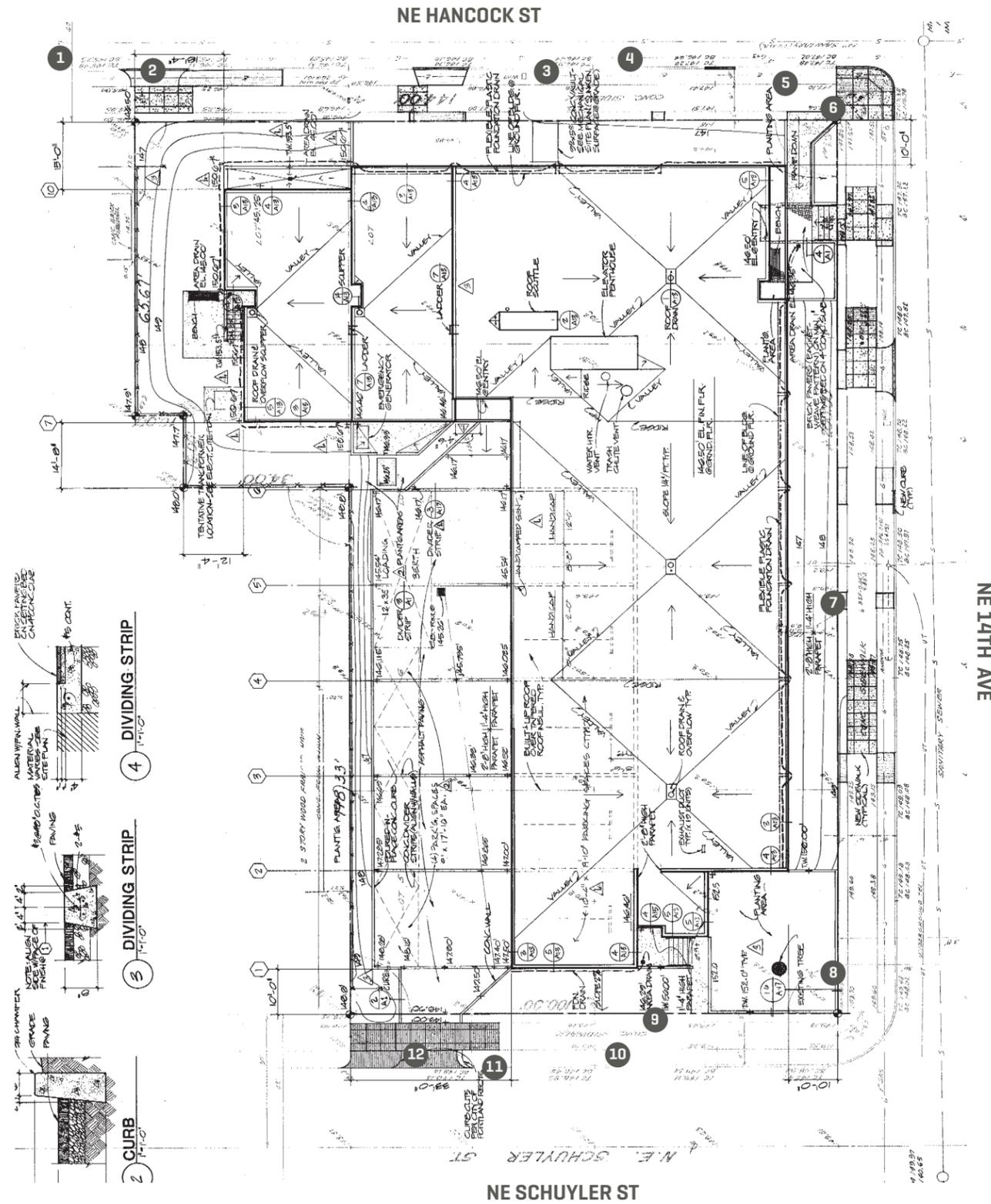
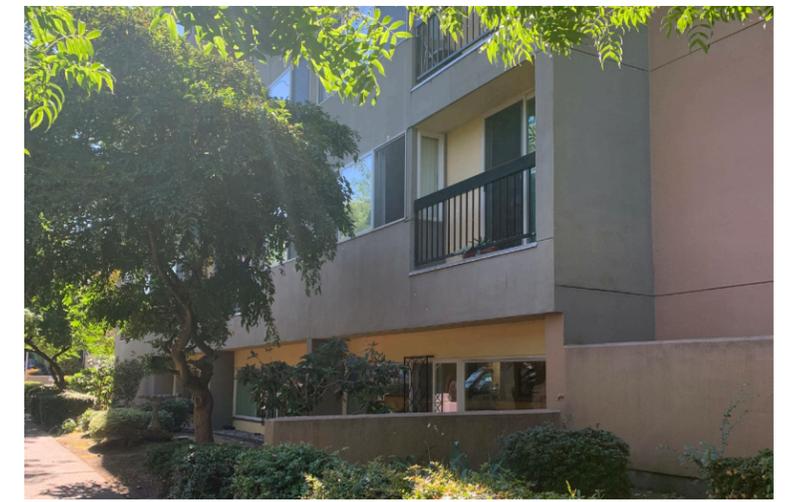


IMAGE KEY



1. NORTH FACADE



5. BUILDING ENTRY



9. BUILDING EXIT NE SCHUYLER ST



2. NORTH LOOKING AT GARDEN SPACE



3. NE HANCOCK ST COMMUNITY ROOM WINDOWS



4. TYPICAL BALCONY



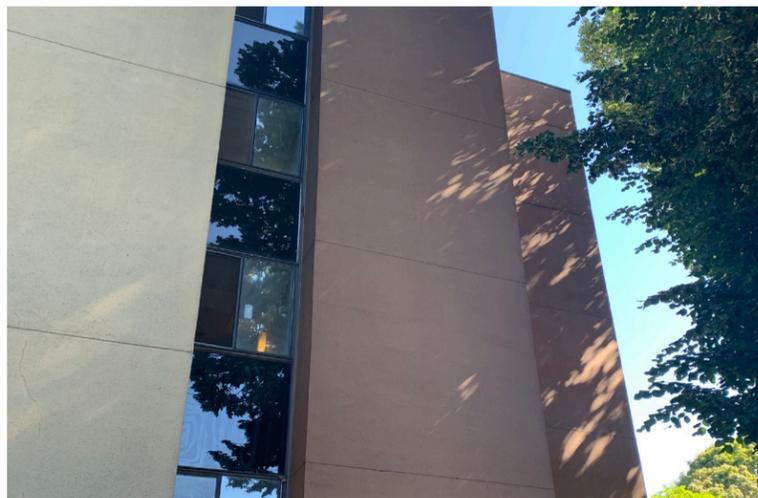
6. EXISTING BUILDING ENTRY NE 14TH AVE



7. EAST FACADE



8. TYPICAL BALCONY



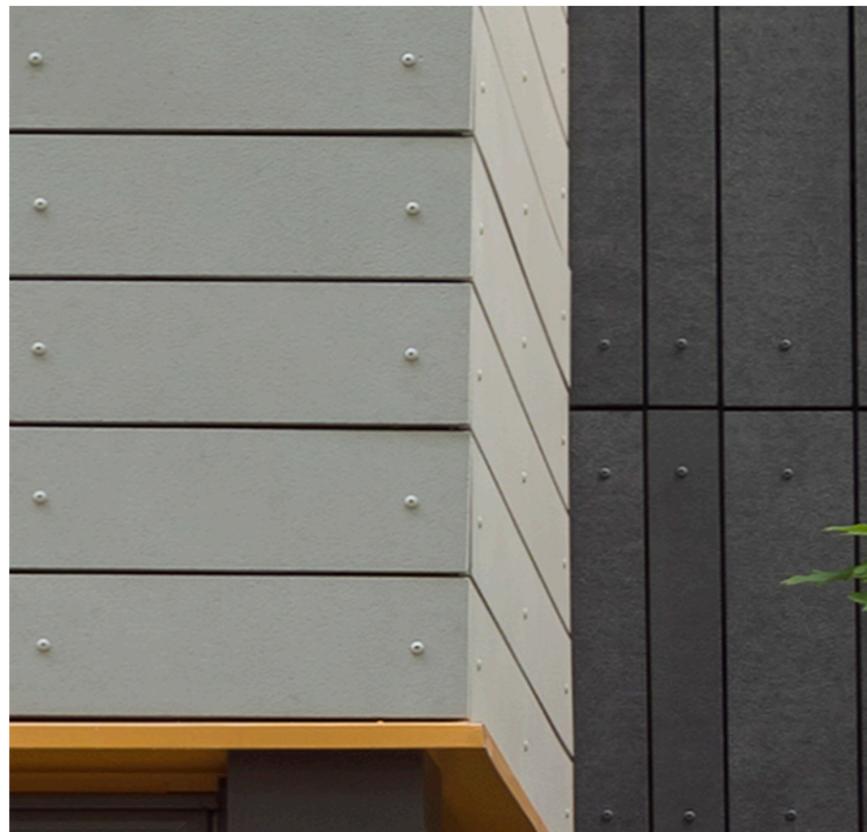
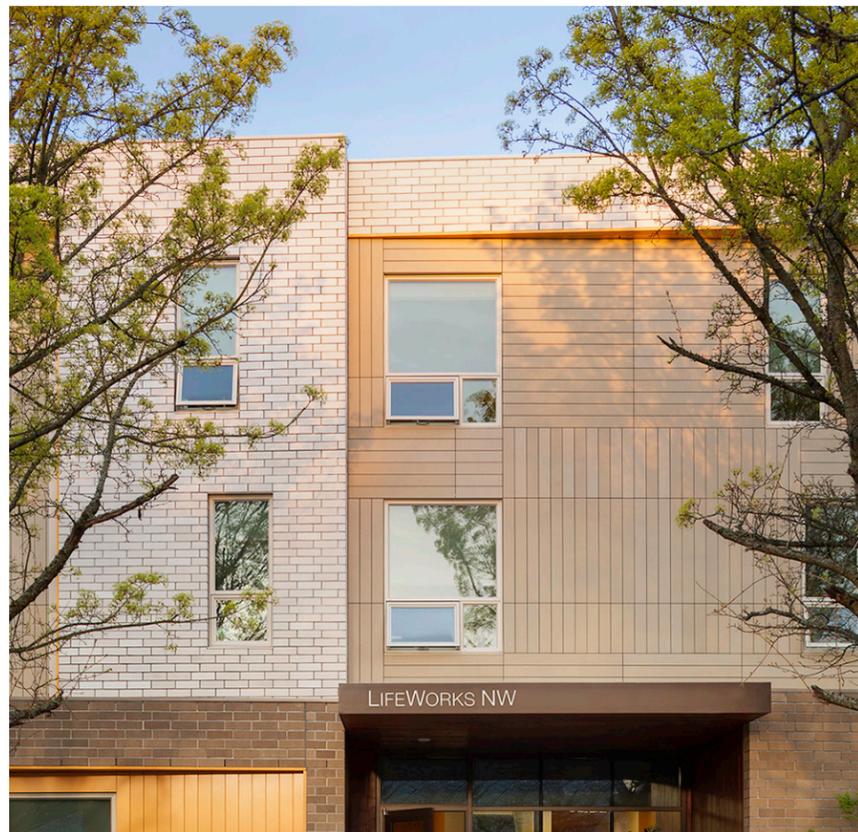
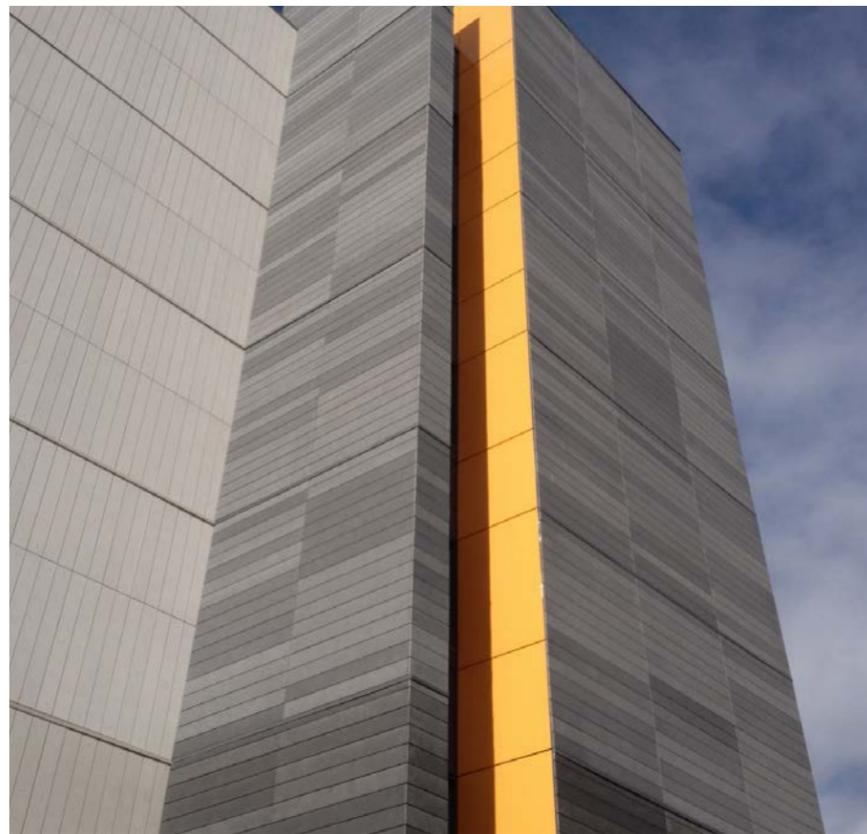
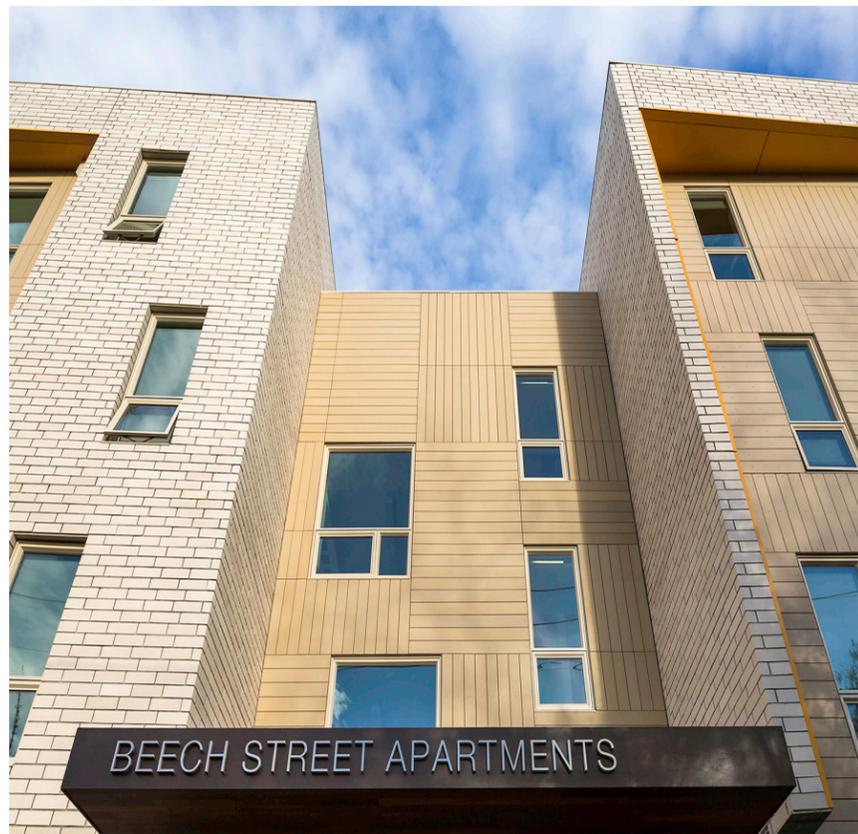
10. CURTAIN WALL



11. PARKING COURT



12. WEST FACADE



PROJECT: Lifeworks/Beech St Apts, Holst Architecture  
 MATERIAL: Oko Skin Glass Fiber Wall Panel w/ exposed screws

PROJECT: Home Forward Gallagher Plaza, Portland OR, Holst Architecture  
 MATERIAL: Oko Skin Glass Fiber Wall Panel w/exposed screws  
 ENTITLEMENTS: Type III Historic Resource Review

PROJECT: Hotel Eastlund, Holst Architecture  
 MATERIAL: ACM route & return panel w/ concealed attachment

**MODIFICATION #1:**

**33.266.130.F.2 Parking Aisle Dimensions**

Adjustment requested for section 33.266.130.F.2, to provide less than the required minimum width for the area of the drive aisle adjacent to the Standard 'B' loading space. This Adjustment is necessary for the following reasons:

- Existing dimensions at this location on the site prohibit providing a full 20' wide drive aisle in addition to meeting the minimum width requirements of the Standard 'B' loading space.
- Propose maintaining required minimum width at Standard 'B' loading space, which reduces the allowable width of the drive aisle at that location to approximately 19'-4" wide.

**MODIFICATION #2:**

**33.266.130.G.2.D.2 Perimeter Landscaping at Parking Areas**

Modification requested to the minimum allowable L3 perimeter landscape at a lot line abutting an 'R' zone lot line. This modification is necessary for the following reasons:

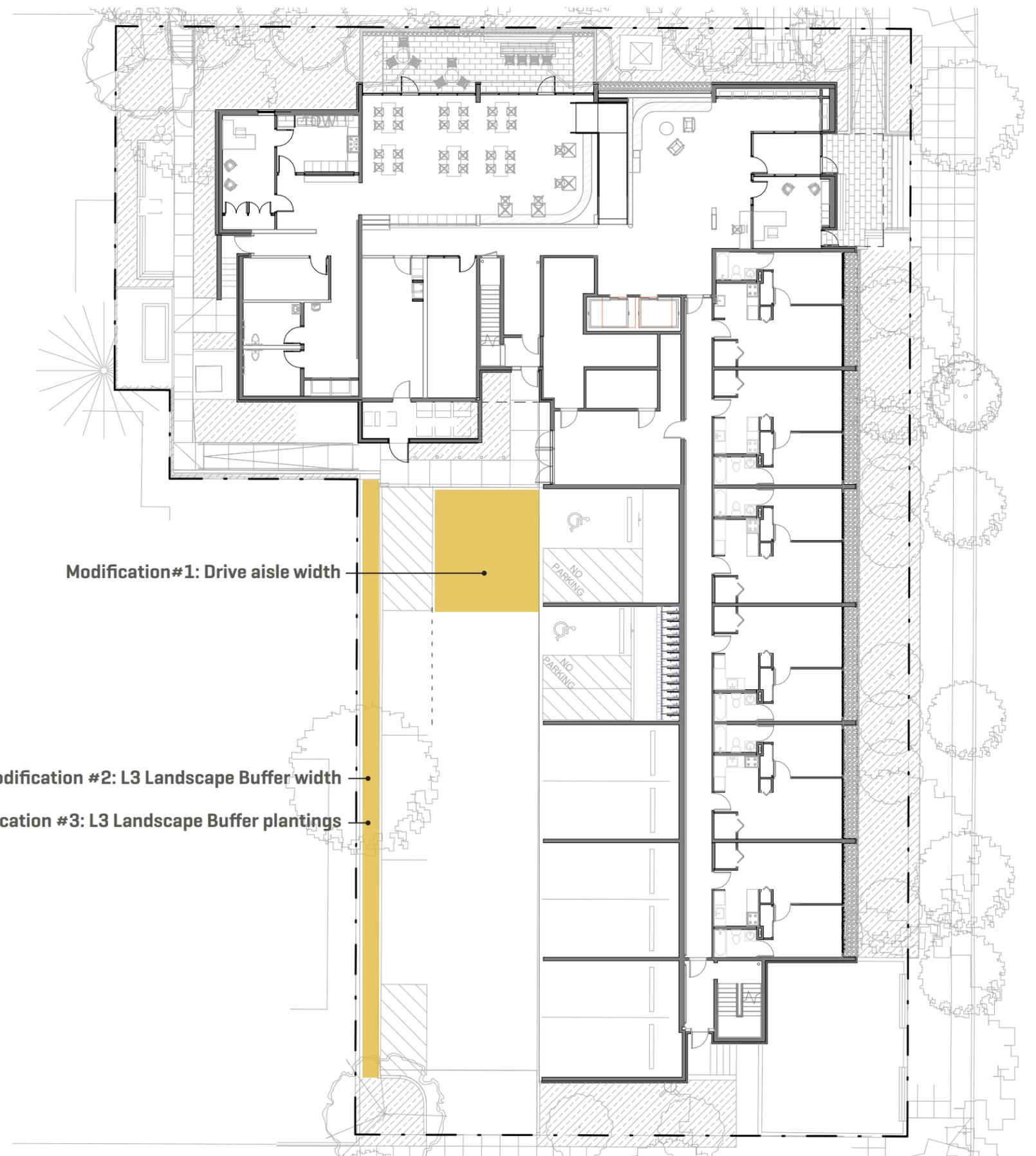
- Per Table 266-5, the minimum allowable perimeter landscape at a lot line abutting an 'R' zone lot line is 5 ft of L3.
- The existing drive aisle and loading area widths do not allow for expansion of the existing landscape buffer to the required 5' minimum width without impacting the minimum required dimensions for the drive aisle and loading area.

**MODIFICATION #3:**

**33.266.130.G.2.D.2 Perimeter Landscaping at Parking Areas**

Modification requested for the elimination of the requirement for trees at a lot line abutting an 'R' zone lot line. This modification is necessary for the following reasons:

- Existing perimeter landscaping is a tall arborvitae evergreen (shrub) hedge without trees.
- Modification proposes to leave existing arborvitae evergreen (shrubs) and not provide the required trees per lineal foot, as existing shrubs create a tall, continuous screening hedge that meets the requirement of its use to "promote compatibility between land uses by reducing the visual, noise, and lighting impacts of specific development on users of the site and abutting uses".





**DAR**

The original design proposed two cladding options, oko skin and thin brick, to fit into the context of the historic district and included removal of balconies, an improved main entry and new north patio adjacent to the existing Community Room.

Executive Summary from the DAR included the Commission:

- SUPPORTING REPLACEMENT OF CLADDING, WITH A MAJORITY PREFERRING OKO SKIN TO THIN BRICK
- AGREEING THAT REMOVAL OF BALCONIES SHOULD BE AVOIDED
- ENCOURAGING DEVELOPMENT OF ANOTHER COMMON OUTDOOR AREA IN ADDITION TO THE NORTH PATIO WHICH IS PRIMARILY IN SHADE
- BEING AMENABLE TO NEW VINYL WINDOWS TO REPLACE EXISTING
- BEING AMENABLE TO POSSIBLE MODIFICATIONS, IF NECESSARY, DEPENDING ON LIMITS OF BUILDING/ SITE AND PROPOSAL



# RESPONSE TO DAR

CLADDING, BALCONIES & COLOR

## 0 DAR PROPOSAL CLADDING, BALCONIES & COLOR



EAST ELEVATION - DAR

### CLADDING, BALCONIES & COLOR

#### SUMMARY OF COMMENTS:

There was an overall preference for the oko skin cladding option as this cementitious material was seen as more true/honest and in-line with the existing stucco material. Although some supported the option for thin brick, as well.

There was an agreement that removal of balconies should be avoided.

There were some concerns about the amount and randomness of color on the oko skin option and a comment that less color would be more appropriate to the historic context.

#### RESPONSE:

New design proposes to move forward with a two-toned oko skin facade in a 1/3 staggered pattern and keep all existing balcony locations and same depth of balconies.

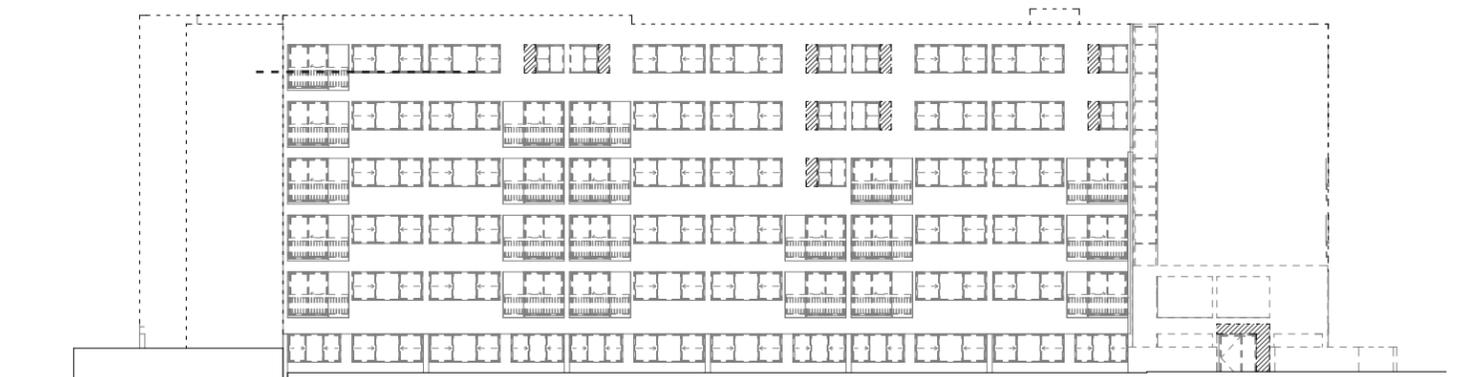
Aluminum composite metal panel accent colors are strategically used to highlight the vertical pattern of the balcony zones and highlight those as dominant elements of the facade, similar to the shift in stucco color at the existing balconies. This color line tracks up the facade and reduces the otherwise strong horizontal reading where originally-narrow windows become wider at upper level bedrooms. Three tones of blue are used as a subtle play of calming colors that compliment the oko skin material.

Balcony guardrails have a similar vertical picket design and dark color strategy that allows maximum light through and allows the entire balcony area to read as a punched opening in the facade.

## N NEW LUR CLADDING, BALCONIES & COLOR



EAST ELEVATION - NEW



EAST ELEVATION - DEMOLITION

ACCENT COLORS ACCENTUATE VERTICAL PATTERN OF BALCONIES



EXISTING BALCONIES



PROPOSED DESIGN

# RESPONSE TO DAR

## WINDOW OPENINGS

### 0 DAR PROPOSAL WINDOW OPENINGS



EAST ELEVATION - DAR

### WINDOW OPENINGS

#### SUMMARY OF COMMENTS:

Previous design proposed narrow windows to break up patterning of the facade into smaller modules, while providing multiple windows into every unit. Commission was not in favor of random pattern. Some feedback was in favor of the stronger horizontal reading of the windows from the thin brick option, as well. Window sills were also proposed to be at 24" A.F.F., which would have required limiters per Code.

Commissioners were accepting of replacement windows being vinyl due to existing windows being vinyl. They were not accepting of fixed windows in previous oko skin option due to their inability to be opened by residents and felt they should have a "punch" or shadow line to give the elevations depth.

#### RESPONSE:

All new windows to be vinyl with operable sliders. Depth of window into opening is limited by depth of wall framing and structural capacity of building, but is set as deep as possible. Reference proposed details.

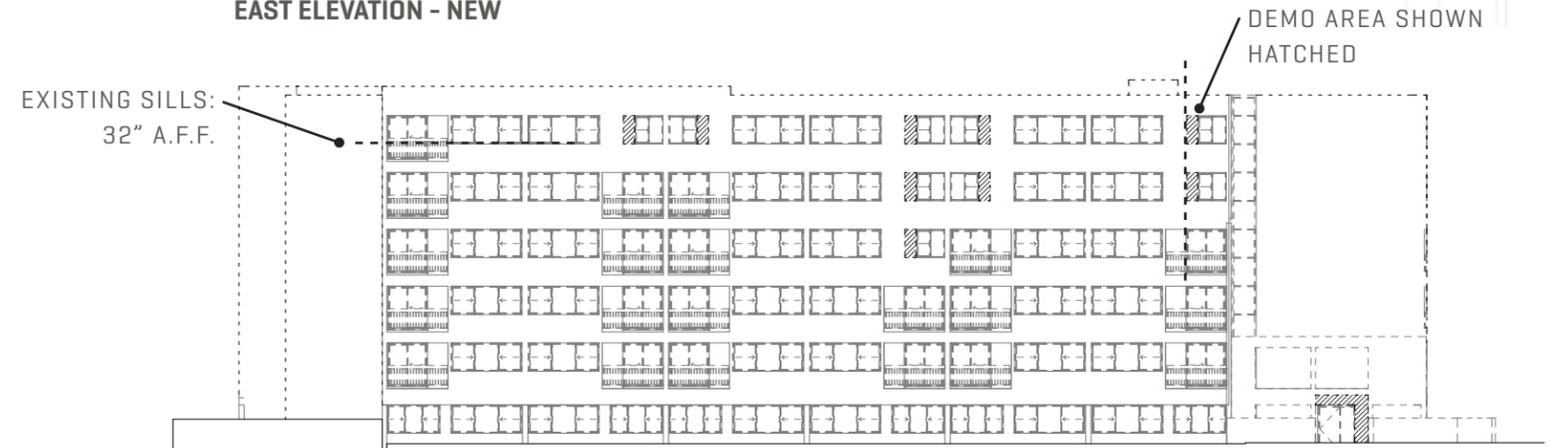
Design development proposes to raise all window sill heights from 32" to 36" above finished floor in order to avoid having to provide limiters on new vinyl sliding windows and to provide slightly more visual privacy to residential units while maintaining existing 7'-0" head height and full width across residential units to maximize views and daylight into units.

Existing bedroom windows at upper level units are narrow and are proposed to be widened to 6'-0" to provide more daylight into those units and align window jamb with new sliding doors at balconies below. This also speaks more to the idea of the stronger horizontal reading of the windows, similar to the previous thin brick option, while simultaneously allowing the accent color panels to track as a vertical element up the facade to emphasize the vertical patterning of the balconies.

### N NEW LUR WINDOW OPENINGS



EAST ELEVATION - NEW



EAST ELEVATION - DEMOLITION



EXISTING FACADE



PROPOSED DESIGN

# RESPONSE TO DAR

## OUTDOOR AREAS

### 0 DAR PROPOSAL OUTDOOR AREAS

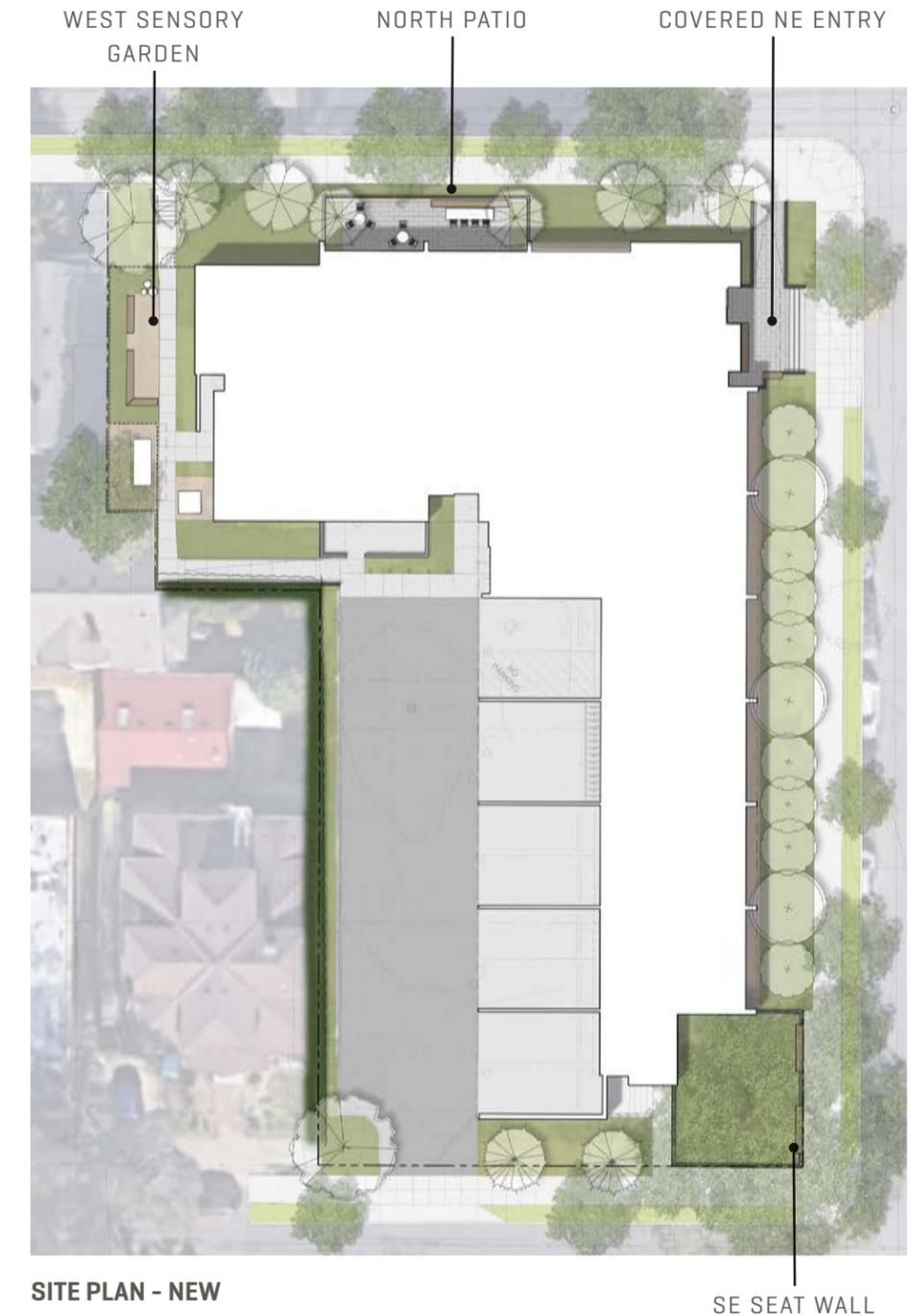


NORTH PATIO - DAR

### N NEW LUR OUTDOOR AREAS



NORTH PATIO - NEW



SITE PLAN - NEW



WEST SENSORY GARDEN - NEW

### OUTDOOR AREAS

#### SUMMARY OF COMMENTS:

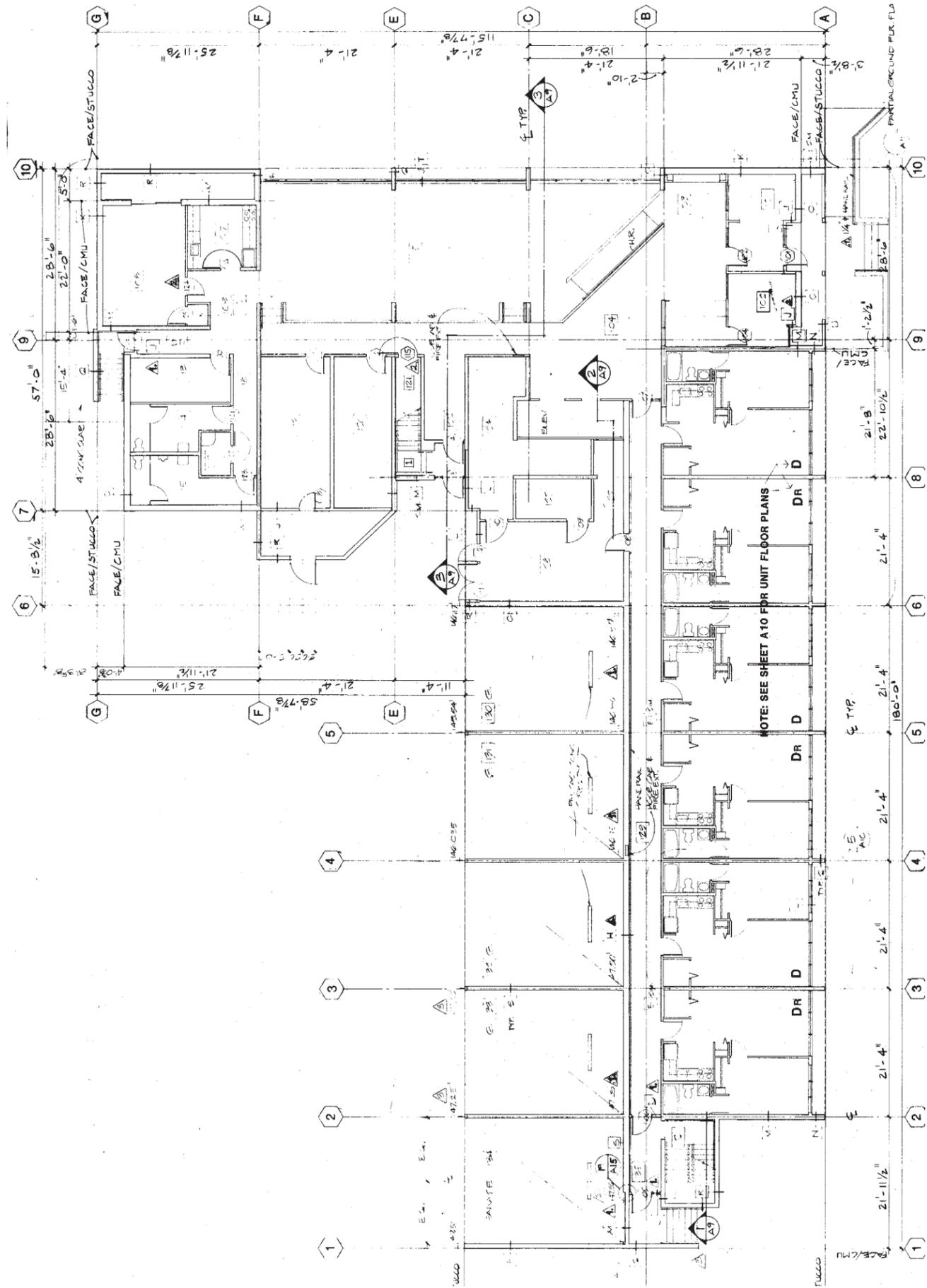
The Commission recognized the benefit of having the north patio adjacent to the existing Community Room, but felt that due to it being in shade most of the year and with the removal of the balconies in the previous design that another shared outdoor space with improved solar impact was needed.

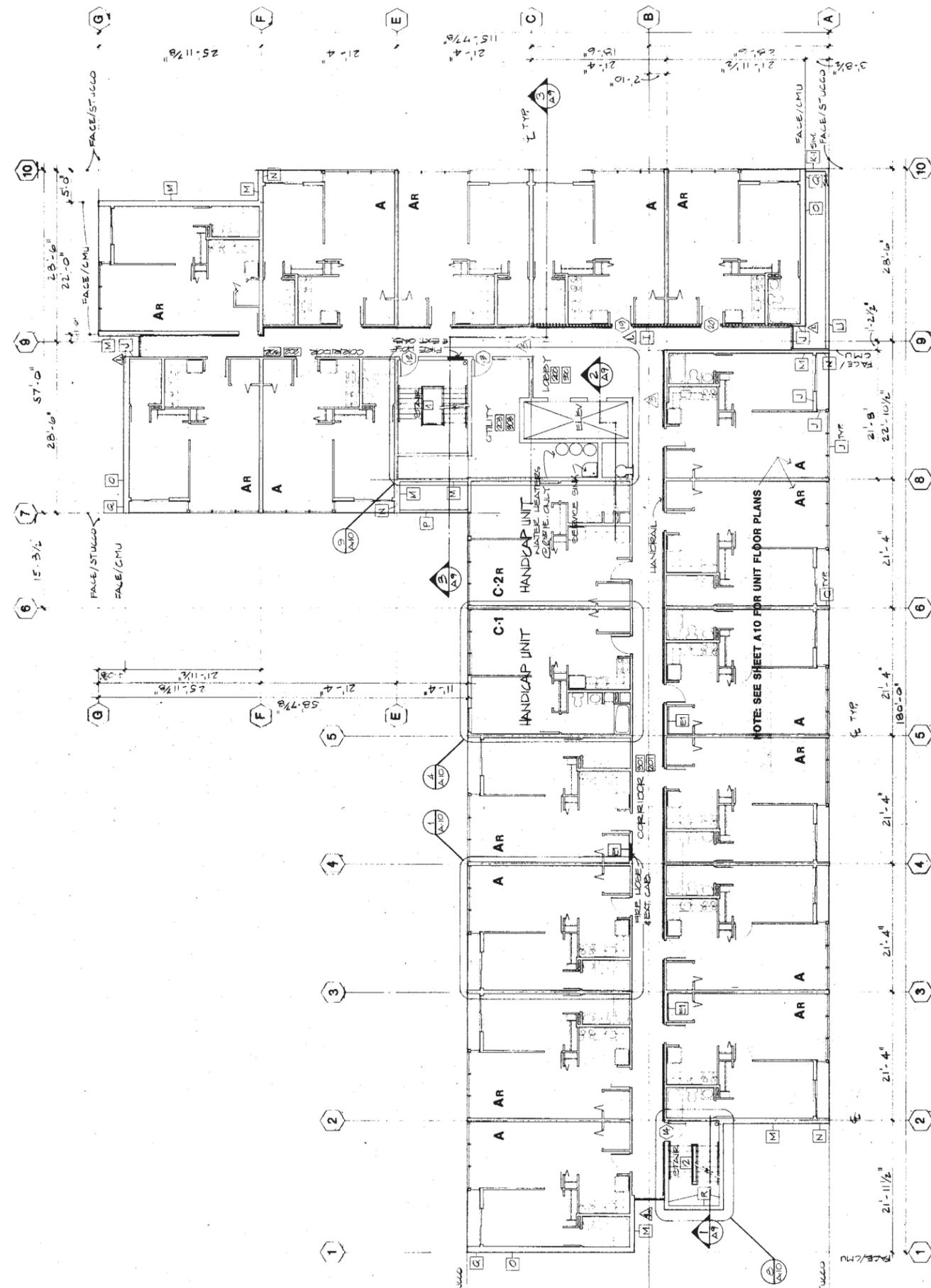
#### RESPONSE:

Per a discussion with Art Graves (City Planner) on 11.23.21, maintaining the existing balcony locations in the new design precludes it from going out-of-conformance with the overall outdoor area and, therefore, does not need to meet the request to provide an additional outdoor space with improved solar impact or to meet the outdoor area requirements of the Zoning Code.

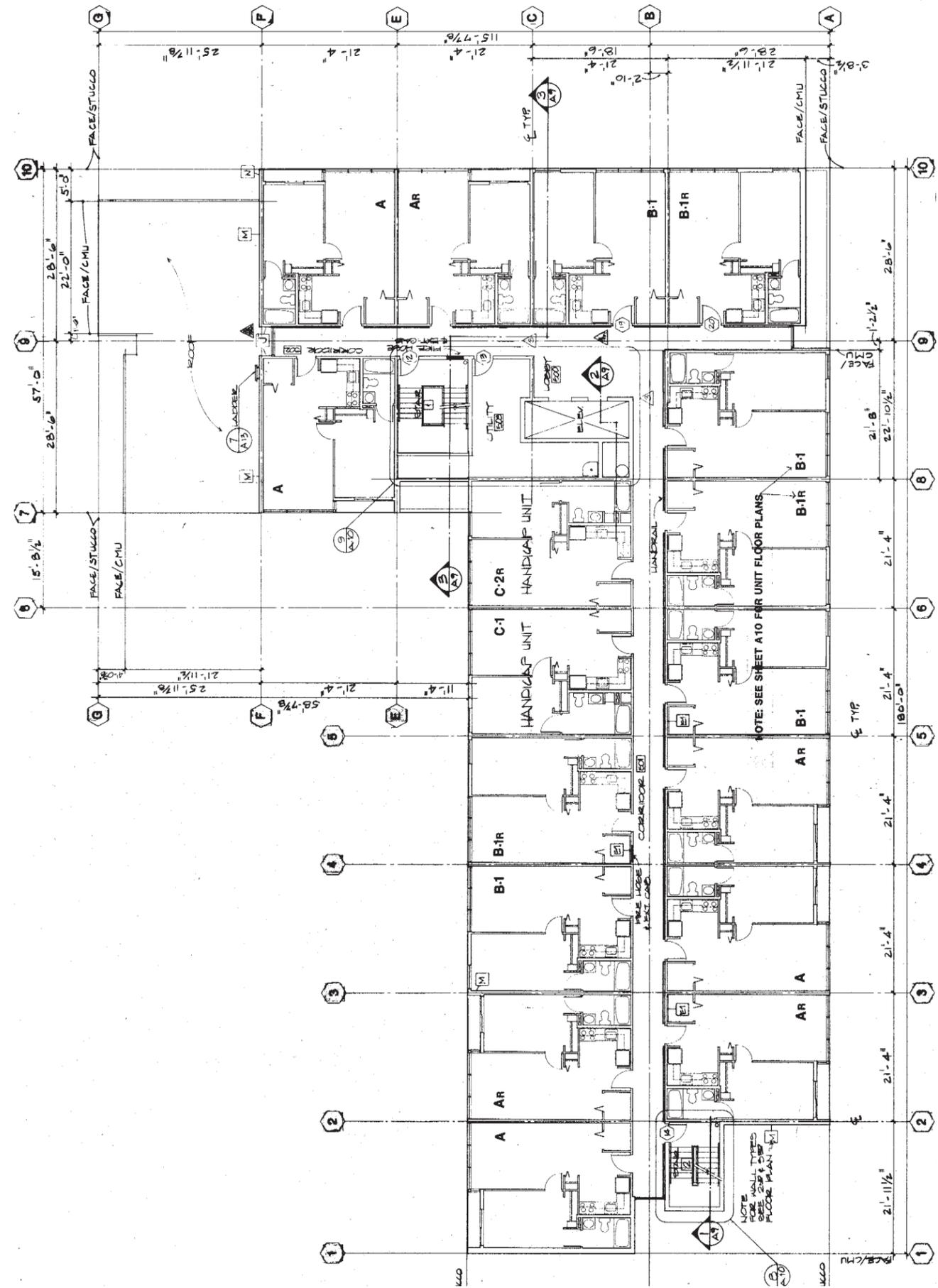
With that being said, the new design takes advantage of multiple areas of the site to provide varying outdoor amenities for the residents to include: an improved NE entry with covered seating, screened north patio, west sensory garden terrace and seating at the existing low wall at the SE corner of the site. Reference site plans for more information.







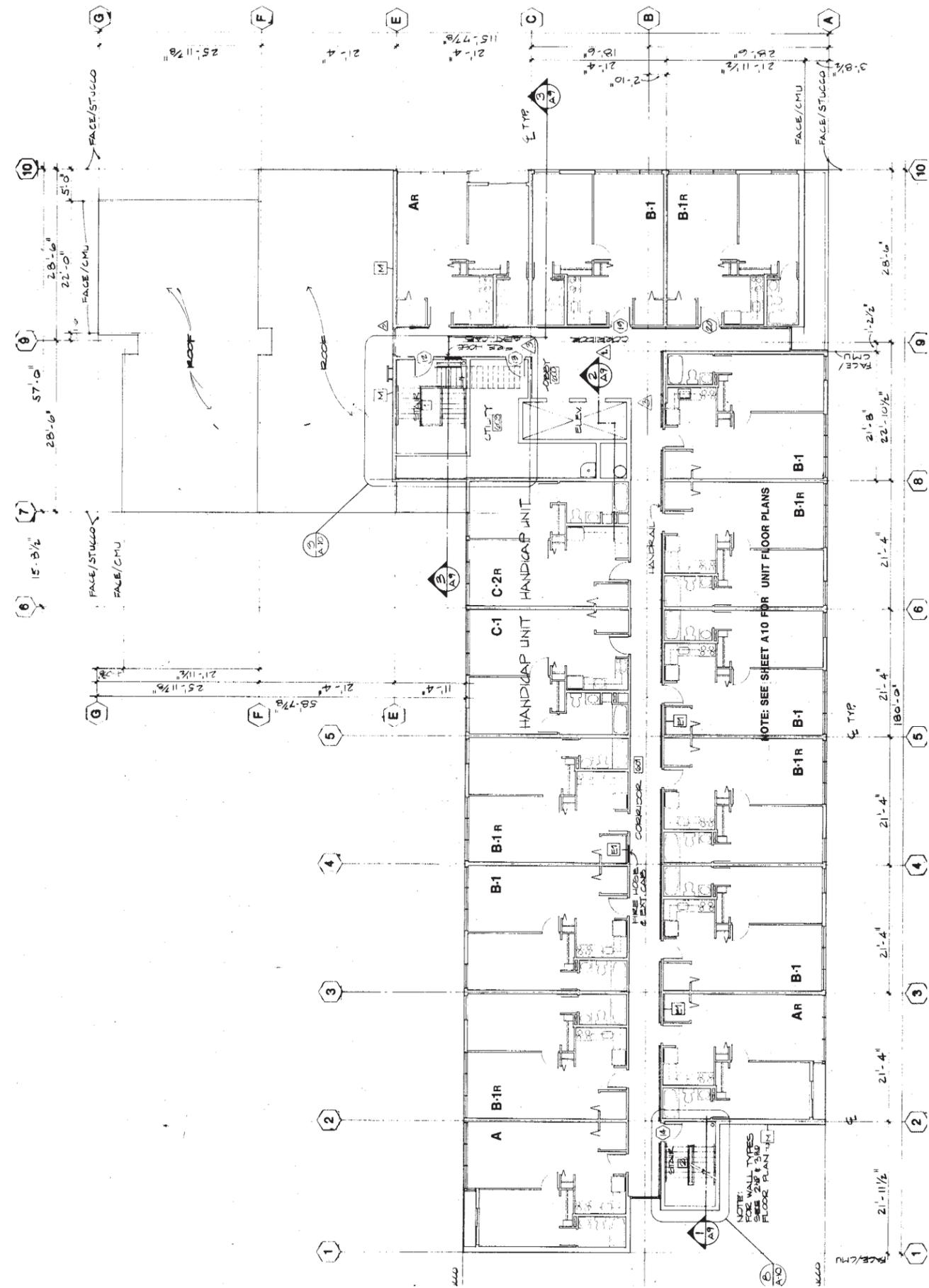


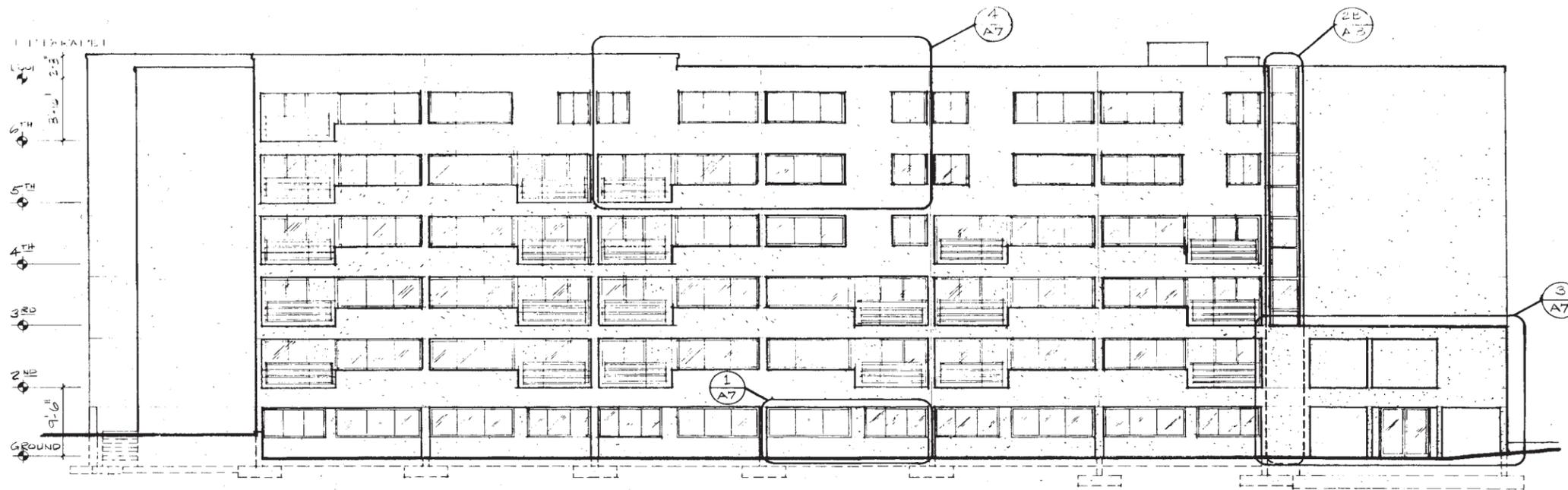


NOTE:  
FOR WALL TYPES  
SEE PLAN 04

NOTE: SEE SHEET A10 FOR UNIT FLOOR PLANS

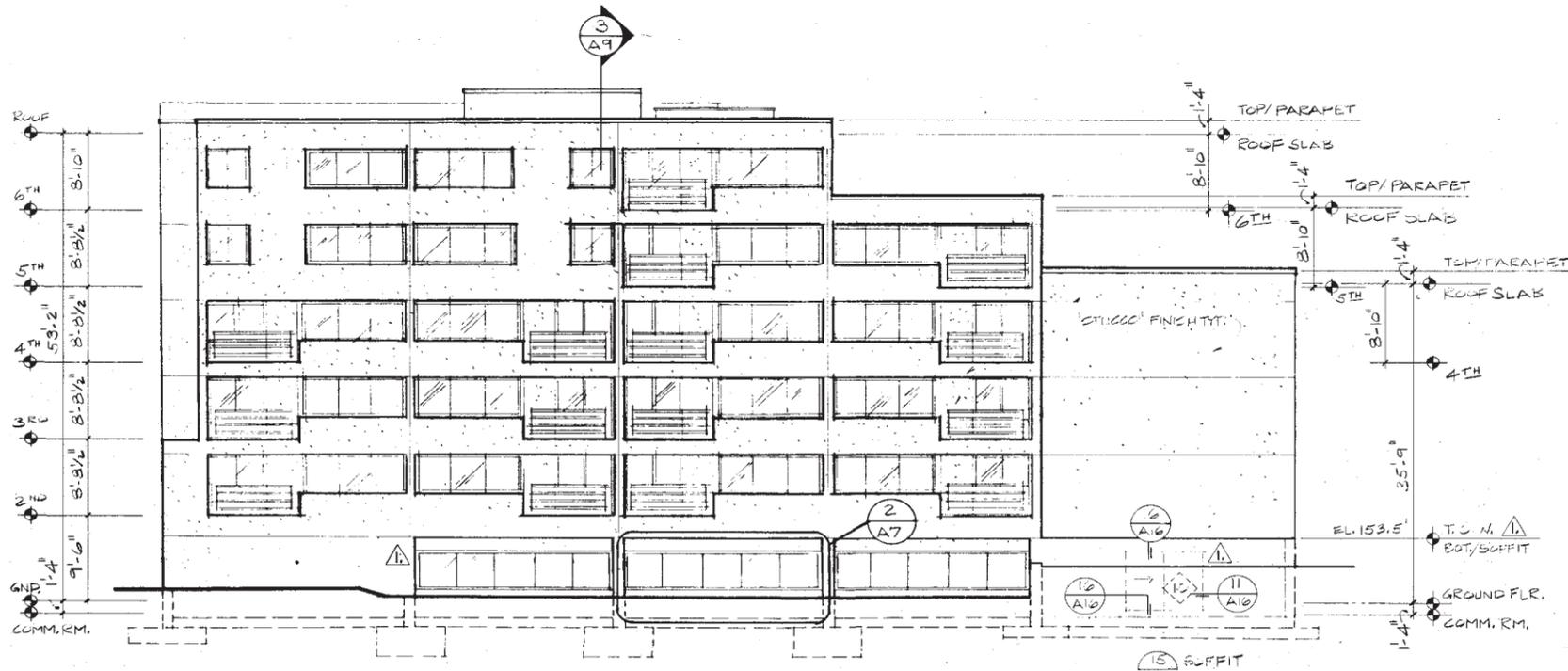






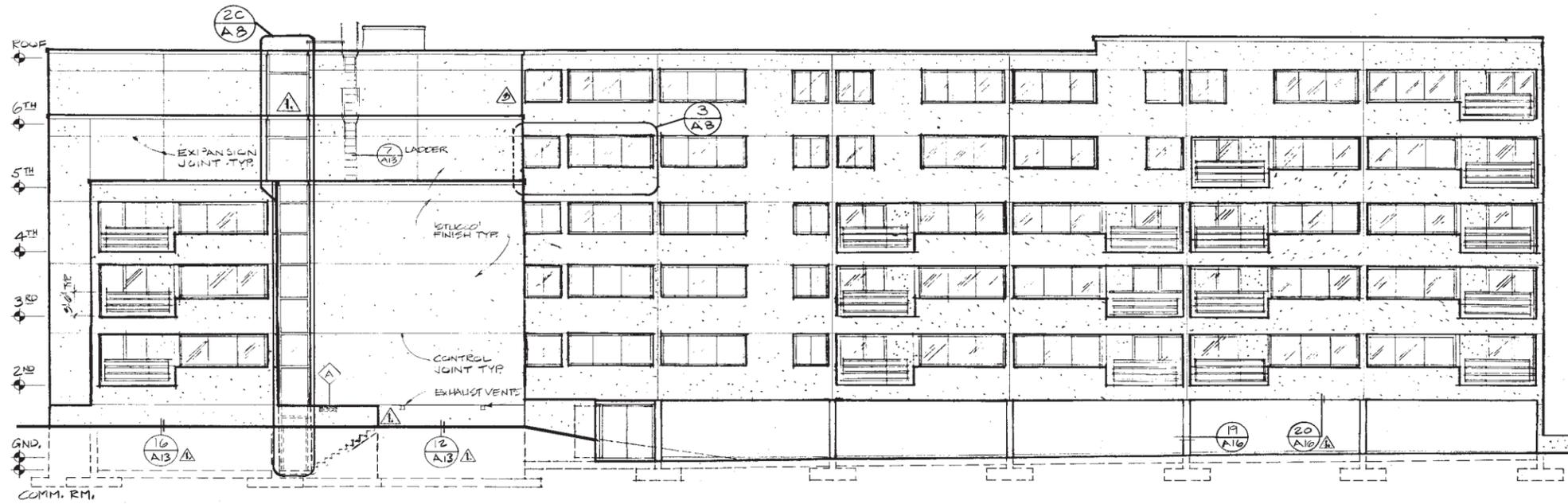
**EAST ELEVATION**

SCALE: 1/16" = 1'-0"

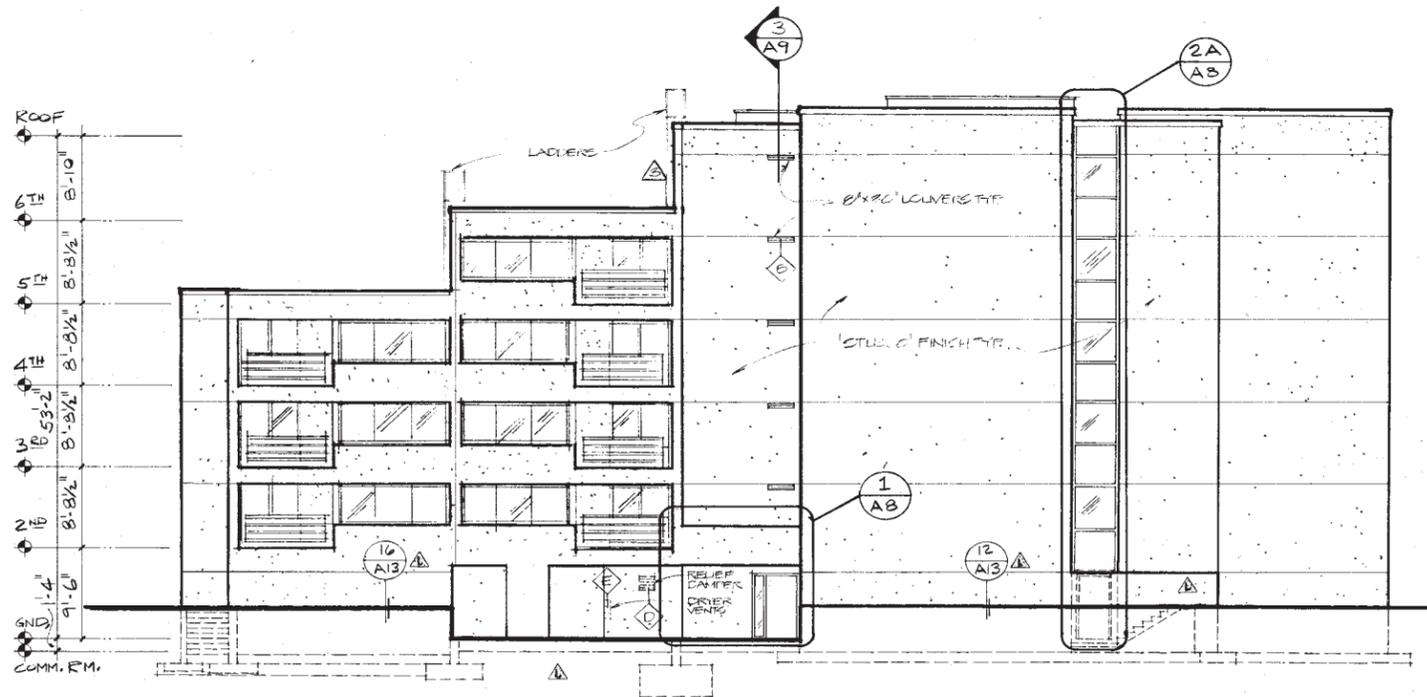


**NORTH ELEVATION**

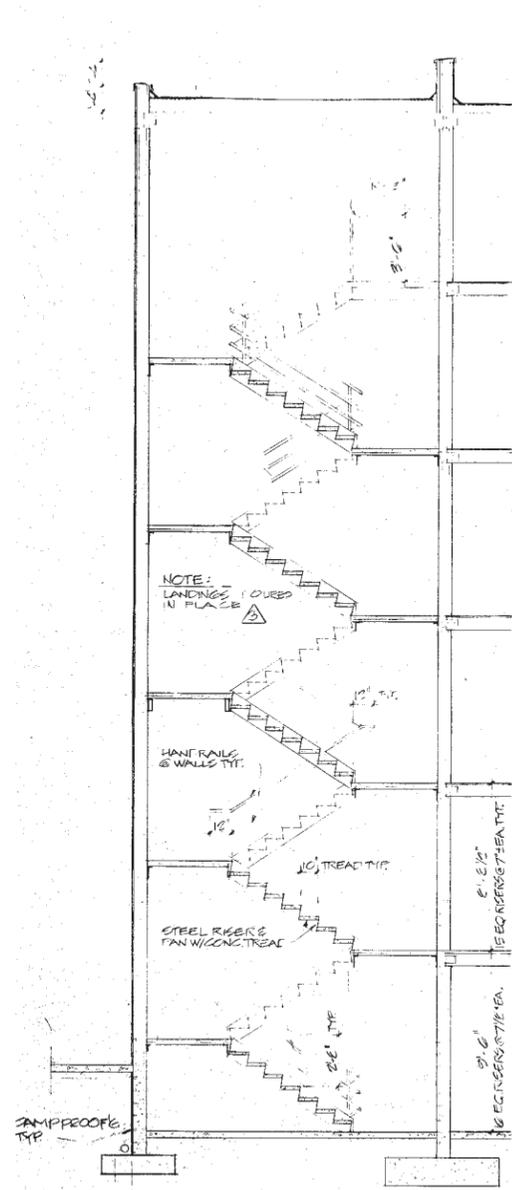
SCALE: 1/16" = 1'-0"



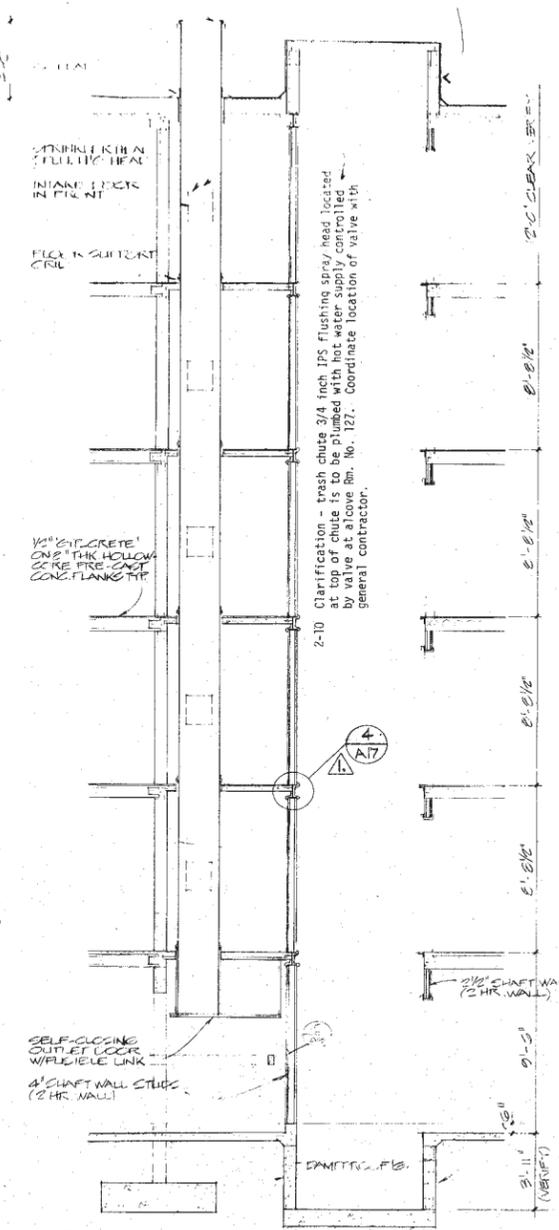
**WEST ELEVATION**  
SCALE: 1/16" = 1'-0"



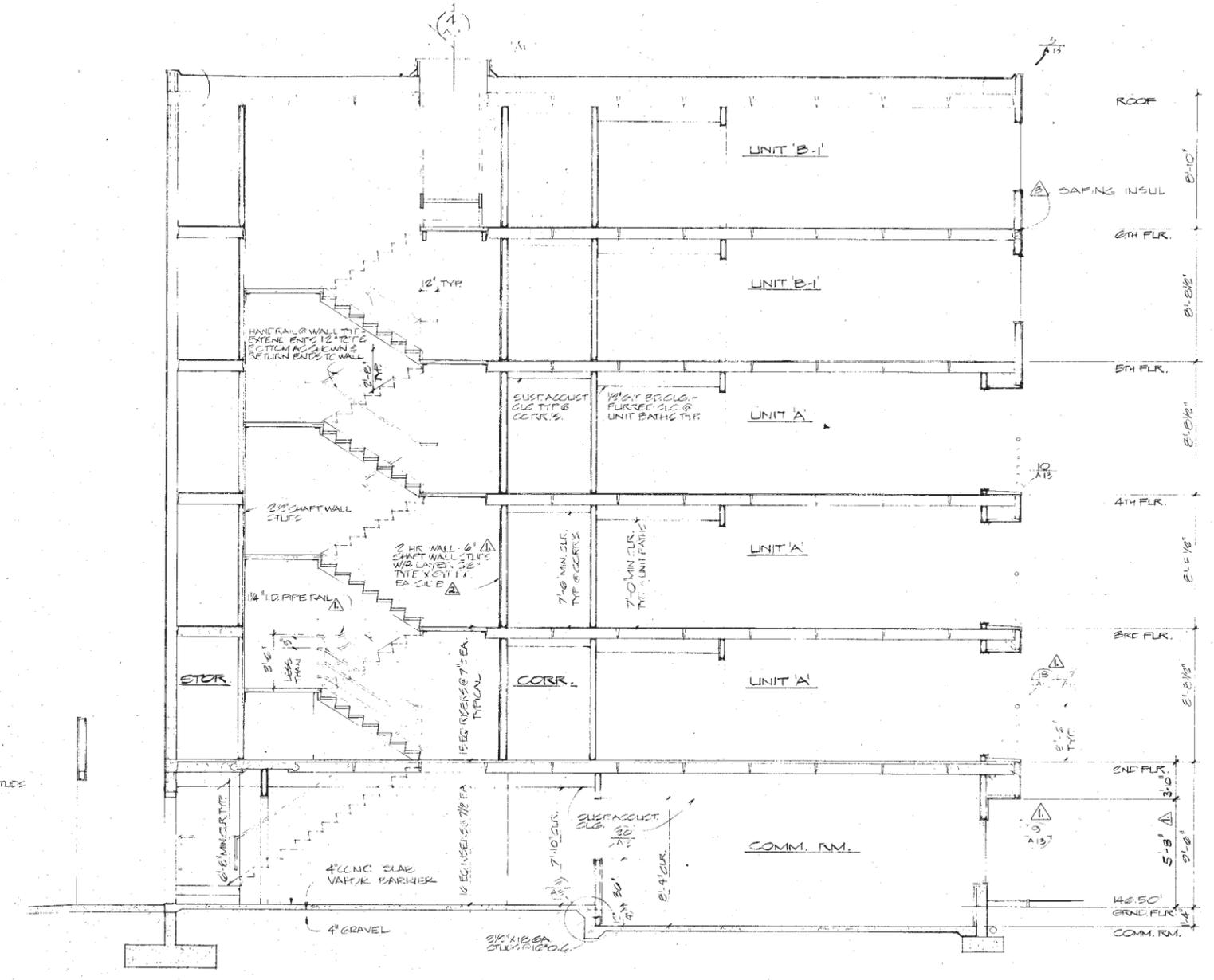
**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



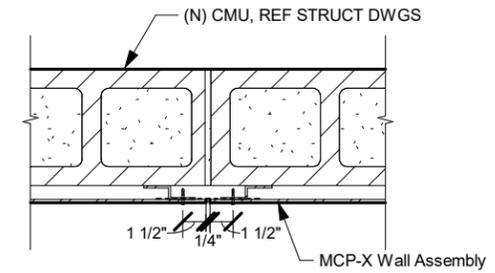
**SECTION AT STAIR**  
SCALE: 1/8" = 1'-0"



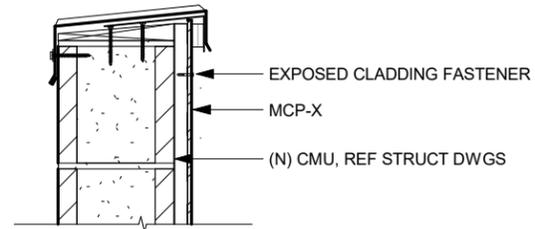
**SECTION AT ELEVATOR**  
SCALE: 1/8" = 1'-0"



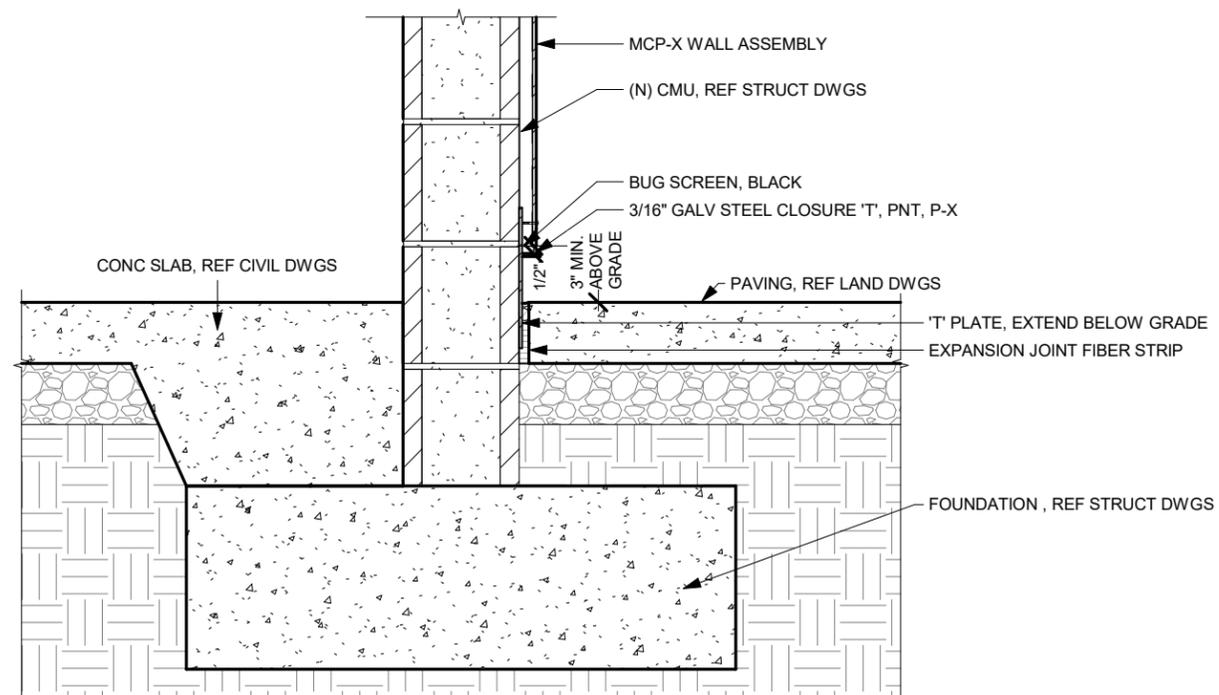
**BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



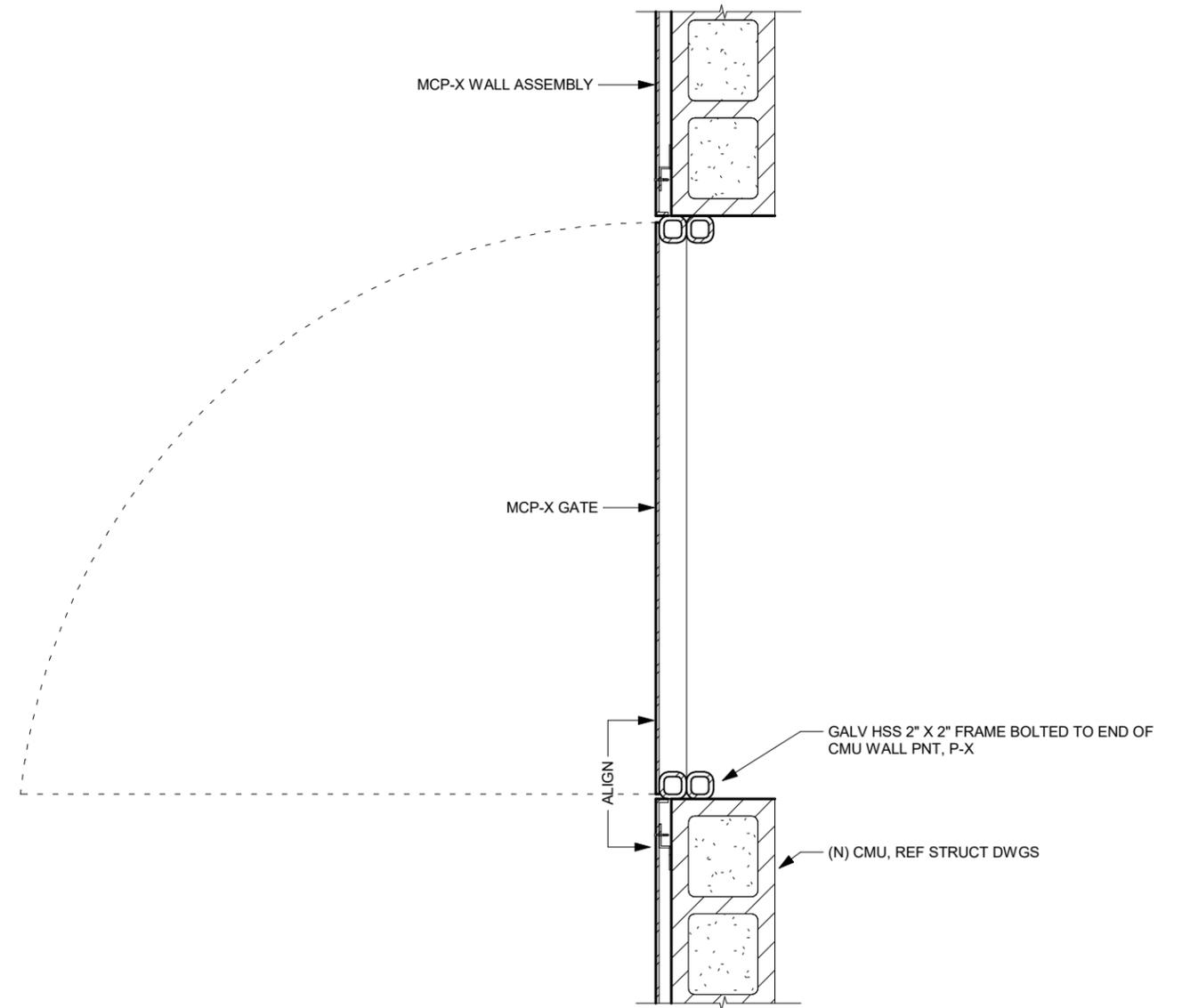
**C ENCLOSURE WALL ASSEMBLY DETAIL**  
SCALE: 1 1/2" = 1'-0"



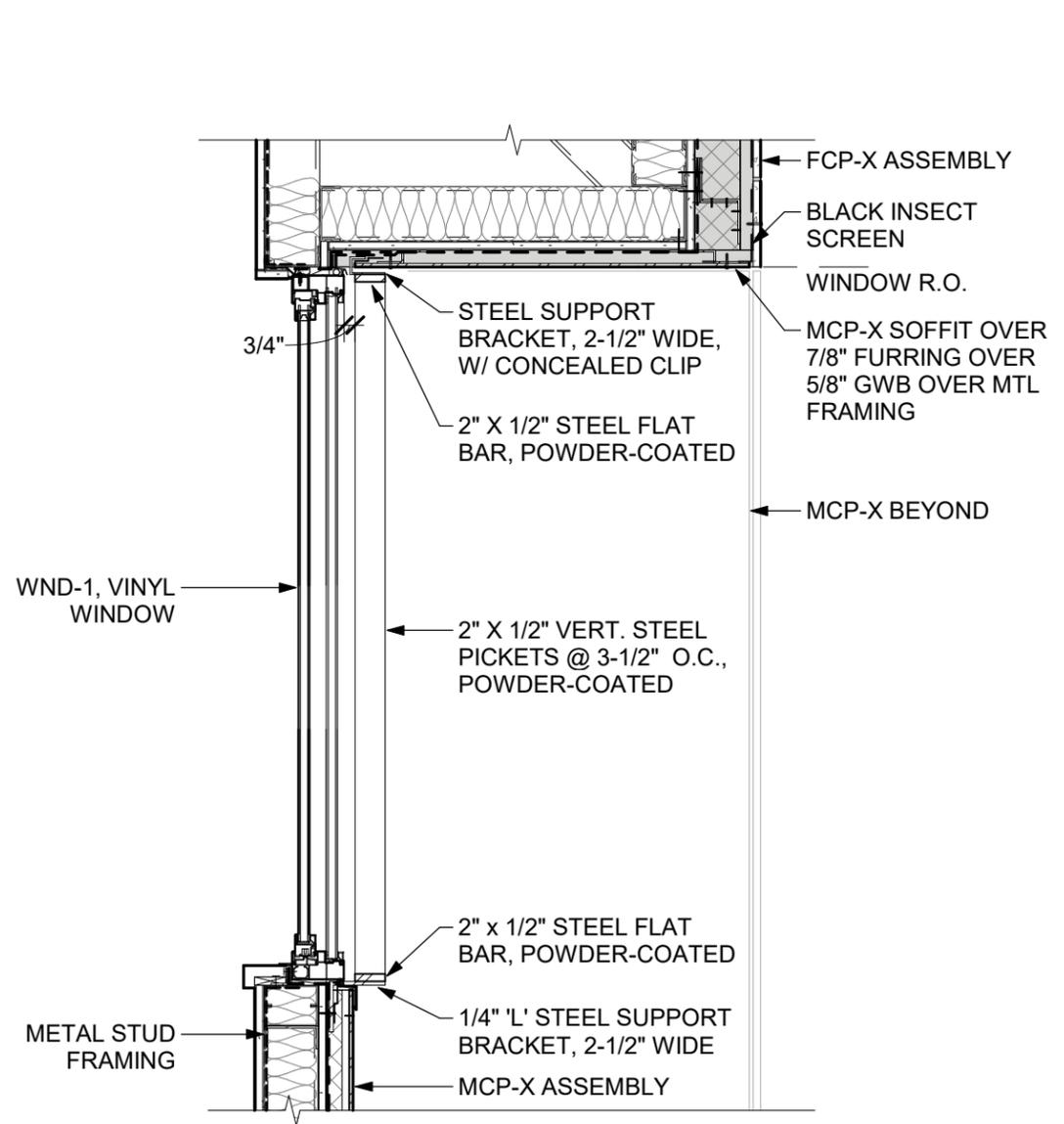
**D ENCLOSURE SECTION @ PARAPET**  
SCALE: 1 1/2" = 1'-0"



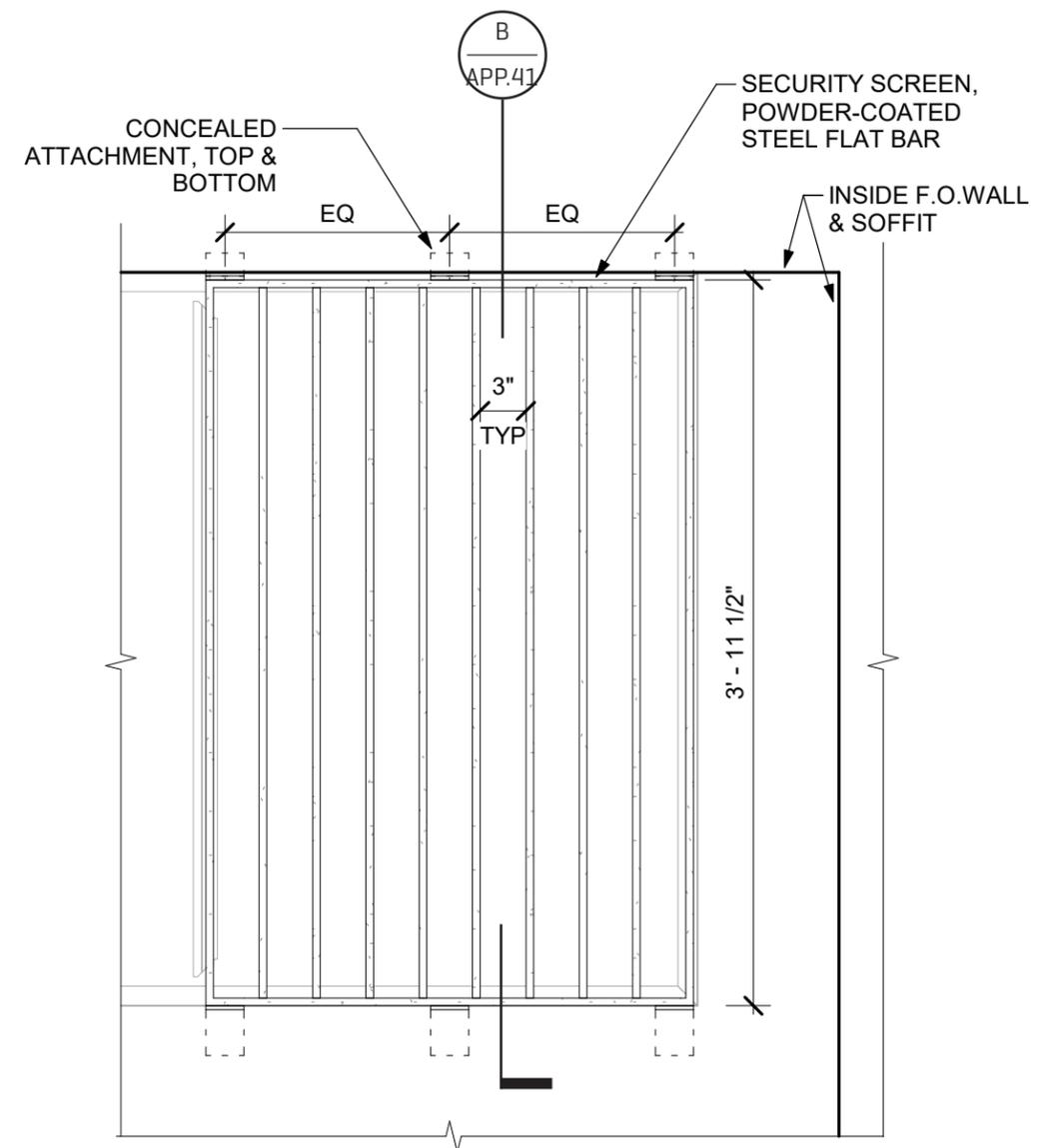
**B ENCLOSURE SECTION @ BASE**  
SCALE: 1 1/2" = 1'-0"



**A ENCLOSURE GATE DETAIL**  
SCALE: 1 1/2" = 1'-0"



**B SECURITY SCREEN ATTACHMENT, TYP**  
SCALE: 1" = 1'-0"



**A SECURITY SCREEN ELEVATION, TYP**  
SCALE: 1" = 1'-0"