



1 VICINITY MAP
N.T.S.

TAHRAN ARCHITECTURE & PLANNING LLC

2057 SW PARK AVE

Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date 3/18/2021

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Exhibit C1

C08
DATE: 11-09-2020
LU 20-213946 DZ

Approved
City of Portland
Bureau of Development Services

Planner *Amey Singh*

Date 3/18/2021

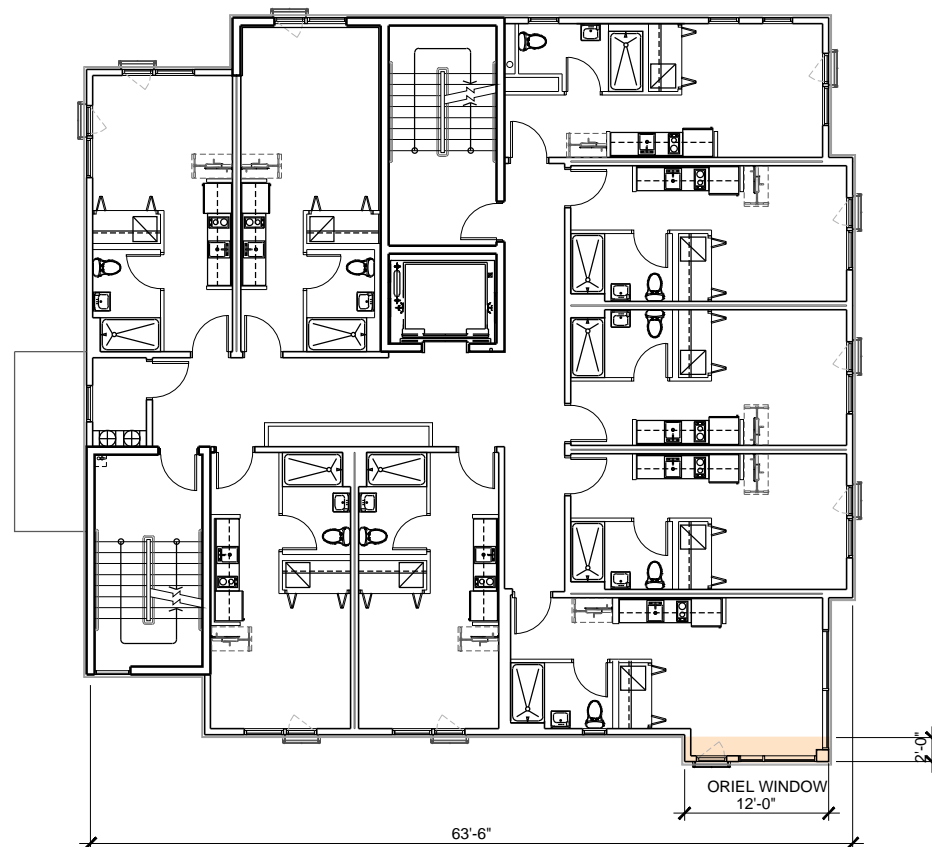
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OSSC 2019
CHAPTER 32
ENCROACHMENT INTO PUBLIC RIGH-OF-WAY

A. PROJECTION. MAXIMUM PROJECTION OF 4 FEET INTO THE RIGHT-OF-WAY INCLUDING TRIM, EAVES AND ORNAMENT. **COMPLIANT: 2'-6" PROJECTION**

B. 3202.2 ENCROACHMENT ABOVE THE GRADE AND BELOW 8 FEET IN HEIGHT **COMPLIANT: 20'-0" ABOVE THE GRADE**

C. AREA. MAXIMUM WALL AREA OF ALL WINDOWS WHICH PROJECT INTO PUBLIC RIGHT-OF-WAY ON A WALL IS 40% OF THE WALL'S AREA. **COMPLIANT: S.W. PARK AVENUE 18.77% FACADE, S.W. CLIFTON STREET FACADE 2.6 %.**



33.120 MULTI-DWELLING ZONES

33.120.220 SETBACKS

EACH BAYS AND BAY WINDOWS BUT ONLY ALONG A STREET LOT LINE AND MUST MEET THE FOLLOWING REQUIREMENTS:

- a) EACH BAY AND BAY WINDOW MAY BE UP TO 12 FEET LONG, BUT THE TOTAL AREA OF ALL BAYS AND BAY WINDOWS ON A BUILDING FACADE CANNOT BE MORE THAN 30 PERCENT OF THE AREA OF THE FACADE;
- b) AT LEAST 30 PERCENT OF THE AREA OF THE BAY WHICH FACES THE PROPERTY LINE REQUIRING THE SETBACK MUST BE GLAZING OR GLASS BLOCK; AND BAYS AND BAY WINDOWS MUST CANTILEVER BEYOND THE FOUNDATION OF THE BUILDING.
- c) BAYS AND BAY WINDOWS MUST CANTILEVER BEYOND THE FOUNDATION OF THE BUILDING.

1 AREA OF ORIEL WINDOW = 36 SF LEVEL 3 TO 11
SCALE: 1/16" = 1'-0"



Planner *[Signature]*
Date 3/18/2021

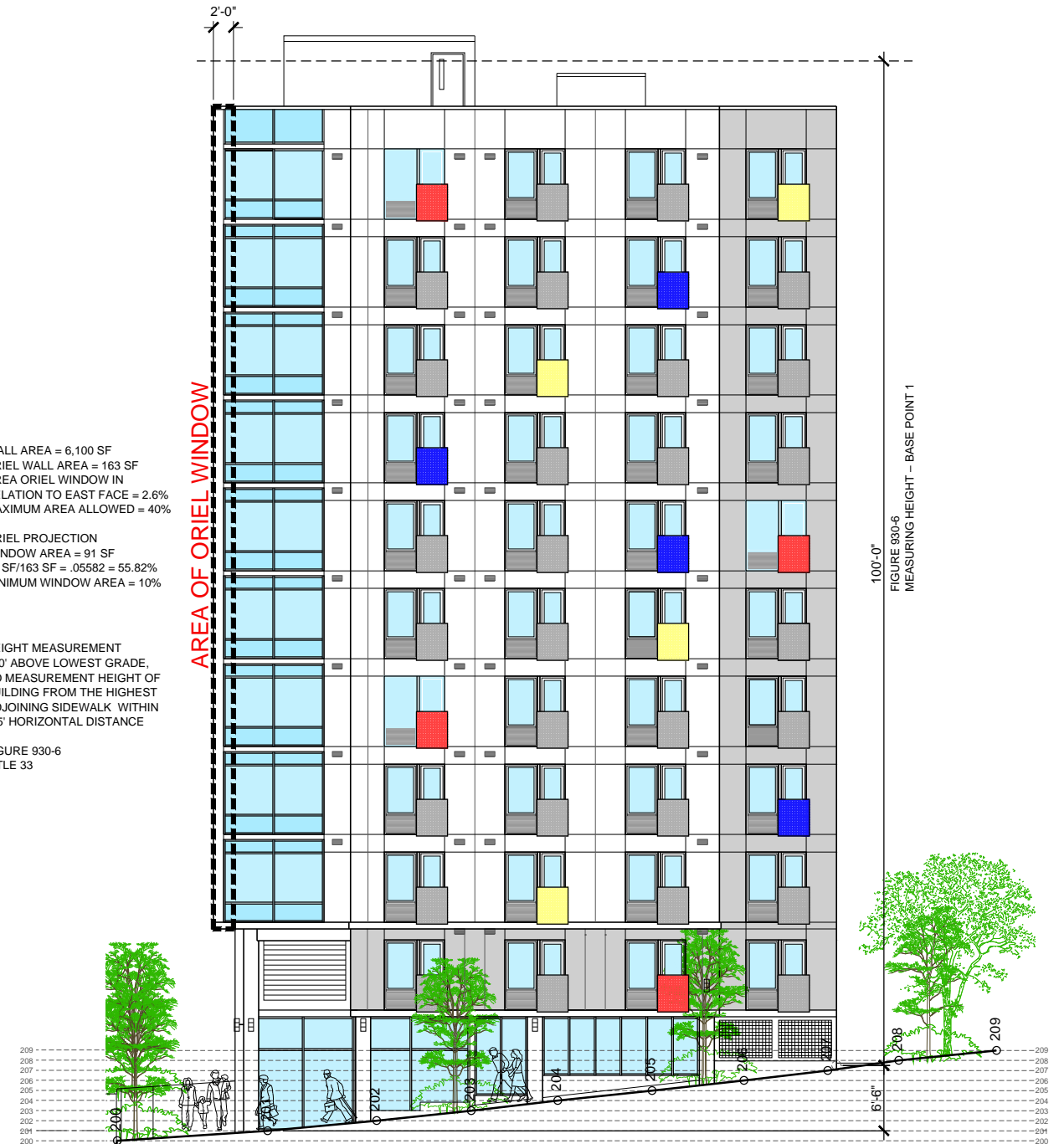
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WALL AREA = 5,237 SF
ORIEL WALL AREA = 983 SF
AREA ORIEL WINDOW IN
RELATION TO EAST FACE 18.77%
MAXIMUM AREA ALLOWED = 40%

ORIEL PROJECTION
WINDOW AREA = 526 SF
526 SF/983 SF = 0.5350 = 53.50%
MINIMUM WINDOW = 10%

1 AREA OF ORIEL WINDOW - EAST ELEVATION
SCALE: 1/16" = 1'-0"



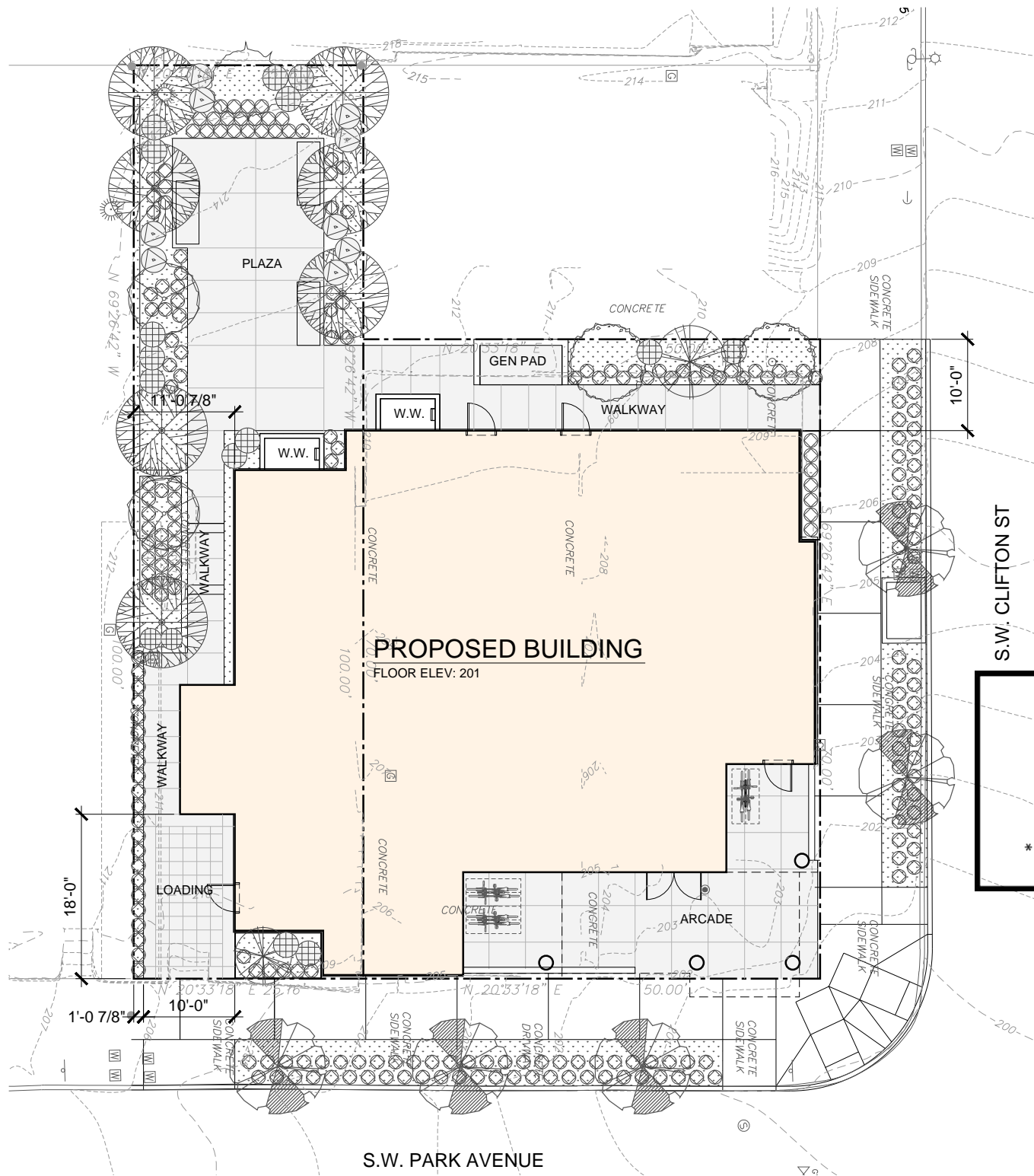
WALL AREA = 6,100 SF
ARIEL WALL AREA = 163 SF
AREA ORIEL WINDOW IN
RELATION TO EAST FACE = 2.6%
MAXIMUM AREA ALLOWED = 40%

ORIEL PROJECTION
WINDOW AREA = 91 SF
91 SF/163 SF = .05582 = 5.582%
MINIMUM WINDOW AREA = 10%

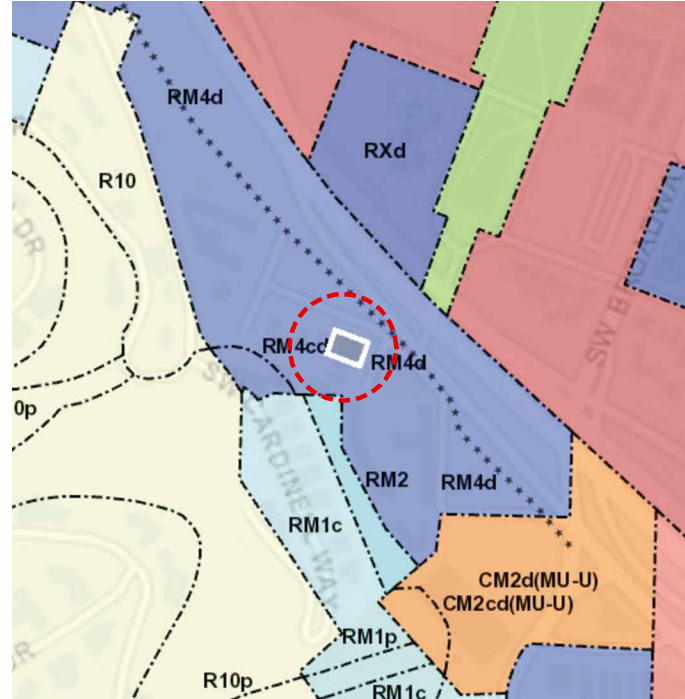
HEIGHT MEASUREMENT
<10' ABOVE LOWEST GRADE,
SO MEASUREMENT HEIGHT OF
BUILDING FROM THE HIGHEST
ADJOINING SIDEWALK WITHIN
A 5' HORIZONTAL DISTANCE

FIGURE 930-6
TITLE 33

2 AREA OF ORIEL WINDOW - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



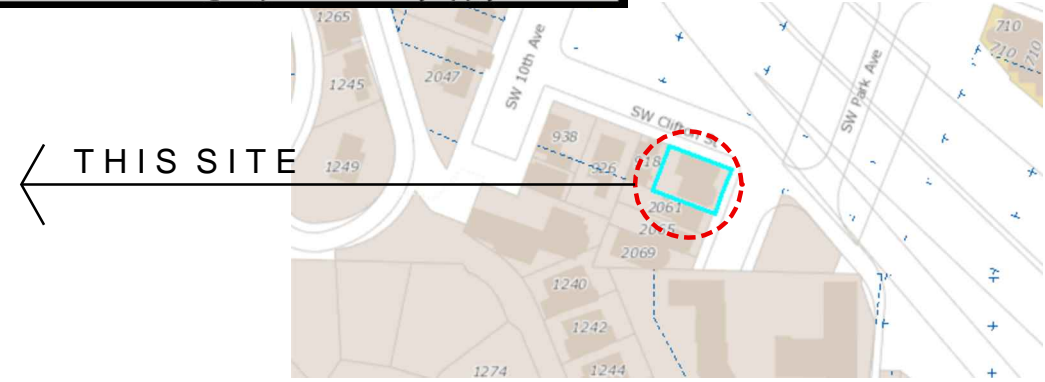
1 SITE PLAN
SCALE: 1/16" = 1'-0"



GENERAL INFORMATION	
2055-2057 SW PARK AVE	
PROPERTY ID:	R246517
COUNTY:	MULTNOMAH
STATE ID:	1S1E04DA 8800
ALT ACCOUNT #:	R667725410
MAP NUMBER:	3228 OLD
2061 SW PARK AVE	
PROPERTY ID:	R246519
COUNTY:	MULTNOMAH
STATE ID:	1S1E04DB 700
ALT ACCOUNT #:	1S1E04DB 700
MAP NUMBER:	3228 OLD
SITE INFO	
SITE ADDRESS:	
2055-2057 SW PARK AVE	
PORTLAND, OR 97201	
NEIGHBORHOOD	
SOUTHWEST HILLS RESIDENTIAL LEAGUE	
JURISDICTION: PORTLAND / MULTNOMAH	
ZONING	
ZONE: RM4 (d)	
DESCRIPTION: RESIDENTIAL MULTI-DWELLING 4	
OVERLAY: d	
BASE OVERLAY COMBINATION: RM4d	
COMP PLAN: MD-U - Multi-Dwelling - Urban Center	
LAND INFORMATION	
RESIDENTIAL LAND	
PROPERTY ID: R246517	3,500 SF
PROPERTY ID: R246519	2,516 SF
TOTAL AREA	6,016 SF

SETBACK	
FRONT BUILDING SETBACK	0 FT
STREET BUILDING SETBACK	0 FT
MAXIMUM HEIGHT	75/100 FT
ROOFTOP MECHANICAL EQUIPMENT AND STAIRWELL ENCLOSURES THAT PROVIDE ROOFTOP ACCESS MAY EXTEND ABOVE THE HEIGHT LIMIT AS FOLLOWS, PROVIDED THAT THE EQUIPMENT AND ENCLOSURES ARE SET BACK AT LEAST 15 FEET FROM ALL ROOF EDGES ON STREET FACING FACADES.	

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2 VICINITY PLAN
NTS

AREA CALCULATIONS

SW Park Avenue Apartments

2055-2057 SW PARK AVE
PORTLAND, OREGON 97201

Property Information		Area	SF
Property ID : R246517		3,500.00	SF
Property ID : R246519		2,516.00	SF
Lot Area		6,016.00	SF
FAR		42,112.00	SF
Zone: RM4			
Total Number of Units		91	Studio

Location	Unit Area	Common Area	Total Area	ST
Basement		2,244.53 SF	2,244.53 SF	with Stair
Level 1		3,198.00 SF	2,711.00 SF	without stair
Level 2	2,428.00 SF	938.81 SF	3,366.81 SF	with Stair
Level 3	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 4	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 5	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 6	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 7	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 8	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 9	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 10	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 11	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Total	24,732.00 SF	9,637.29 SF	32,409.28 SF	91

FAR 7 to 1 or 6 to 1 (1)

Location	Total Area
Level 1	748.00 SF
Level 2	3,366.81 SF
Level 3	3,717.53 SF
Level 4	3,717.53 SF
Level 5	3,717.53 SF
Level 6	3,717.53 SF
Level 7	3,717.53 SF
Level 8	3,717.53 SF
Level 9	3,717.53 SF
Level 10	3,717.53 SF
Level 11	3,717.53 SF
Total Area	33,855.06 SF

BIKE PARKING

Location	Type	18"x44"	18"x60"	No of Bike
Level 1	Long Term	0		
Level 2	Long Term	8		8
Level 3	Long Term	9		9
Level 4	Long Term	9		9
Level 5	Long Term	None		0
Level 6	Long Term	None		0
Level 7	Long Term	None		
Level 8	Long Term	None		
Level 9	Long Term	None		
Level 10	Long Term	None		
Level 11	Long Term	None		
Basement	Long Term		75	75
Arcade	Short Term	None	6	6
Total Bike Parking		26	81	107

Floor Area Calculation

Level 1	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	340.00 SF	Studio	1

Level 2	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Total Number of Units	2,428.00 SF		8

Level 3 to 11	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Unit 9	360.00 SF	Studio	1
Total Number of Units	2,788.00 SF		9

Location	No of Units
Level 1	2
Level 2	8
Level 3	9
Level 4	9
Level 5	9
Level 6	9
Level 7	9
Level 8	9
Level 9	9
Level 10	9
Level 11	9
Total Number of Units	91

Outdoor Area Calculation

91 Units x 36 sf =	3,276 SF
Arcade/Courtyard	581 SF
Amenity	844 SF
Fitness room	436 SF
Plaza	1,757 SF
Total Outdoor area	3,618 SF

Landscape Area Calculation

Building Footprint	3,766 SF	62.60% %
Plaza/Walkway (15%)	1,264 SF	189.60 SF
Arcade/Courtyard (15%)	581 SF	87.15 SF
Landscape	865 SF	813.00 SF
Total Landscape Area	1,089.75 SF	20.30 %

Approved

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Planner _____

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<u>ZONING RM4</u>	
33.120 MULTI-DWELLING ZONES	
TABLE 120-5 SUMMARY OF BONUS FAR	
F.A.R. ALLOWED	7:1
SITE AREA	6,016 SF
ALLOWED AREA	42,112 SF

<u>LAND INFORMATION</u>	
RESIDENTIAL LAND	
PROPERTY ID: R246517	3,500 SF
PROPERTY ID: R246519	2,516 SF
TOTAL AREA	6,016 SF

MAXIMUM DENSITY WITH INCLUSIONARY HOUSING
BONUS (SEE 33.120.205.F)

NOTES:
(1) IF THE BASE FAR IS 2 TO 1 THEN THE MAXIMUM
WITH BONUS IS 2.5 TO 1. IF THE BASE FAR IS 4 TO 1,
THEN THE MAXIMUM WITH BONUS IS 5 TO 1.

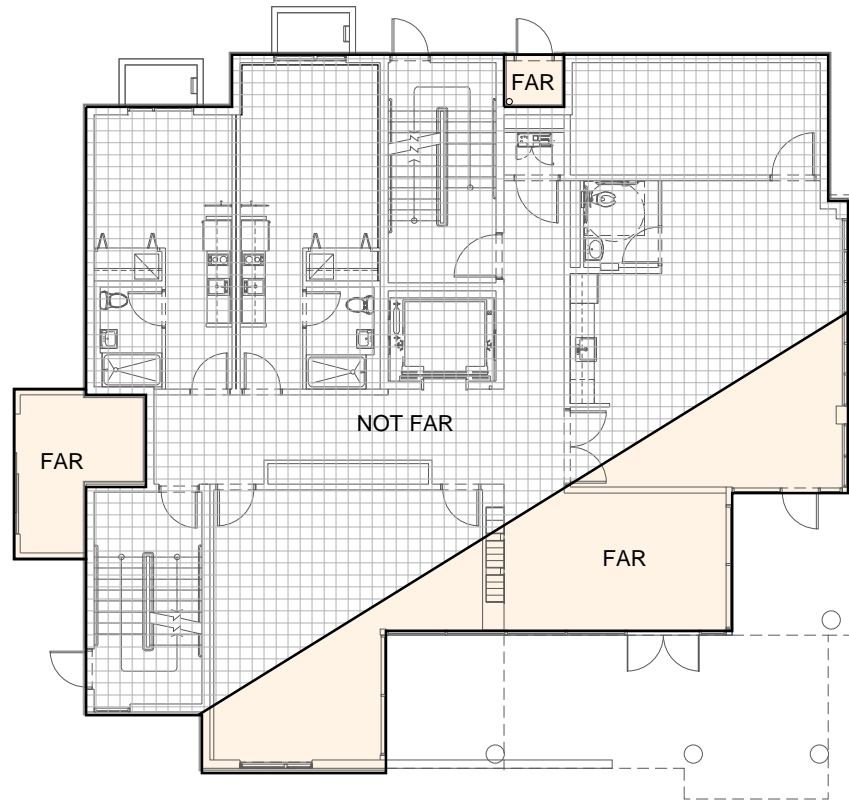
<u>FAR AREA CALCULATION</u>	
LEVEL 1	748.00 SF
LEVEL 2	3,366.81 SF
LEVEL 3	3,366.81 SF
LEVEL 4	3,366.81 SF
LEVEL 5	3,366.81 SF
LEVEL 6	3,366.81 SF
LEVEL 7	3,366.81 SF
LEVEL 8	3,366.81 SF
LEVEL 9	3,366.81 SF
LEVEL 10	3,366.81 SF
LEVEL 11	3,366.81 SF
TOTAL AREA	33,55.06 SF

NOTE:
SHADED AREA DOES NOT INCLUDE FAR
AREA BELOW GRADE = 2,450.00 SF

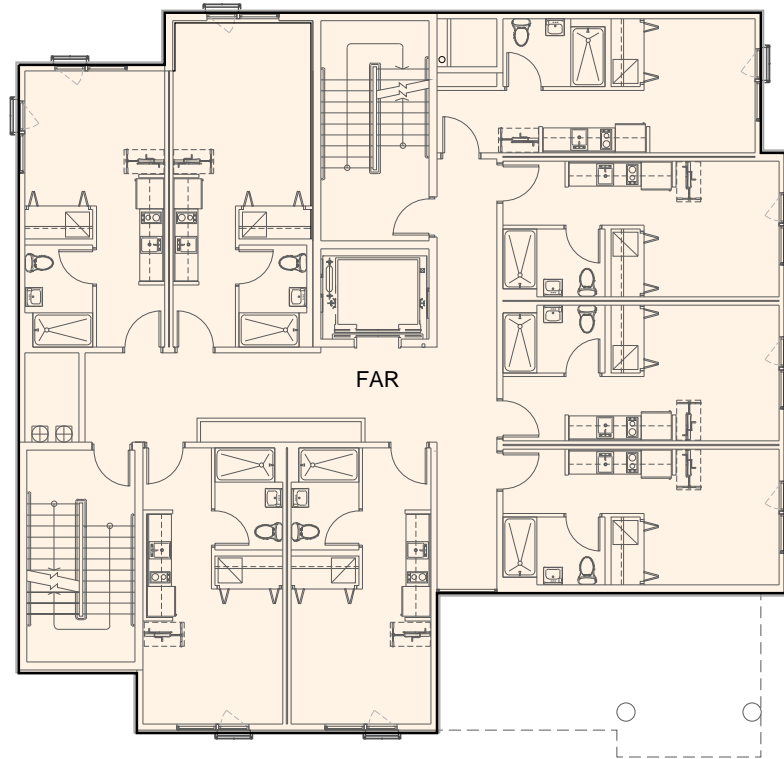
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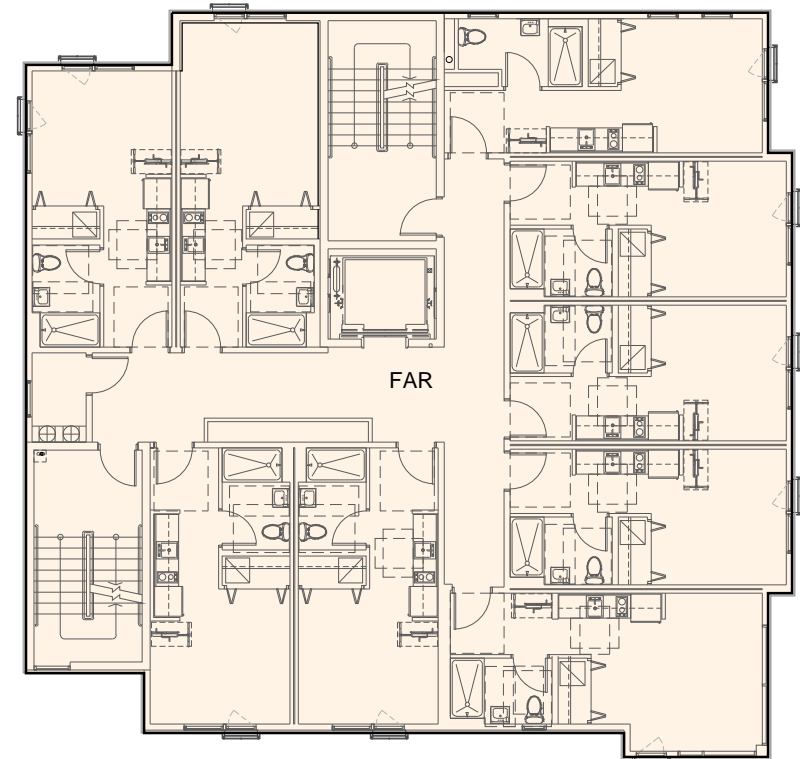
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1 LEVEL 1
SCALE: 1/16" = 1'-0"

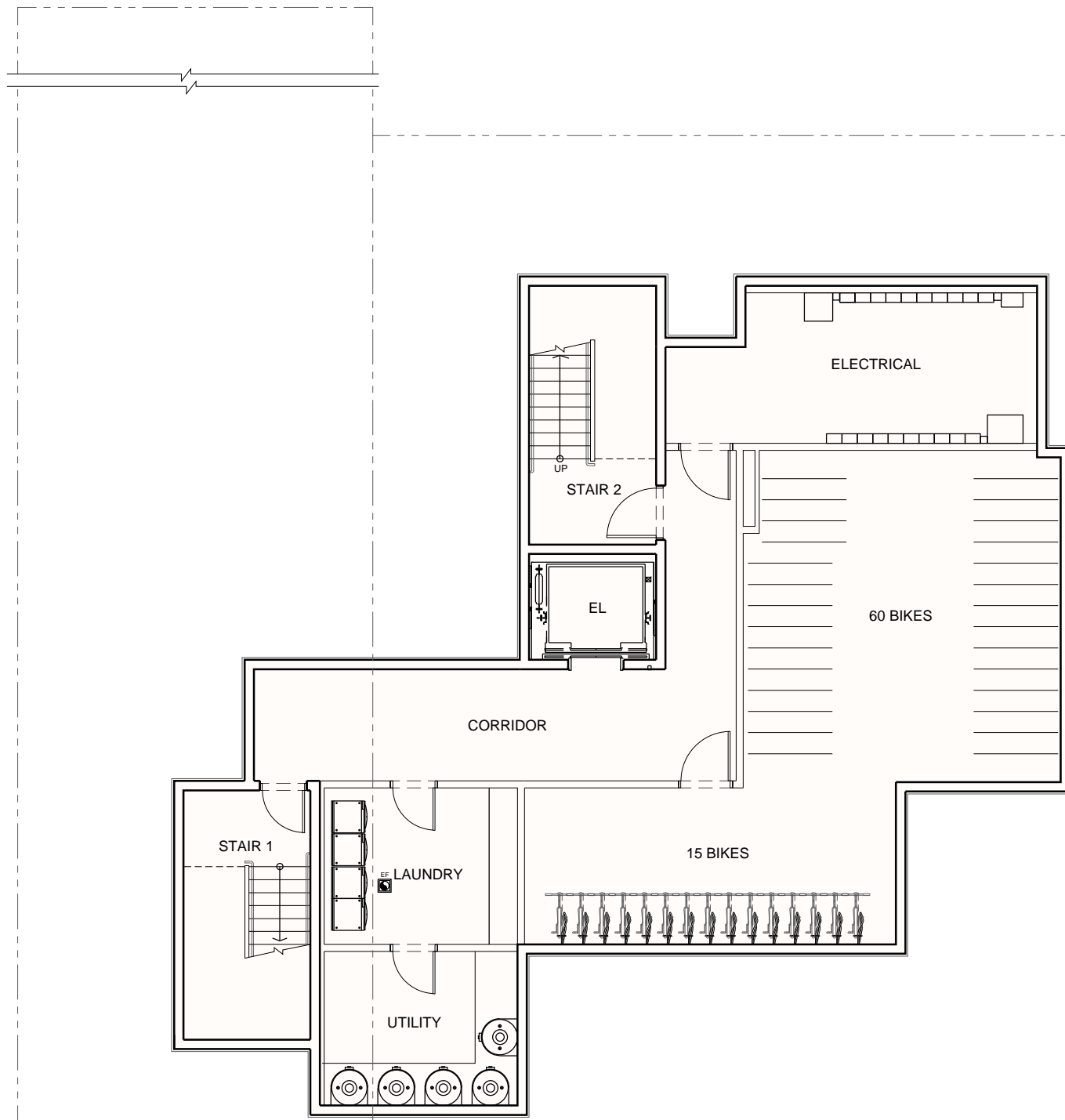


1 LEVEL 2
SCALE: 1/16" = 1'-0"



1 LEVEL 3 TO 11
SCALE: 1/16" = 1'-0"





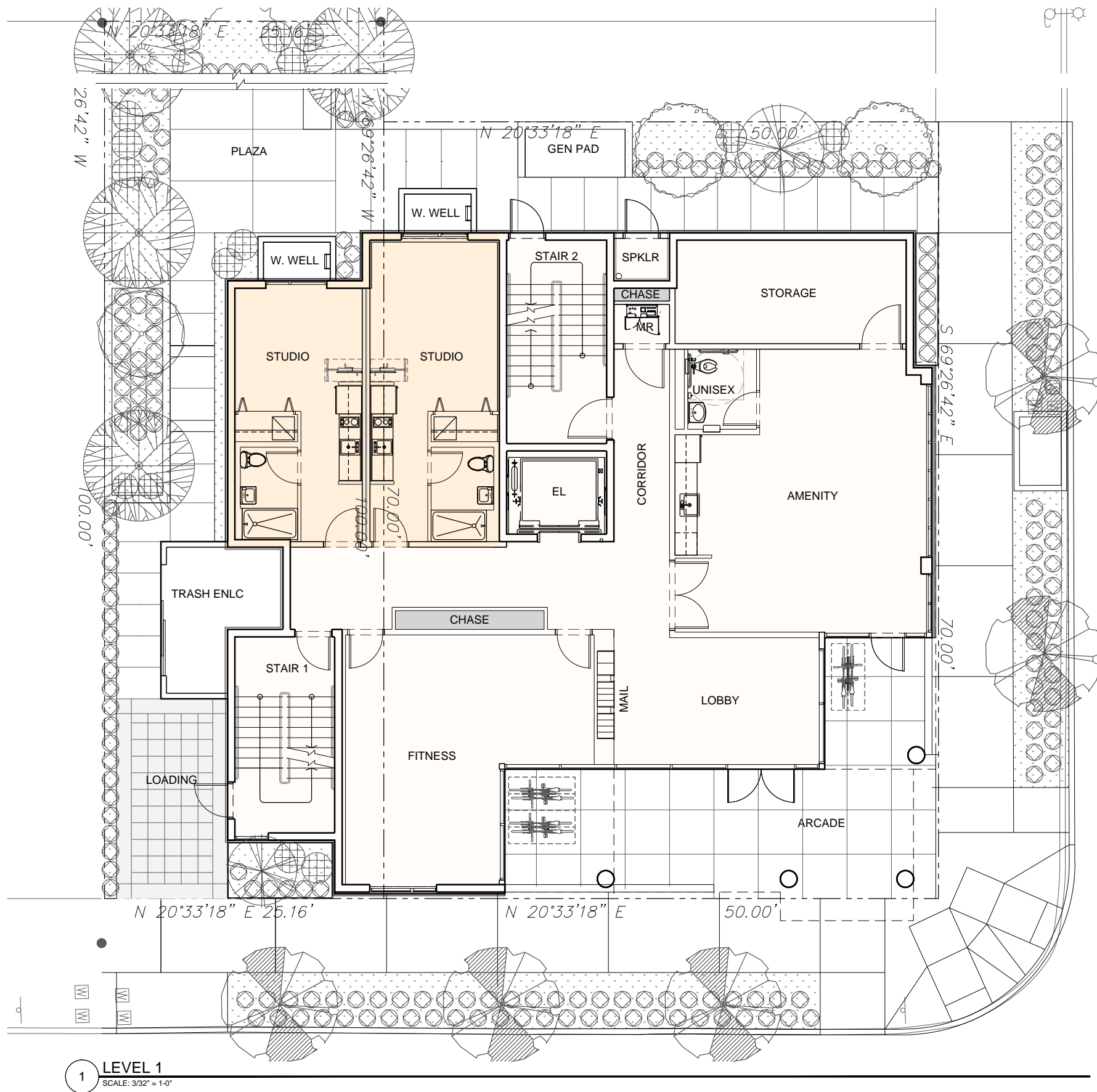
1 BASEMENT FLOOR PLAN
SCALE: 3/32" = 1'-0"



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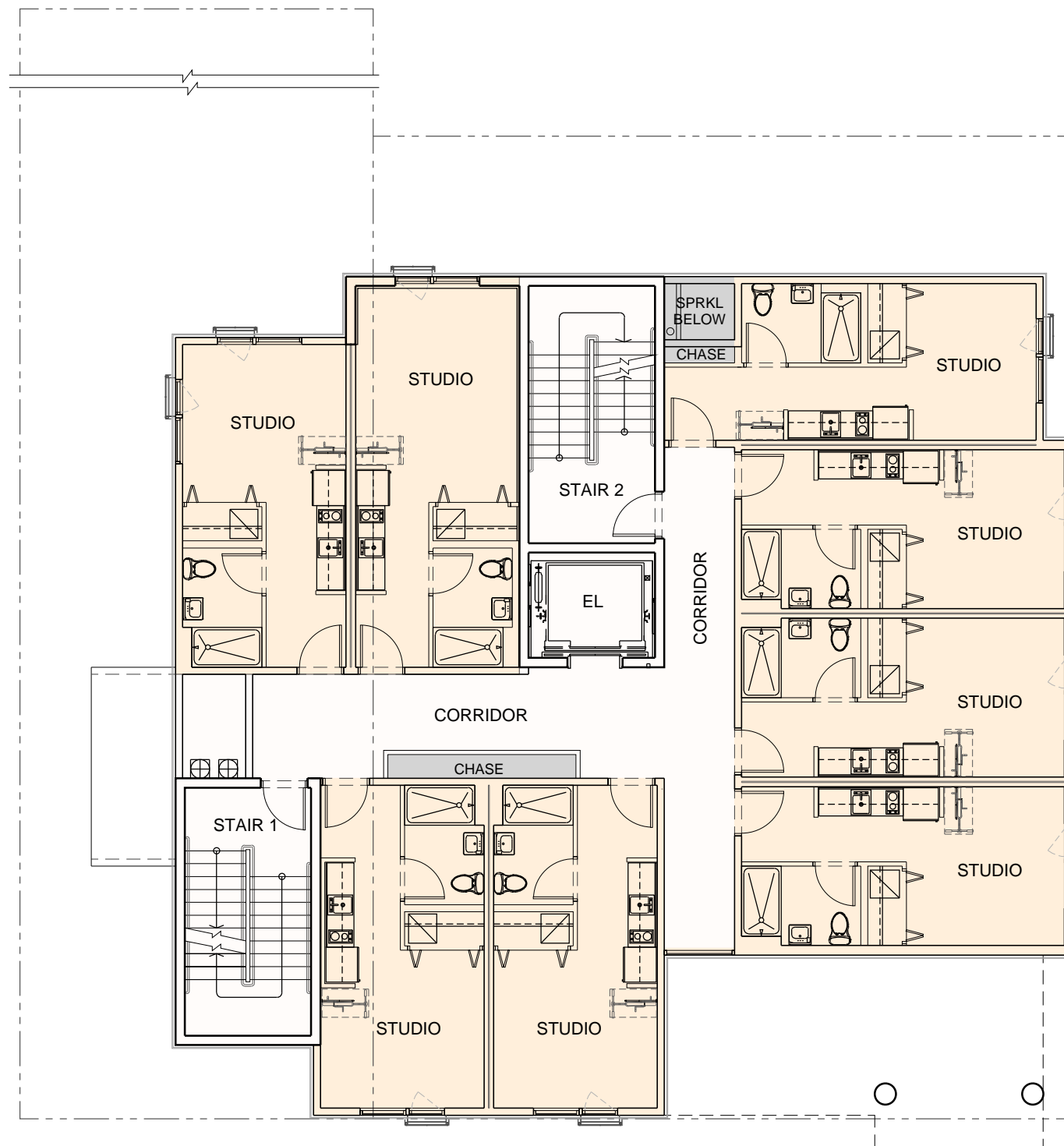


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Planner *Zuniga*

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1 LEVEL 2
SCALE: 3/32" = 1'-0"

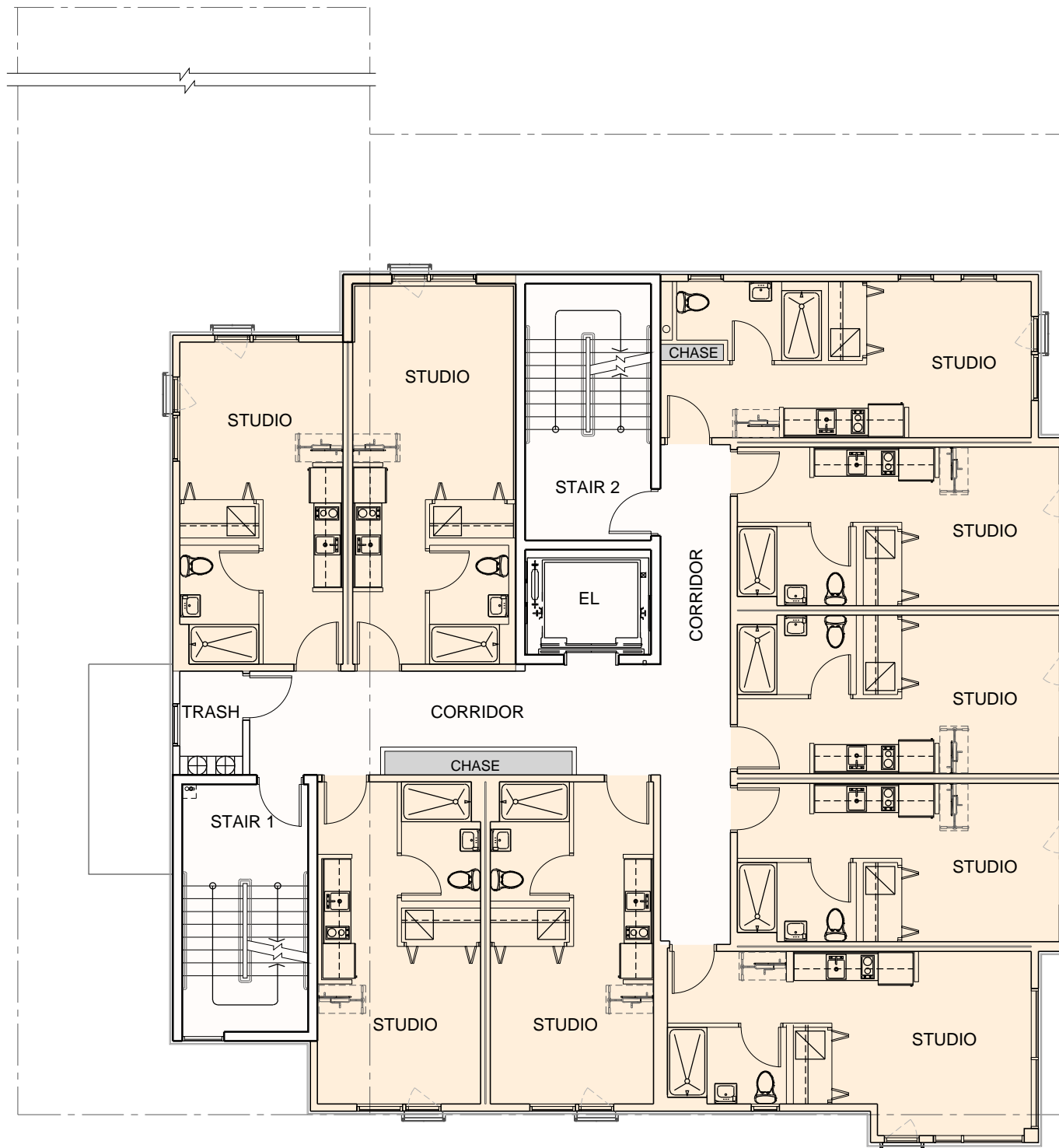


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1 LEVEL 3 TO 10
SCALE: 3/32" = 1'-0"

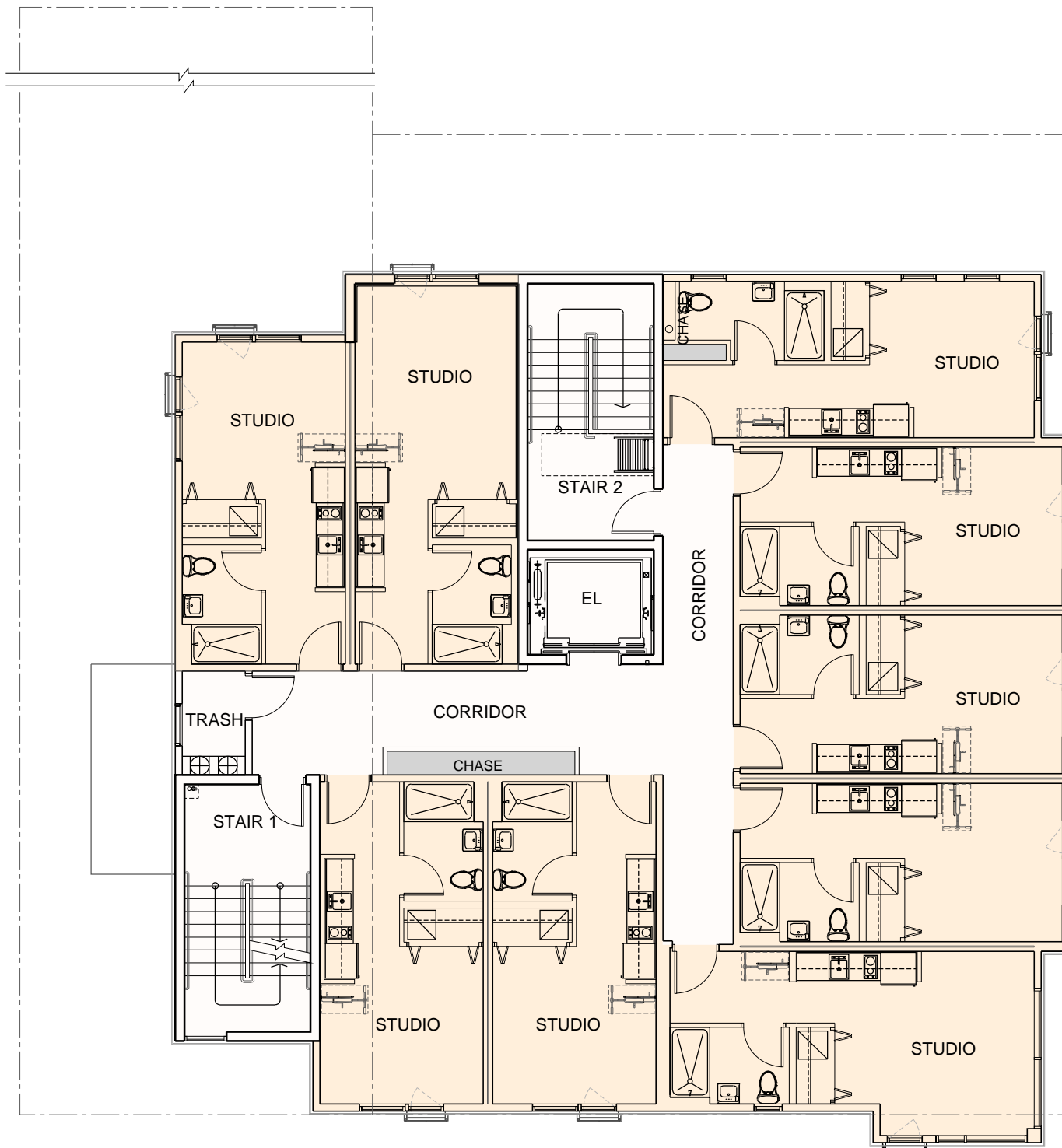


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Planner *Amir Kargi*

Date 3/18/2021

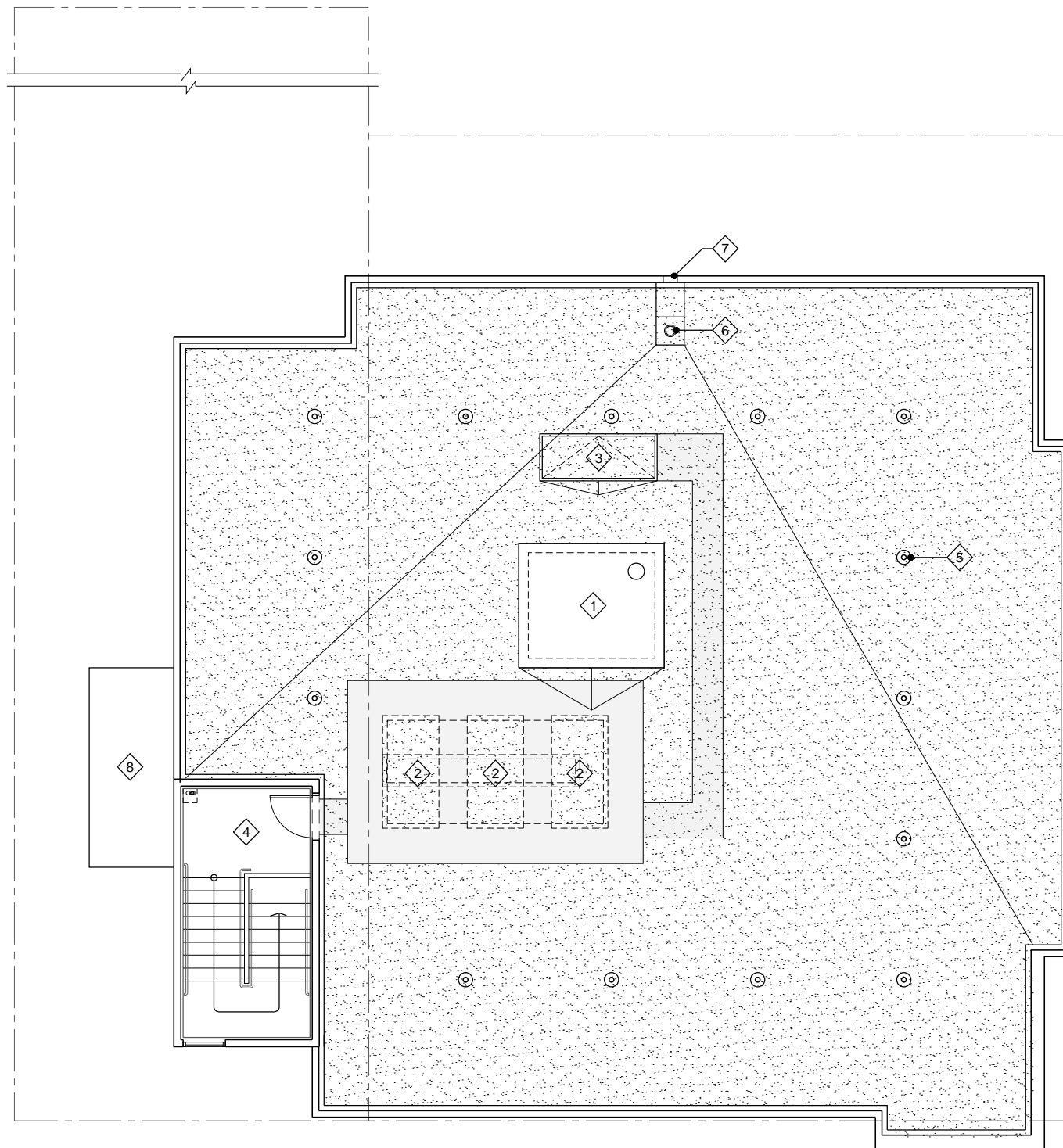
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1 LEVEL 11
SCALE: 3/32" = 1'-0"



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- KEYNOTES
- 1 ELEVATOR SHAFT
 - 2 MECH EQUIPMENT
 - 3 ROOF HATCH
 - 4 STAIR
 - 5 FALL PROTECTION TYP
 - 6 ROOD DRAIN
 - 7 OVERFLOW
 - 8 ROOF BELOW

1 ROOF PLAN
SCALE: 3/32" = 1'-0"



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Bureau of Development Services

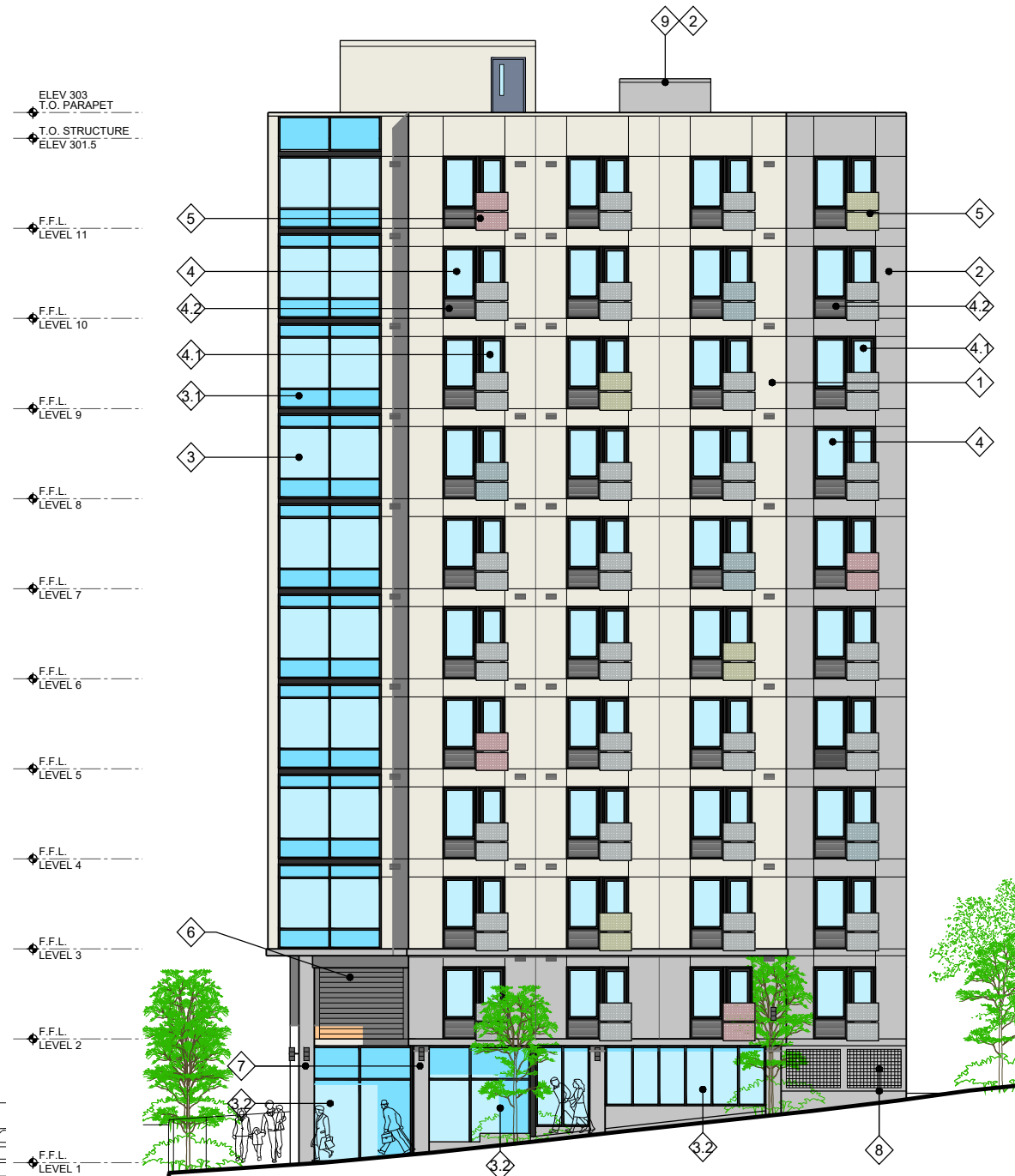
Planner 

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1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES

- 1 STUCCO - STO 16003 - 85
- 2 STUCCO - COLOR "MEDIUM GRAY"
- 3 WINDOW WALL CURTAIN GLAZING FRAMING COLOR - "BLACK"
- 3.1 WINDOW SPANDREL GLAZING FRAMING COLOR - "BLACK"
- 3.2 WINDOW STOREFRONT GLAZING FRAMING COLOR - "BLACK"
- 4 WINDOW VINYL FRAMING COLOR - "BLACK"
- 4.1 JULIET WINDOW VINYL FRAMING COLOR - "BLACK"
- 4.2 LOUVER - "BLACK"
- 5 STEEL BALCONY WITH PUNCHED METAL GUARDRAIL OPENING
- 6 LAMINATED WOOD PANEL
- 7 CONC POST
- 8 PLANTER WITH GREEN WALL
- 9 ELEVATOR PENTHOUSE

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1 WEST ELEVATION
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

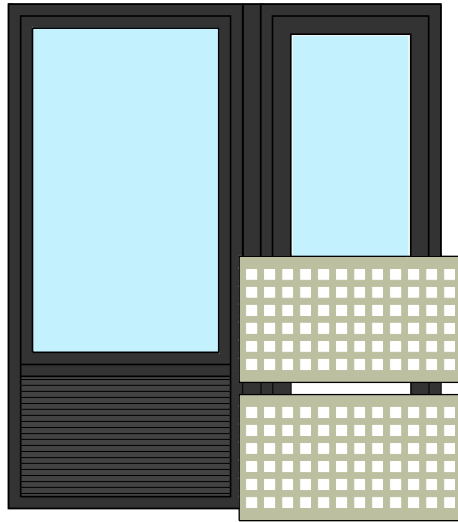
- KEYNOTES**
- 1 STUCCO - STO 16003 - 85
 - 2 STUCCO - COLOR "MEDIUM GRAY"
 - 3 WINDOW WALL CURTAIN GLAZING
FRAMING COLOR - "BLACK"
 - 3.1 WINDOW SPANDREL GLAZING
FRAMING COLOR - "BLACK"
 - 3.2 WINDOW STOREFRONT GLAZING
FRAMING COLOR - "BLACK"
 - 4 WINDOW VINYL
FRAMING COLOR - "BLACK"
 - 4.1 JULIET WINDOW VINYL
FRAMING COLOR - "BLACK"
 - 4.2 LOUVER - "BLACK"
 - 5 STEEL BALCONY WITH PUNCHED METAL
GUARDRAIL OPENING
 - 6 LAMINATED WOOD PANEL
 - 7 CONC POST
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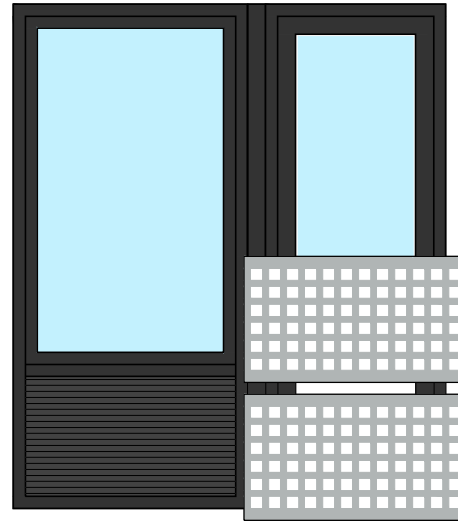
Planner 

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2 SW 7747 RECYCLED GLASS
RANDOM LOCATION
SCALE: 3/8" = 1'-0"



4 SW 7072 ONLINE
ALL FLOOR
SCALE: 3/8" = 1'-0"

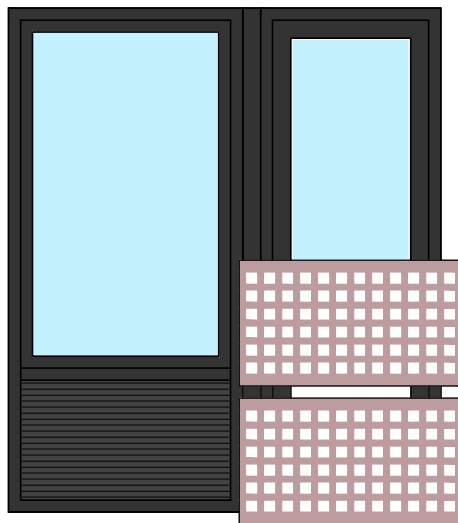
JULIET BALCONY COLOR PALETTE
SHERWIN WILLIAMS



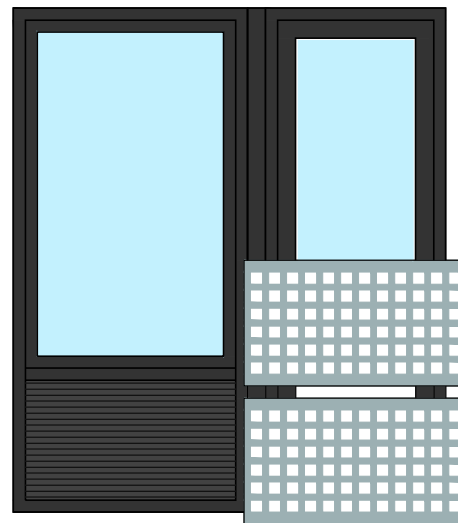
SW 7072 ONLINE
RGB: 176,181,181



SW 7613 AQUA-SPHERE
RGB: 156,176,179



1 SW 0071 ORCHID
RANDOM LOCATION
SCALE: 3/8" = 1'-0"



3 SW 7613 AQUA-SPHERE
RANDOM LOCATION
SCALE: 3/8" = 1'-0"



SW 7747 RECYCLED GLASS
RGB: 189,192,160



SW 0071 ORCHID
RGB: 188,156,158

ELEV. 303 PARAPET
T.O. STRUCTURE
ELEV 301.5

A.F.F.
LEVEL 11

A.F.F.
LEVEL 10

A.F.F.
LEVEL 9

A.F.F.
LEVEL 8

A.F.F.
LEVEL 7

A.F.F.
LEVEL 6

A.F.F.
LEVEL 5

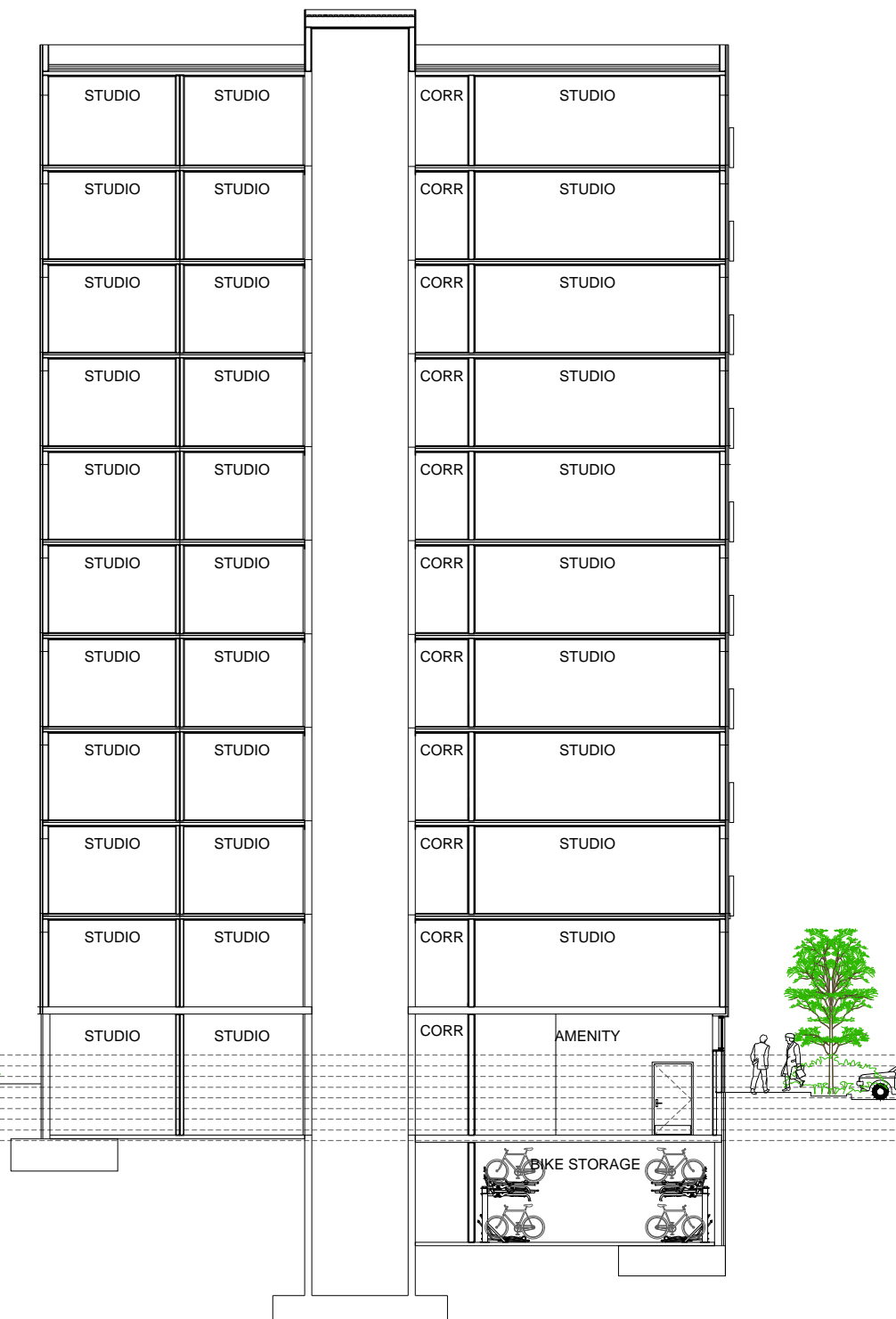
A.F.F.
LEVEL 4

A.F.F.
LEVEL 3

A.F.F.
LEVEL 2

A.F.F.
LEVEL 1

A.F.F.
LEVEL 0



1 BUILDING SECTION
SCALE: 1/16" = 1'-0"

ELEV. 303 PARAPET
T.O. STRUCTURE
ELEV 301.5

A.F.F.
LEVEL 11

A.F.F.
LEVEL 10

A.F.F.
LEVEL 9

A.F.F.
LEVEL 8

A.F.F.
LEVEL 7

A.F.F.
LEVEL 6

A.F.F.
LEVEL 5

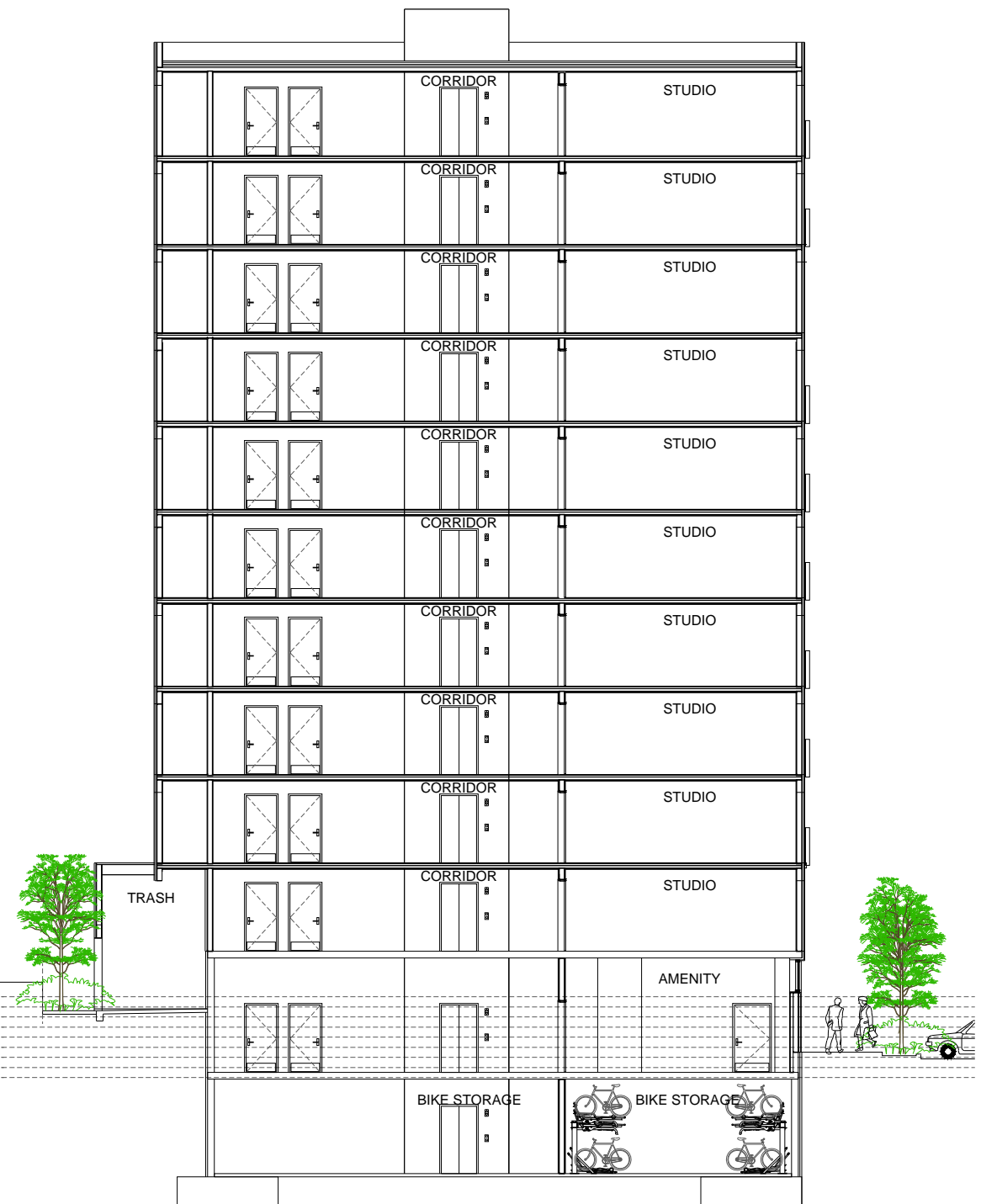
A.F.F.
LEVEL 4

A.F.F.
LEVEL 3

A.F.F.
LEVEL 2

A.F.F.
LEVEL 1

A.F.F.
LEVEL 0



2 BUILDING SECTION
SCALE: 1/16" = 1'-0"

ELEV. 303 PARAPET
T.O. STRUCTURE
ELEV 301.5

A.F.F.
LEVEL 11

A.F.F.
LEVEL 10

A.F.F.
LEVEL 9

A.F.F.
LEVEL 8

A.F.F.
LEVEL 7

A.F.F.
LEVEL 6

A.F.F.
LEVEL 5

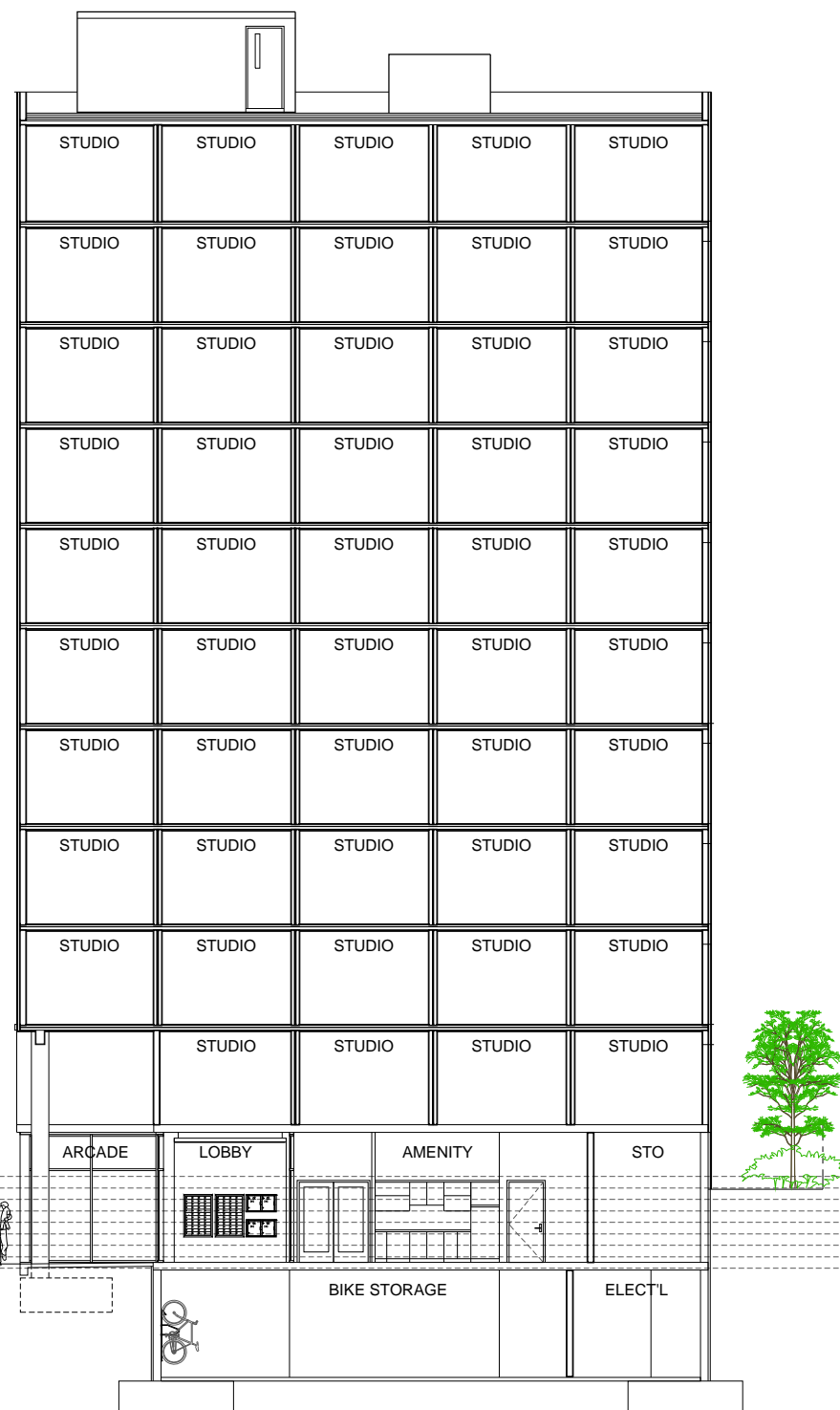
A.F.F.
LEVEL 4

A.F.F.
LEVEL 3

A.F.F.
LEVEL 2

A.F.F.
LEVEL 1

A.F.F.
LEVEL 0



ELEV. 303 PARAPET
T.O. STRUCTURE
ELEV 301.5

A.F.F.
LEVEL 11

A.F.F.
LEVEL 10

A.F.F.
LEVEL 9

A.F.F.
LEVEL 8

A.F.F.
LEVEL 7

A.F.F.
LEVEL 6

A.F.F.
LEVEL 5

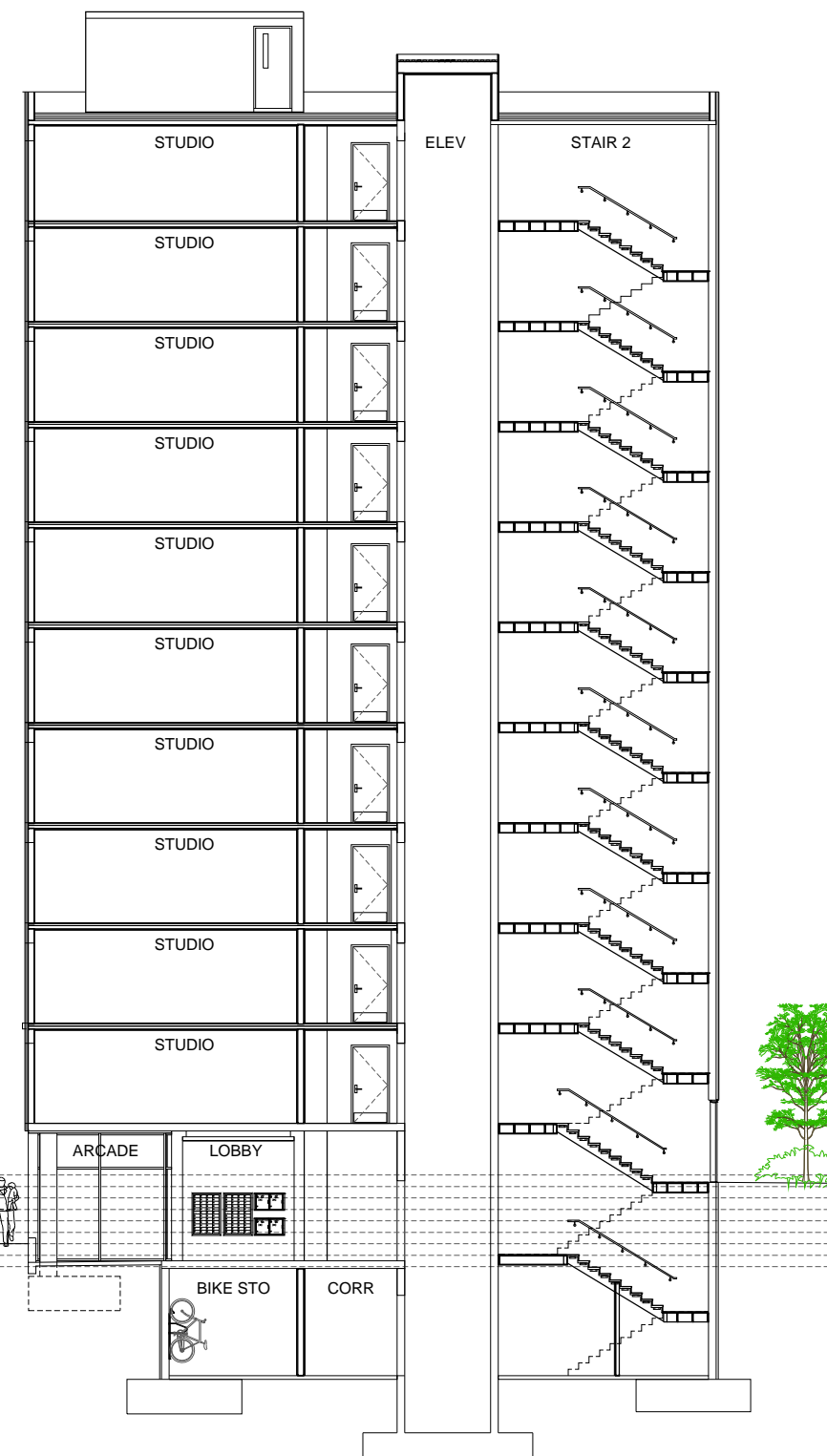
A.F.F.
LEVEL 4

A.F.F.
LEVEL 3

A.F.F.
LEVEL 2

A.F.F.
LEVEL 1

A.F.F.
LEVEL 0



1 BUILDING SECTION
SCALE: 1/16" = 1'-0"

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2 BUILDING SECTION
SCALE: 1/16" = 1'-0"

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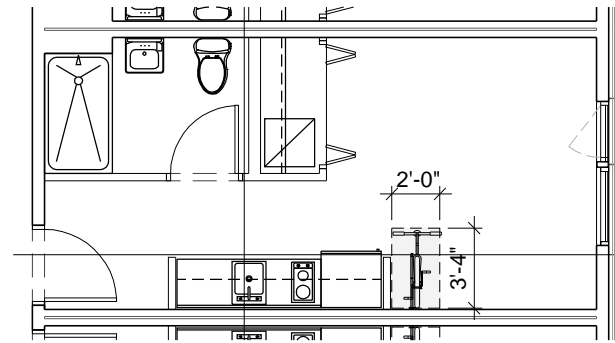
2057 SW PARK AVE

LU 20-213946 DZ

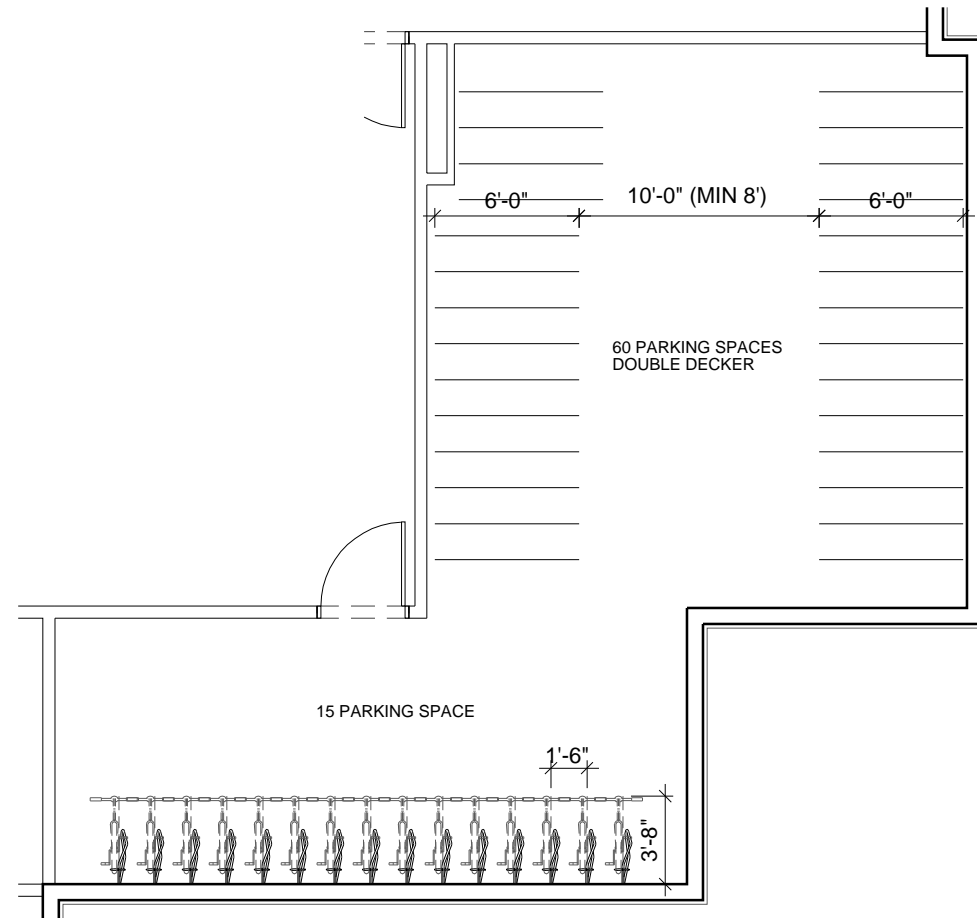
C25

DATE: 11-09-2020

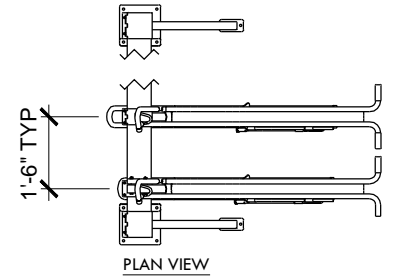
EX C.17



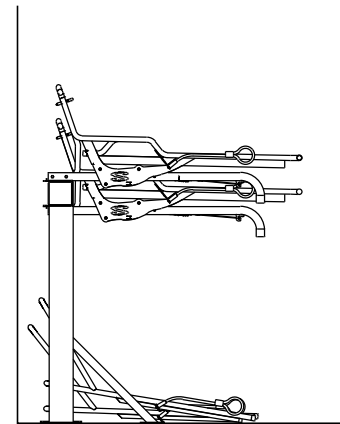
3 BIKE PARKING TYPICAL UNIT PLAN
SCALE: 1/8" = 1'-0"



1 BIKE PARKING PLAN
SCALE: 1/8" = 1'-0"

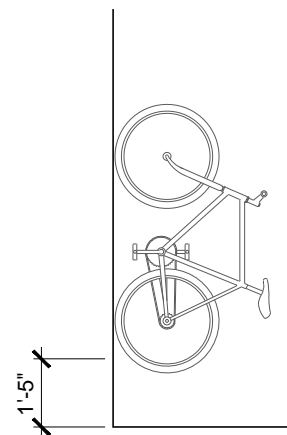


PLAN VIEW



SIDE VIEW

4 BIKE PARKING - STACK RACK
SCALE: 1/4" = 1'-0"



3 BIKE PARKING - WALL MOUNTED
SCALE: 1/4" = 1'-0"

BIKE PARKING				
Location	Type	18"x44"	18"x60"	No of Bike
Level 1	Long Term	0		
Level 2	Long Term	8		8
Level 3	Long Term	9		9
Level 4	Long Term	9		9
Level 5	Long Term	None		0
Level 6	Long Term	None		0
Level 7	Long Term	None		
Level 8	Long Term	None		
Level 9	Long Term	None		
Level 10	Long Term	None		
Level 11	Long Term	None		
Basement	Long Term		75	75
Arcade	Short Term	None	6	6
Total Bike Parking		26	81	107

BICYCLE PARKING

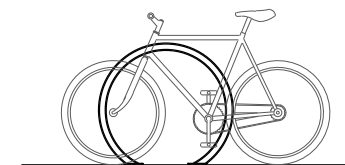
CITY OF PORTLAND PLANNING AND ZONING CODE - CHAPTER 33.266, TABLE 266-6
MULTI-DWELLING
LONG TERM BIKE PARKING REQUIREMENT:
RESIDENTIAL: 1.1 SPACES PER UNIT: 91 UNITS X 1.1 = 100.1 SPACES REQUIRED
NOTE: 1.1 SPACES PER UNIT IN OUTSIDE CENTRAL CITY PLAN DISTRICT

SHORT TERM BIKE PARKING REQUIREMENT:
RESIDENTIAL: 1 SPACE PER 20 UNITS: 91 UNITS/ 20 = 5 SPACES REQUIRED

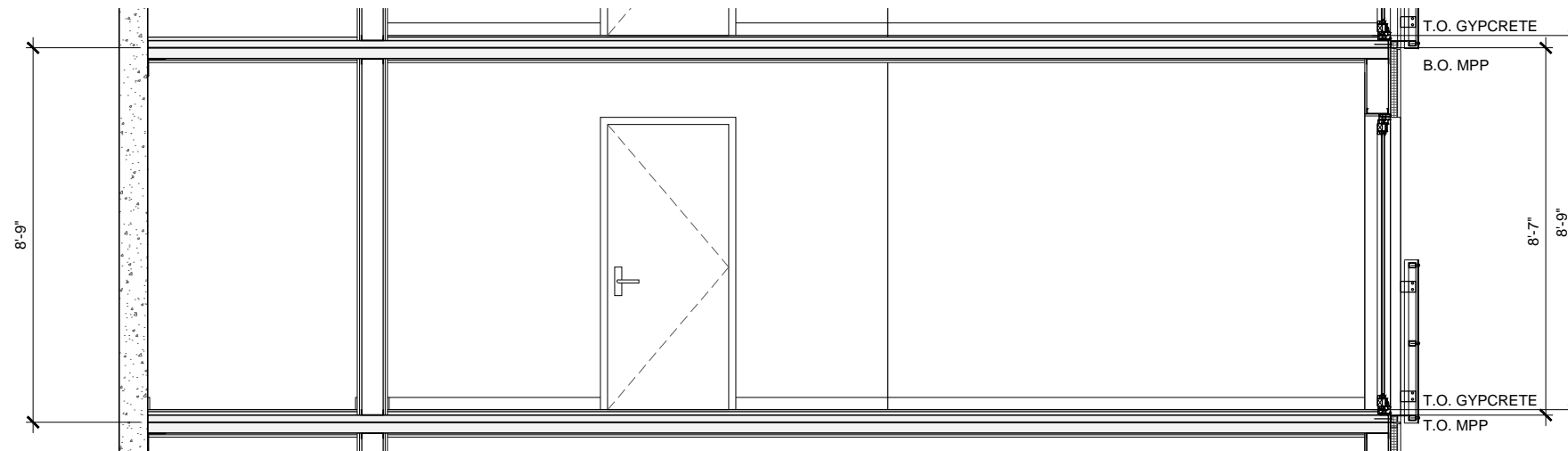
LONG TERM = 101 PARKING SPACES
SHORT TERM = 6 PARKING SPACES



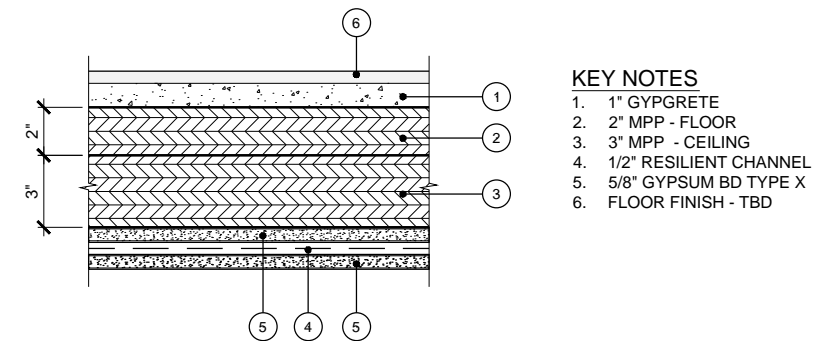
- PRODUCT FEATURES
- CAN BE BUILT AS A SINGLE-SIDED OR DOUBLE-SIDED UNIT.
 - MULTIPLE BIKE SPACING OPTIONS OFFERS FLEXIBILITY TO MEET MUNICIPAL BIKE PARKING REGULATIONS
 - FEW MOVING PARTS TO MINIMIZING MAINTENANCE
 - 1.25" SECURITY LOCKING BAR STANDARD AT EACH BIKE SPOT
 - 104" CEILING CLEARANCE (LOWER CEILING HEIGHT MODEL CAN BE PROVIDED IF NEEDED FOR CEILING HEIGHT OF 96" - 24" BIKE SPACING ONLY).
 - UPPER TRAYS PULL DOWN TO 12" FROM FLOOR TO MINIMIZE BICYCLE LIFT HEIGHT WHEN LOADING.
 - HOT DIPPED GALVANIZED FINISH
 - LIFT ASSIST MECHANISM IS SPRING LOADED TOP TRAY
- NUMBER OF BIKES
- 16 BIKE DOUBLE SIDED MAXIMUM PER SECTION. CAN BE DESIGNED IN SECTIONS OF 4, 6, 8, 10, 12 OR 16 BIKES
- MATERIALS
- 6" SQUARE UPPER FRAME
 - 2" SQUARE STEEL LOWER FRAME
- SPACING
- 84" AISLE WAY RECOMMENDED TO ALLOW FOR LOADING AND UNLOADING



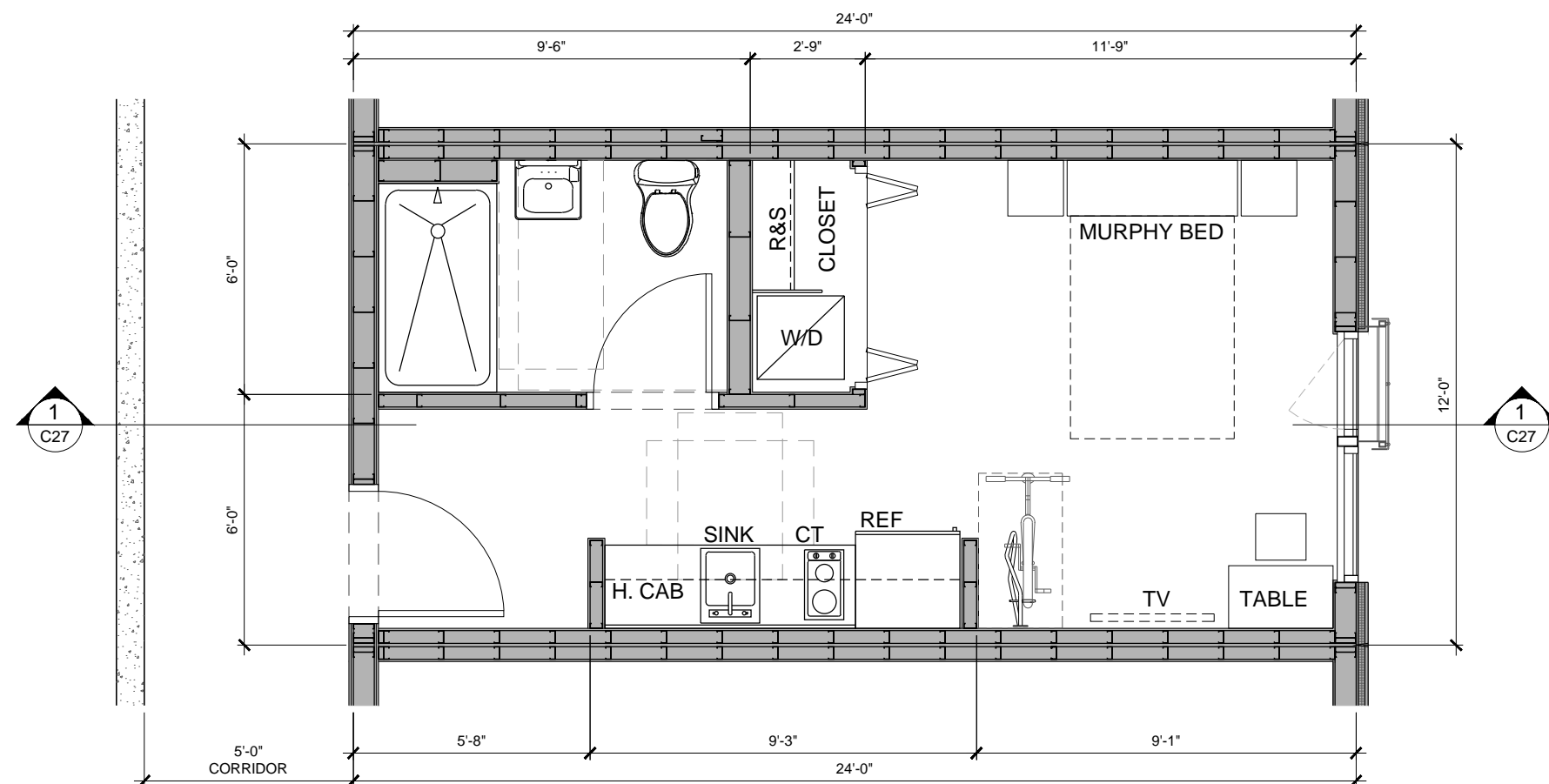
3 BIKE PARKING - FLOOR MOUNTED
SCALE: 1/4" = 1'-0"



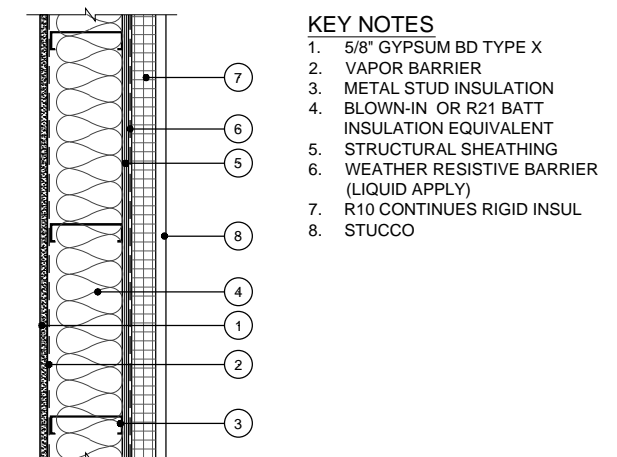
2 TYPICAL SECTION
SCALE: 1/4" = 1'-0"



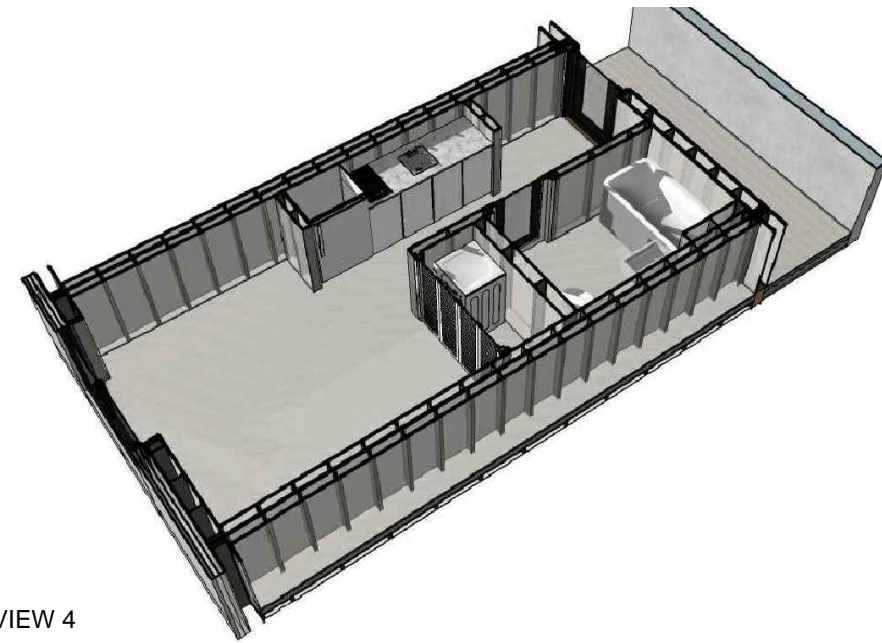
3 FLOOR ASSEMBLY DETAIL
SCALE: 1 1/2" = 1'-0"



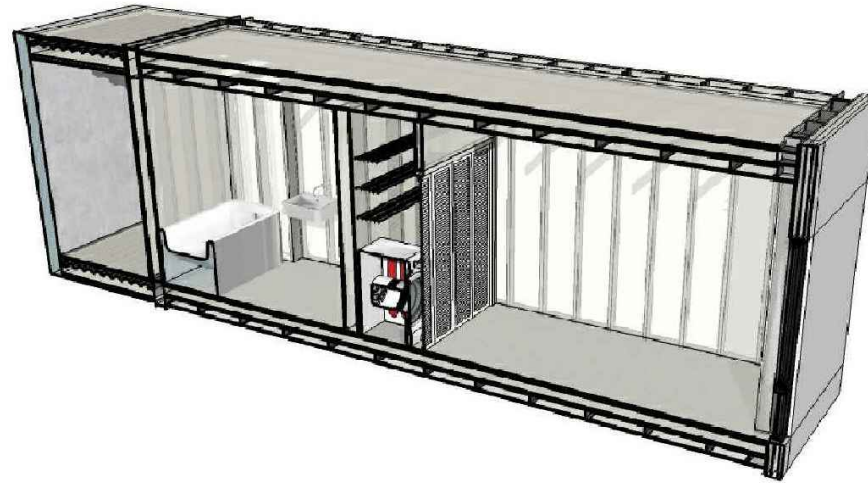
1 TYPICAL UNIT PLAN
SCALE: 1/4" = 1'-0"



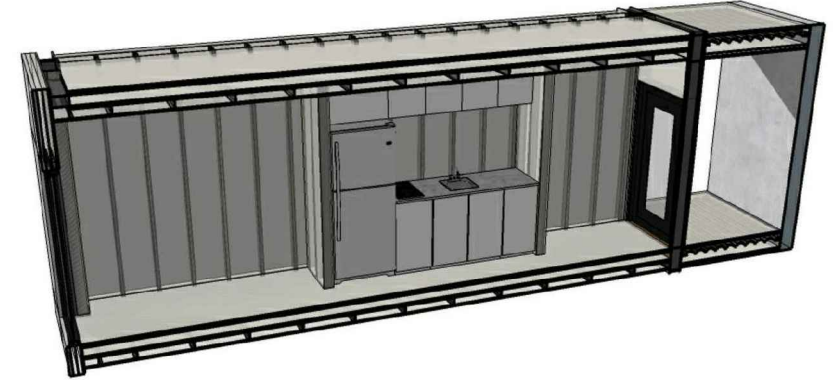
3 WALL ASSEMBLY DETAIL
SCALE: 3/4" = 1'-0"



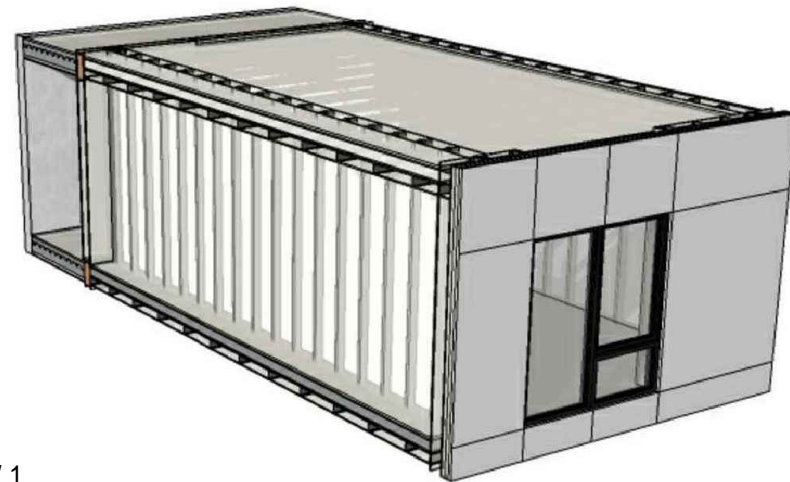
VIEW 4



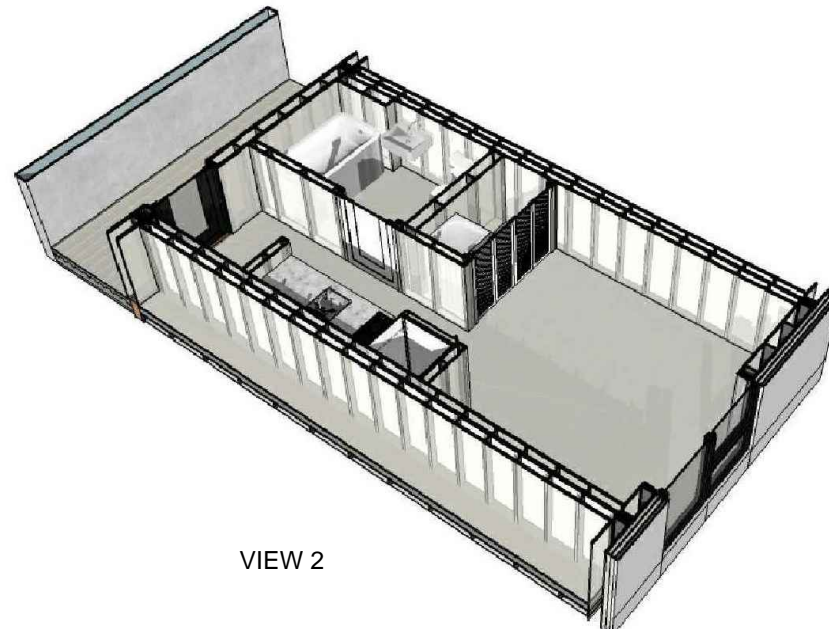
VIEW 5



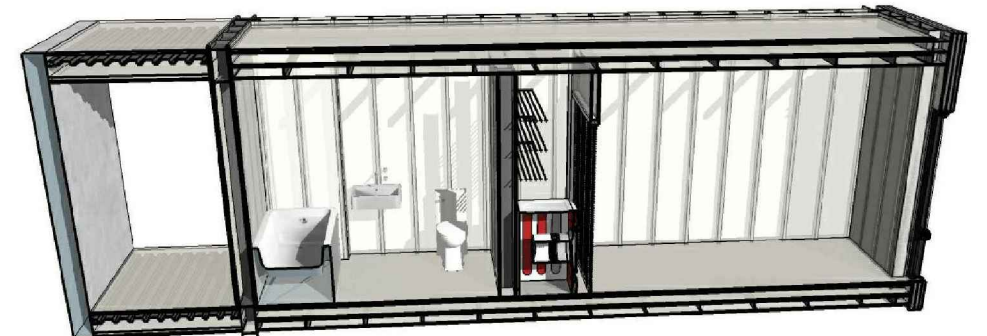
VIEW 6



VIEW 1



VIEW 2



VIEW 3

MODULAR UNIT PLAN

TAHRAN ARCHITECTURE & PLANNING LLC

2057 SW PARK AVE

Approved
City of Portland
Bureau of Development Services

Planner *Zany Sogli*

Date 3/18/2021

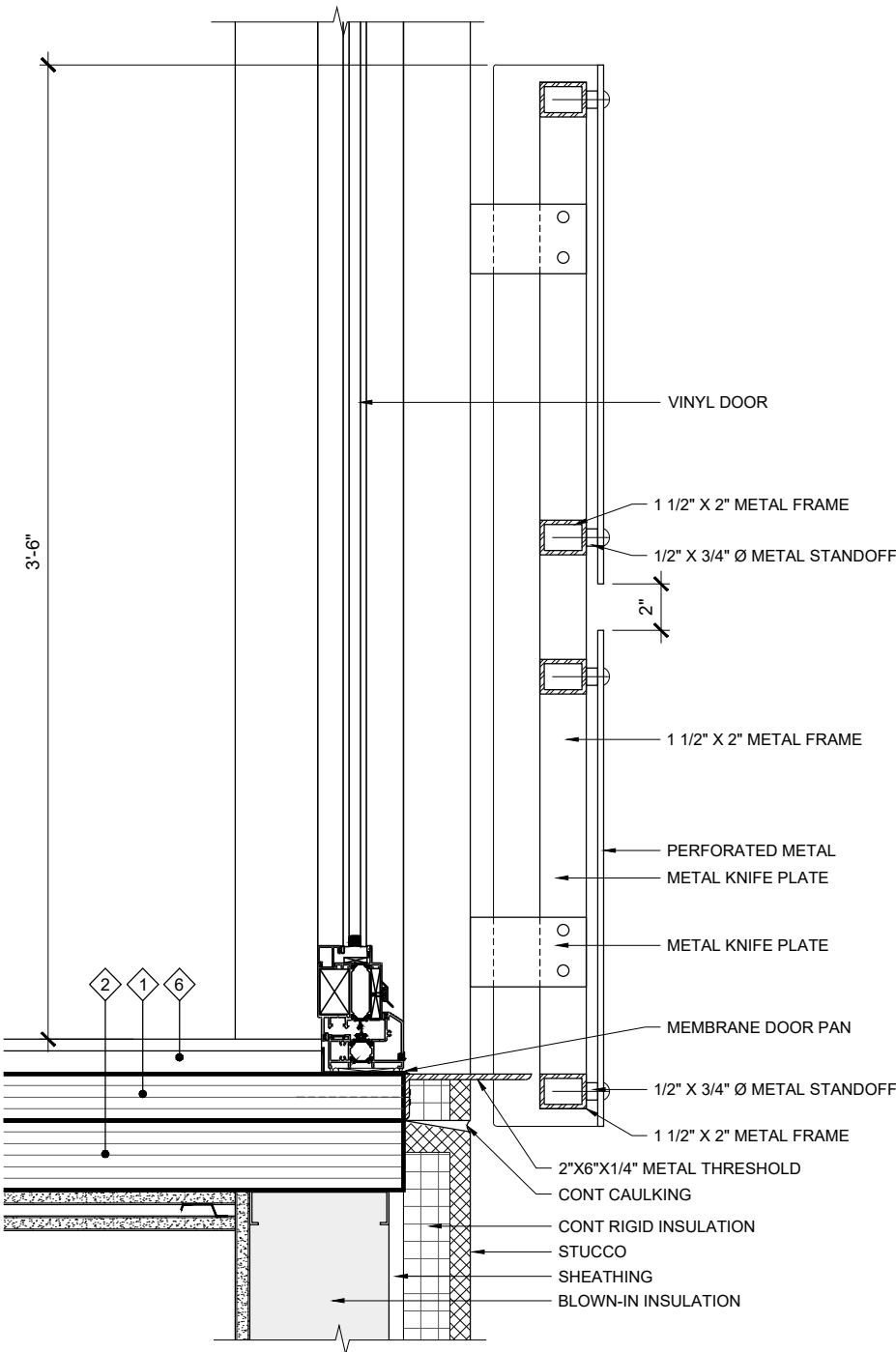
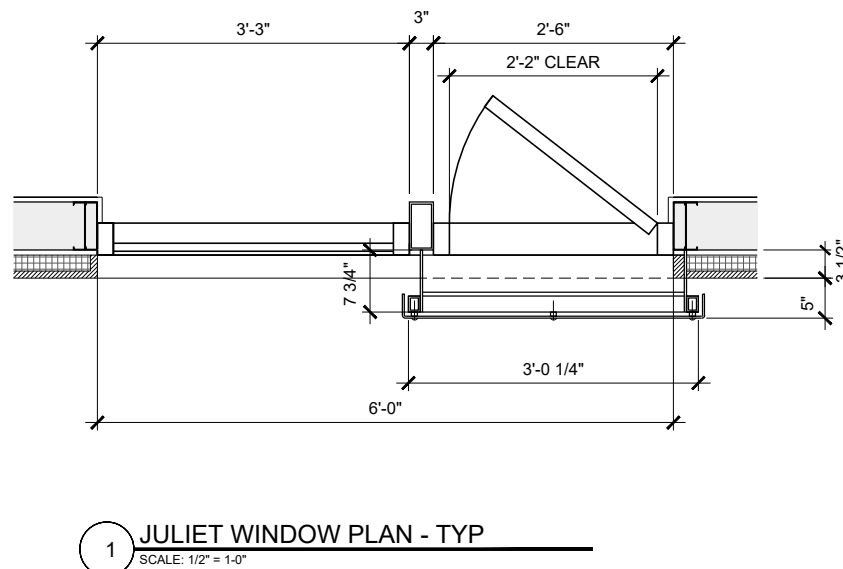
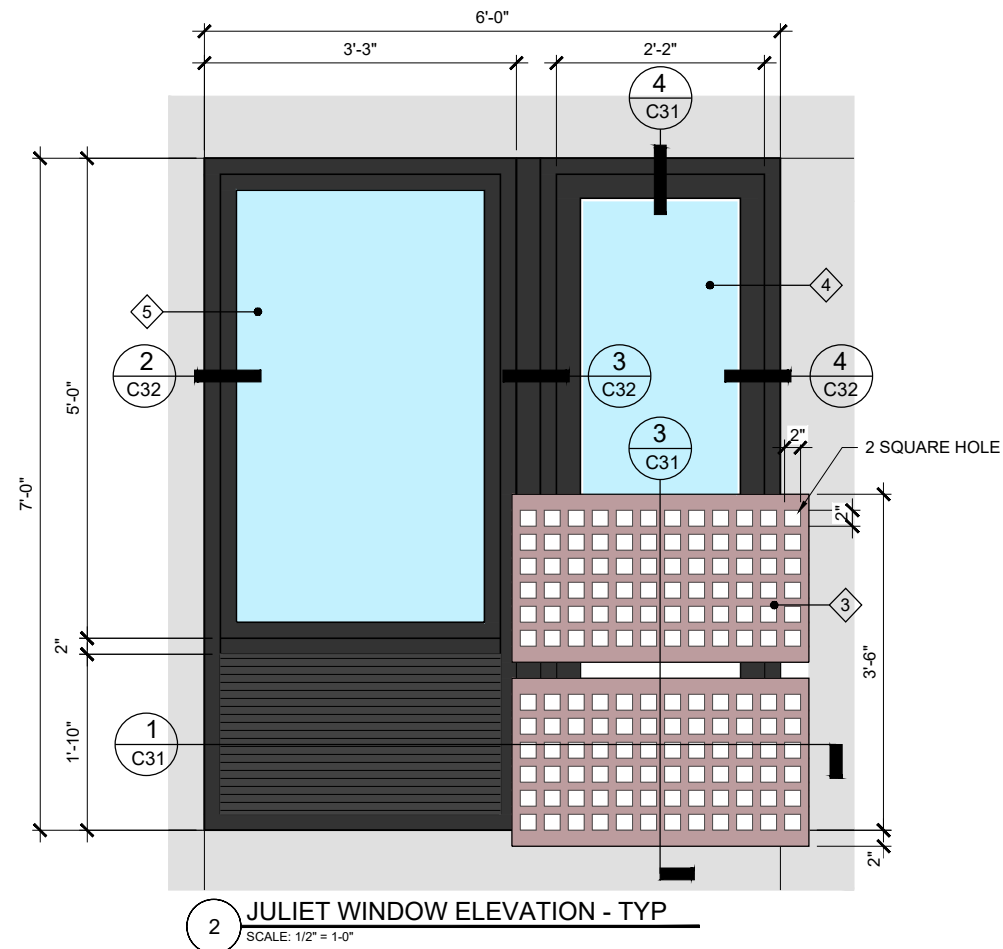
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 20-213946 DZ

C28

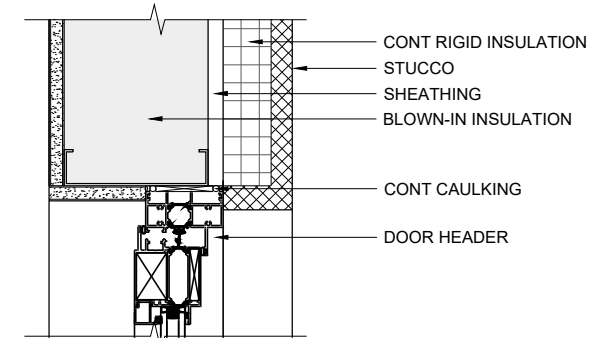
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EX C.20

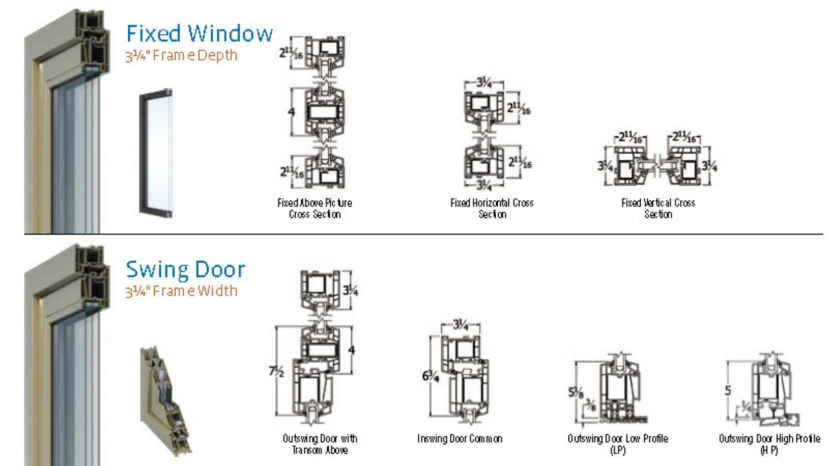


KEYNOTES

- 1 2" THICK MASS PLYWOOD PANEL
- 2 3" THICK MASS PLYWOOD PANEL
- 3 POWDER COATED METAL RAILING
- 4 DOOR INSWING - VPI
- 5 FIXED WINDOW - VPI
- 6 GYPCRETE



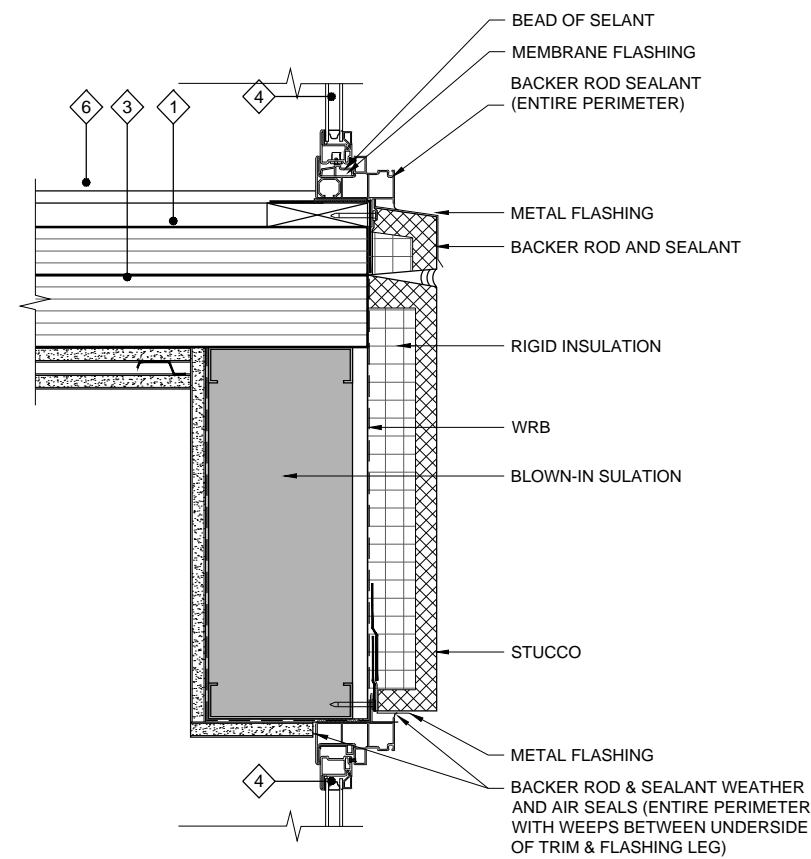
4 DOOR HEADER - TYP
SCALE: 1 1/2" = 1'-0"



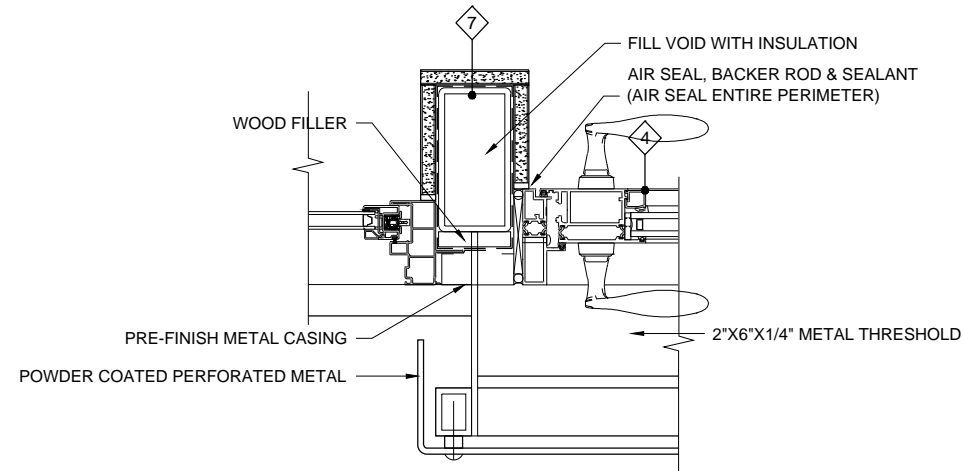
vpi Quality Windows Envision Series

WINDOW TYPE
CASEMENT - PICTURE - CASEMENT
U-FACTOR: .27
SHGC: .14

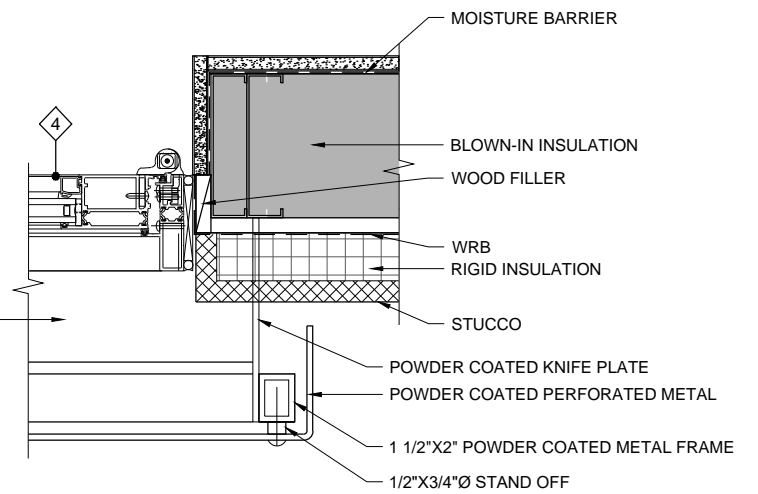
DOOR TYPE
INSWING-INT. GLAZED
U-FACTOR: .27
SHGC: .16



1
SCALE: 1 1/2" = 1'-0"



3
SCALE: 1 1/2" = 1'-0"



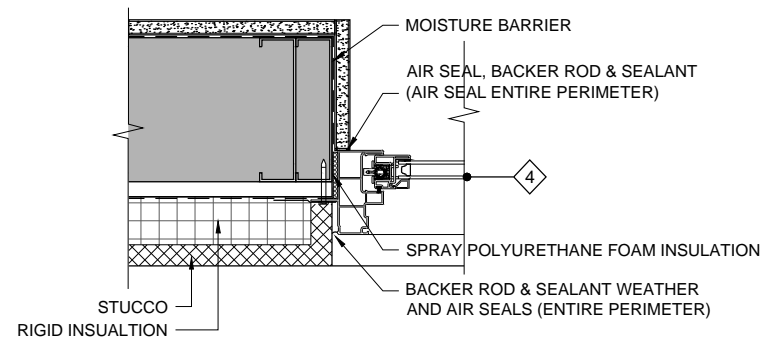
4
SCALE: 1 1/2" = 1'-0"

KEYNOTES

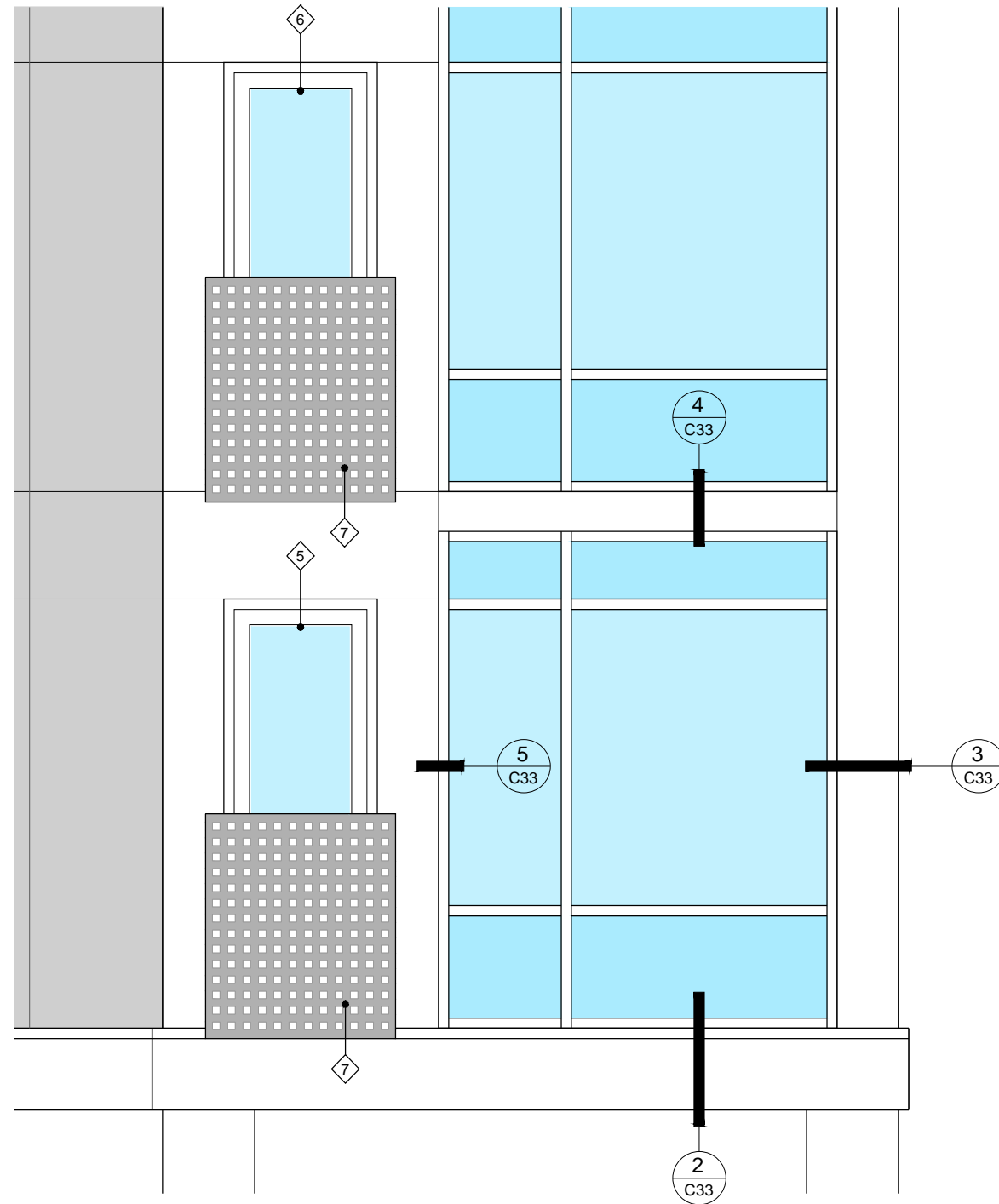
- 1 2" THICK MASS PLYWOOD PANEL
- 2 3" THICK MASS PLYWOOD PANEL
- 3 POWDER COATED METAL RAILING
- 4 DOOR INSWING - VPI
- 5 FIXED WINDOW - VPI
- 6 GYPCRETE
- 7 TUBULAR POST

WINDOW TYPE
CASEMENT - PICTURE - CASEMENT
U-FACTOR: .27
SHGC: .14

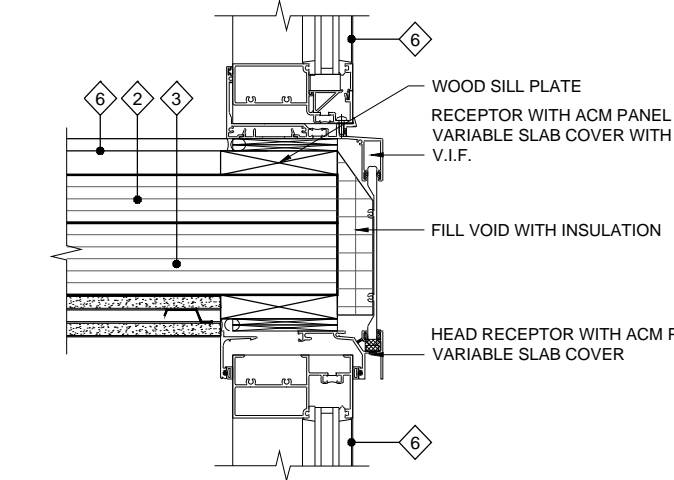
DOOR TYPE
INSWING-INT. GLAZED
U-FACTOR: .27
SHGC: .16



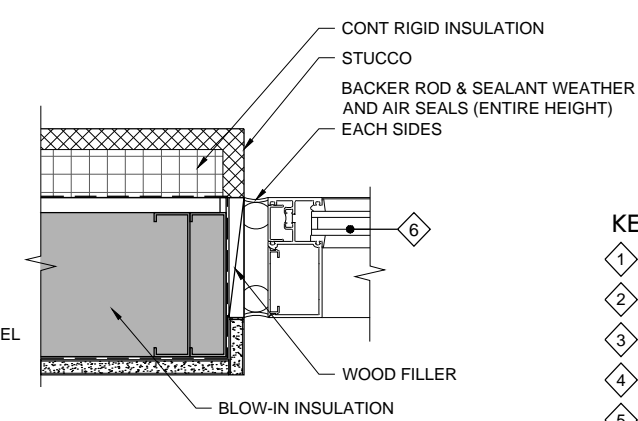
2
SCALE: 1 1/2" = 1'-0"



1 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"

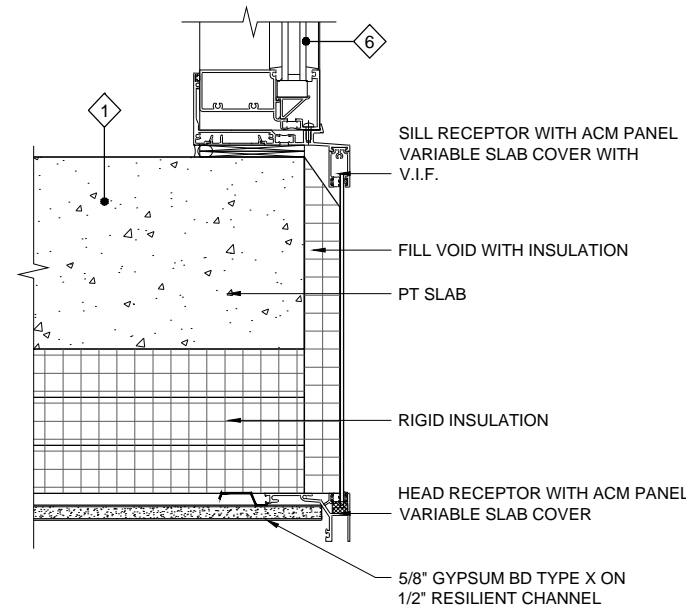


4 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"

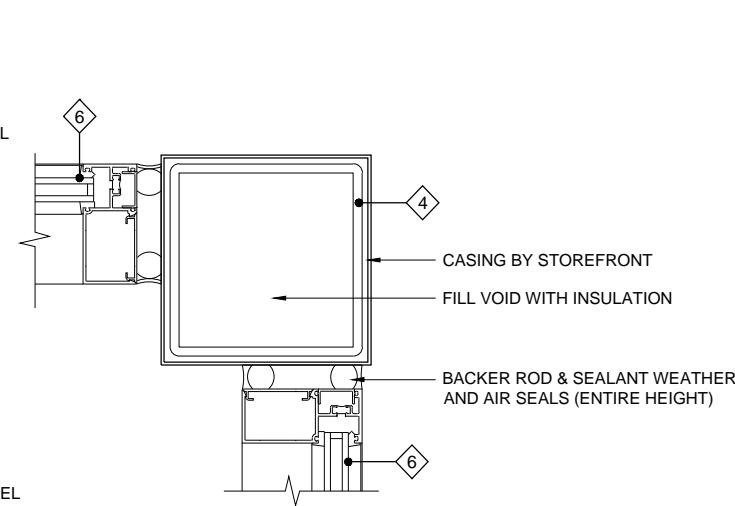


5 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"

- KEYNOTES**
- 1 P.T. SPAB
 - 2 2" THICK MASS PLYWOOD PANEL
 - 3 3" THICK MASS PLYWOOD PANEL
 - 4 STEEL POST PER STRUCT'L
 - 5 DOOR INSWING - VPI
 - 6 WALL CURTAIN
 - 7 POWDER COATED METAL RAILING



2 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



3 DETAIL SECTION
SCALE: 1 1/2" = 1'-0"



Urban Elegance with an Economical Point of View



20 Fulton East Apartments
Grand Rapids, Michigan
ARCHITECT
Pappageorge Haymes Partners, Chicago, Illinois
WINDOW INSTALLER
Vos Glass, Grand Rapids, Michigan
PHOTOGRAPHY
©Bill Gnech / The Apple Group

Sleek, efficient and versatile. FG 501T Window Wall – the first in the MetroView™ Window Wall series – packs the desired aesthetics of a curtain wall into a cost-efficient window wall system. Ideal for mid-rise commercial projects and sophisticated multifamily housing, MetroView™ FG 501T Window Wall delivers the refined design features that are so popular in today's urban and near-urban cityscapes.

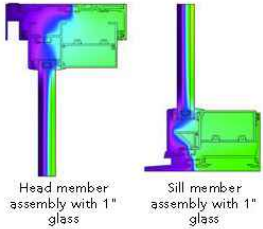
MetroView™ FG 501T Window Wall offers the look of a true curtain wall with a slab-to-slab aluminum frame design. For maximum square footage in interior spaces, FG 501T Window Wall is engineered for shallow horizontal inside glazing with the glass set to the front of the system. Screw spline fabrication and joinery means easy construction and low installation costs. And for designs that put skylines within immediate reach, balcony doors can be easily and seamlessly integrated

into the system. With air and water performance equal to many curtain walls and a range of aesthetic options including slab edge covers for a seamless transition between floors, MetroView™ FG 501T Window Wall offers a beautiful frame for life.

PERFORMANCE

MetroView™ FG 501T Window Wall is an economical solution that does not compromise performance to achieve the true look of a curtain wall. The framing process is as streamlined as its appearance, with simple two-piece receptors designed for efficient installation. Optional outside glazing allows for job-site flexibility.

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side



Additionally, the IsoLock™ thermal break process is used to eliminate expansion and contraction of the polyurethane. Prior to the pouring operation, the aluminum is lanced into the cavity at a predetermined increment. The lanced aluminum creates a positive interlock in the polyurethane before it hardens, eliminating any potential for shrinkage. The mechanical locks, combined with the adhesive bond of the polyurethane to the aluminum, create a composite section used to meet design wind loads.

The system is fully tested according to industry standards, as indicated below:

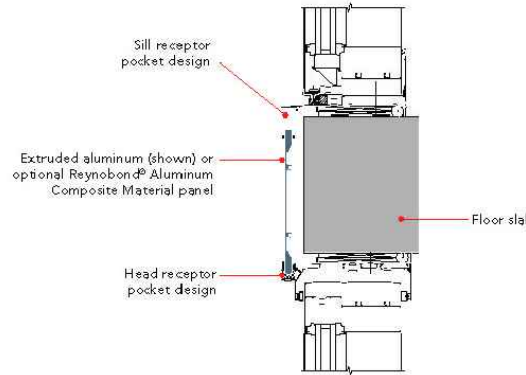
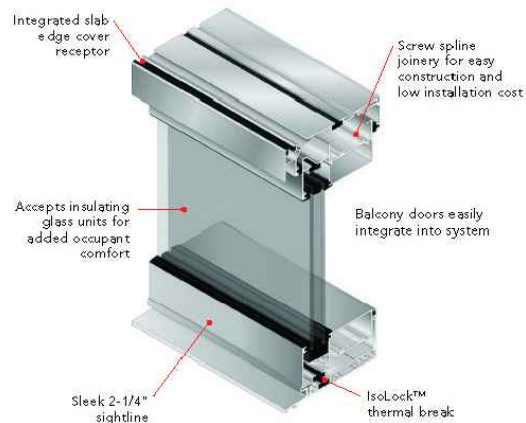
PERFORMANCE TEST STANDARDS	
Air Infiltration	ASTM E283, NFRC400, TAS 202
Water	ASTM E331, ASTM E547, TAS 202
Severe Wind-Driven Rain	AAMA 520
Structural – Uniform Wind Load	ASTM E330, TAS 202
Large Missile Impact	ASTM E1886, ASTM E1996
Acoustical Testing, STC and OITC	AAMA 1801, ASTM E90, ASTM E1425
Thermal Transmittance – U-Factor	NFRC 100, AAMA 1503, AAMA 507
Condensation Resistance (CRF and CR)	AAMA 1503, NFRC 500
Overall Solar Heat Gain (SHGC, VT)	AAMA 507, NFRC 200
Condensation Resistance	AAMA 1503

Thermal performance is enhanced with our IsoLock™ thermal break. The factory-supplied pour and debridge thermal break involves pouring liquid polyurethane into a cavity or thermal pocket, allowing it to harden and then cutting away a small section of aluminum opposite the pour area to fully separate the exterior aluminum from the interior aluminum. This thermal barrier improves the U-factor and condensation resistance and also means there are fewer parts to cut and assemble.

AESTHETICS AND VERSATILITY

It is easy to achieve dramatic floor-to-ceiling views with FG 501T Window Wall. The 2-1/4" sightline and standard 5" depth make it easy to achieve stylish urban aesthetics. For clean design lines, the system features a slab-to-slab application with an integrated slab edge. The system provides an appealing look for any type of application and accommodates single- and multi-punched openings or ribbon windows. Corner members for either 90° or 135° applications increase design flexibility, and expansion verticals can be incorporated as desired for a truly customized application.

Painted finishes in standard and custom choices are available.



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Form Number 17-2262-A
IsoLock™ and MetroView™ are
trademarks of Kawneer Company, Inc.
Reynobond® is a registered trademark
of Alcoa Inc.

Kawneer Company, Inc.
Technology Park/Atlanta
555 Guthridge Court
Norcross, GA 30092
770.449.5555
kawneer.com



ARCHITECTURAL SYSTEMS | ENTRANCES + FRAMING | CURTAIN WALLS | WINDOWS

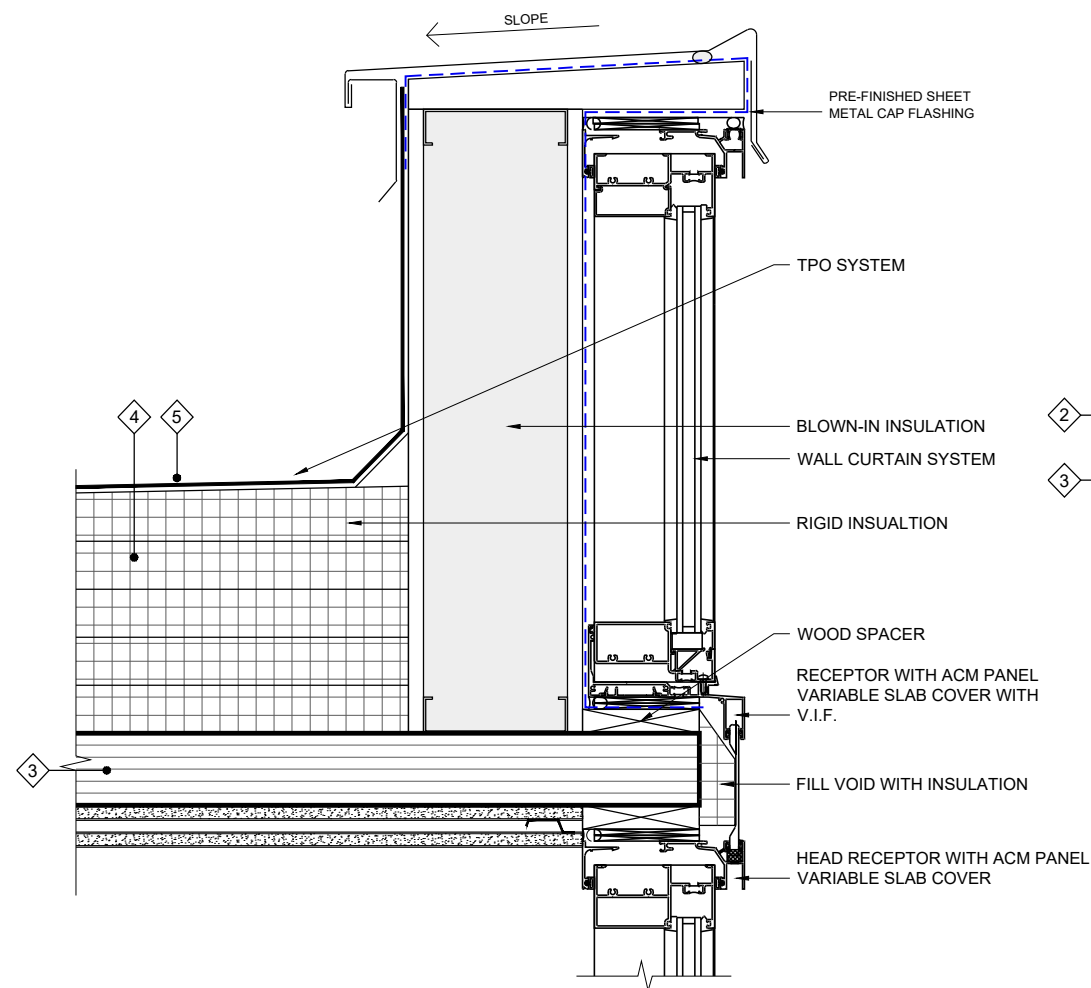
Approved
City of Portland
Bureau of Development Services

Planner [Signature]
Date 3/18/2021

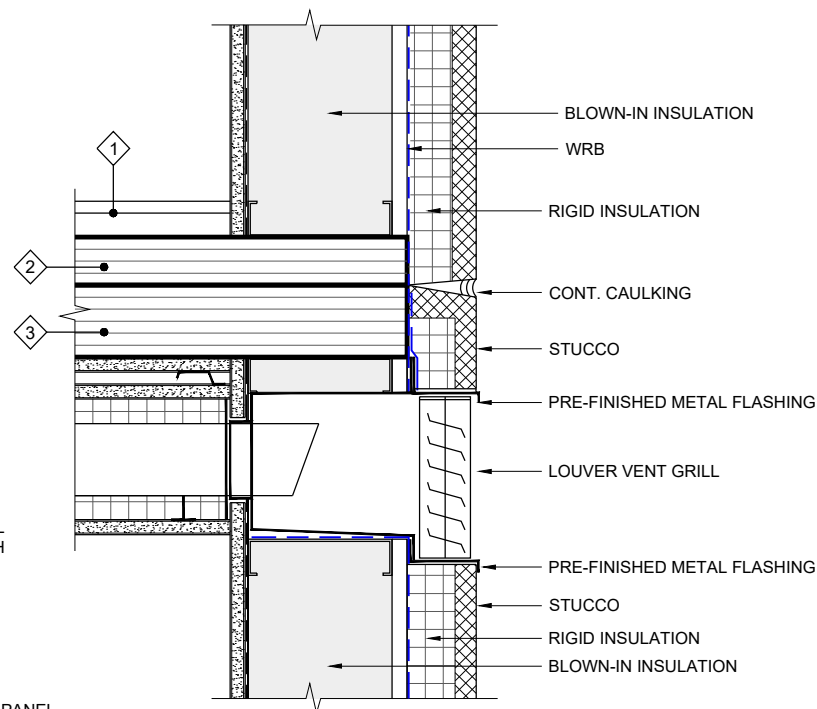
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

KEYNOTES

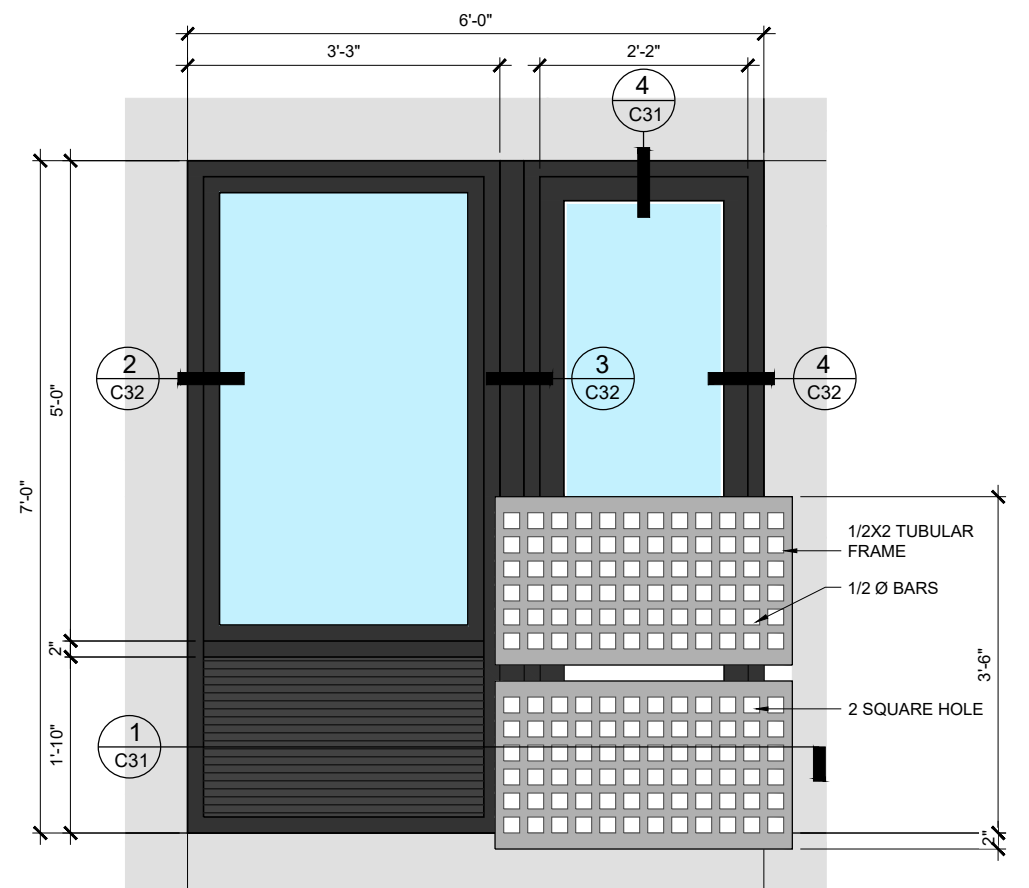
- 1 GYPCRETE
- 2 2" THICK MASS PLYWOOD PANEL
- 3 3" THICK MASS PLYWOOD PANEL
- 4 RIGID INSULATION (TAPERED)
- 5 TPO ROOFING



1 PARAPET DETAIL - WALL CURTAIN
SCALE: 1 1/2" = 1'-0"



2 TYPICAL EXHAUST LOUVER VENT
SCALE: 1 1/2" = 1'-0"

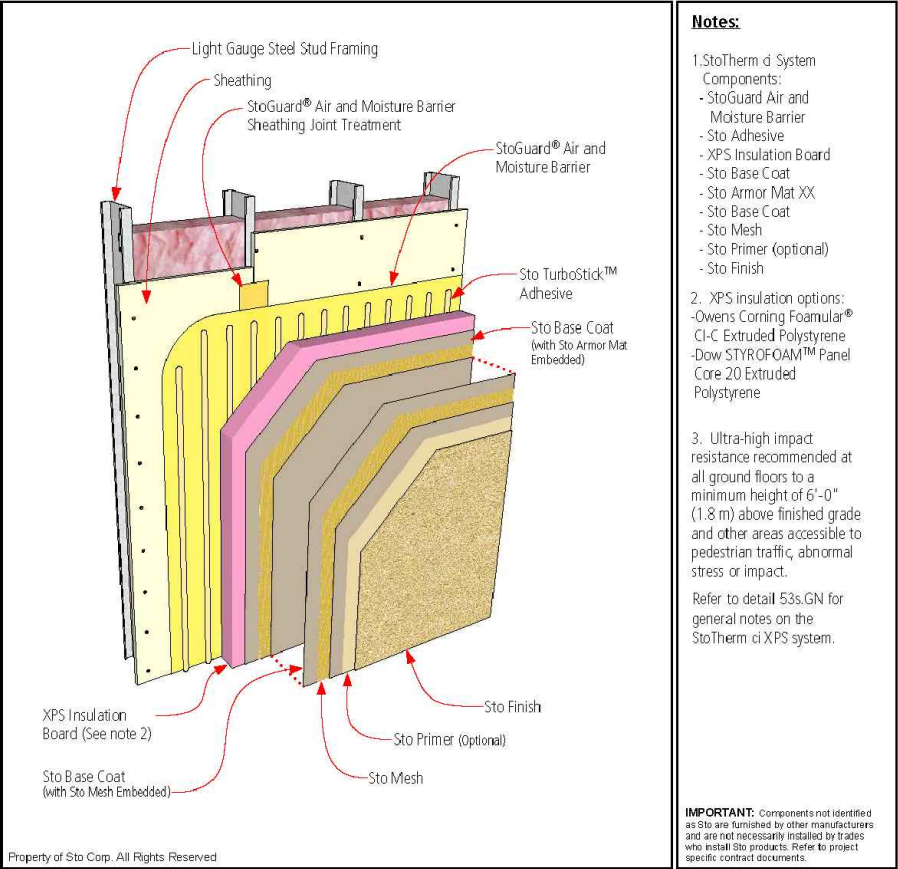


3 11TH FLOOR
JULIET WINDOW ELEVATION - TYP
SCALE: 1/2" = 1'-0"



StoTherm® ci XPS
System Components: Ultra-High Impact Resistance

Detail No.: 53s.01
Date: January 2017



- Notes:**
1. StoTherm® ci System Components:
 - StoGuard® Air and Moisture Barrier
 - Sto Adhesive
 - XPS Insulation Board
 - Sto Base Coat
 - Sto Armor Mat XX
 - Sto Base Coat
 - Sto Mesh
 - Sto Primer (optional)
 - Sto Finish
 2. XPS insulation options:
 - Owens Corning Foamular® CI-C Extruded Polystyrene
 - Dow STYROFOAM™ Panel Core 20 Extruded Polystyrene
 3. Ultra-high impact resistance recommended at all ground floors to a minimum height of 6'-0" (1.8 m) above finished grade and other areas accessible to pedestrian traffic, abnormal stress or impact.
- Refer to detail 53s.GN for general notes on the StoTherm® ci XPS system.

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install Sto products. Refer to project specific contract documents.

ATTENTION

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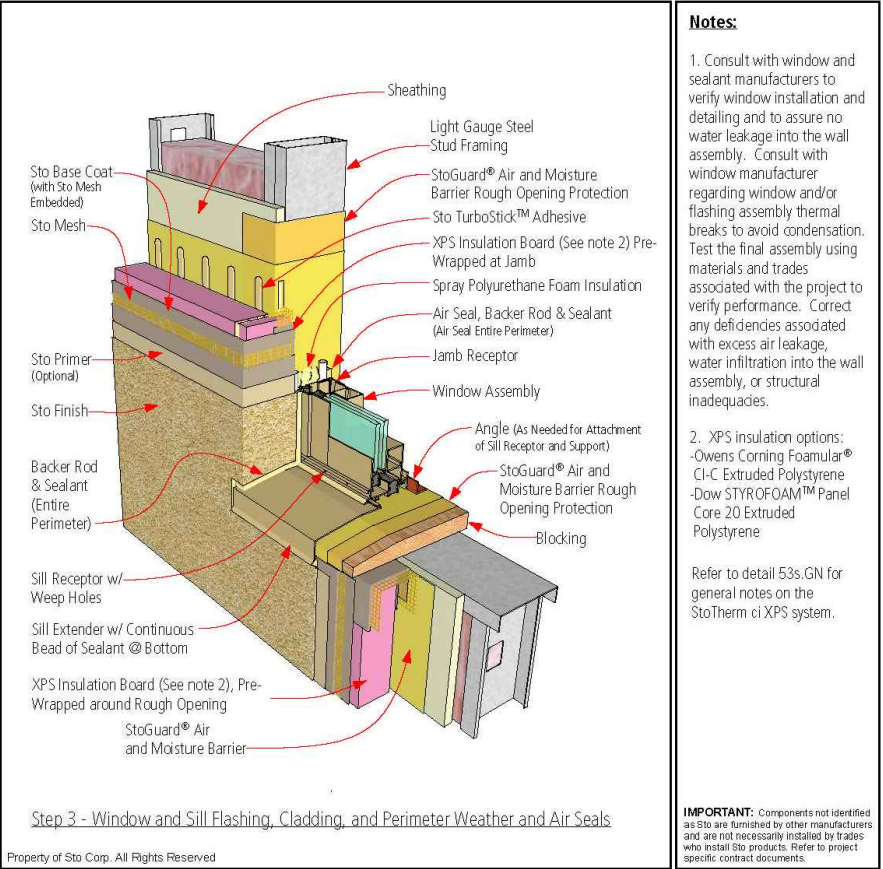
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www.stocorp.com



StoTherm® ci XPS
Receptor-Type Window Sill

Detail No.: 53s.23A-3
Date: January 2017



- Notes:**
1. Consult with window and sealant manufacturers to verify window installation and detailing and to assure no water leakage into the wall assembly. Consult with window manufacturer regarding window and/or flashing assembly thermal breaks to avoid condensation. Test the final assembly using materials and trades associated with the project to verify performance. Correct any deficiencies associated with excess air leakage, water infiltration into the wall assembly, or structural inadequacies.
 2. XPS insulation options:
 - Owens Corning Foamular® CI-C Extruded Polystyrene
 - Dow STYROFOAM™ Panel Core 20 Extruded Polystyrene
- Refer to detail 53s.GN for general notes on the StoTherm® ci XPS system.

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install Sto products. Refer to project specific contract documents.

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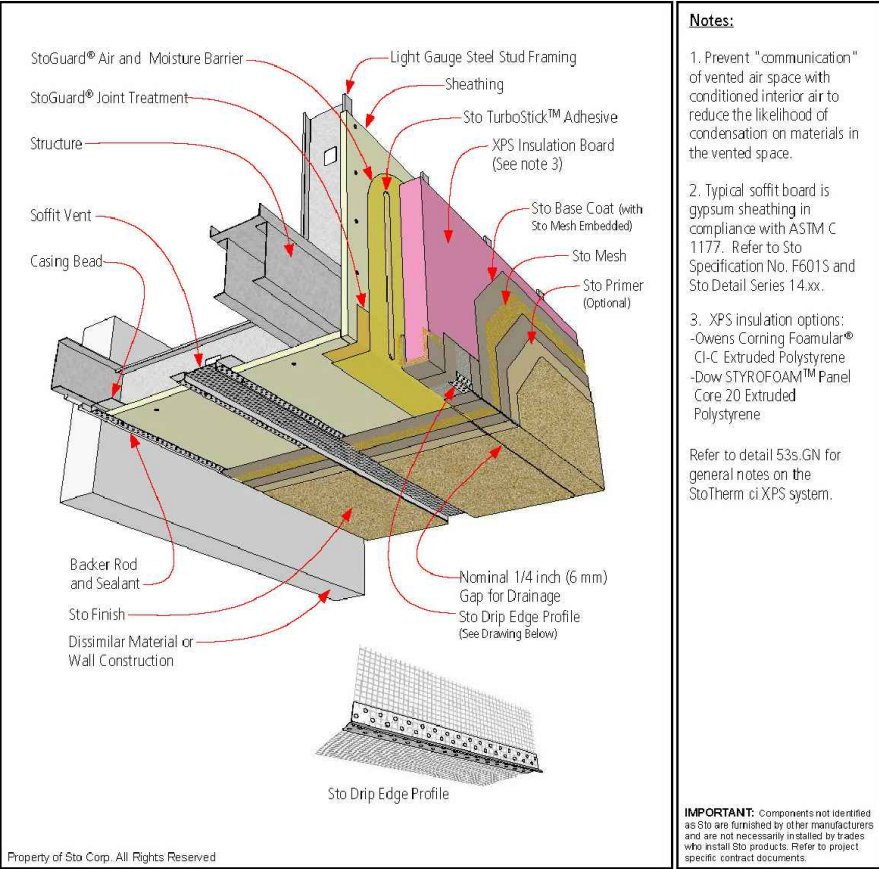
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www.stocorp.com



StoTherm® ci XPS
Soffit: Uninsulated and Vented

Detail No.: 53s.31
Date: January 2017



- Notes:**
1. Prevent "communication" of vented air space with conditioned interior air to reduce the likelihood of condensation on materials in the vented space.
 2. Typical soffit board is gypsum sheathing in compliance with ASTM C 1177. Refer to Sto Specification No. F601S and Sto Detail Series 14.xx.
 3. XPS insulation options:
 - Owens Corning Foamular® CI-C Extruded Polystyrene
 - Dow STYROFOAM™ Panel Core 20 Extruded Polystyrene
- Refer to detail 53s.GN for general notes on the StoTherm® ci XPS system.

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install Sto products. Refer to project specific contract documents.

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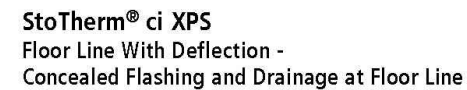
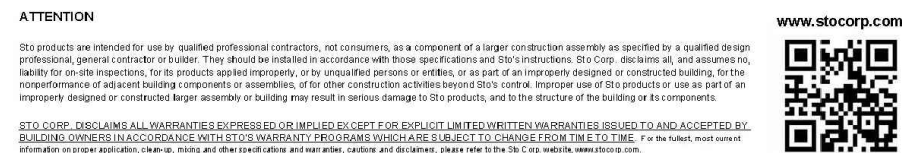
www.stocorp.com



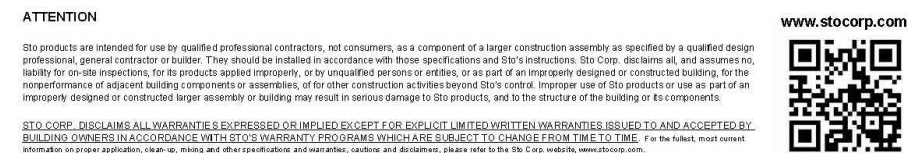
Approved
City of Portland
Bureau of Development Services
Planner 
Date 3/18/2021
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



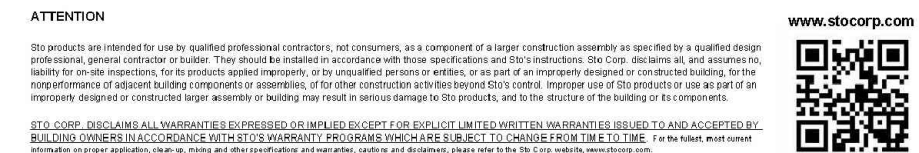
Detail No.: 53s.23B-3
Date: January 2017



Detail No.: 53s.41A
Date: January 2017



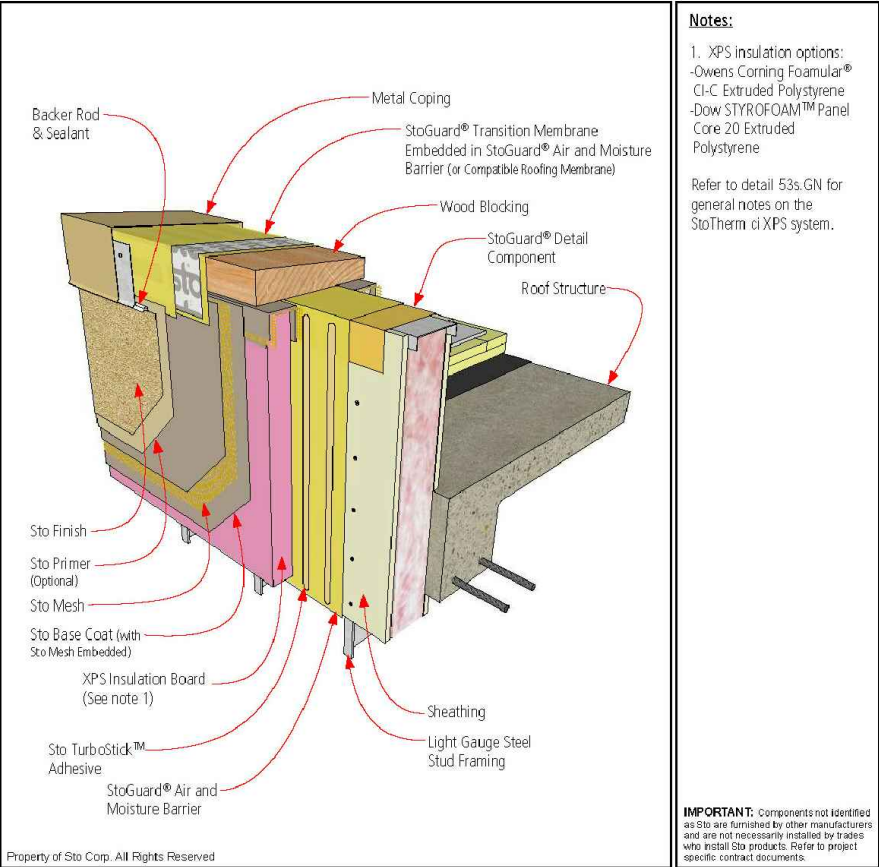
Detail No.: 53s.53
Date: January 2017





StoTherm® ci XPS
Termination at Parapet - Front

Detail No.: 53s.60A
Date: January 2017



ATTENTION

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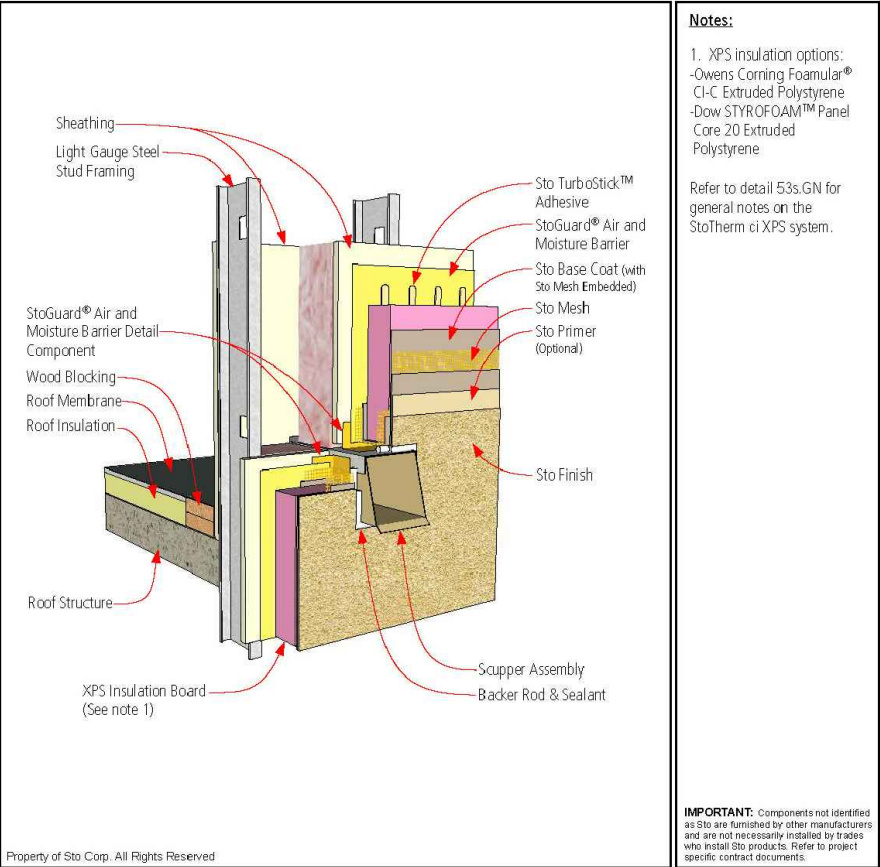
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StoTherm® ci XPS
Scupper Penetration

Detail No.: 53s.65
Date: January 2017



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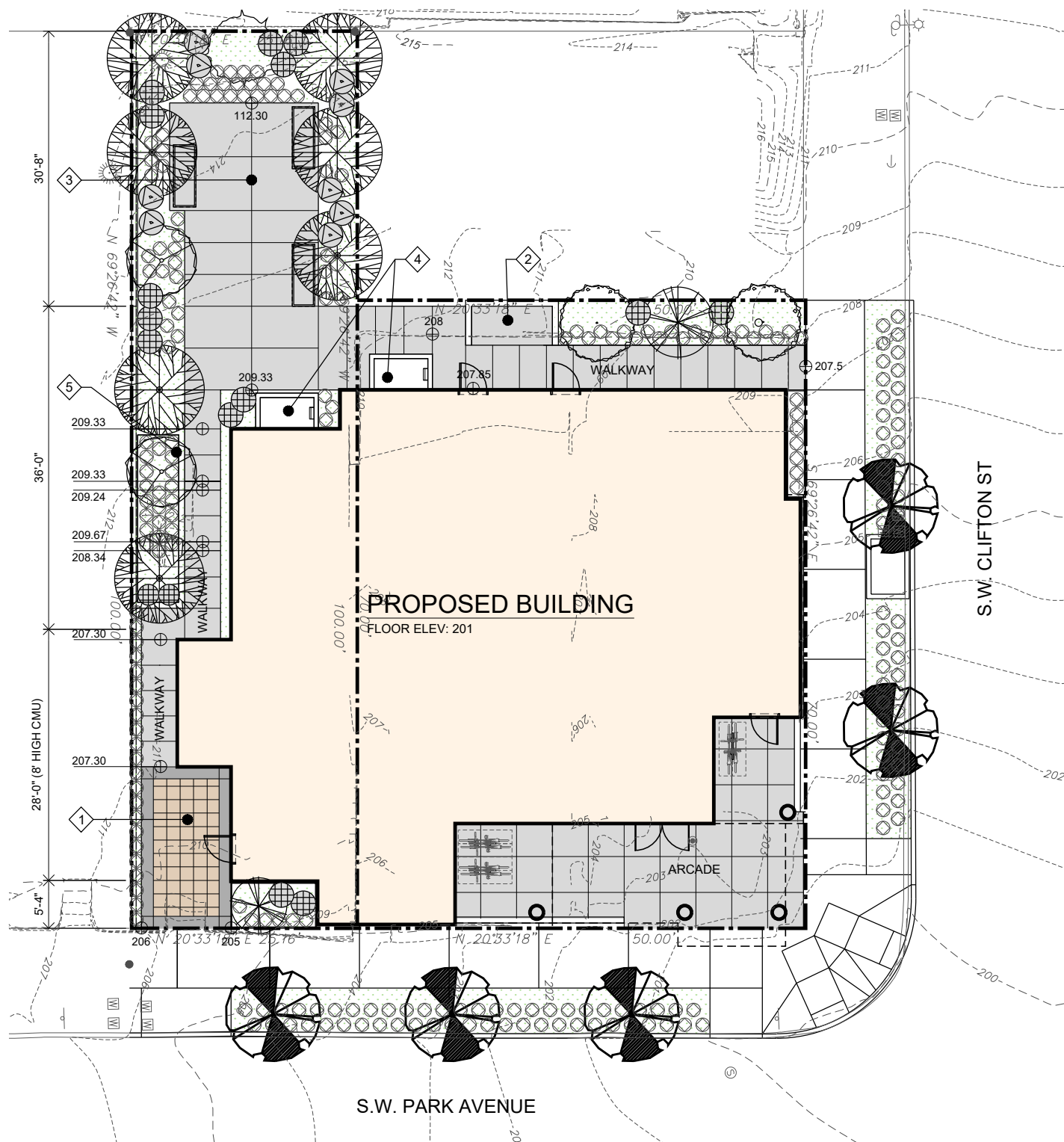


Approved
City of Portland
Bureau of Development Services

Planner 

Date 3/18/2021










* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



LANDSCAPE PLAN KEYNOTES

- 1 LOADING ZONE WITH CONCRETE COLORED PAVRES
- 2 GENERATOR WITH 8" W X 6'-0" TALL CMU SCREEN WALL STUCCO FINISH TO MATCH BUILDING AND BUILDING COLORS
- 3 OUT DOOR PLAZA WITH CONCRETE SURFACE
- 4 WINODW WELL
- 5 LANSCAPE AREA FOR WATER QUALITY QUALITY FILTRATION

PLANTING LEGEND

	CODE	COMMON NAME	CAL	QUANTITY	SIZE	HEIGHT
	FP	FRAXINUS PENNSYLVANIA GREEN ASH	2 CAL	2	LARGE	5'
	SO	SILVER OAK QUERCUS HYPOLEUCOIDES	2 CAL	3	LARGE	5'
	FA	FRAXINUS ANGUSTIFOLIA NARROW LEAF ASH	2 CAL	7	LARGE	5'
	ACER	ACER NICRUM GREENCOLUMN GREENCOLUMN MAPLE	2 CAL	2	MEDIUM	5'
	JRM	ACER X FREEMANII JEFFERSON RED JEFFERSON RED MAPLE	2 CAL	2	MEDIUM	5'
	ESRED	EASTERN REDBUD CERCIS CANADENNIS	2 CAL	2	SMALL	5'
SHRUBS	CODE	COMMON NAME	CONTAINER	SPACING	QUANTITY	
	PF	POTENTILLA FRUITICOSA CVS	3 GAL	3' O.C.	T.B.D.	
	ROSA	ROSA CAREFREE DELIGHT CAREFREE DELIGHT ROSE	3 GAL	3' O.C.	T.B.D.	
GROUND COVER	CODE	COMMON NAME	CONTAINER	SPACING	QUANTITY	
	FGE	FESTUCA GLAUCA - ELIAJAH BLUE	1 GAL	12" O.C.	T.B.D.	
<div><div></div><div>BENCH - AV1-1020 Six foot, Backed Bench, Surface Mount 26"x34"x72" Avondale AV1-1020 inground pedestal mount with lpe wood www.sitescapesonline.com</div></div>						

1 LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

TAHRAN ARCHITECTURE & PLANNING LLC

2057 SW PARK AVE

Approved
City of Portland
Bureau of Development Services

Planner

Date 3/18/2021

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U 20-213946 DZ

C39

DATE: 02-28-2021

EX C.29



TREE - FP



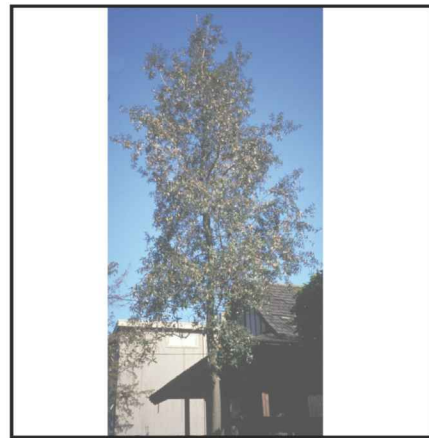
TREE - FA



TREE - ACER



TREE - JRM



TREE - SO



TREE - ESRED



SHRUB - PF



SHRUB - ROSA



GROUND COVER - FGE



BENCH



PAVER - \"MUTUAL MATERIALS\" -
PLANK PAVER

LANDSCAPE MATERIALS

TAHRAN ARCHITECTURE & PLANNING LLC

2057 SW PARK AVE

Approved
City of Portland
Bureau of Development Services

Planner *Zanyar Saefi*

Date 3/18/2021

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LU 20-213946 DZ

C39a

DATE: 11-09-2020

EX C.30

KEYNOTES



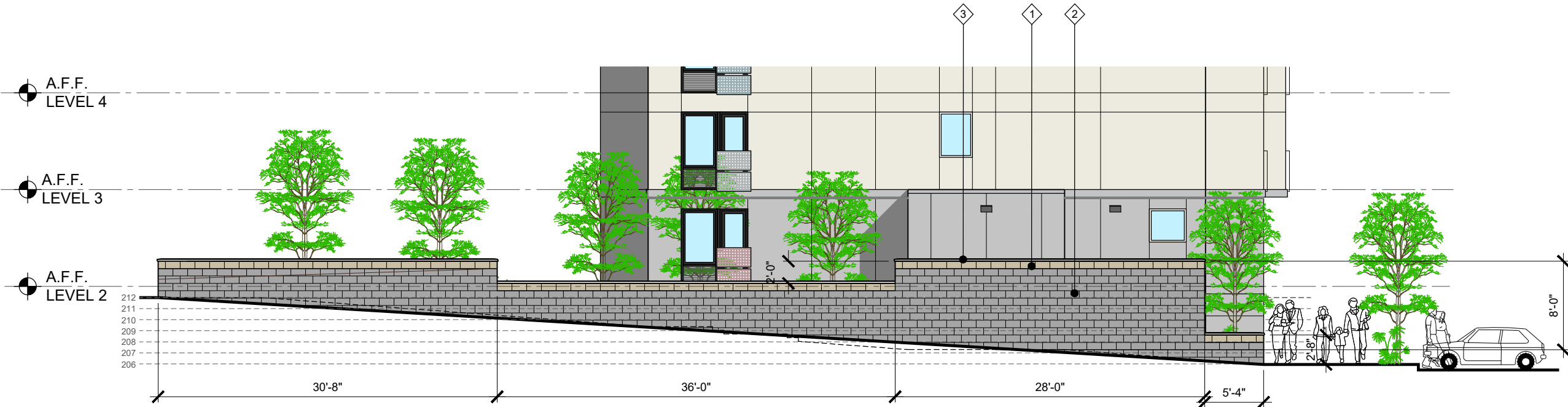
1 6\"/>



2 6\"/>



3 8\"/>



1 SOUTH ELEVATION - FENCE
SCALE: 3/32\"/>

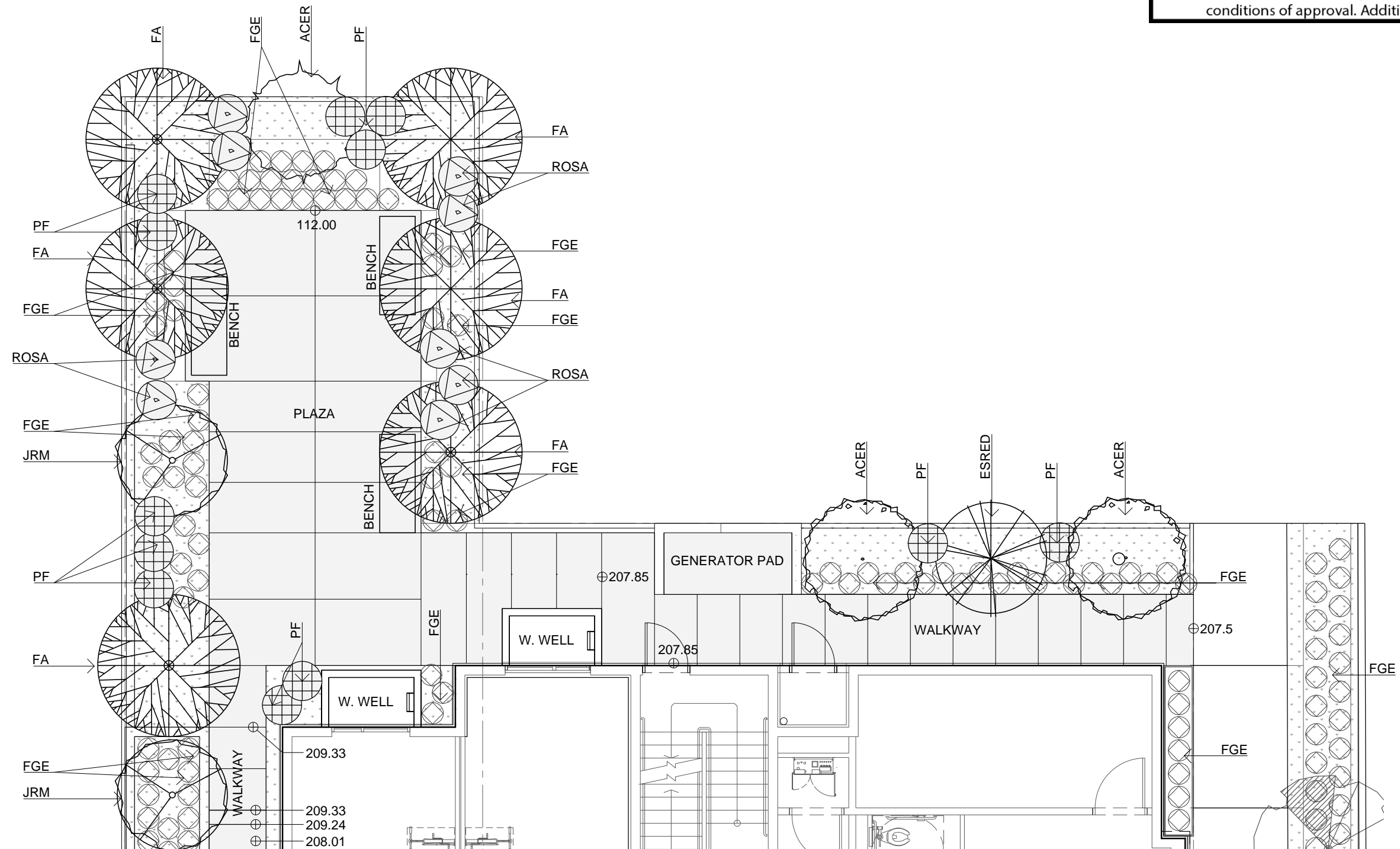
Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date **3/18/2021**

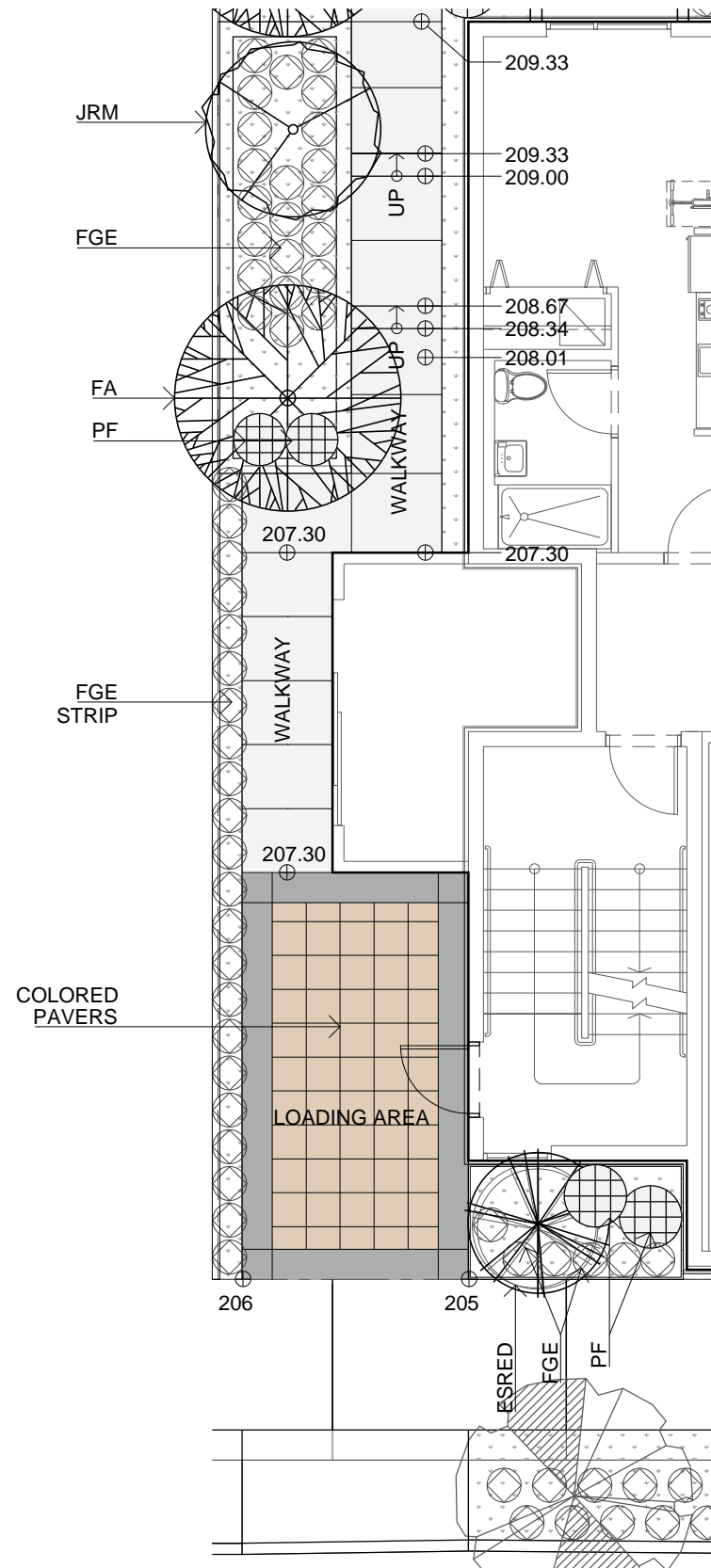
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Planner *[Signature]*
Date 3/18/2021

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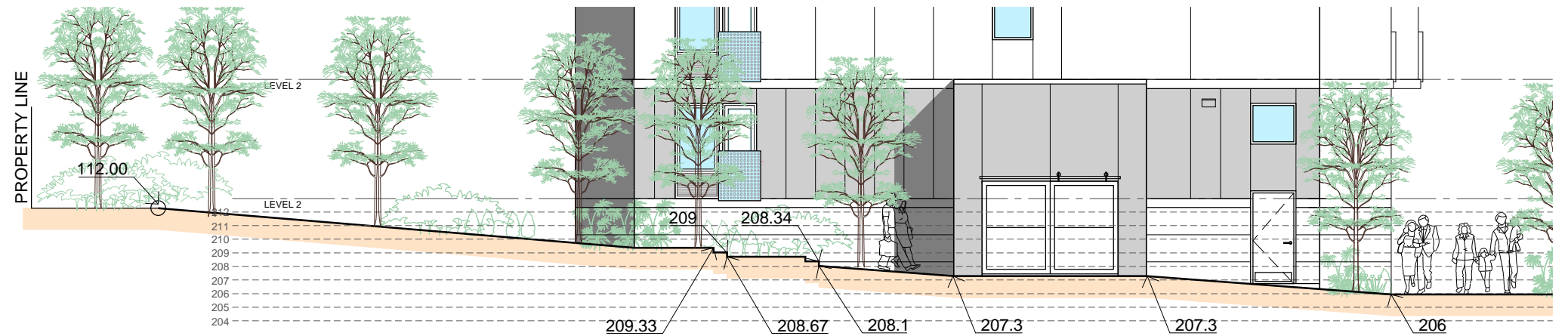
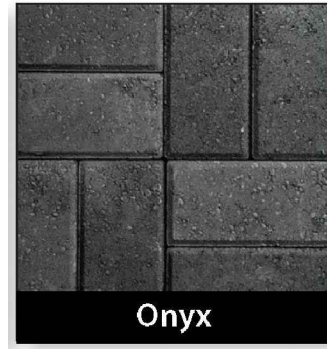
1 PLAZA ENLARGE PLANTING PLAN
SCALE: 1/8" = 1'-0"



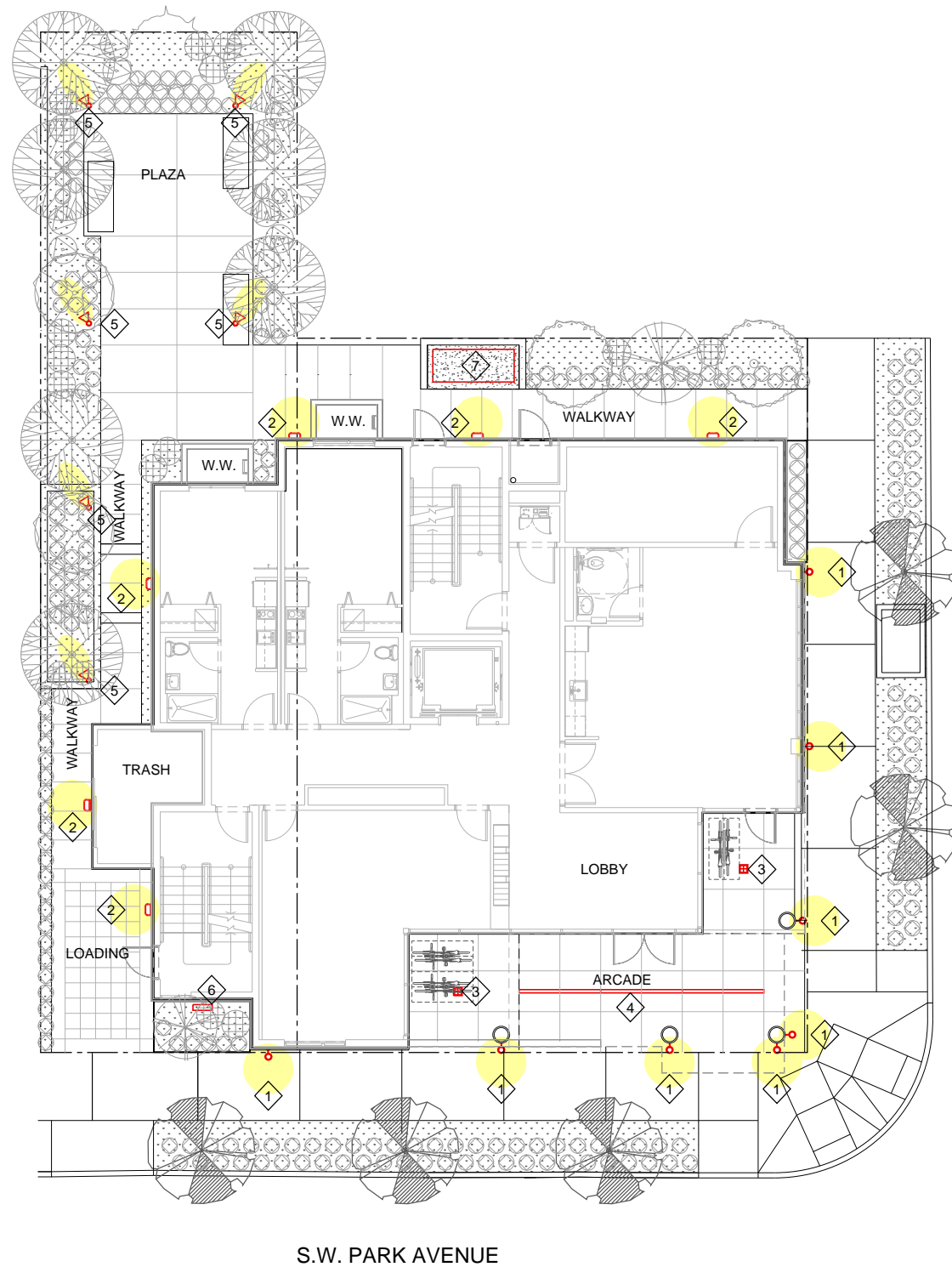
1 SIDEYARD/LOADING AREA ENLARGE PLANTING PLAN
SCALE: 1/8" = 1'-0"

STANDARD SPECIFICATION

Holland Series pavers are manufactured to industry standard specifications ASTM: C 936, and CSA: A 231.2.



2 SIDEYARD/LOADING GRADING ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR LIGHTING LEGEND

- 1 WALL MOUNTED UP/DOWN LIGHT
- 2 WALL MOUNTED DOWN LIGHT
- 3 SURFACE MOUNTED
- 4 LINEAR LIGHT (RECESSED)
- 5 LANDSCAPE LIGHTING TYPE 1
- 6 LANDSCAPE LIGHTING TYPE 2
- 7 GENERATOR

1 EXTERIOR LIGHTING PLAN
SCALE: 1/16" = 1'-0"

TAHRAN ARCHITECTURE & PLANNING LLC

2057 SW PARK AVE



Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*

Date 3/18/2021

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LU 20-213946 DZ

C42

DATE: 11-09-2020

EX C.34