

CITY BLOCKS 42 & 45 BY:



LANDSCAPE ARCHITECTURE BY:



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VOLUME 1 - BLOCK 42

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APP.51	BLOCK 45 - DIAGRAMS - RETAIL VENTING EXHIBIT
APP.52-53	BLOCK 45 - DIAGRAMS - CONCEPTUAL LAYOUT FOR LIVE / WORK UNIT EXHIBIT
APP.54	NOT USED

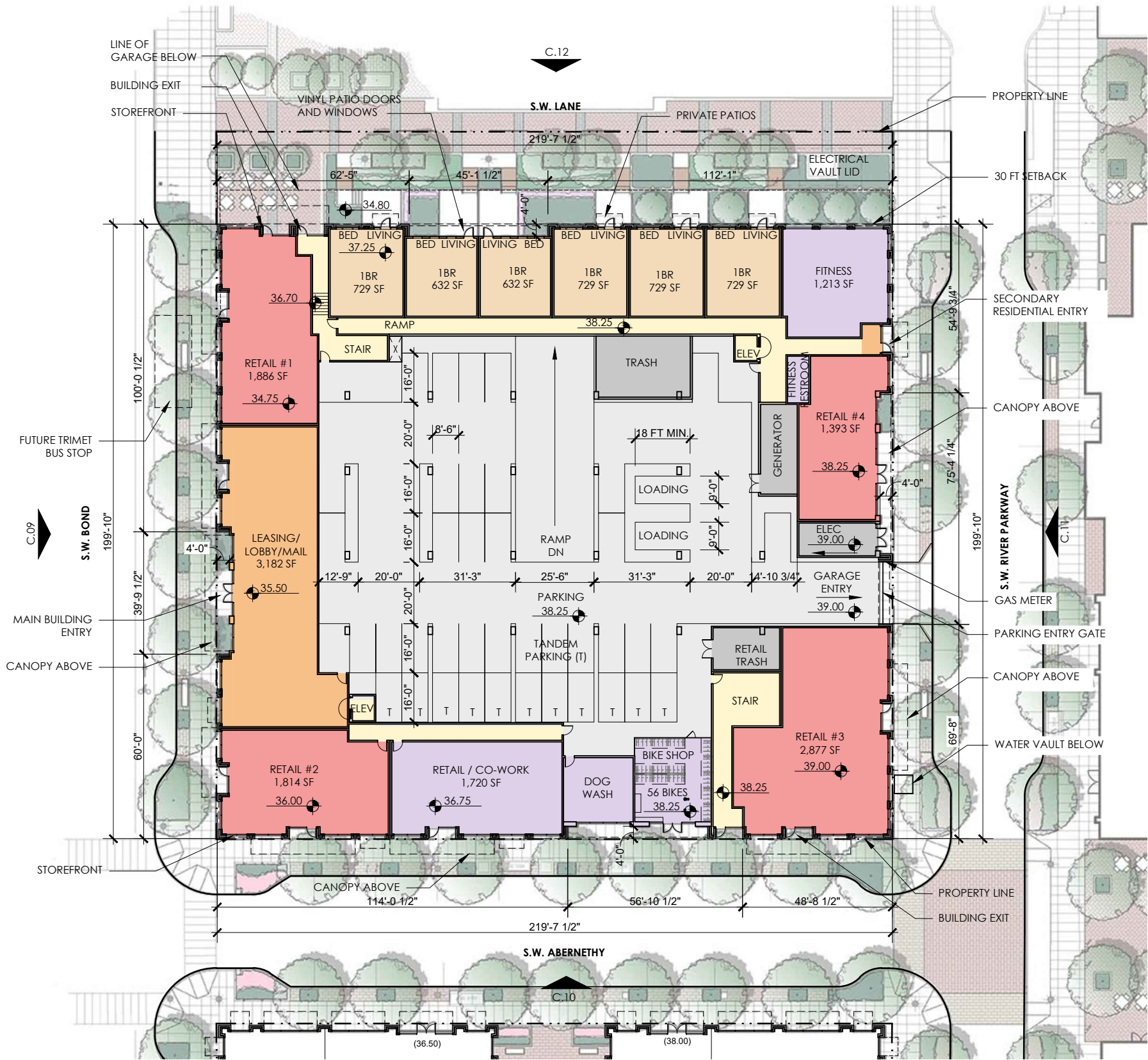
VOLUME 3 - CITY BLOCKS - LANDSCAPE, CIVIL, AND GENERAL

	CITY BLOCKS - COVER SHEET
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C.225	LANDSCAPE - ROOF TERRACES - B42 & B45
C.234	LANDSCAPE - R.O.W. PLANTING - CITY BLOCKS - B42 & B45
C.235	LANDSCAPE - R.O.W. / LEVEL 2 PLANTING CHART - CITY BLOCKS - B42 & B45
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REFER TO VOLUME 3 RIVER BLOCKS FOR GENERAL SHEETS

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LEVEL SUMMARY

TOTAL UNITS ON FLOOR	6
PARKING STALLS	39
COMMERCIAL SF	7,970 SF
LOBBY + LEASING SF	3,182 SF
AMENITY	4,247 SF

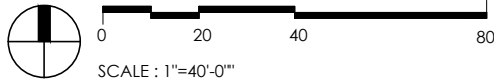
BUILDING SUMMARY

TOTAL UNITS	231
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BLOCK 42 - GARAGE PARKING

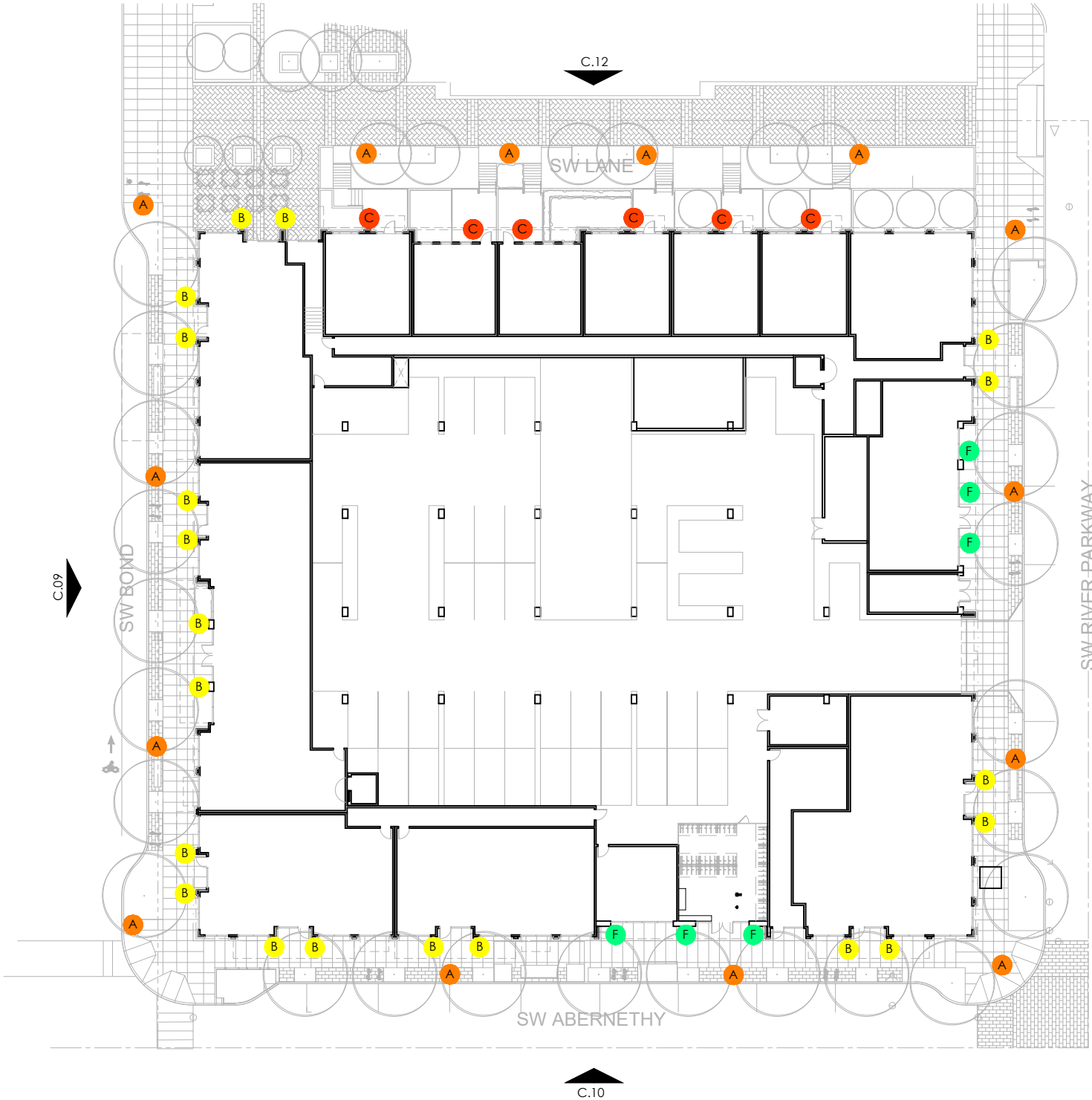
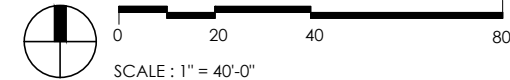
REQUIRED PARKING	
MINIMUM REQUIRED: (NO MIN. PARKING REQUIREMENT)	0 SPACES
MAXIMUM REQUIRED: (1.7 SPACES PER UNIT X 231 UNITS)	393 SPACES
PROVIDED PARKING	
TOTAL PROVIDED	188 SPACES

RESIDENTIAL
LIVE-WORK
COMMERCIAL
PARKING
LOBBY
AMENITY
CIRCULATION
SERVICE
STORAGE



L01 FLOOR PLAN - BLOCK 42

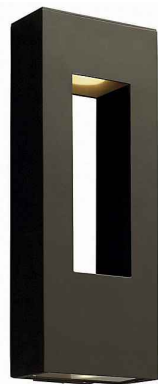
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A LANDSCAPE LIGHT



B RETAIL & MAIN ENTRY WALL SCONCE



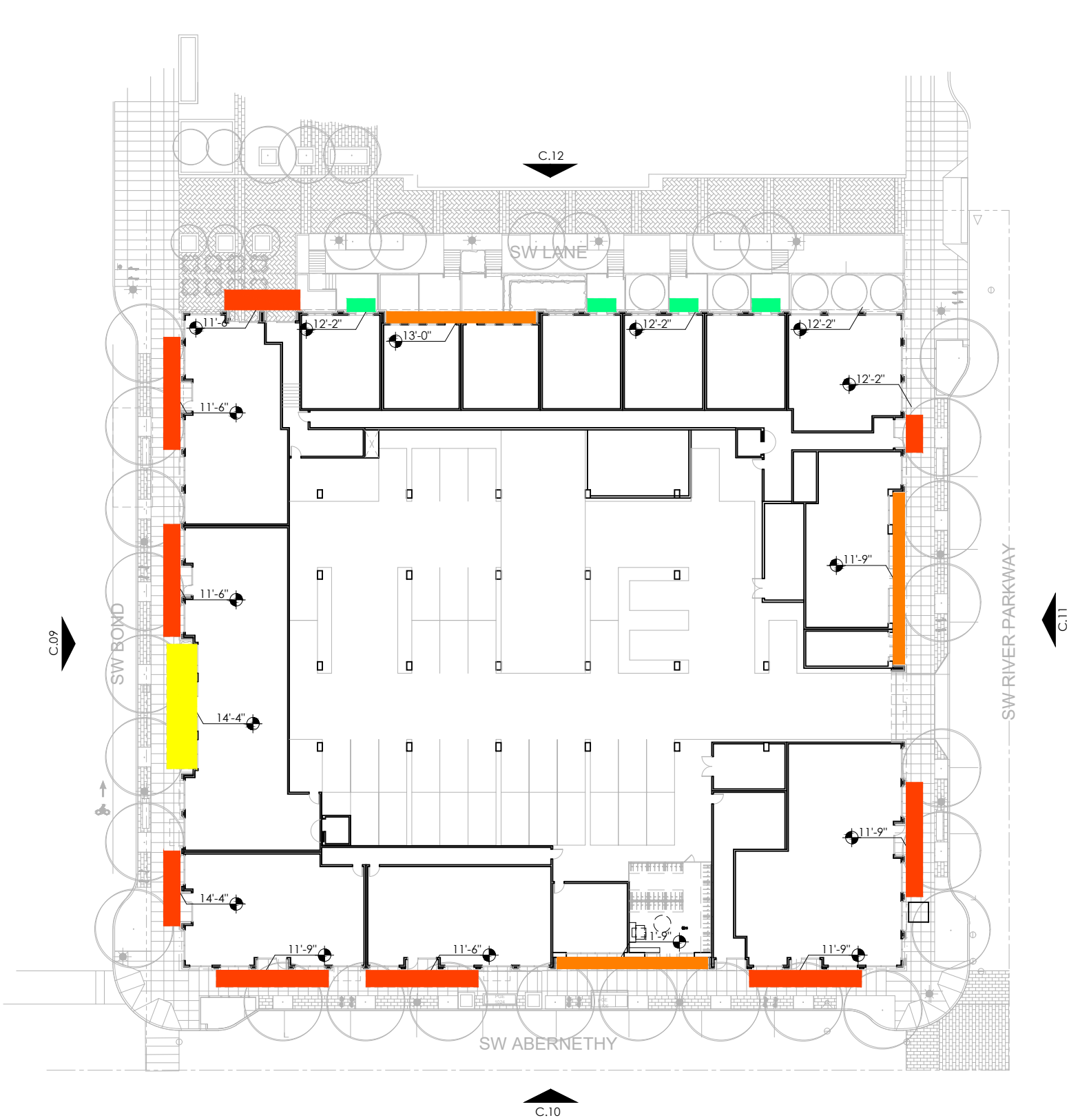
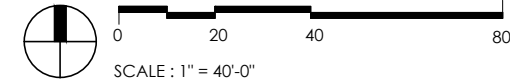
C RESIDENTIAL WALL SCONCE



F DOWN LIGHT



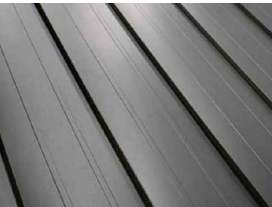
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NOTES:

 39'-0" HEIGHT OF CANOPY FROM SIDEWALK

 3'-9" FRAMED ROOF
AWNING WITH
STANDING SEAM
METAL ROOF



 8' GLASS CANOPY



 4' STEEL CANOPY



 5' STEEL CANOPY

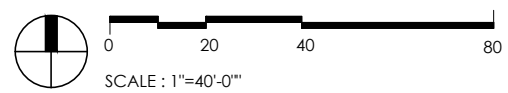
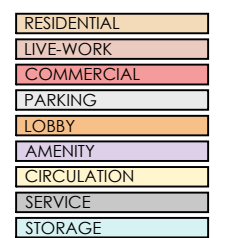




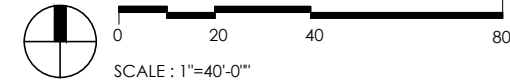
TOTAL UNITS ON FLOOR	44
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BUILDING SUMMARY

TOTAL UNITS	231
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LEVEL SUMMARY

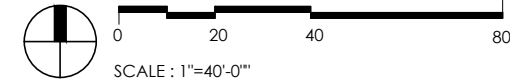
TOTAL UNITS ON FLOOR 46

BUILDING SUMMARY

TOTAL UNITS 231

RESIDENTIAL
LIVE-WORK
COMMERCIAL
PARKING
LOBBY
AMENITY
CIRCULATION
SERVICE
STORAGE

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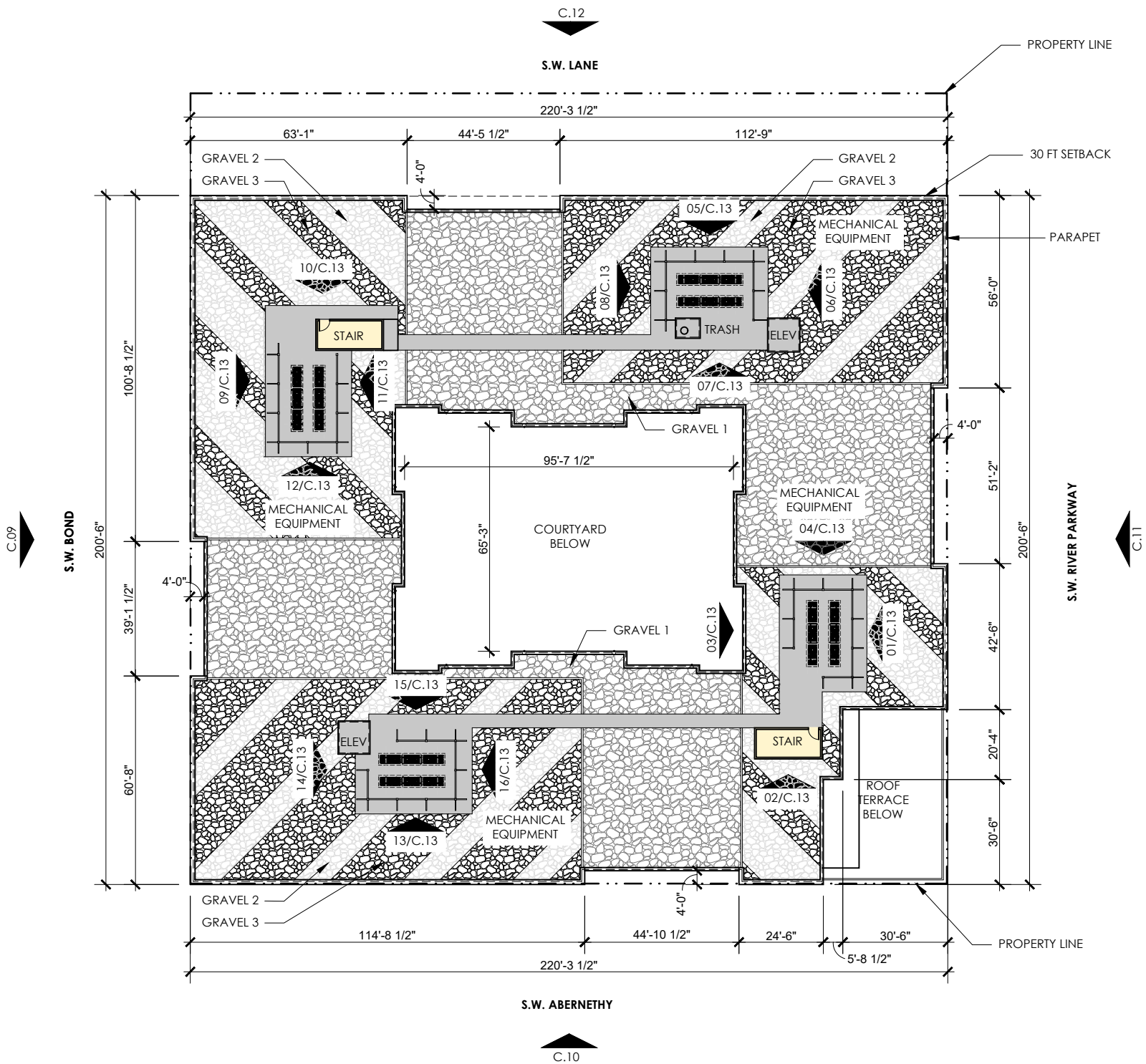
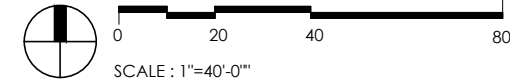


LEVEL SUMMARY	
TOTAL UNITS ON FLOOR	43
AMENITY	2,189 SF

BUILDING SUMMARY	
TOTAL UNITS	231

RESIDENTIAL
LIVE-WORK
COMMERCIAL
PARKING
LOBBY
AMENITY
CIRCULATION
SERVICE
STORAGE

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GRAVEL 1



GRAVEL 2



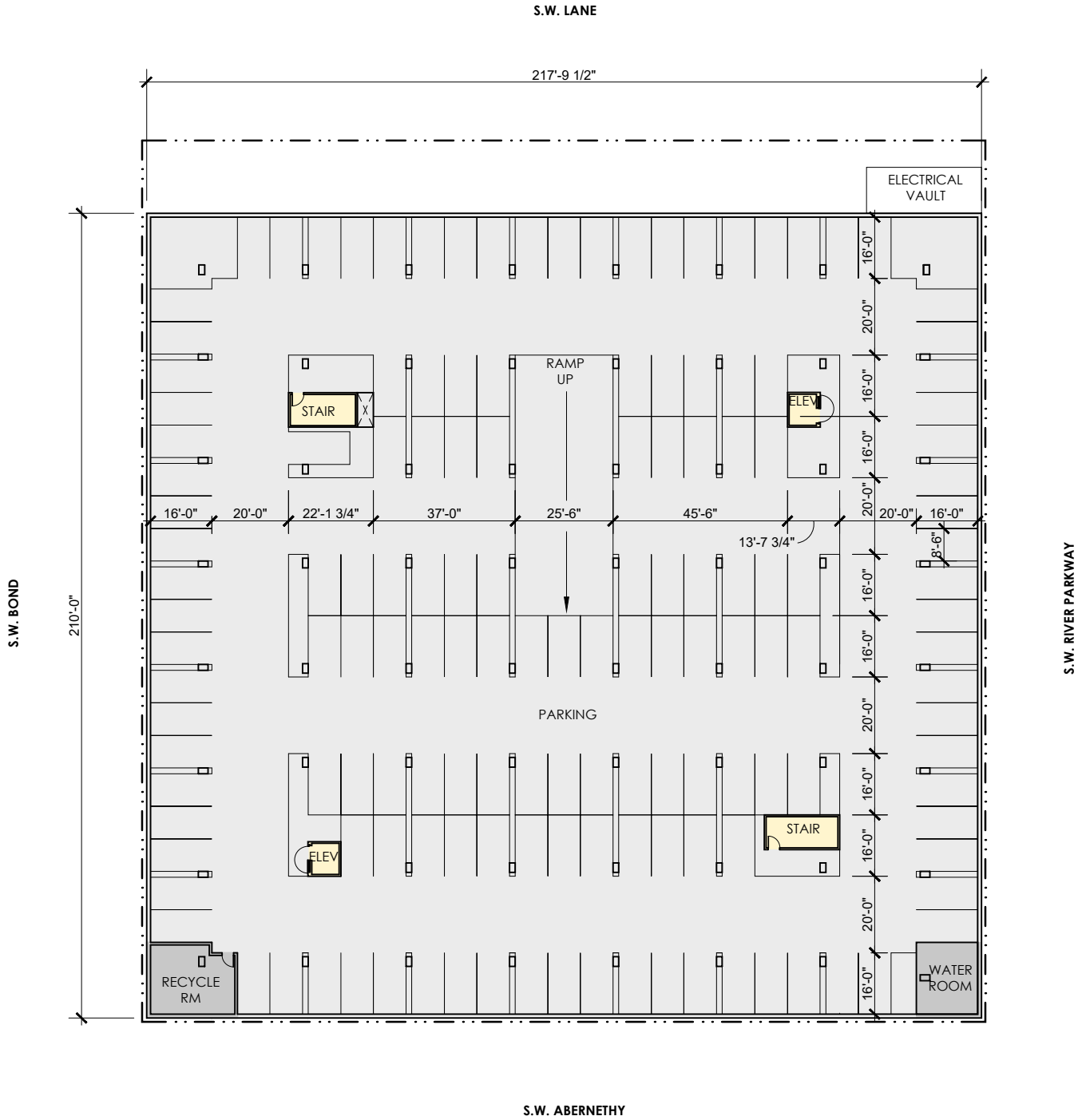
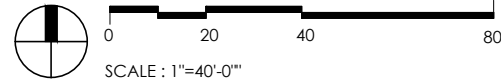
GRAVEL 3

LEVEL SUMMARY

ROOF LEVEL 34,795 SF

RESIDENTIAL
LIVE-WORK
COMMERCIAL
PARKING
LOBBY
AMENITY
CIRCULATION
SERVICE
STORAGE

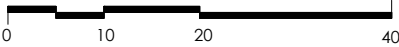
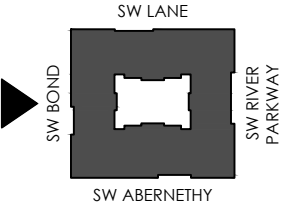
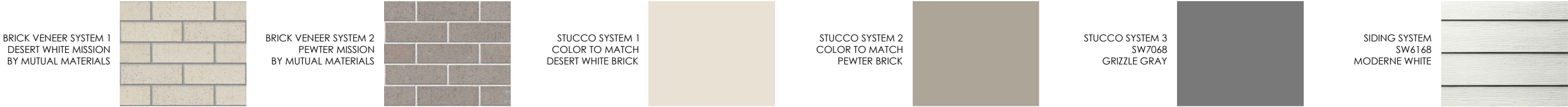
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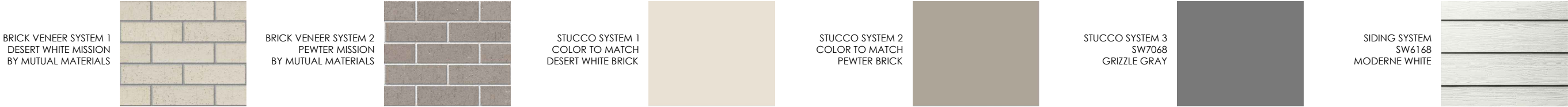
LEVEL SUMMARY

TOTAL UNITS ON FLOOR	0
PARKING STALLS	149
COMMERCIAL SF	0 SF
LOBBY + LEASING SF	0 SF

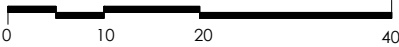
RESIDENTIAL
LIVE-WORK
COMMERCIAL
PARKING
LOBBY
AMENITY
CIRCULATION
SERVICE
STORAGE



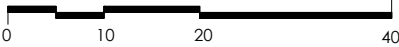
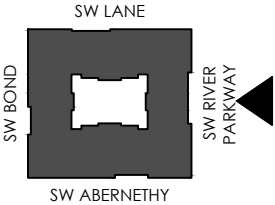
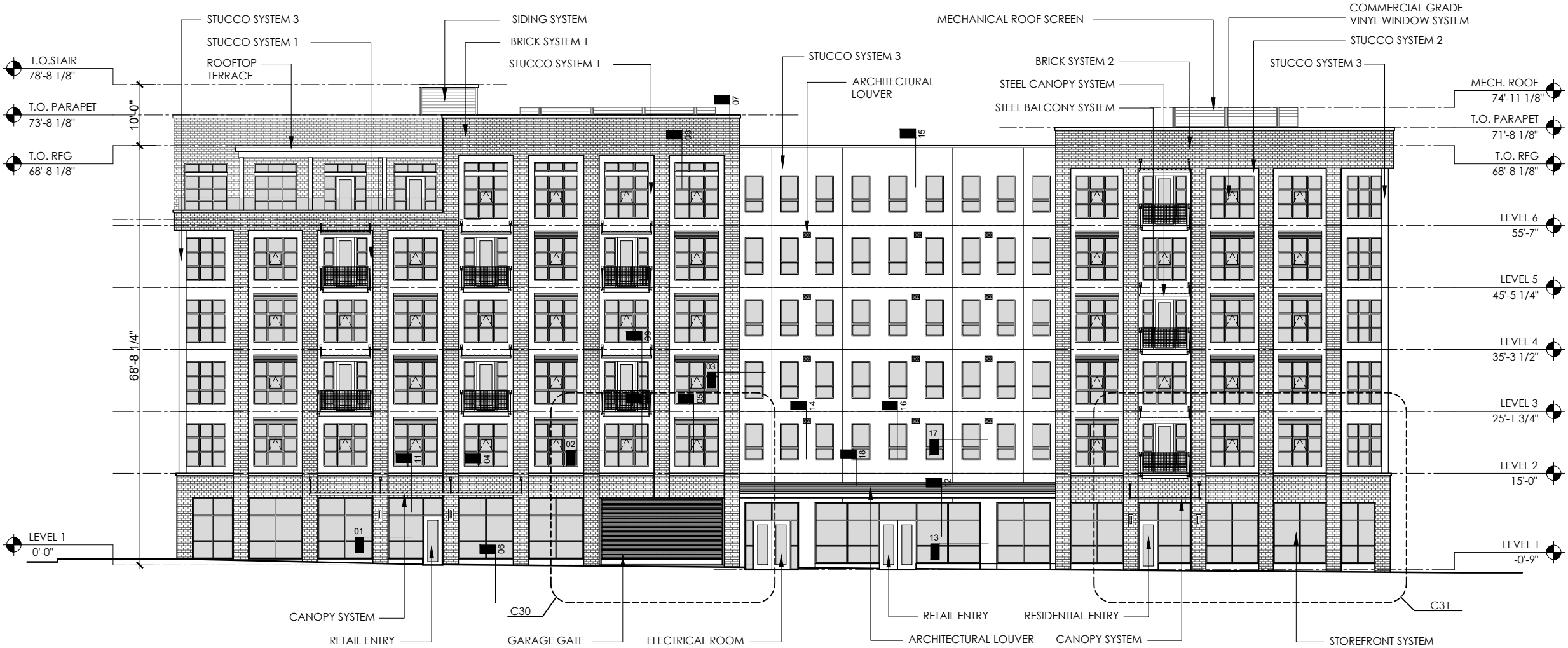
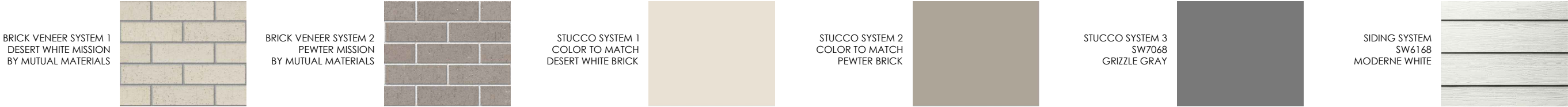
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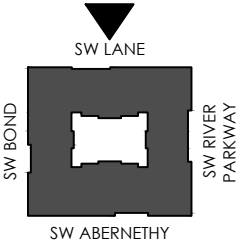
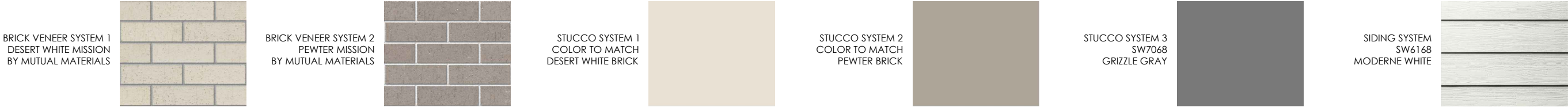
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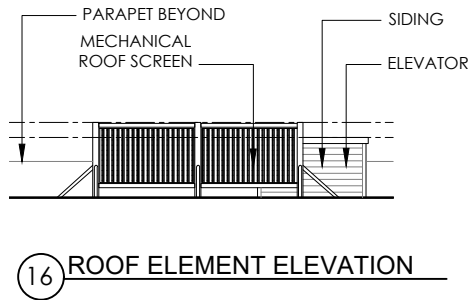
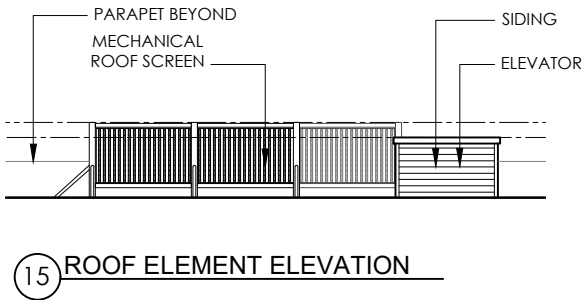
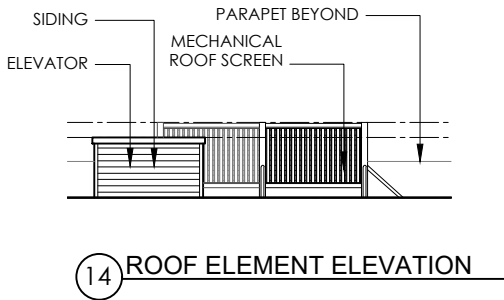
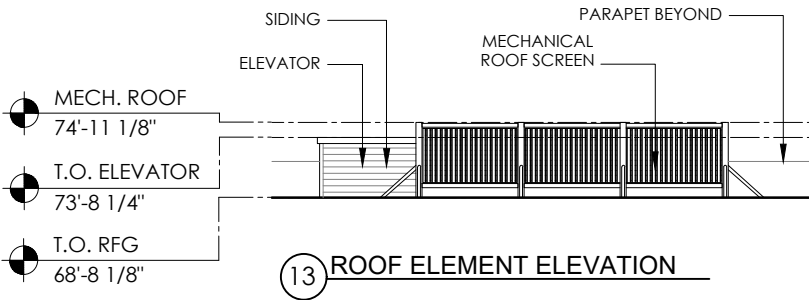
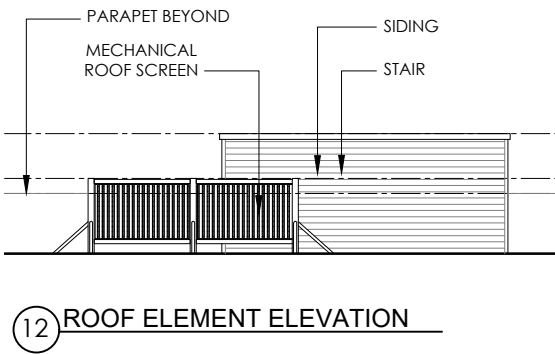
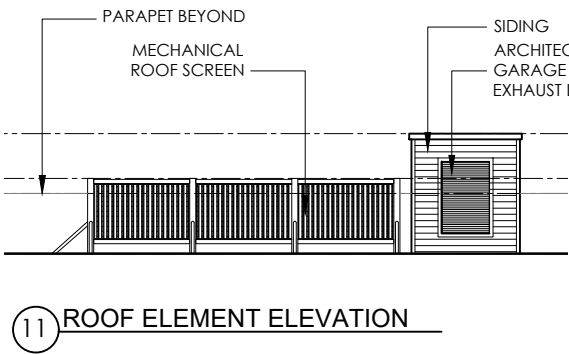
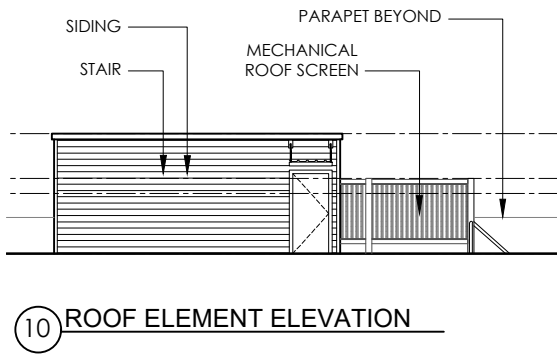
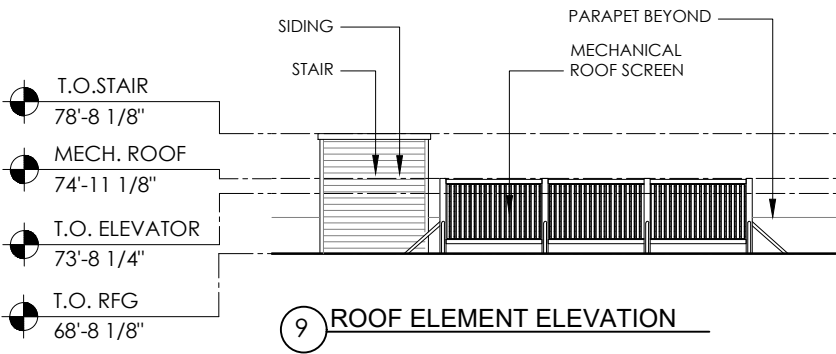
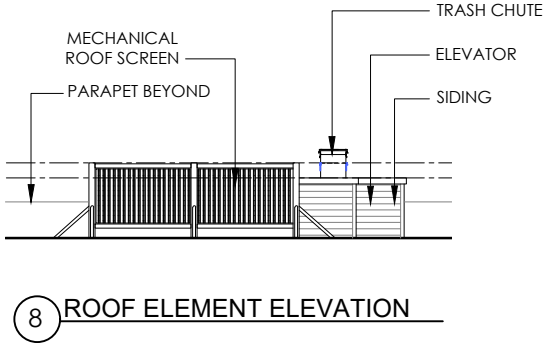
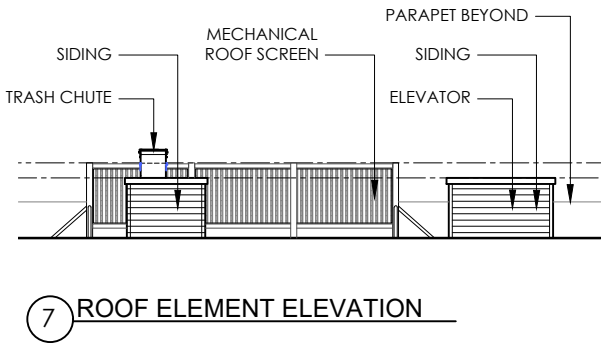
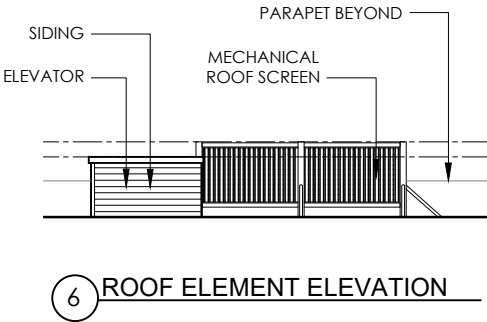
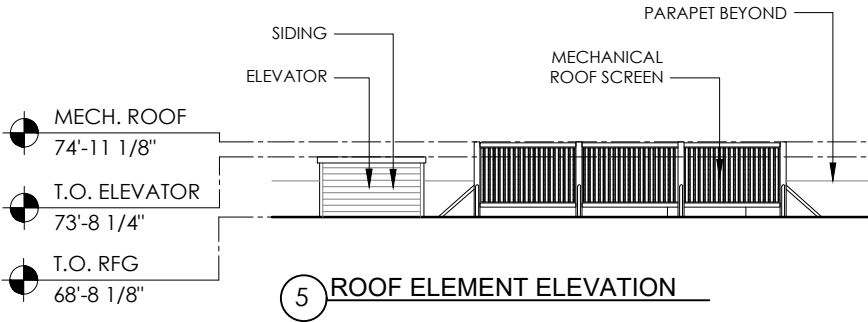
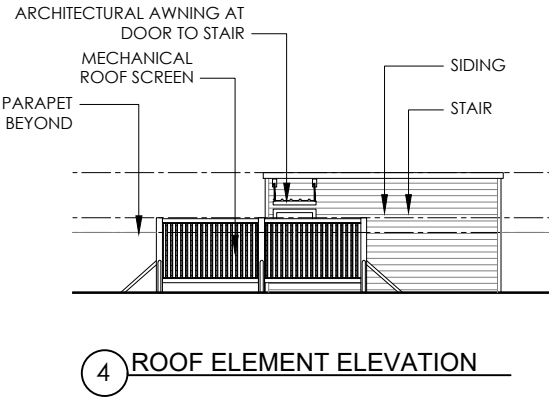
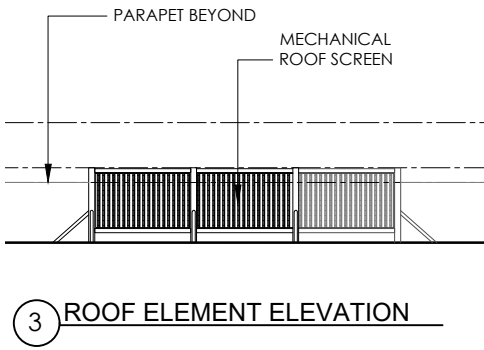
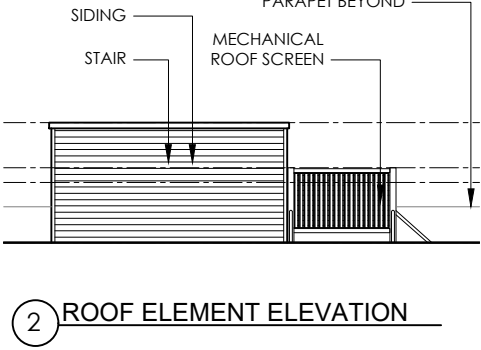
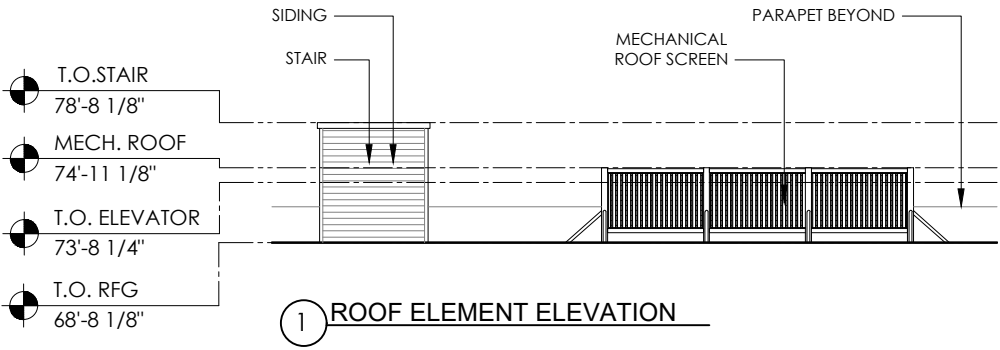
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SCALE : 1"=20'-0"

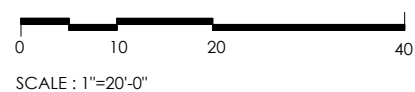
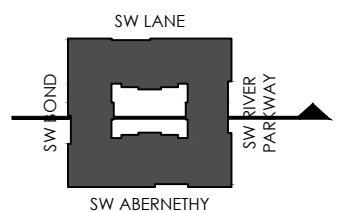
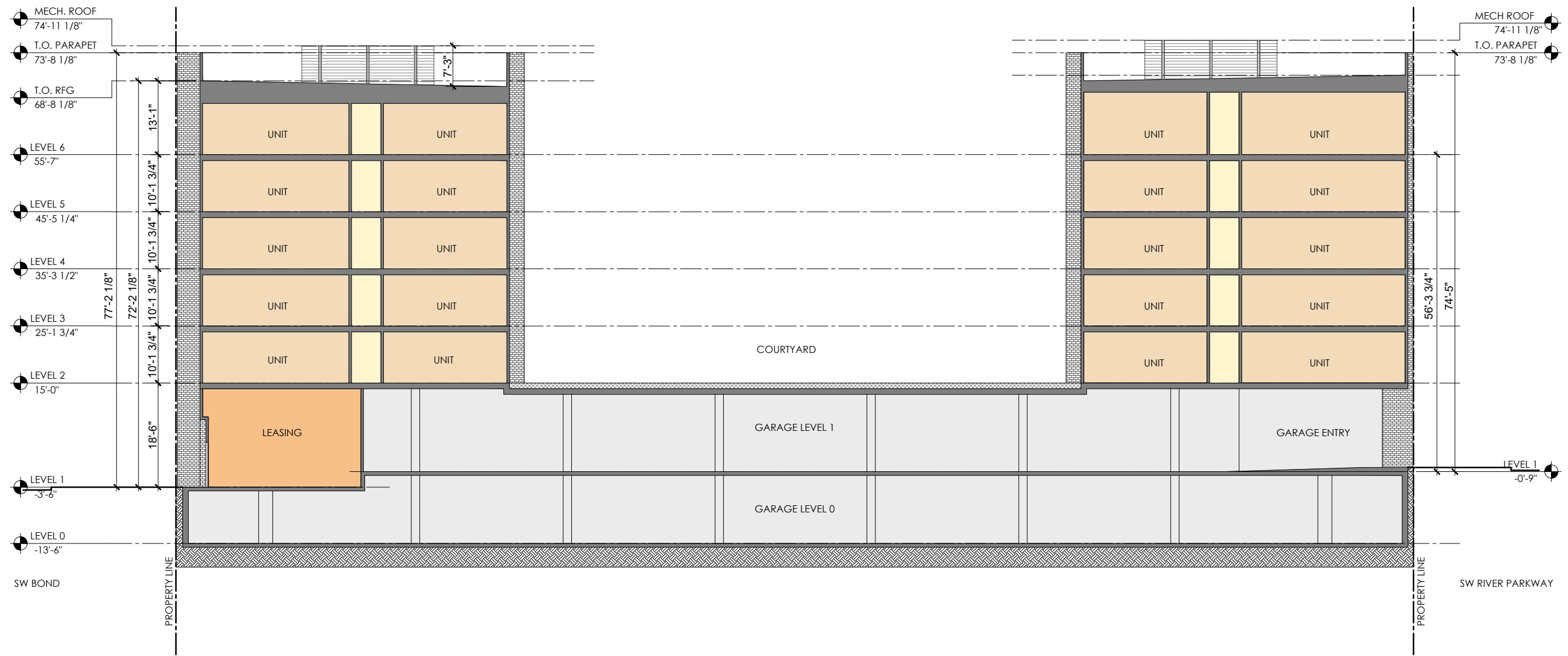


NOTE:
1. ALL SIDING AND TRIM TO
BE A PAINTED FIBER CEMENT
EXTERIOR CLAD SYSTEM

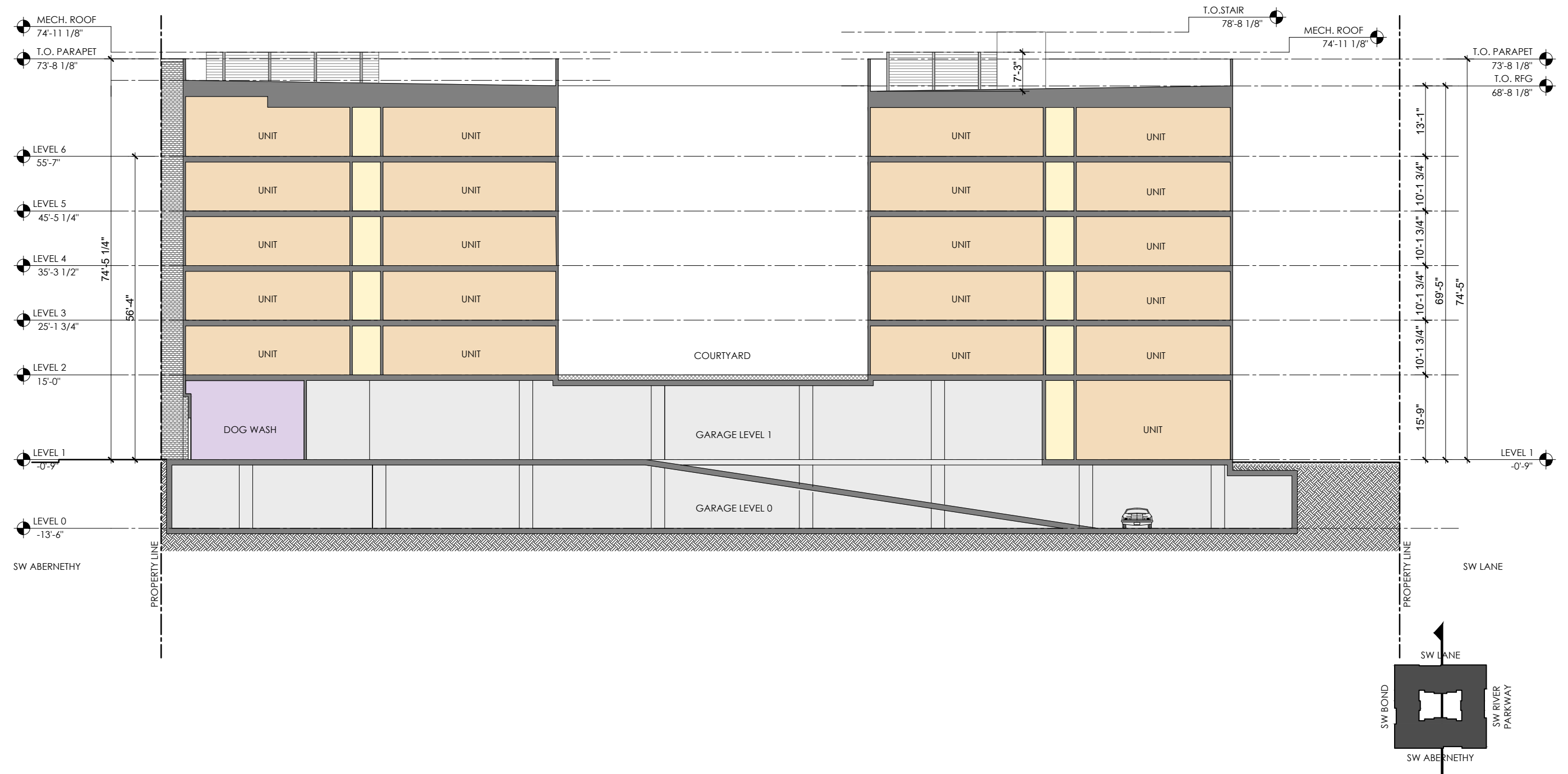


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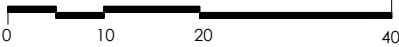
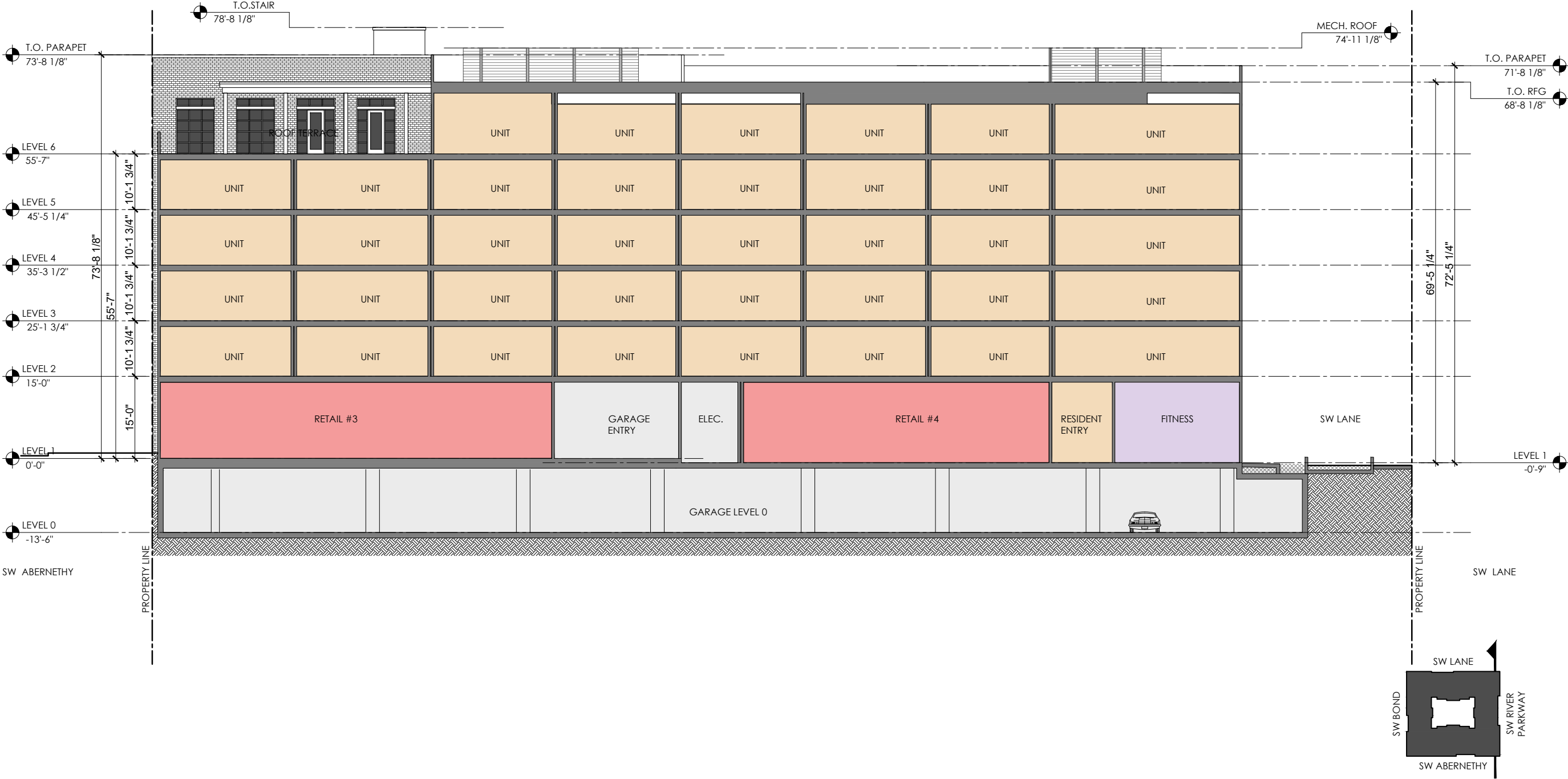




BLOCK 42 - W-E BUILDING SECTION
LAND USE REVIEW # LU 20-102914 DZM GW EXHIBIT C.14



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SCALE : 1"=20'-0"

BLOCK 42 - N-S BUILDING SECTION

LAND USE REVIEW # LU 20-102914 DZM GW

EXHIBIT C.16

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ALONG SW BOND AVENUE

BLOCK 42 - ENLARGED WEST ELEVATION

LAND USE REVIEW # LU 20-102914 DZM GW

EXHIBIT C.17

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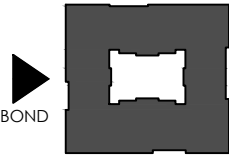


ALONG SW BOND AVENUE

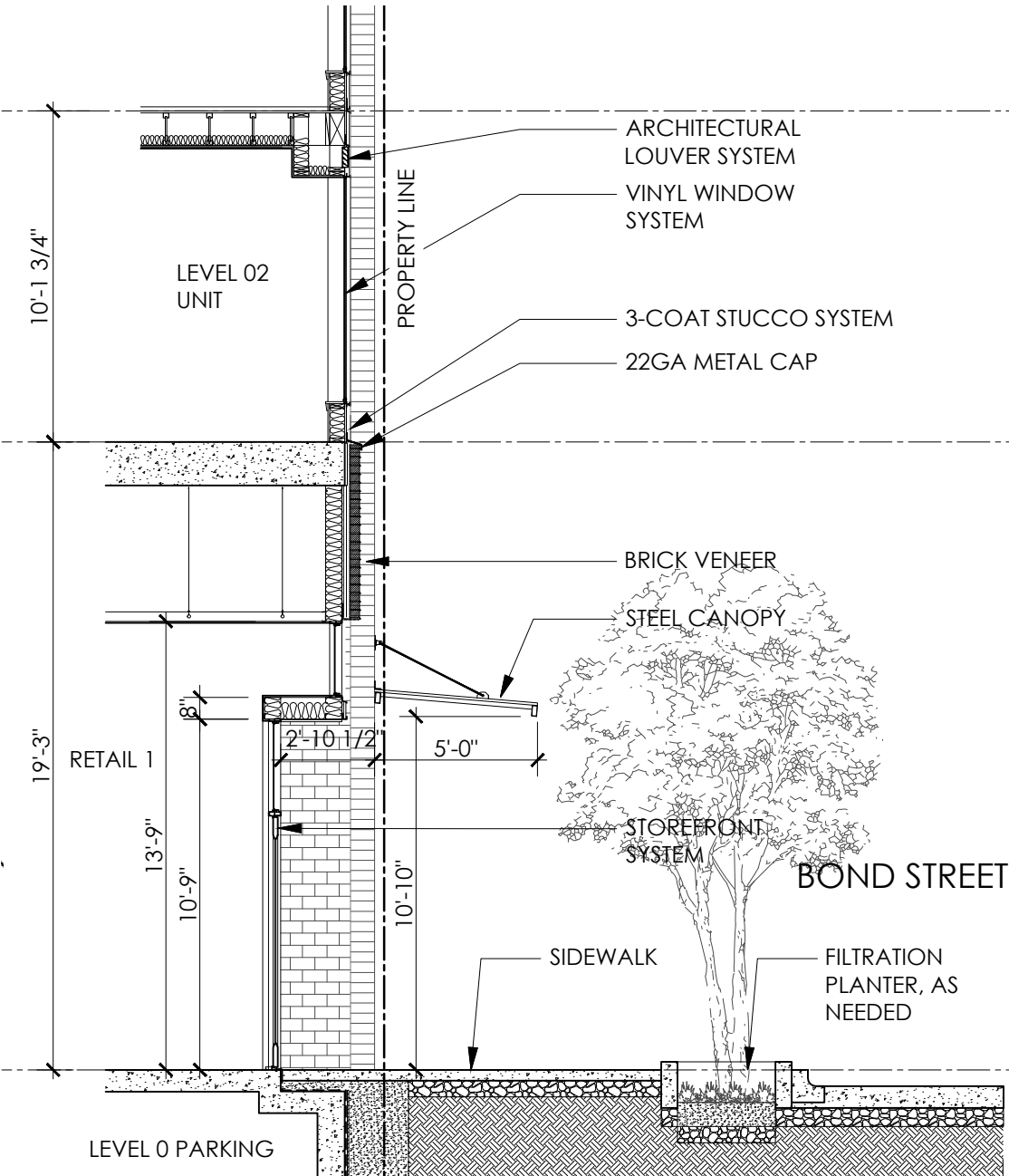
BLOCK 42 - ENLARGED WEST ELEVATION

LAND USE REVIEW # LU 20-102914 DZM GW

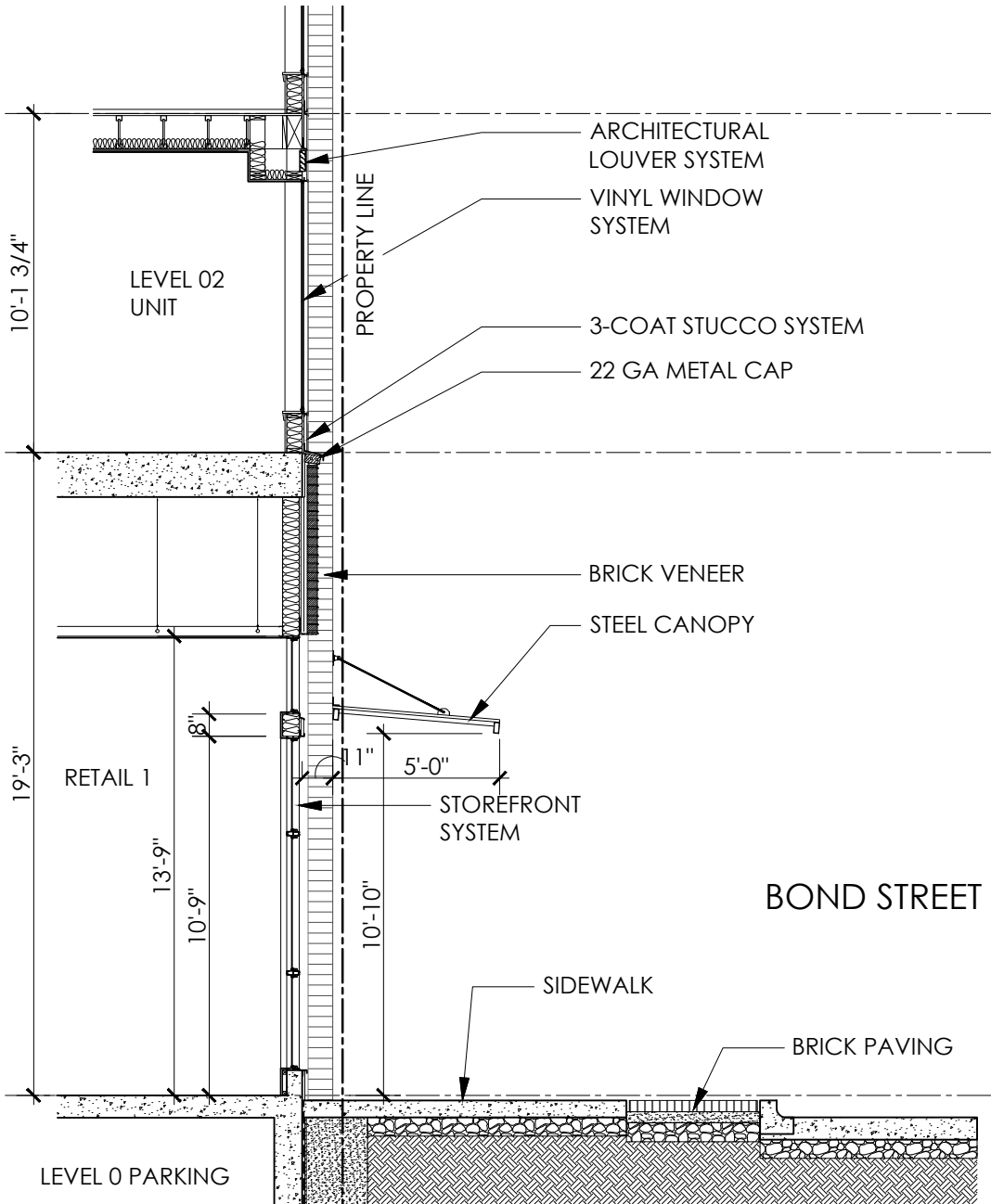
EXHIBIT C.18



ELEVATION SECTION LEGEND



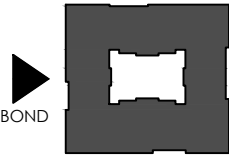
01 ENTRY @ RETAIL 1



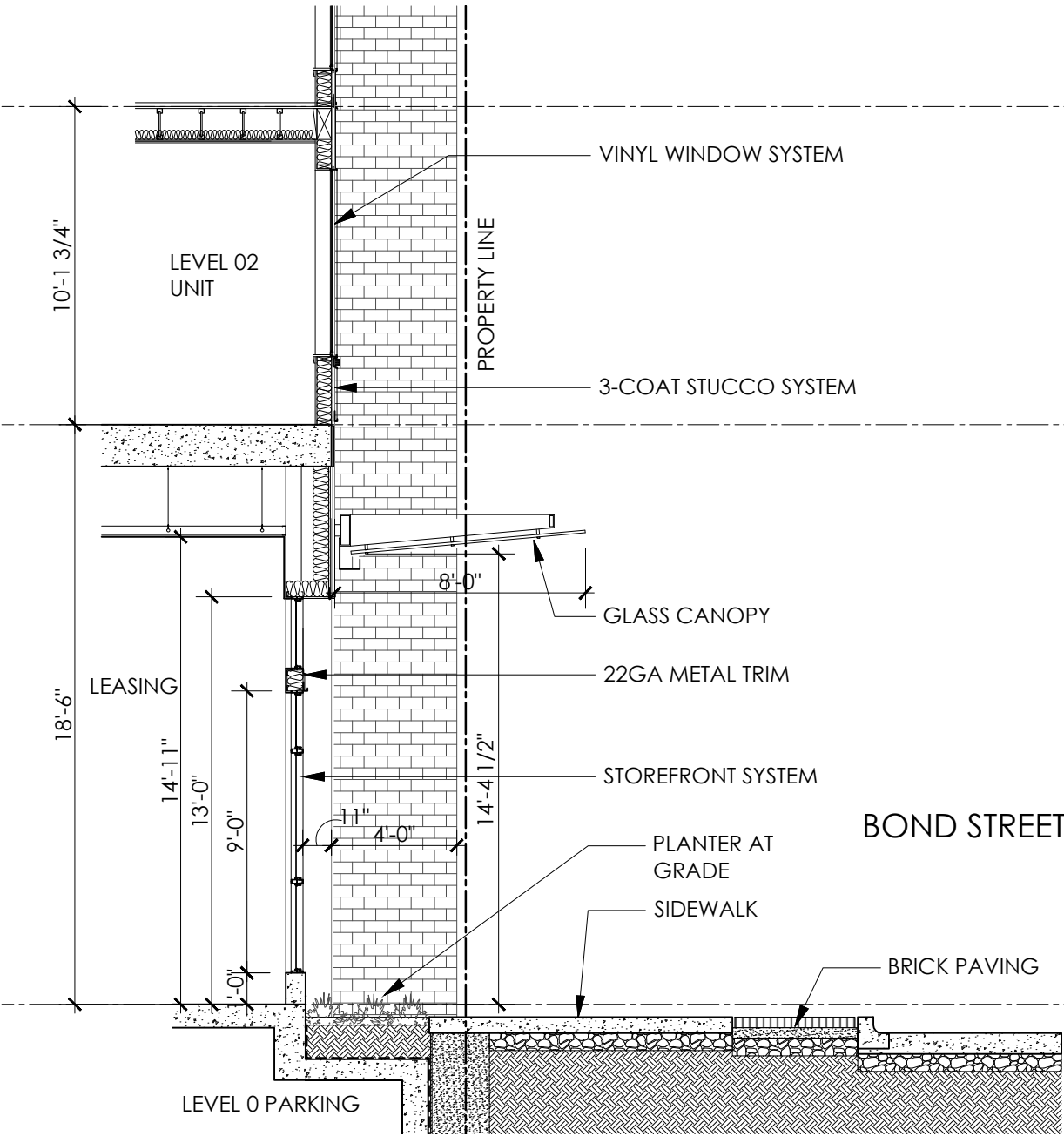
02 STOREFRONT @ RETAIL 1



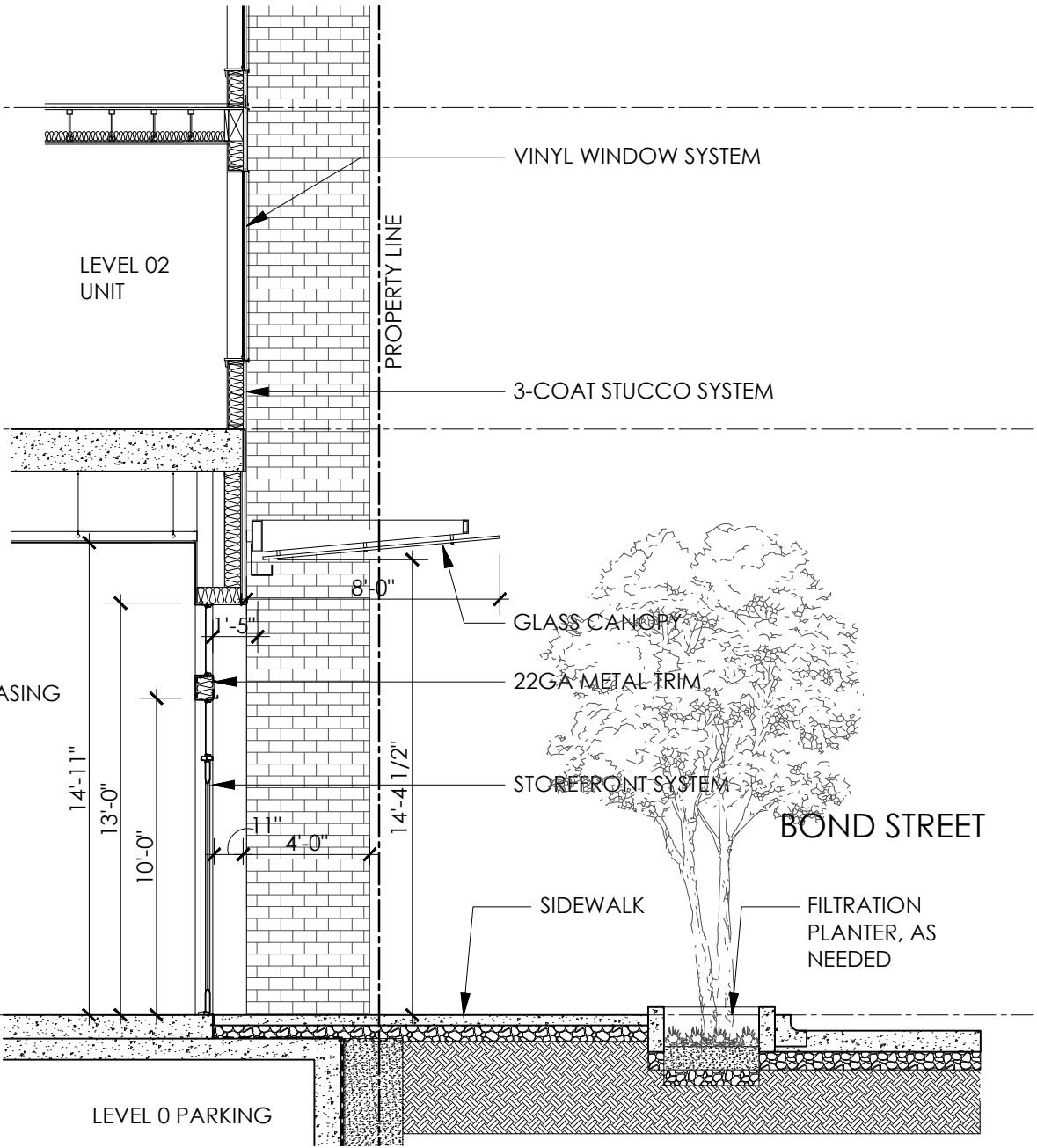
SCALE : 3/16"=1'-0"



ELEVATION SECTION LEGEND



03 STOREFRONT @ LEASING



04 ENTRY @ LEASING



SCALE : 3/16"=1'-0"

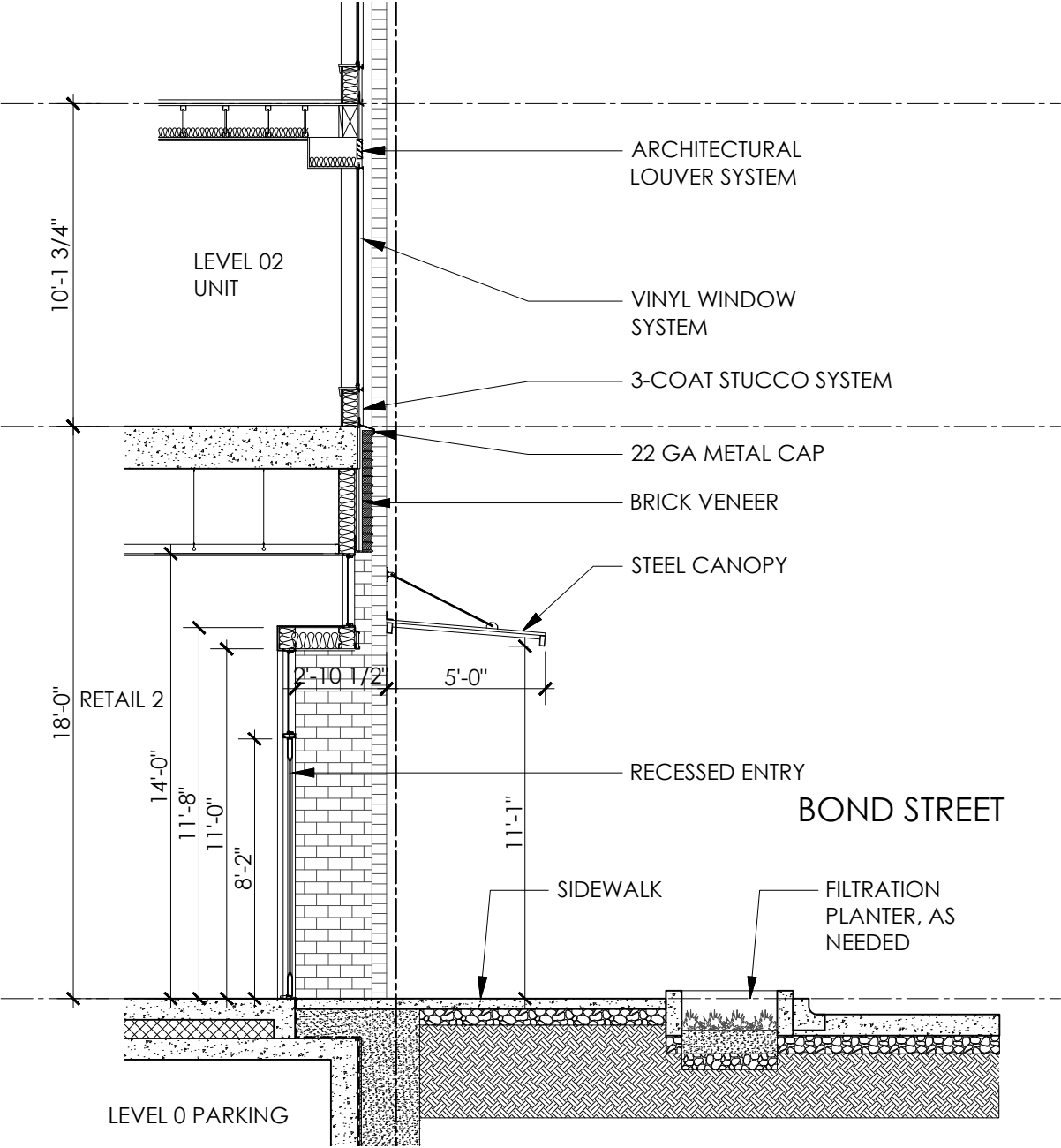
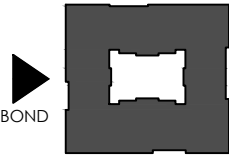
BLOCK 42 - SW BOND STREET SECTIONS

LAND USE REVIEW # LU 20-102914 DZM GW

EXHIBIT C.20



ELEVATION SECTION LEGEND



05 ENTRY @ RETAIL 2



SCALE : 3/16"=1'-0"

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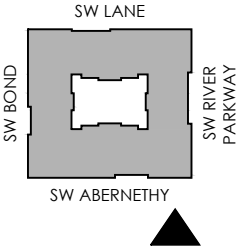
ALONG SW ABERNETHY STREET

BLOCK 42 - ENLARGED SOUTH ELEVATION

LAND USE REVIEW # LU 20-102914 DZM GW

EXHIBIT C.22

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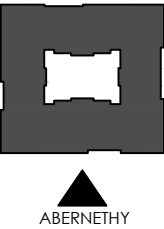


ALONG SW ABERNETHY STREET

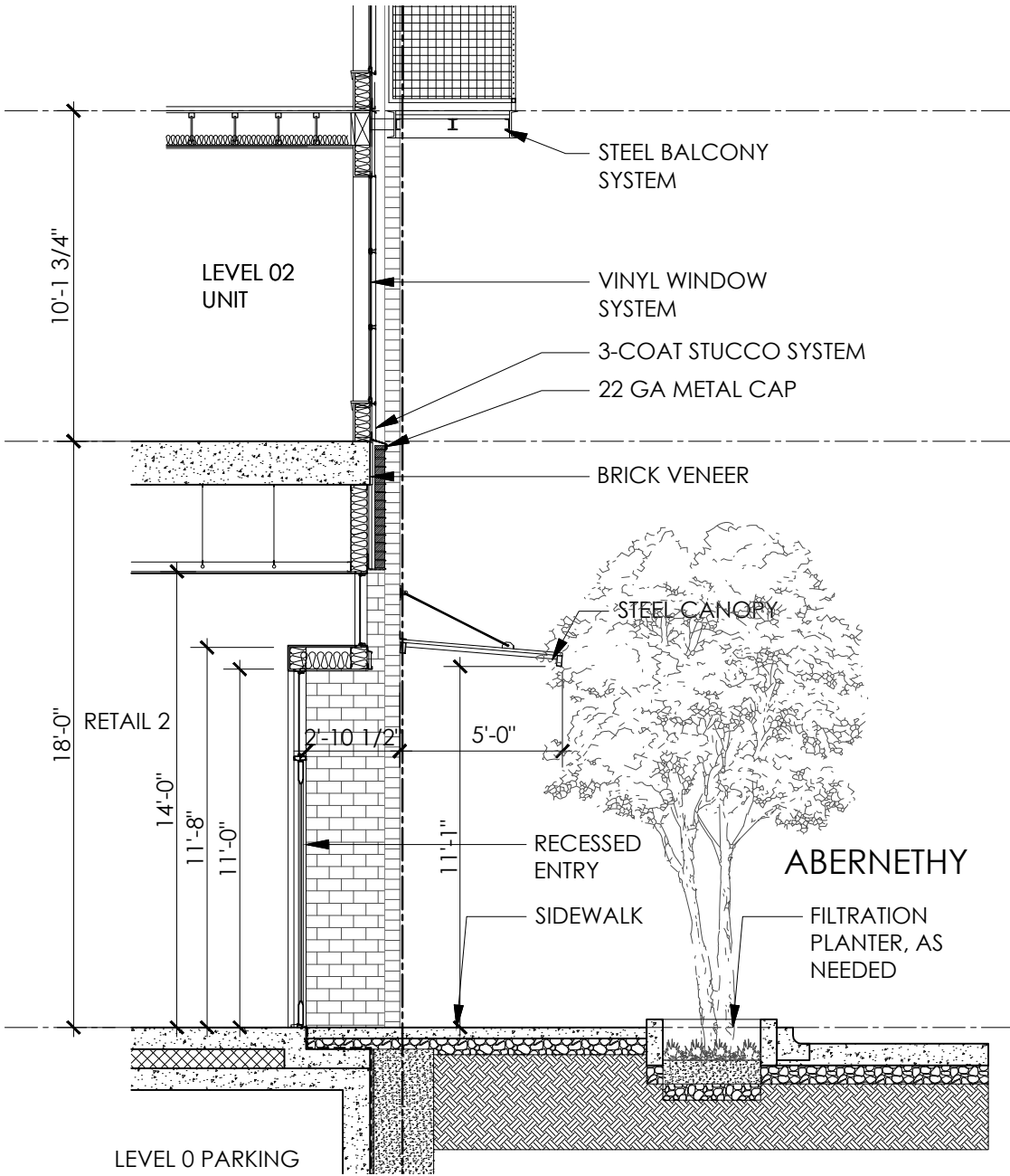
BLOCK 42 - ENLARGED SOUTH ELEVATION

LAND USE REVIEW # LU 20-102914 DZM GW

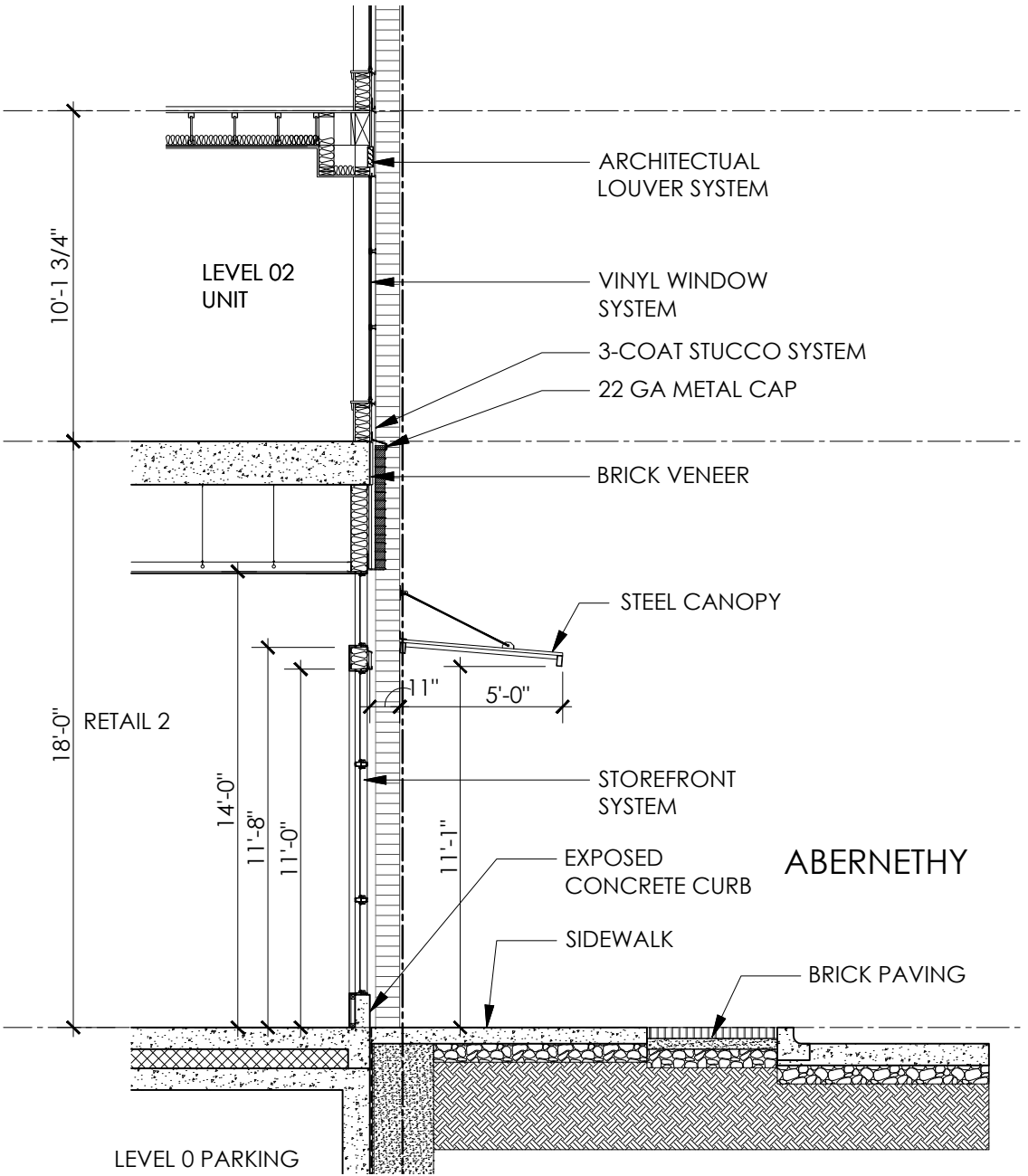
EXHIBIT C.23



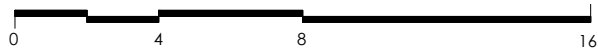
ELEVATION SECTION LEGEND



01 ENTRY @ RETAIL 2



02 STOREFRONT @ RETAIL 2

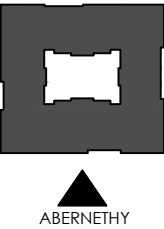


SCALE : 3/16"=1'-0"

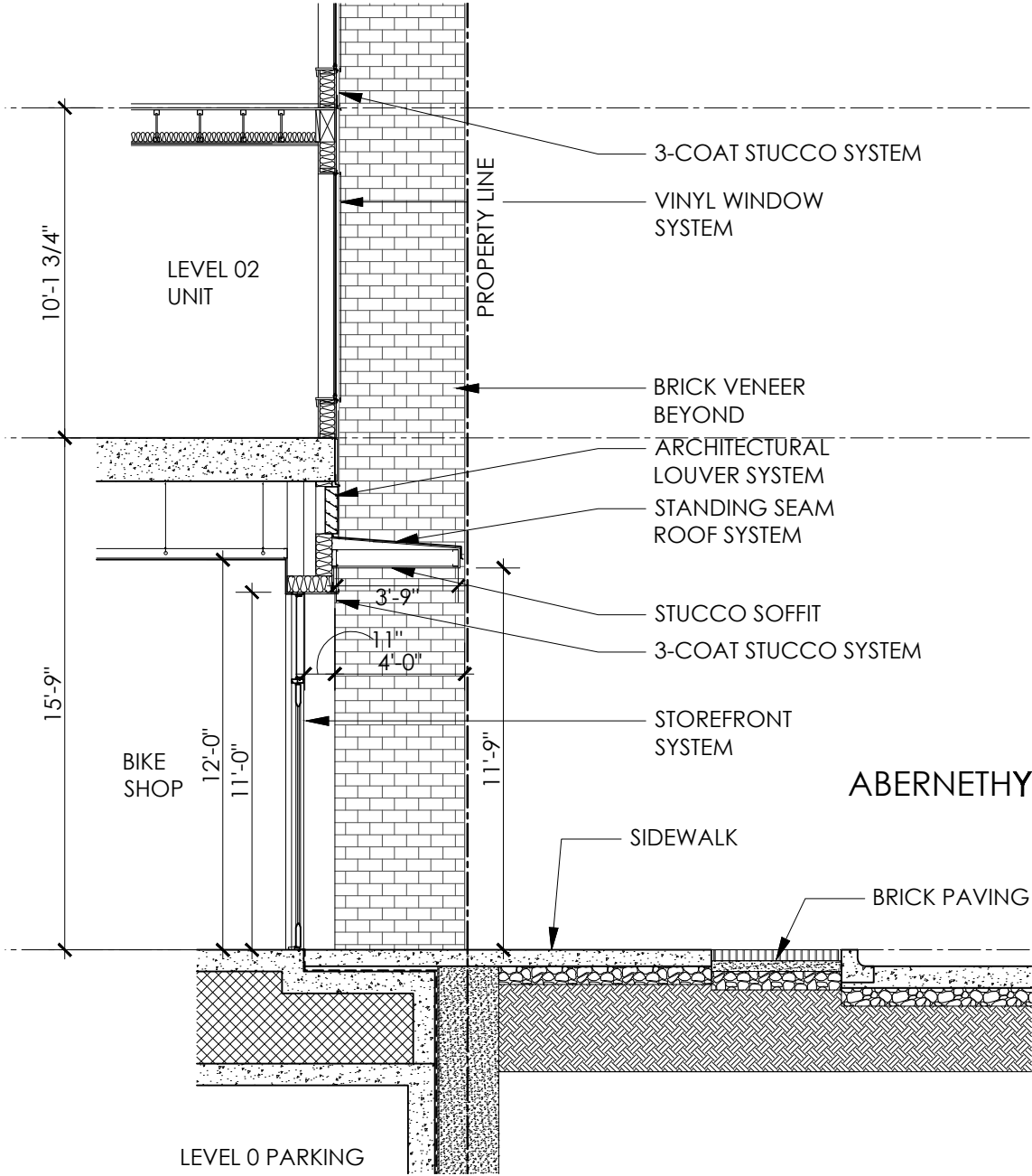
BLOCK 42 - SW ABERNETHY STREET SECTIONS

LAND USE REVIEW # LU 20-102914 DZM GW

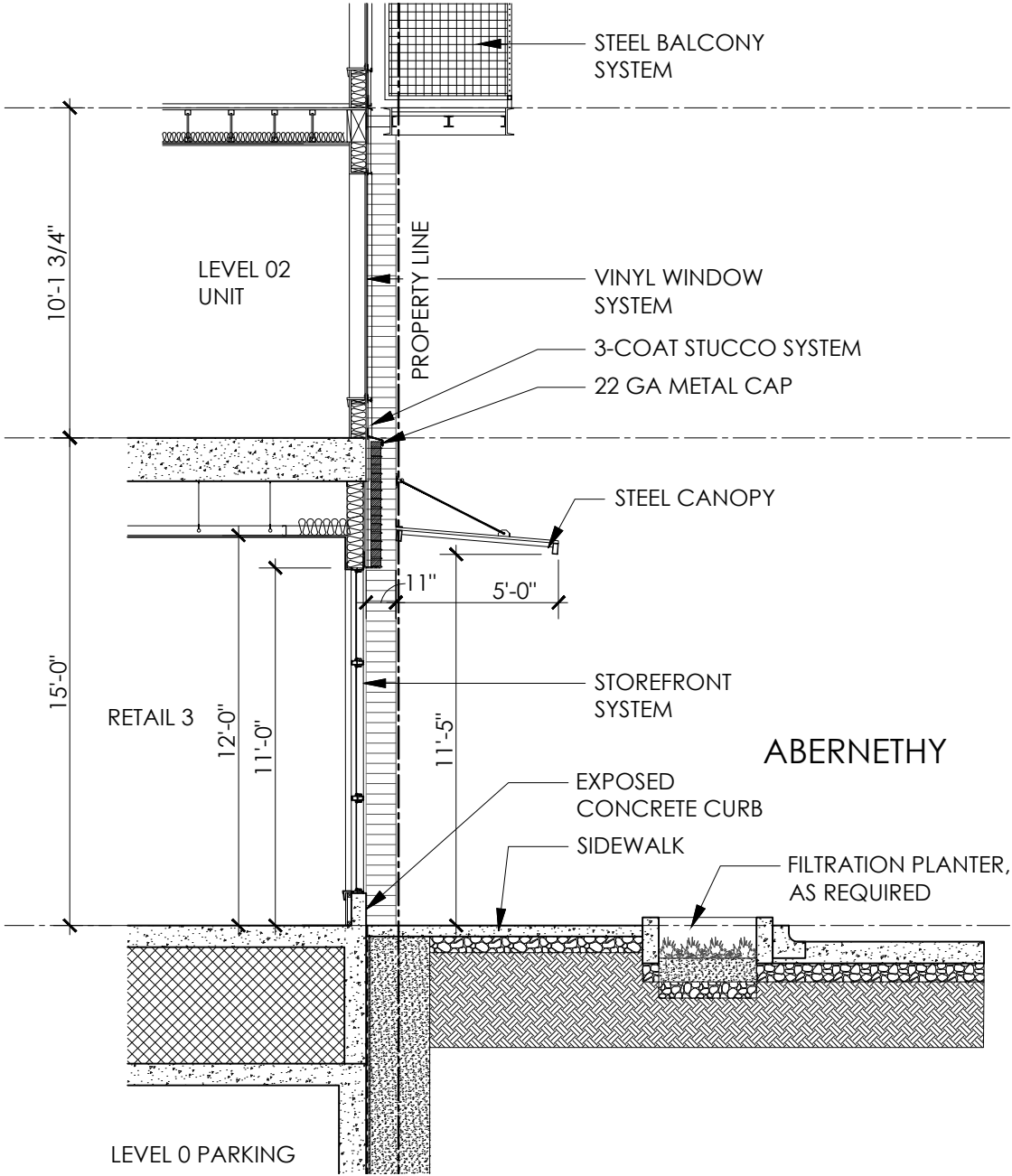
EXHIBIT C.24



ELEVATION SECTION LEGEND



03 ENTRY @ AMENITY

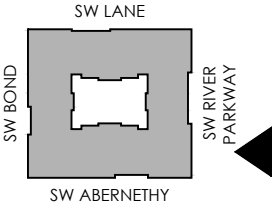


04 STOREFRONT @ RETAIL 3

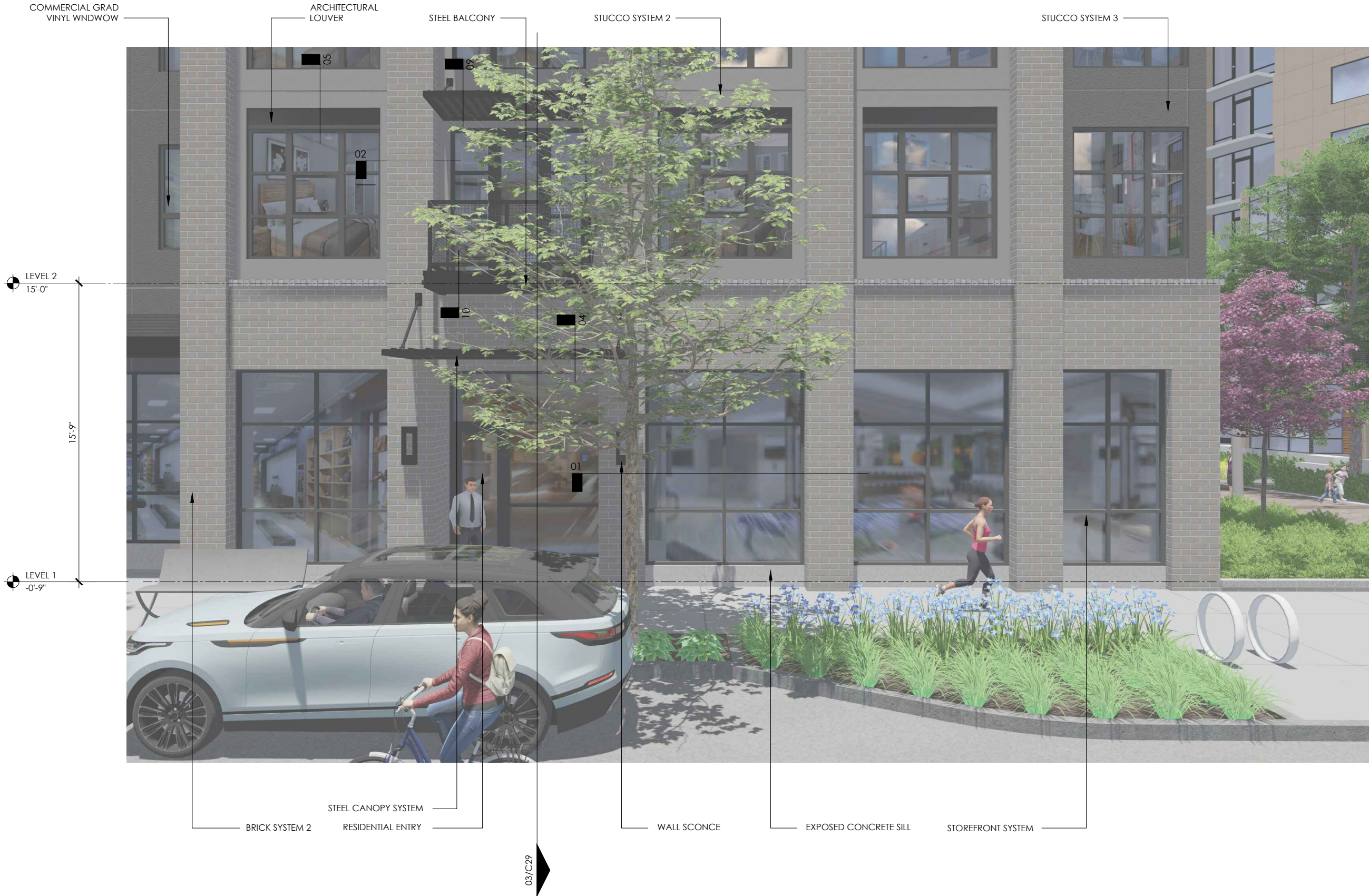


SCALE : 3/16"=1'-0"

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ALONG SW RIVER PKWY

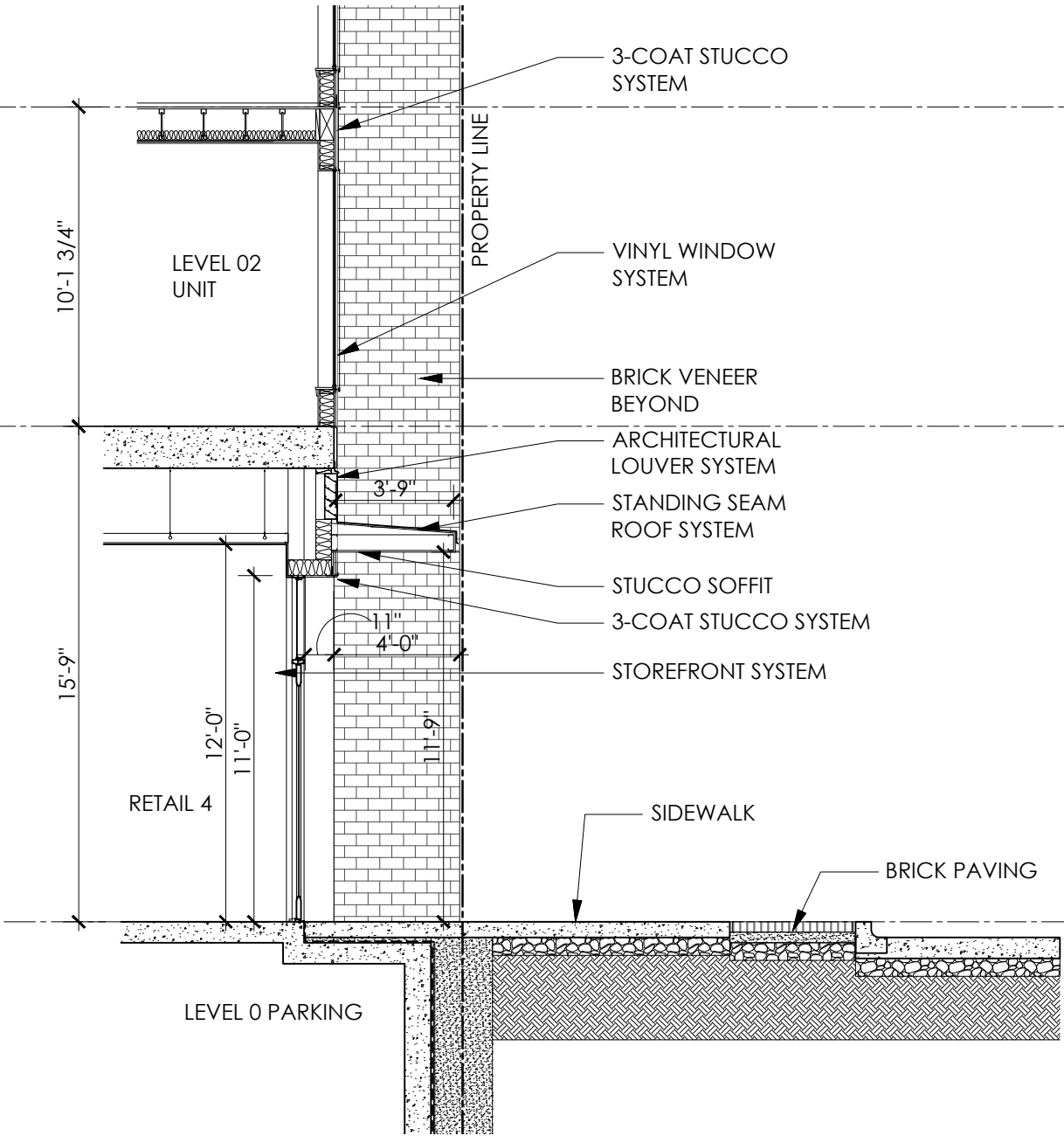
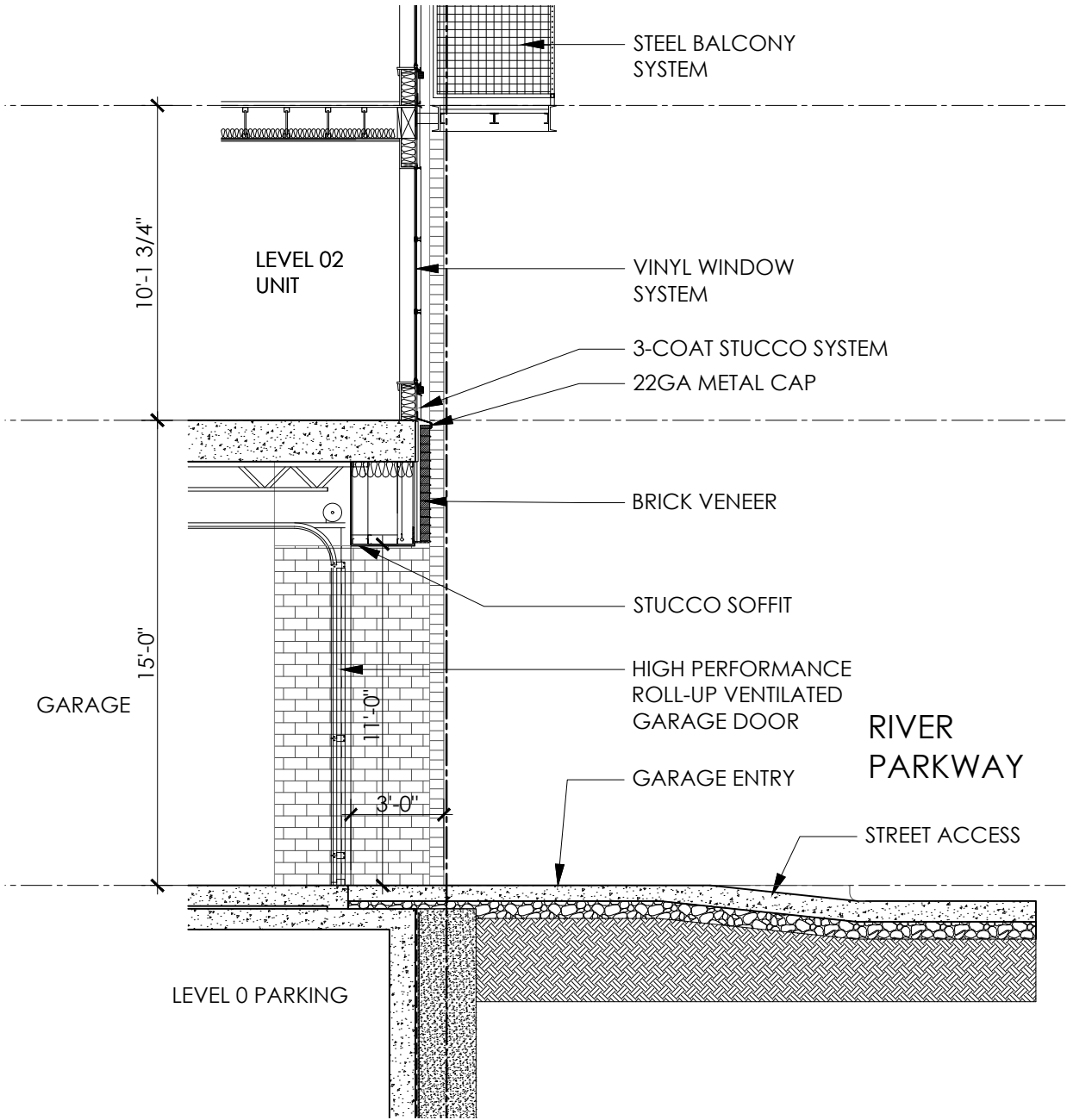
BLOCK 42 - ENLARGED EAST ELEVATION

LAND USE REVIEW # LU 20-102914 DZM GW

EXHIBIT C.27



ELEVATION SECTION LEGEND



01 GARAGE GATE ENTRY

02 ENTRY @ RETAIL 4



SCALE : 3/16"=1'-0"

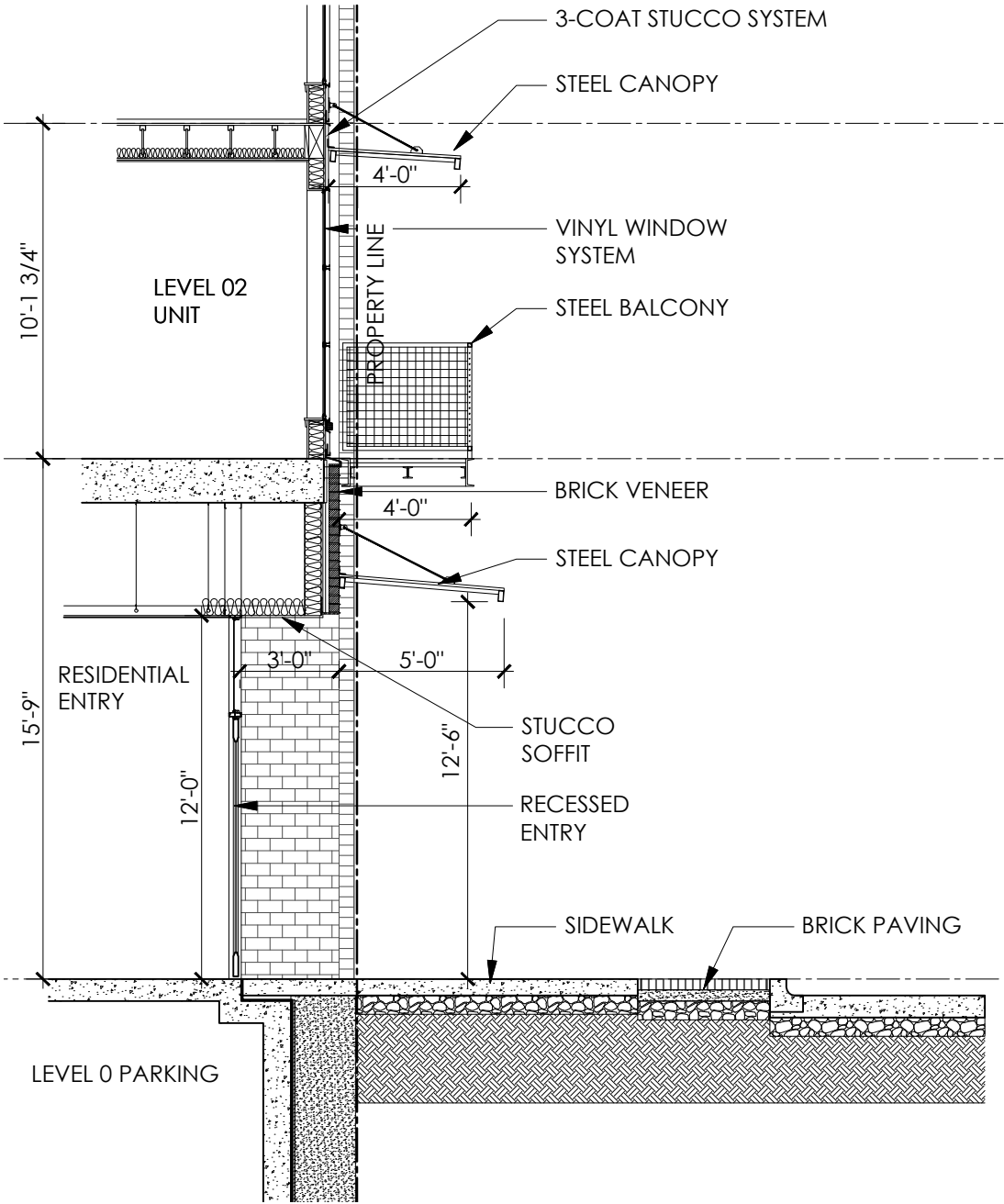
BLOCK 42 - SW RIVER PARKWAY STREET SECTIONS

LAND USE REVIEW # LU 20-102914 DZM GW

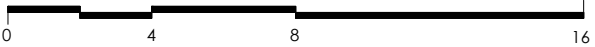
EXHIBIT C.28



ELEVATION SECTION LEGEND



03 RESIDENTIAL ENTRY



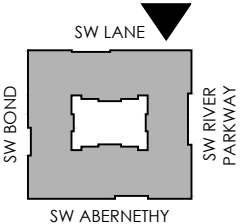
SCALE : 3/16"=1'-0"

BLOCK 42 - SW RIVER PARKWAY STREET SECTIONS

LAND USE REVIEW # LU 20-102914 DZM GW

EXHIBIT C.29

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ALONG SW LANE STREET
BLOCK 42 - ENLARGED NORTH ELEVATION
LAND USE REVIEW # LU 20-102914 DZM GW
EXHIBIT C.30

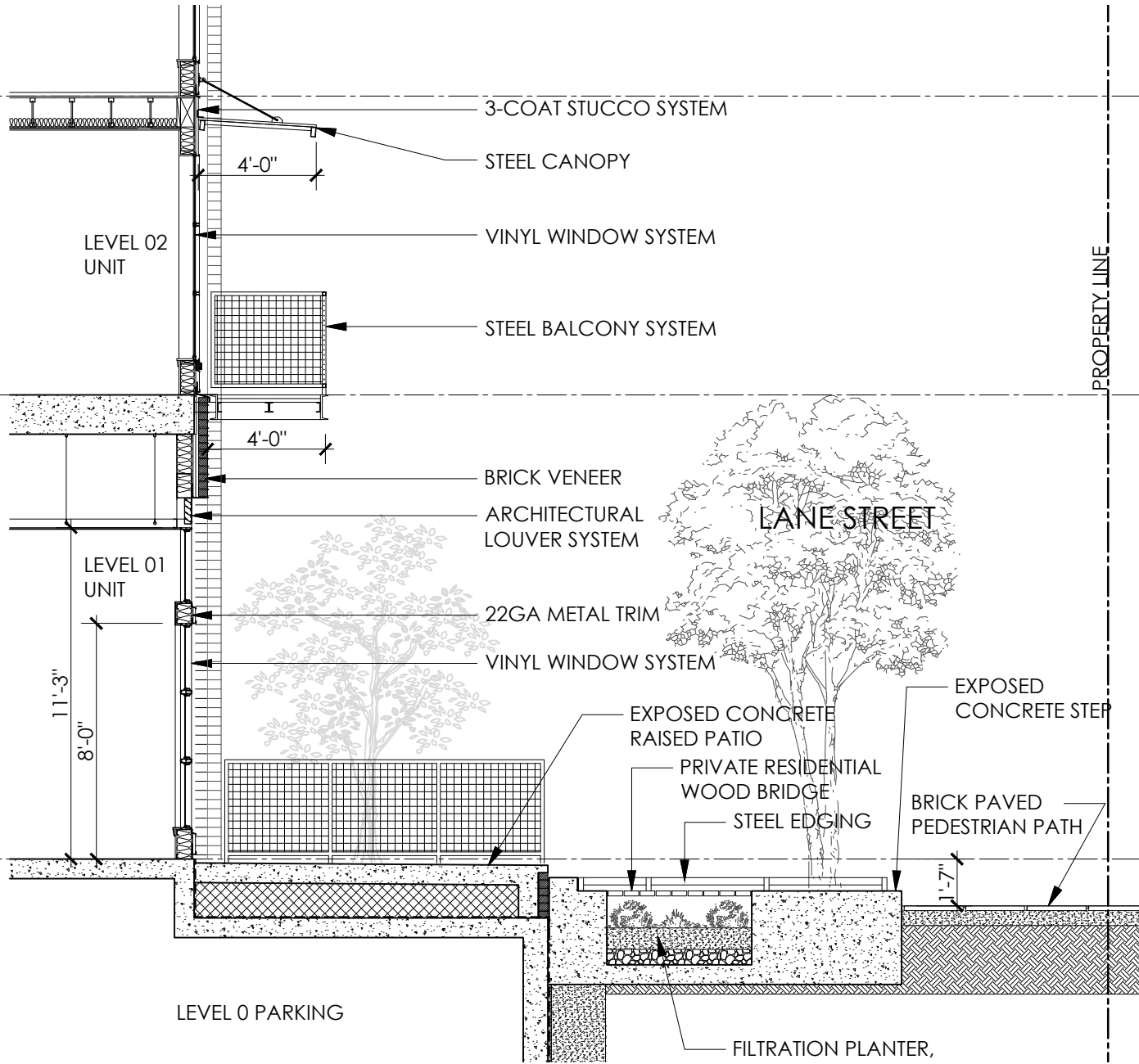
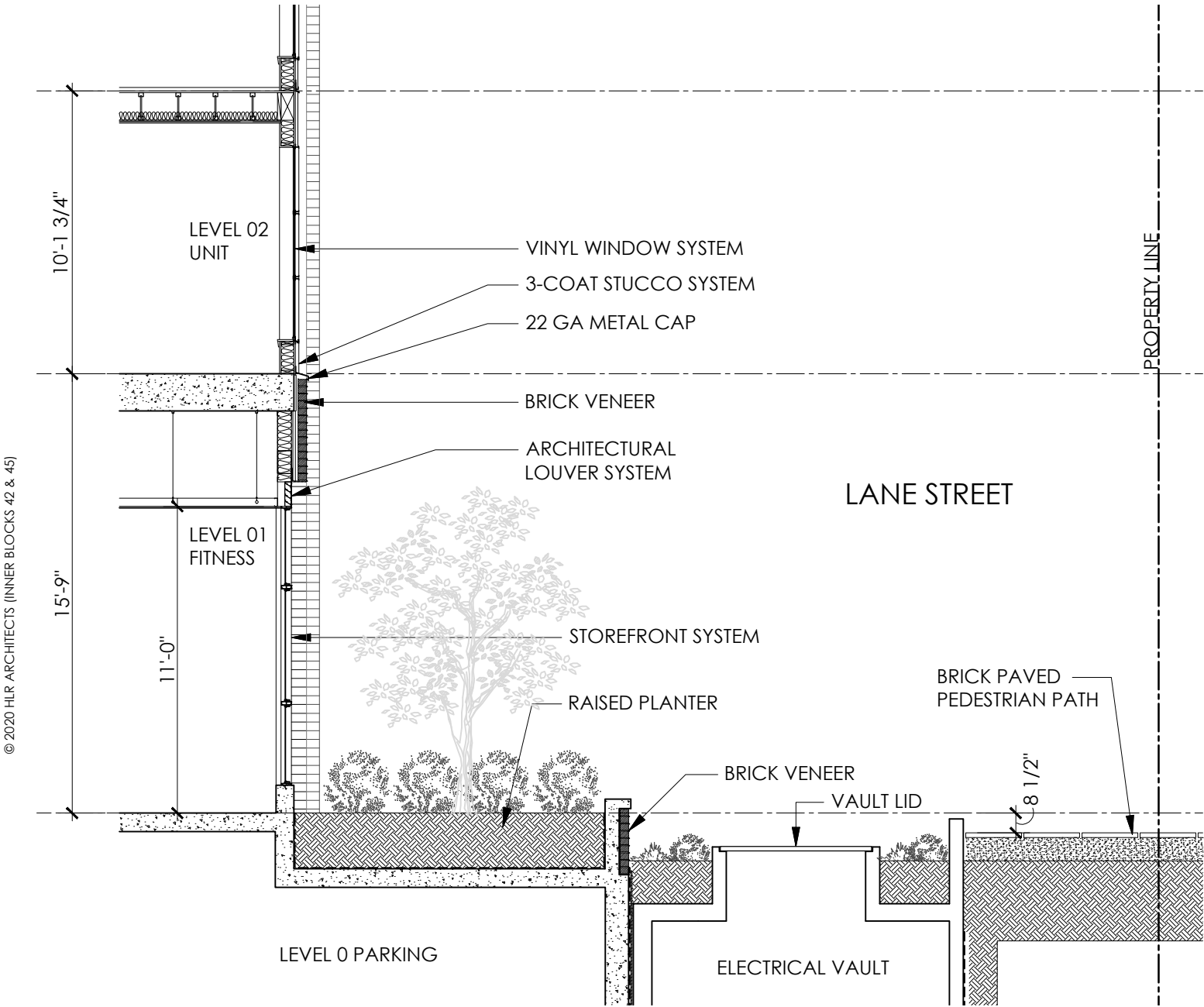
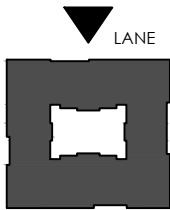
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ALONG SW LANE STREET
BLOCK 42 - ENLARGED NORTH ELEVATION
LAND USE REVIEW # LU 20-102914 DZM GW
EXHIBIT C.31

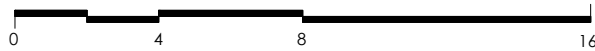


ELEVATION SECTION LEGEND



01 UNIT PATIO @ LOW CONDITION

02 UNIT PATIO @ HIGH CONDITION



SCALE : 3/16"=1'-0"

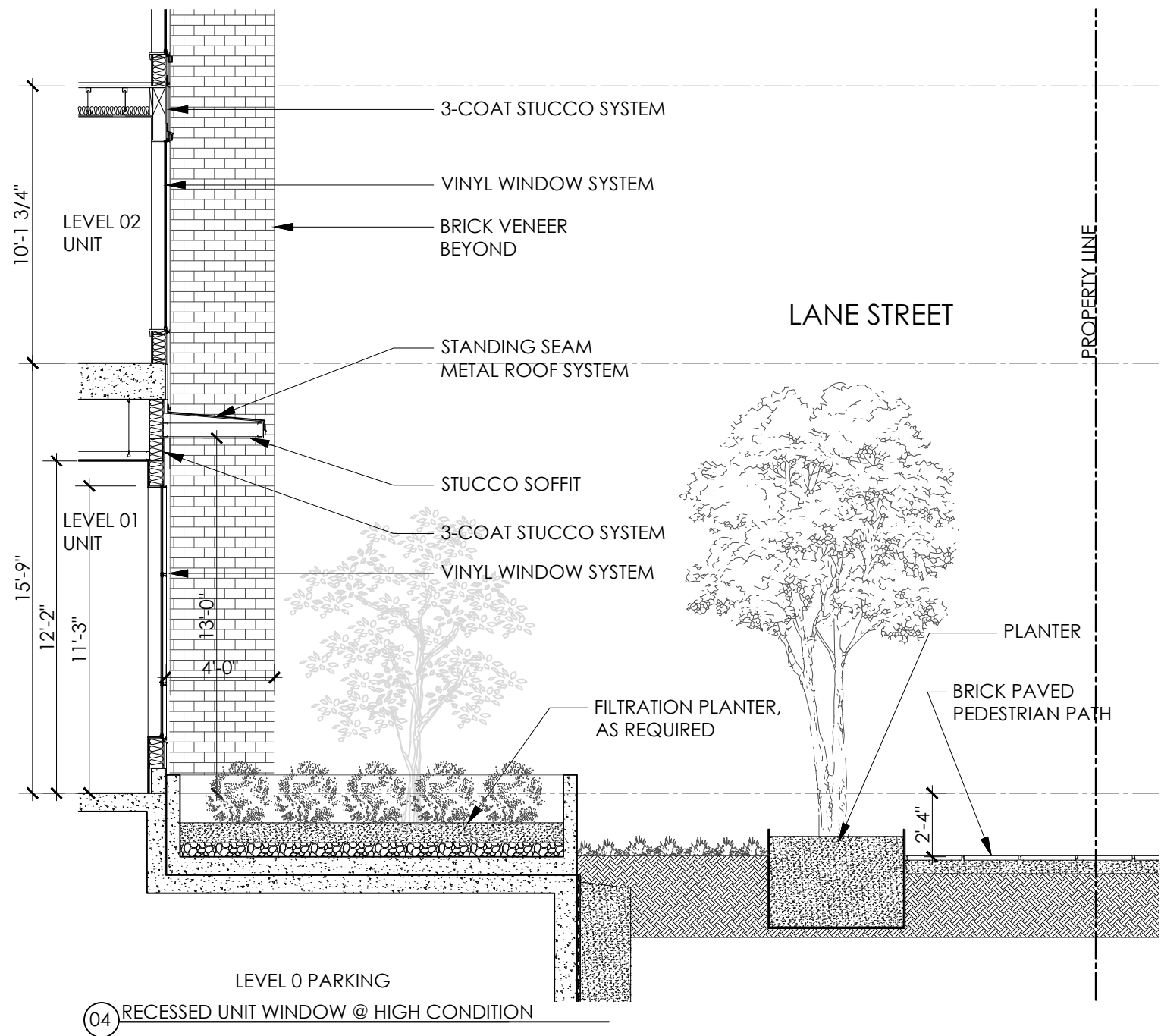
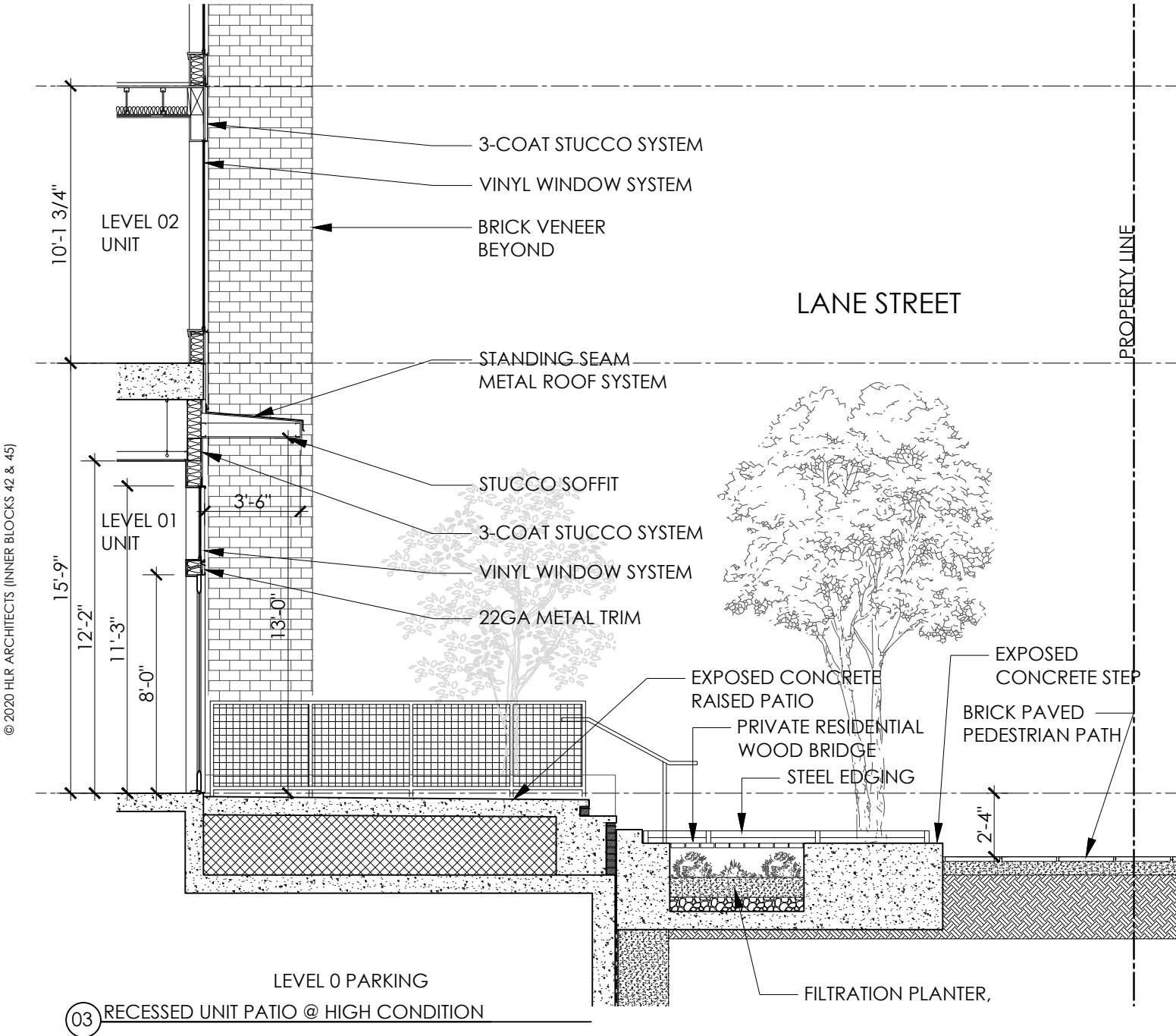
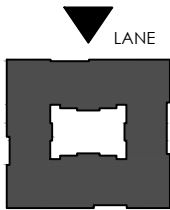
BLOCK 42 - LANE STREET SECTIONS

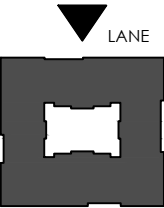
LAND USE REVIEW # LU 20-102914 DZM GW

EXHIBIT C.33

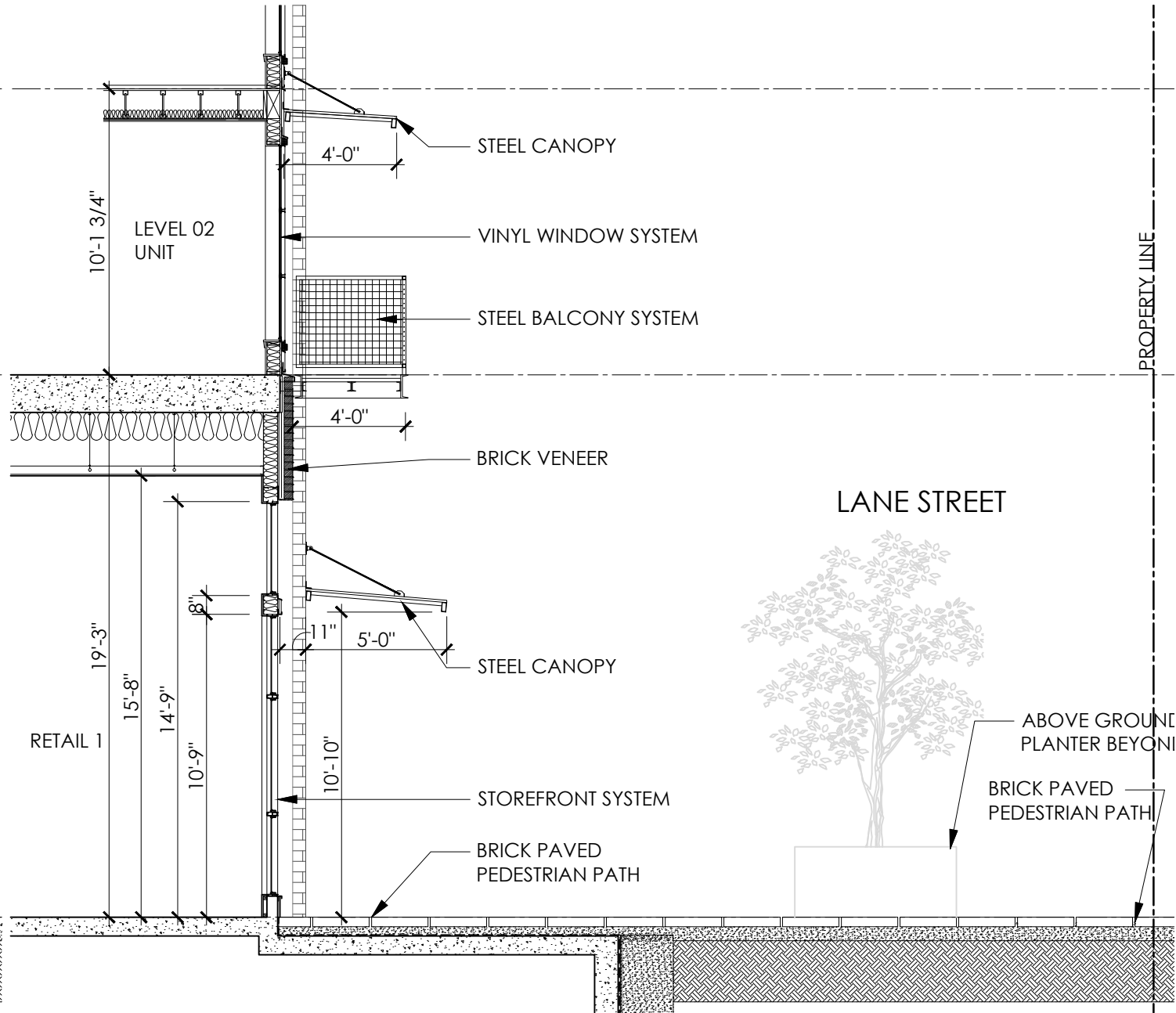
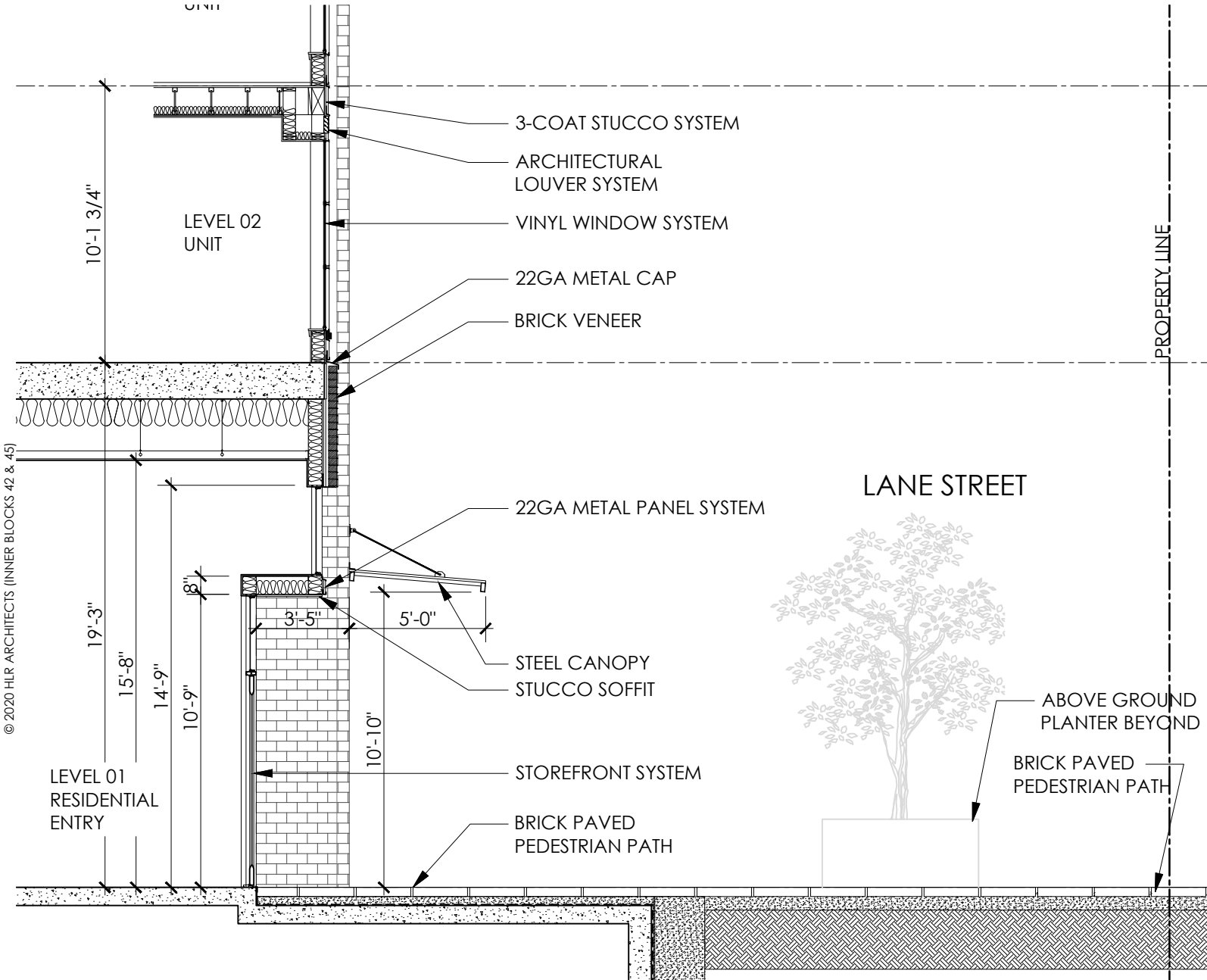


ELEVATION SECTION LEGEND





ELEVATION SECTION LEGEND



05 RECESSED RESIDENTIAL ENTRY AT GRADE

06 RETAIL LEVEL AT GRADE

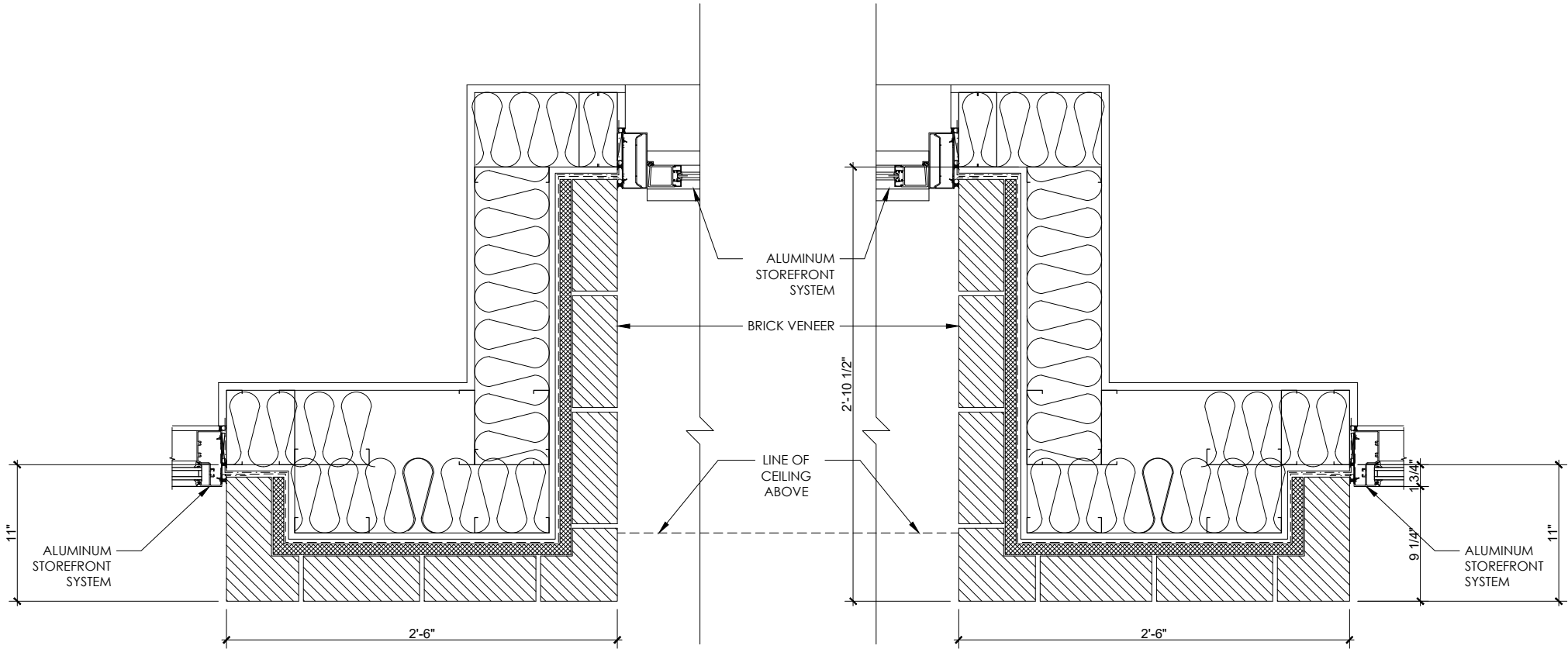
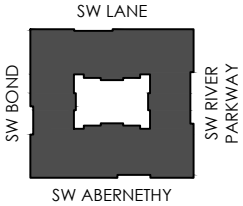


SCALE : 3/16"=1'-0"

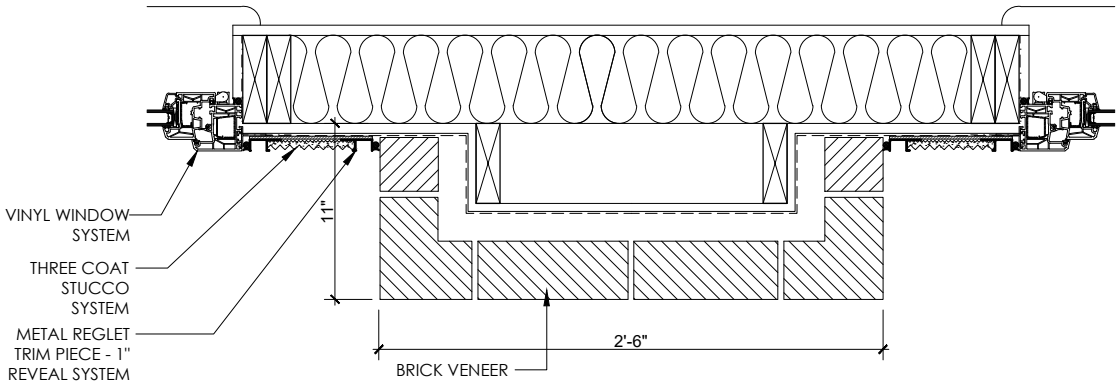
BLOCK 42 - SW LANE STREET SECTIONS

LAND USE REVIEW # LU 20-102914 DZM GW

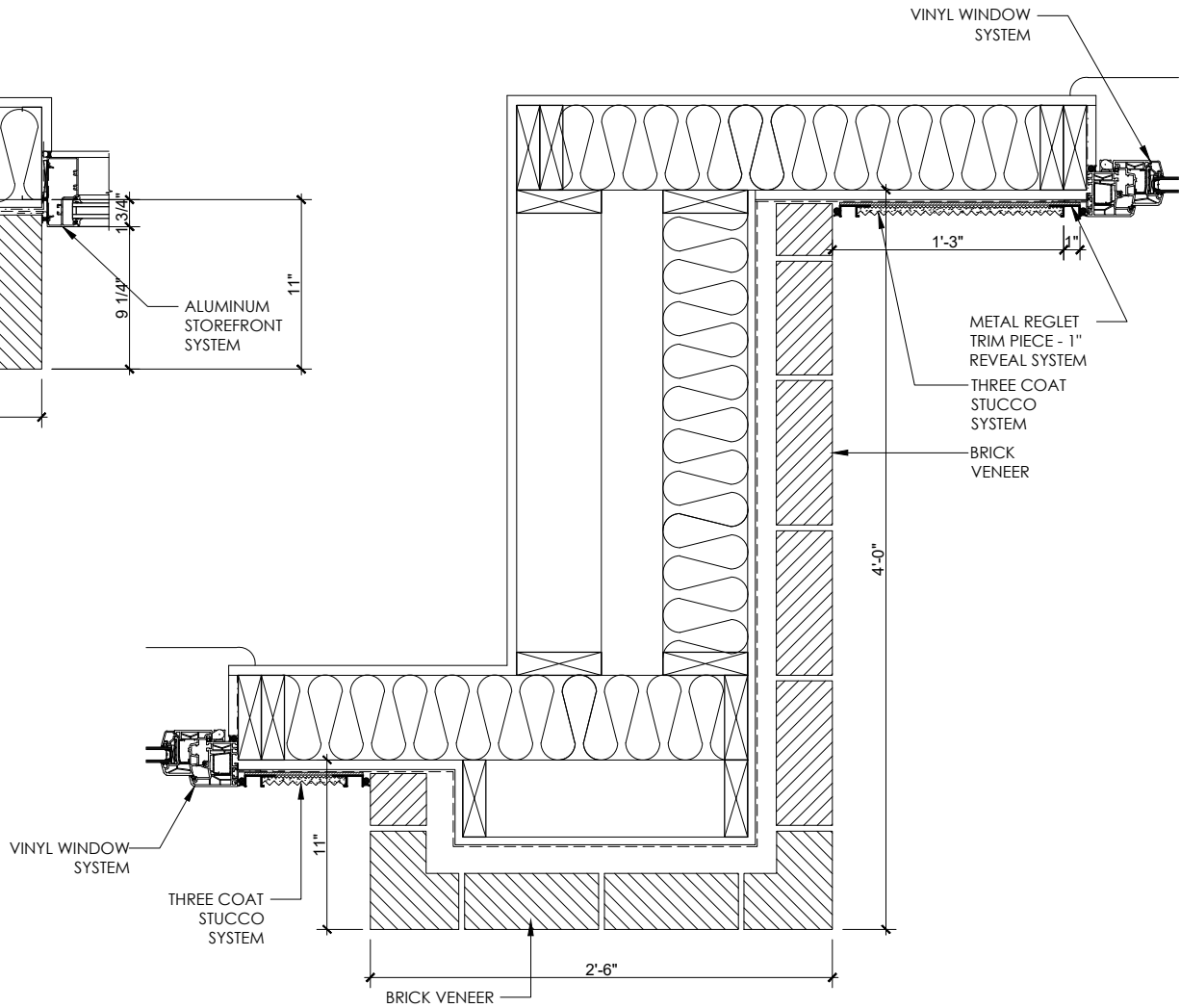
EXHIBIT C.35



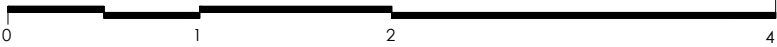
01 TYPICAL BRICK PILASTER AT GROUND FLOOR - PLAN DETAIL



02 TYPICAL BRICK PILASTER AT UPPER FLOORS - PLAN DETAIL



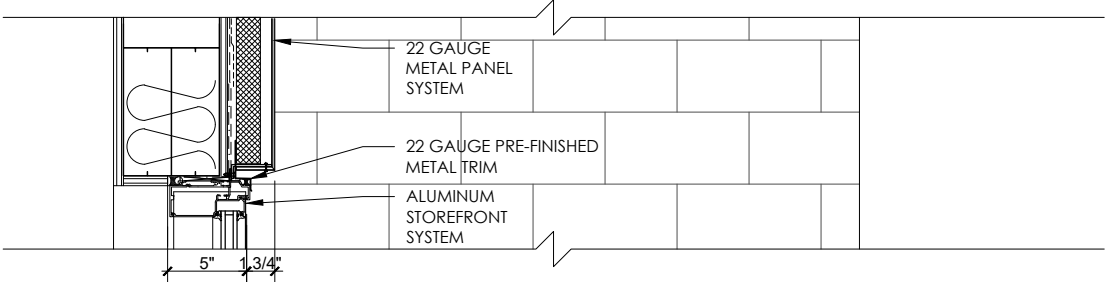
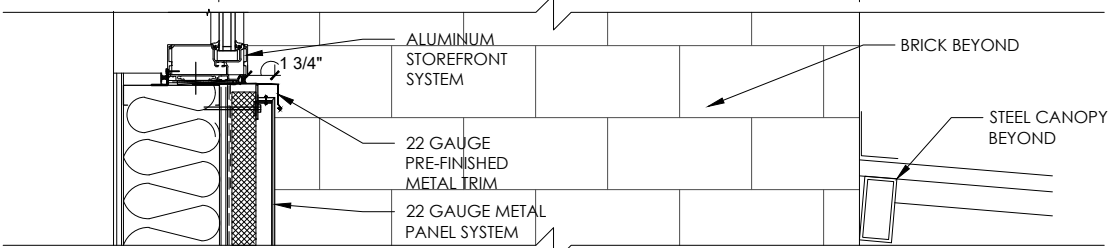
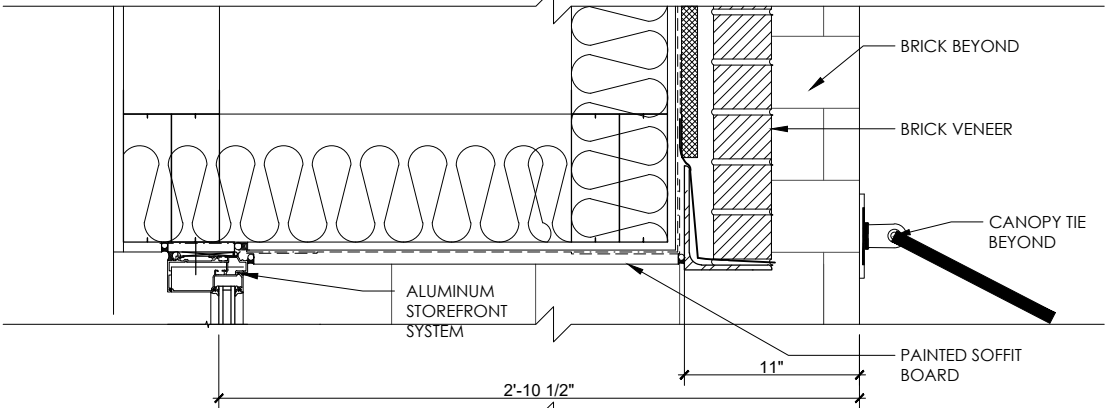
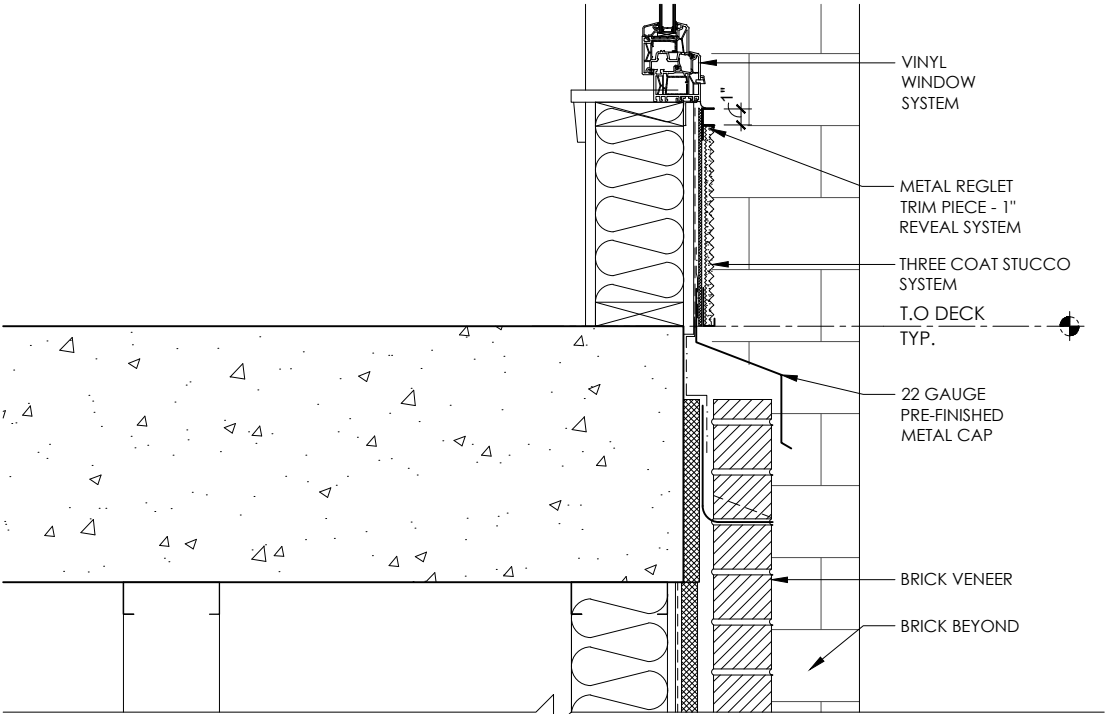
03 TYPICAL SETBACK AT STUCCO - PLAN DETAIL



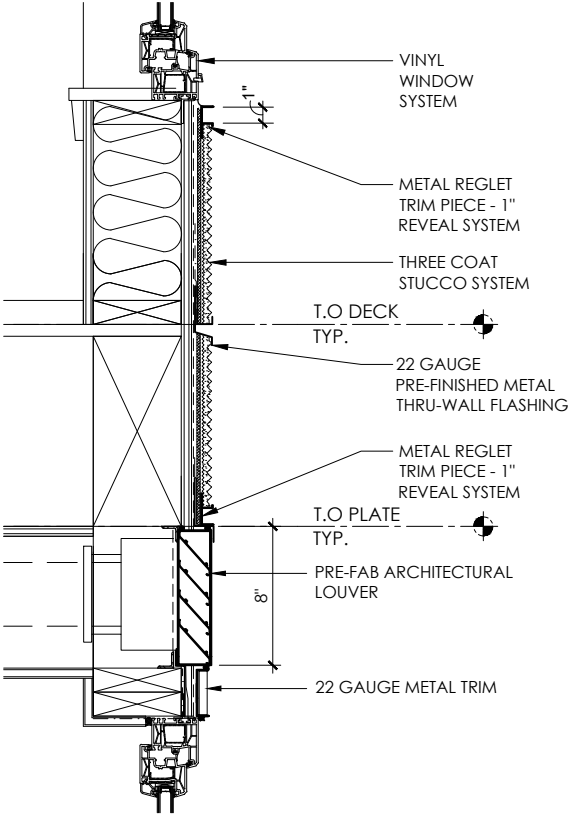
SCALE : 1"=1'-0"

BLOCK 42 - DETAILS

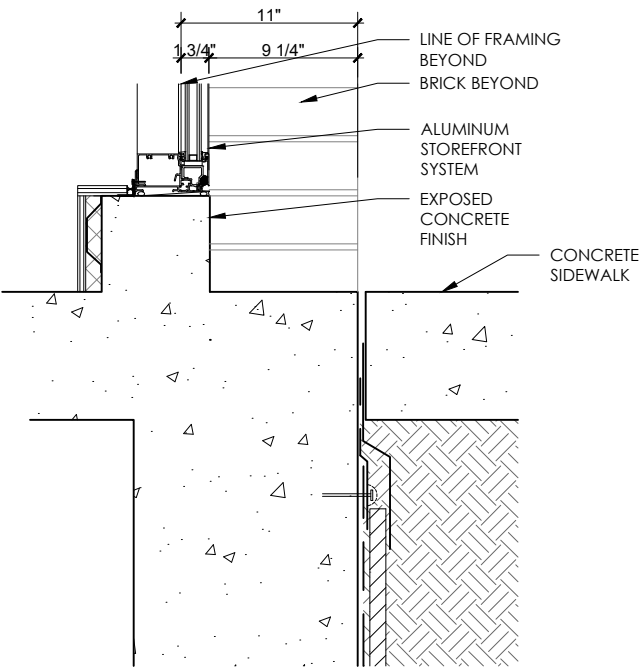
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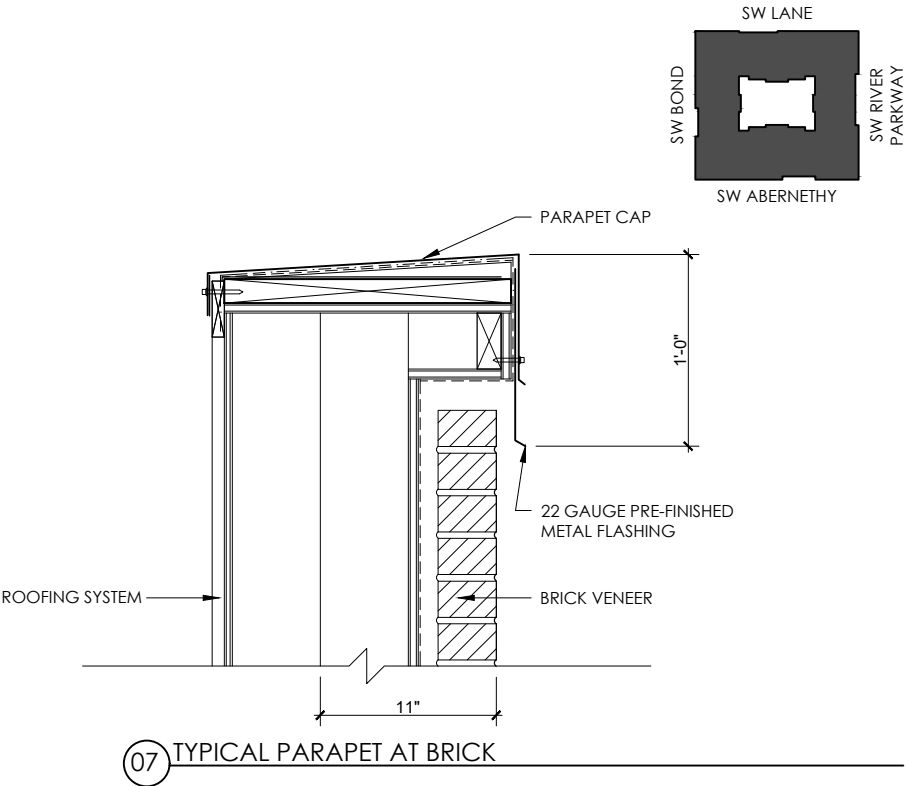
04 TYPICAL RECESS AT GROUND FLOOR ENTRIES



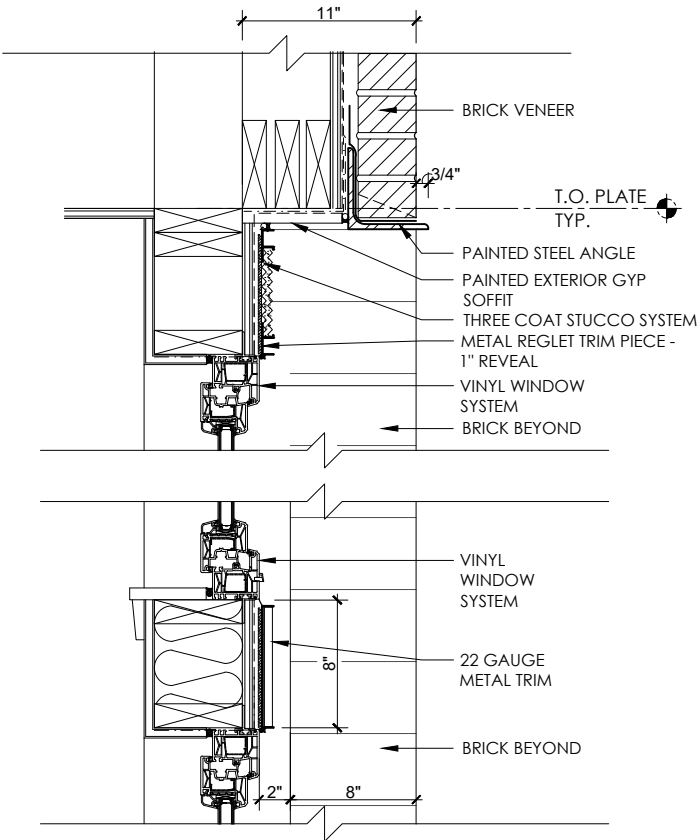
05 TYPICAL MECHANICAL VENT SYSTEM ABOVE WINDOW



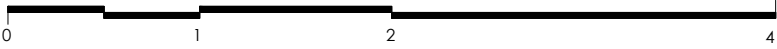
06 TYPICAL STOREFRONT AT GRADE



07 TYPICAL PARAPET AT BRICK

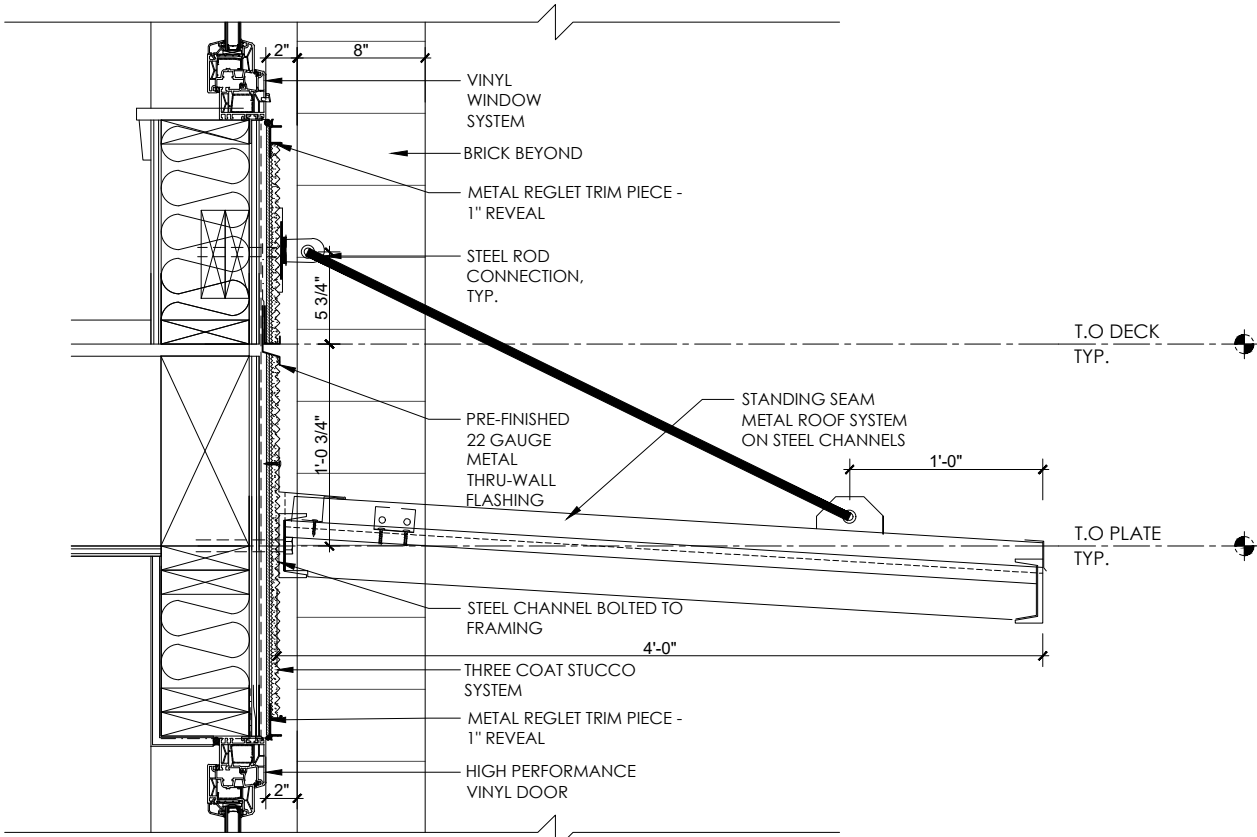
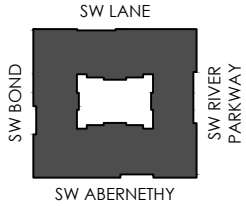


08 TYPICAL CLERESTORY WINDOW AT UPPER LEVEL

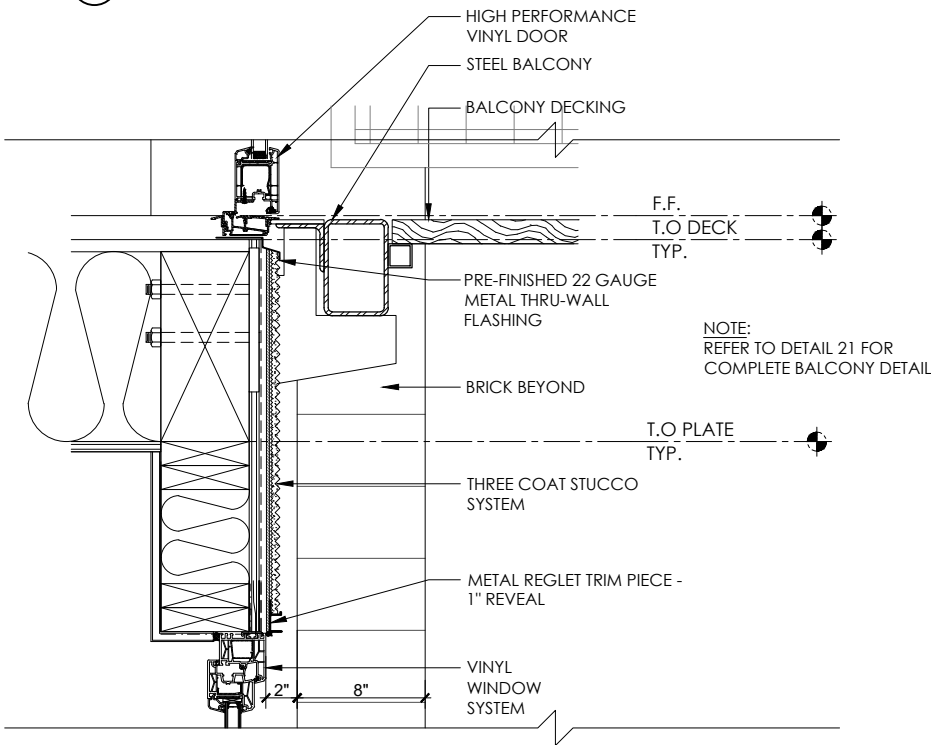


SCALE: 1"=1'-0"

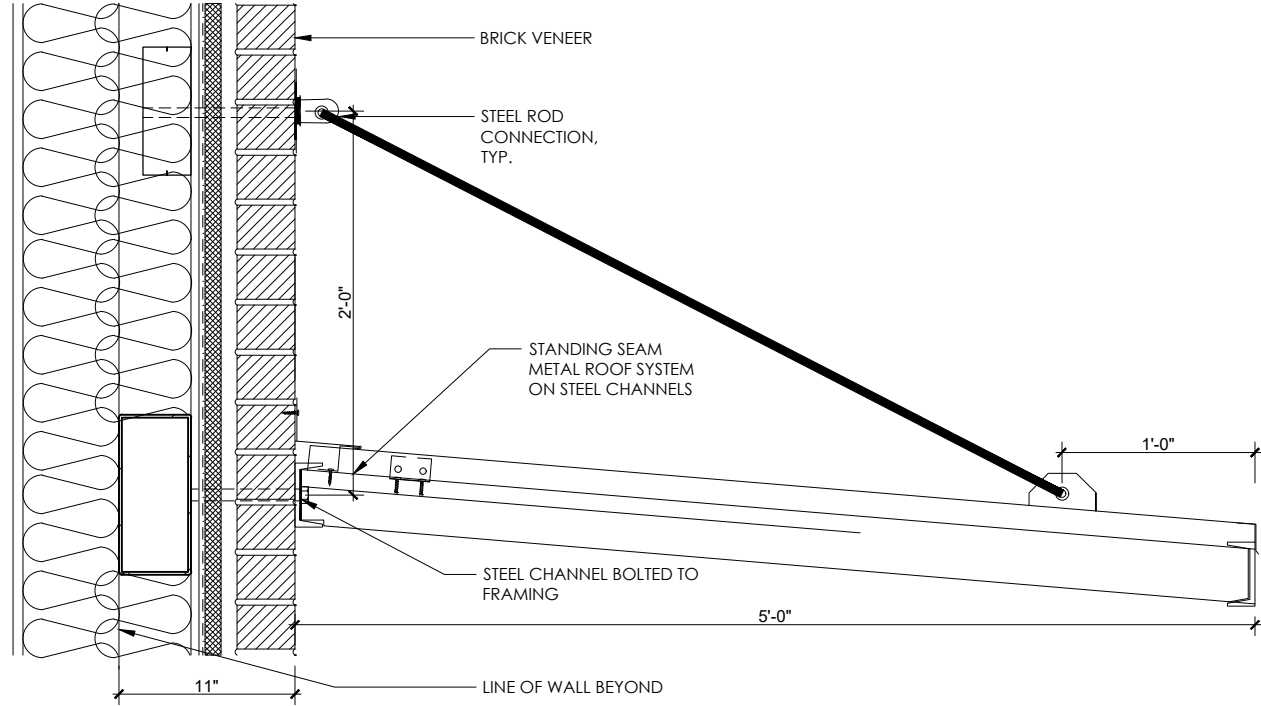
BLOCK 42 - DETAILS



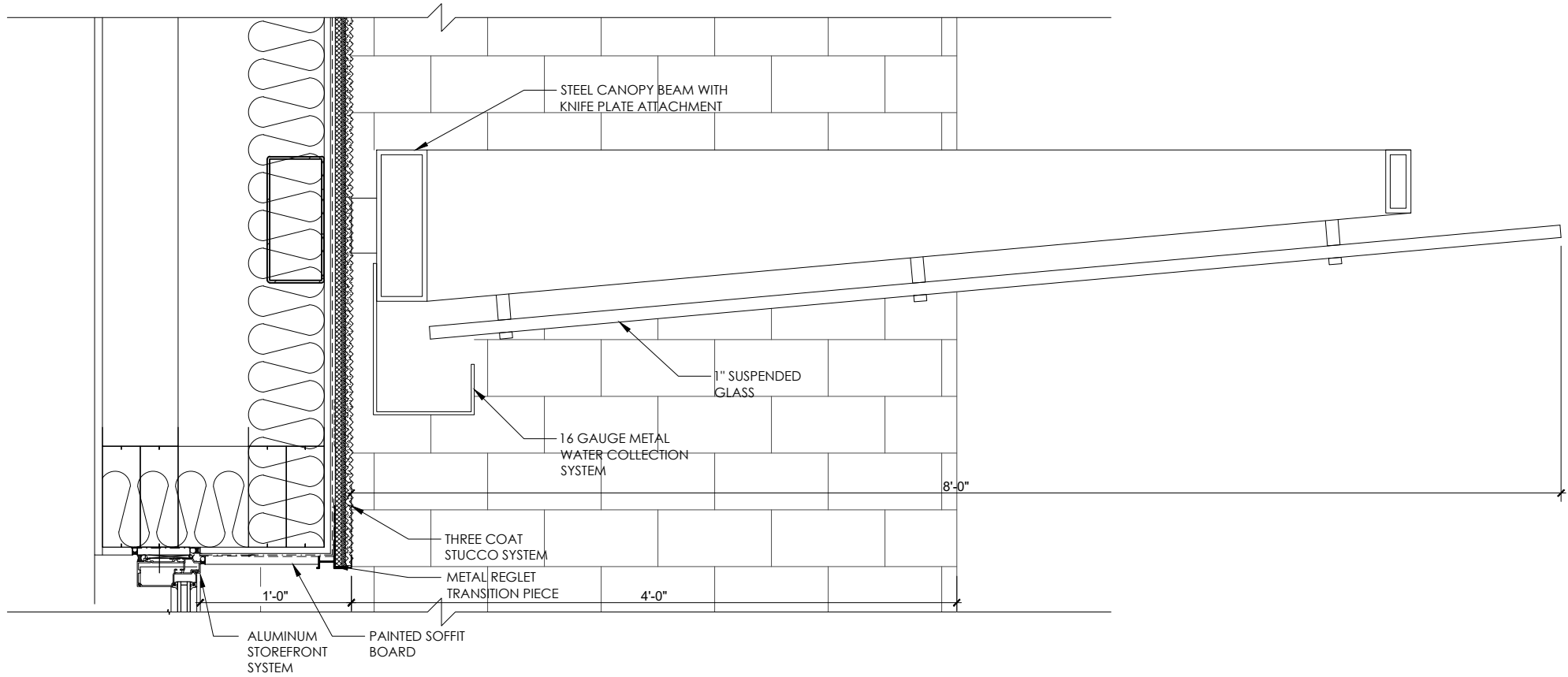
09 TYPICAL UNIT STEEL CANOPY



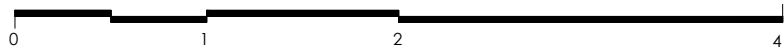
10 TYPICAL UNIT BALCONY



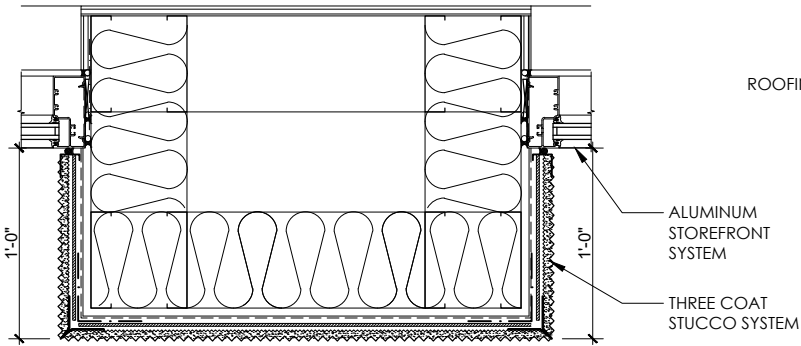
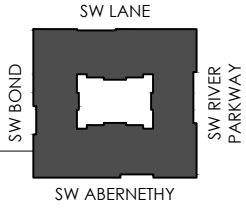
11 TYPICAL RETAIL STEEL CANOPY



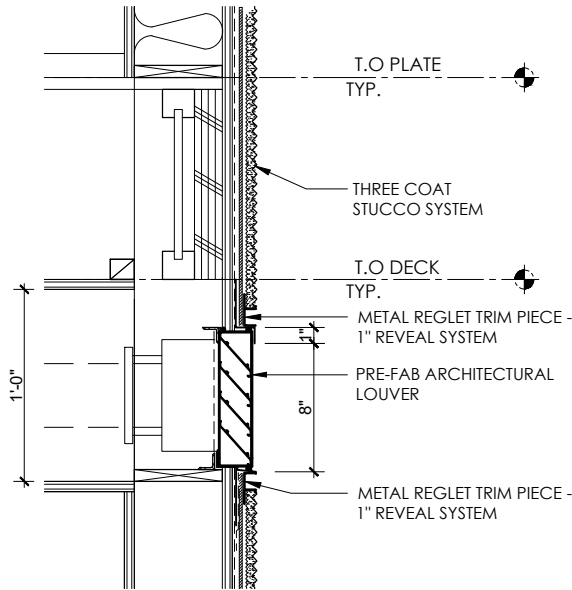
12 GLASS CANOPY AT LEASING ENTRY



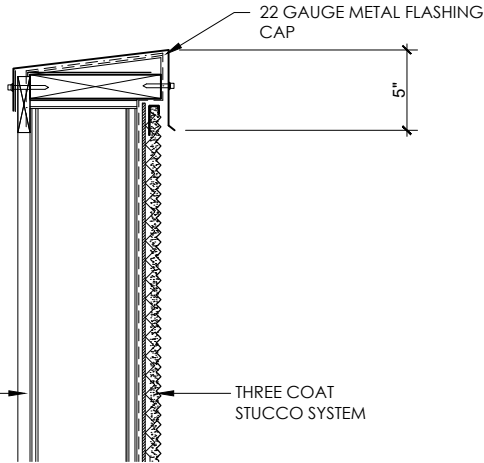
SCALE: 1"=1'-0"



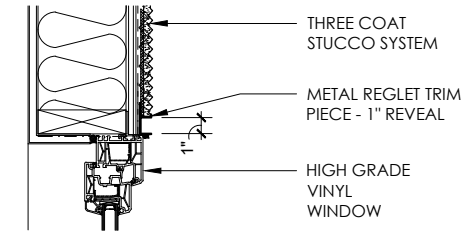
13 STUCCO AT STOREFRONT RECESS



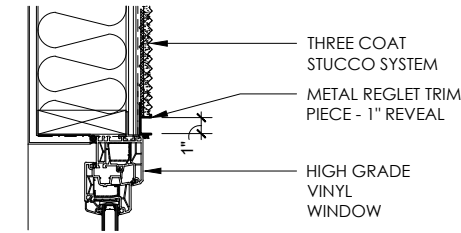
14 TYPICAL MECHANICAL VENT SYSTEM



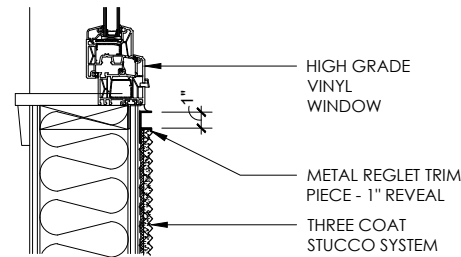
15 TYPICAL PARAPET AT STUCCO



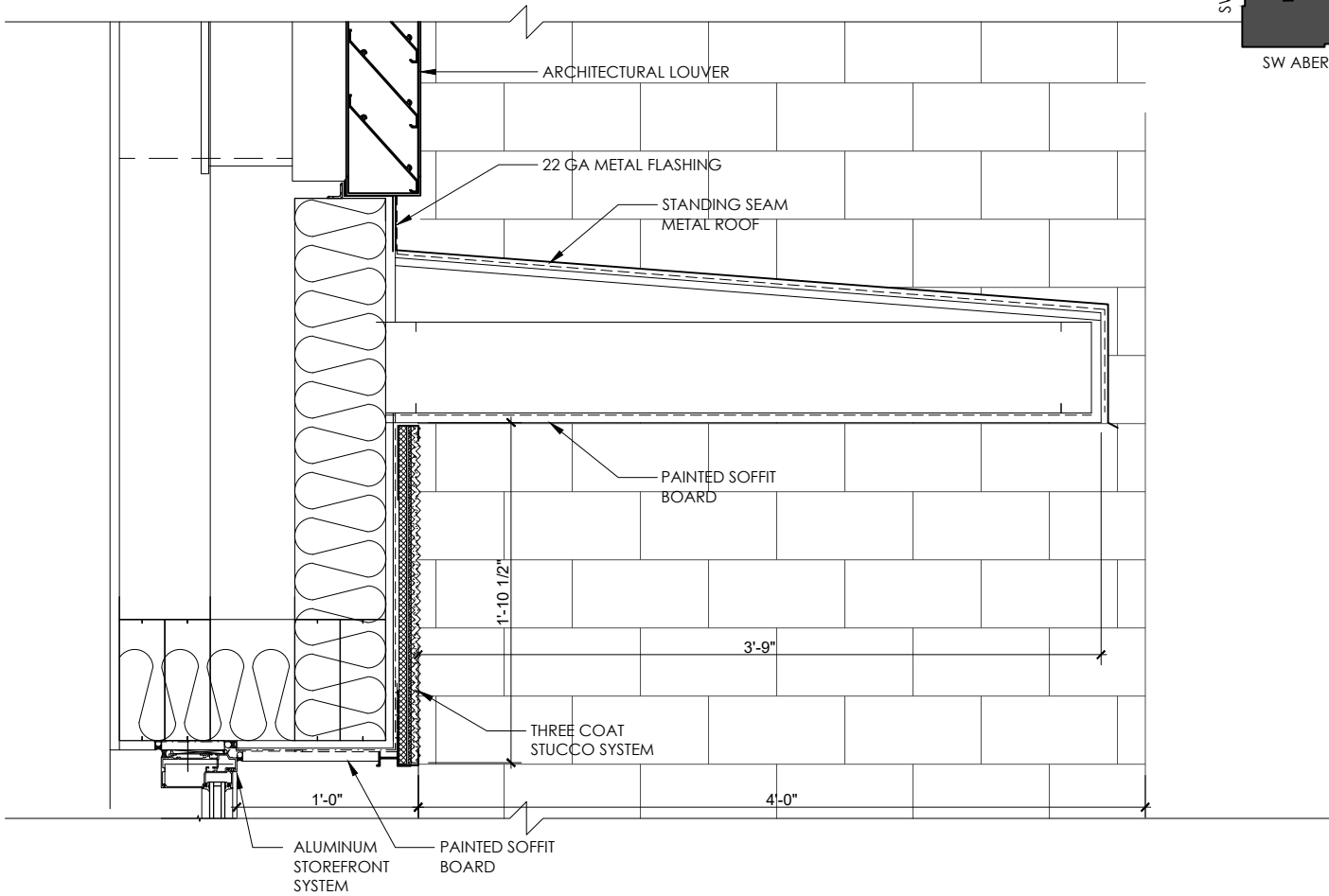
16 TYPICAL STUCCO WINDOW HEAD



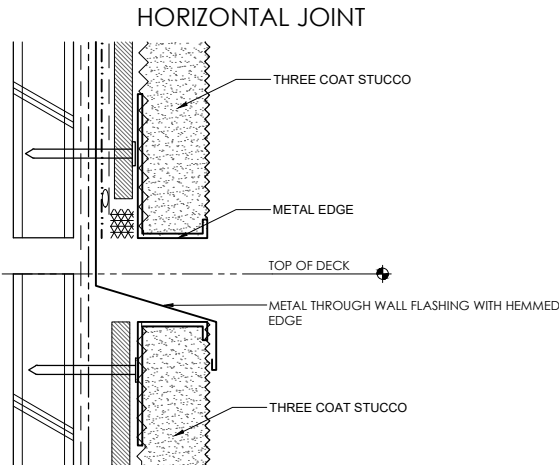
17 TYPICAL STUCCO WINDOW JAMB



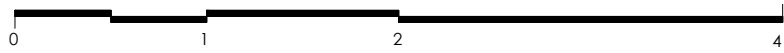
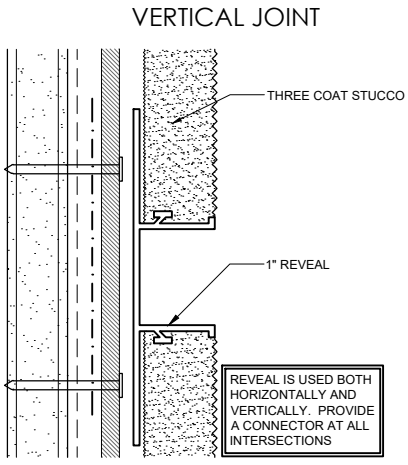
18 TYPICAL STUCCO WINDOW SILL



19 TYPICAL ROOF SYSTEM AT GROUND FLOOR RECESS

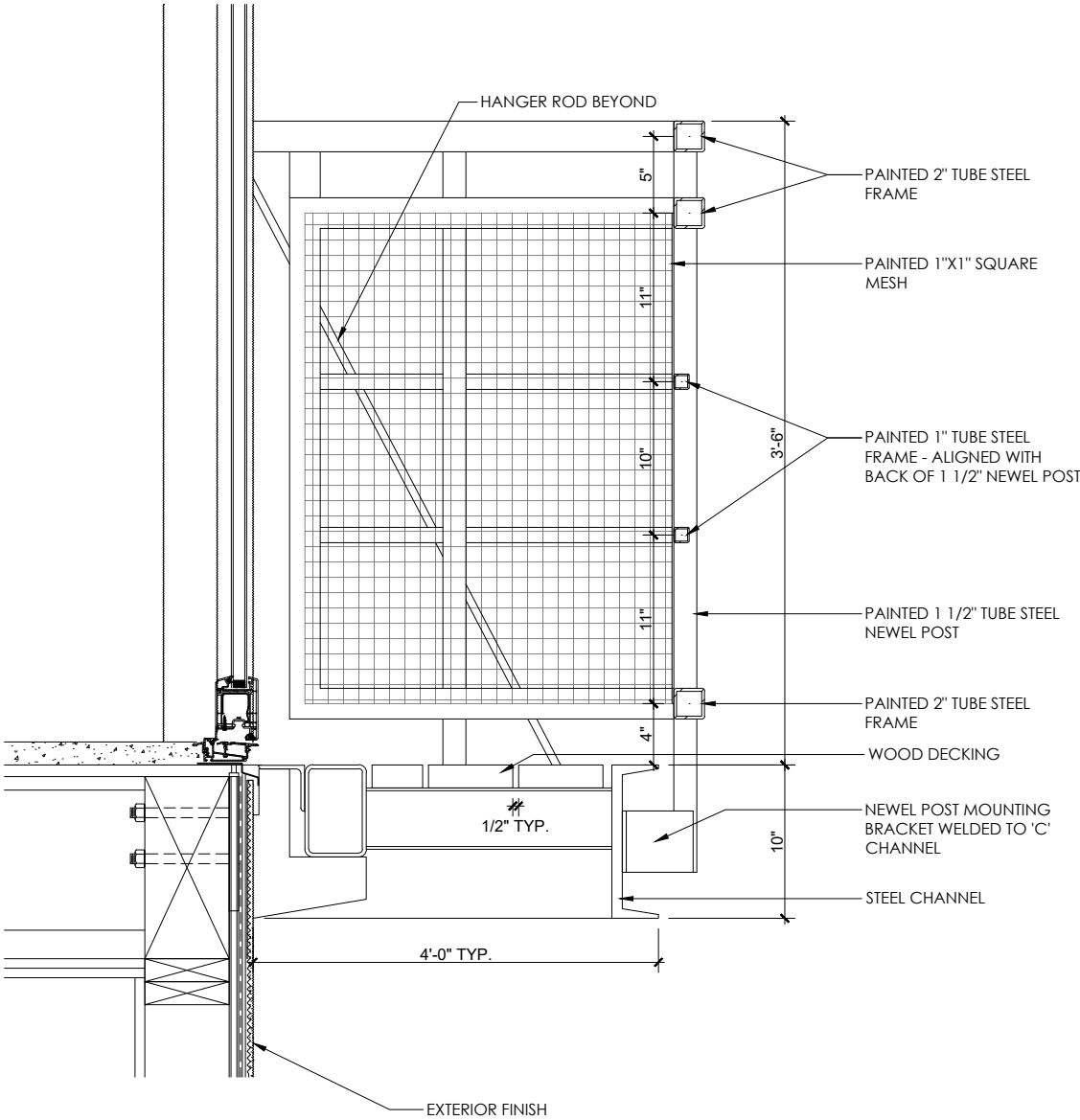


20 TYPICAL STUCCO CONTROL JOINT DETAILS



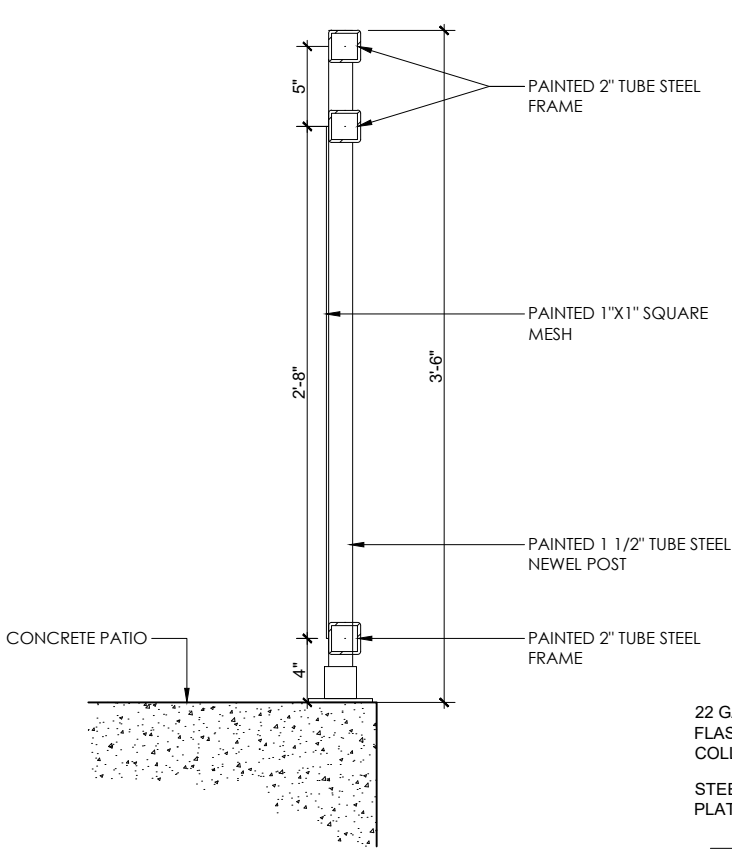
SCALE: 1"=1'-0"

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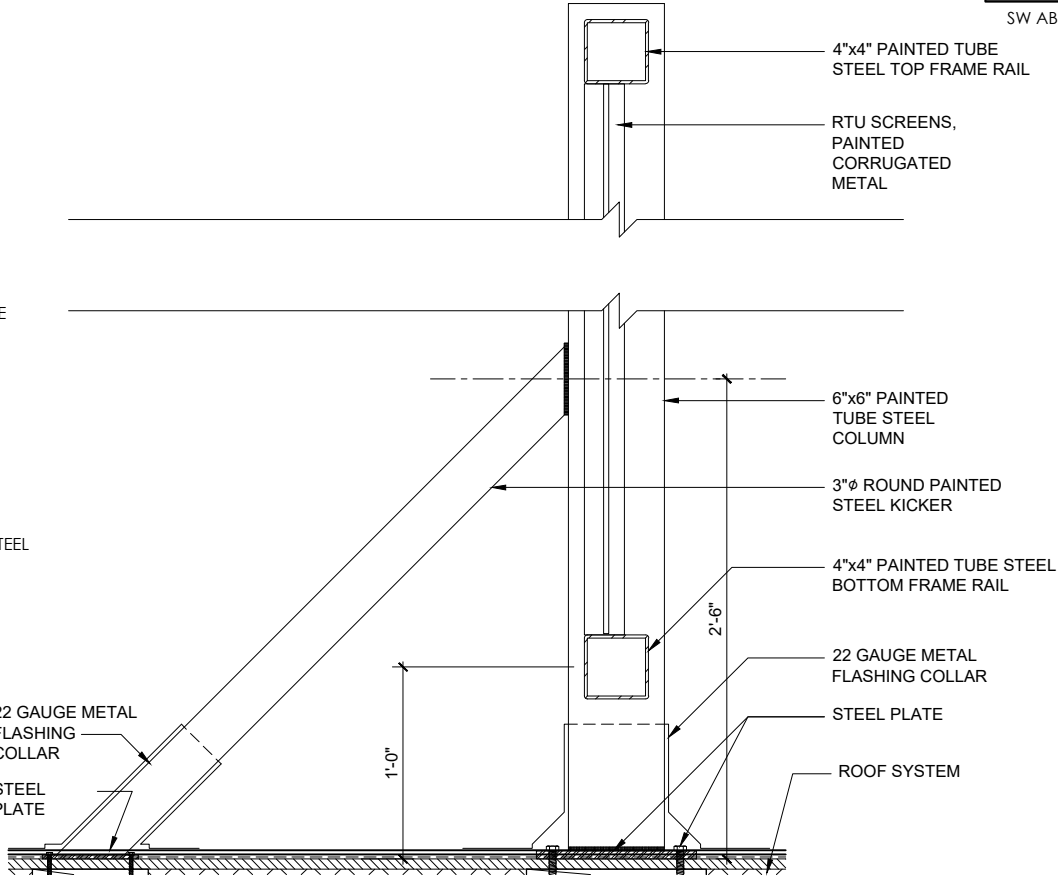


21 TYPICAL BALCONY RAILING DETAIL

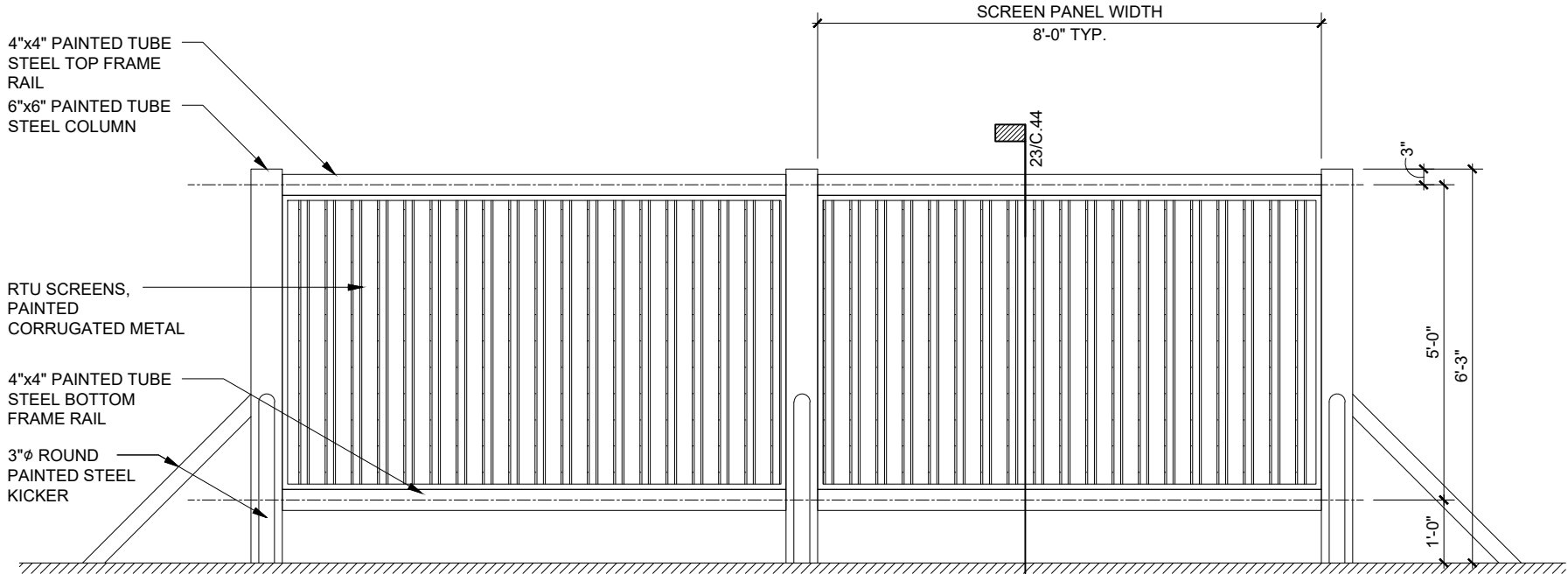
NOTE:
ALL PAINTED STEEL ON RAILINGS AND PATIOS TO BE GALVANIZED



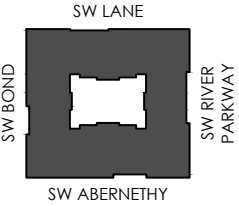
24 TYPICAL PATIO RAILING DETAIL

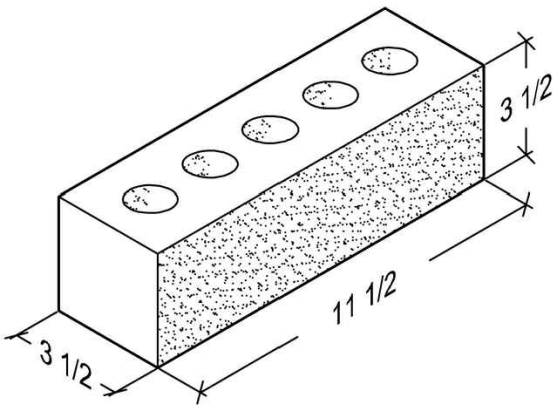
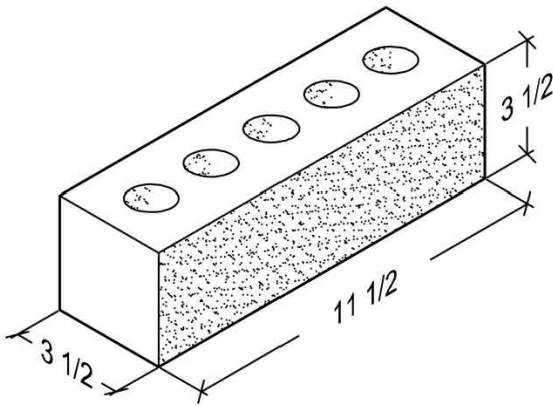
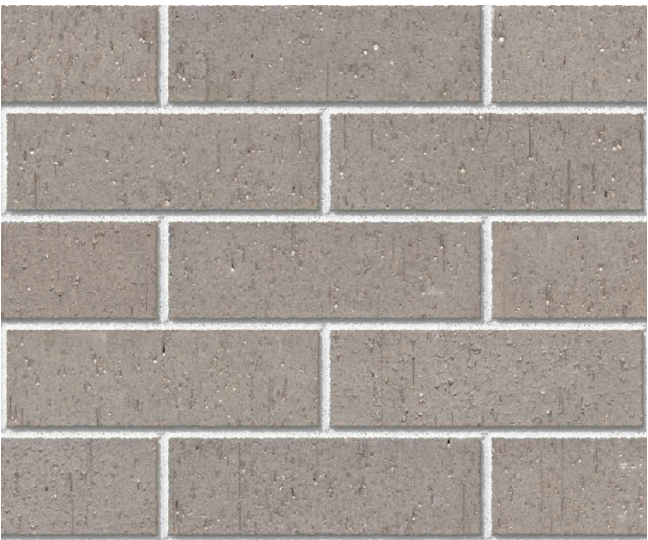


23 ROOF SCREENING DETAIL



22 TYPICAL ROOF SCREENING SYSTEM - SCALE: 3/8" = 1'-0"





BRICK VENEER SYSTEM 1
COLOR: DESERT WHITE
TEXTURE: MISSION
BRAND: MUTUAL MATERIALS

BRICK VENEER SYSTEM 2
COLOR: PEWTER
TEXTURE: MISSION
BRAND: MUTUAL MATERIALS

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ENTRY WALL SCONCE
ATLANTIS OUTDOOR WALL SCONCE
COLOR: SATIN BLACK WITH ETCHED GLASS
SIZE: WIDTH 6", HEIGHT 16", DEPTH 3.5"
BRAND: HINKLEY LIGHTING

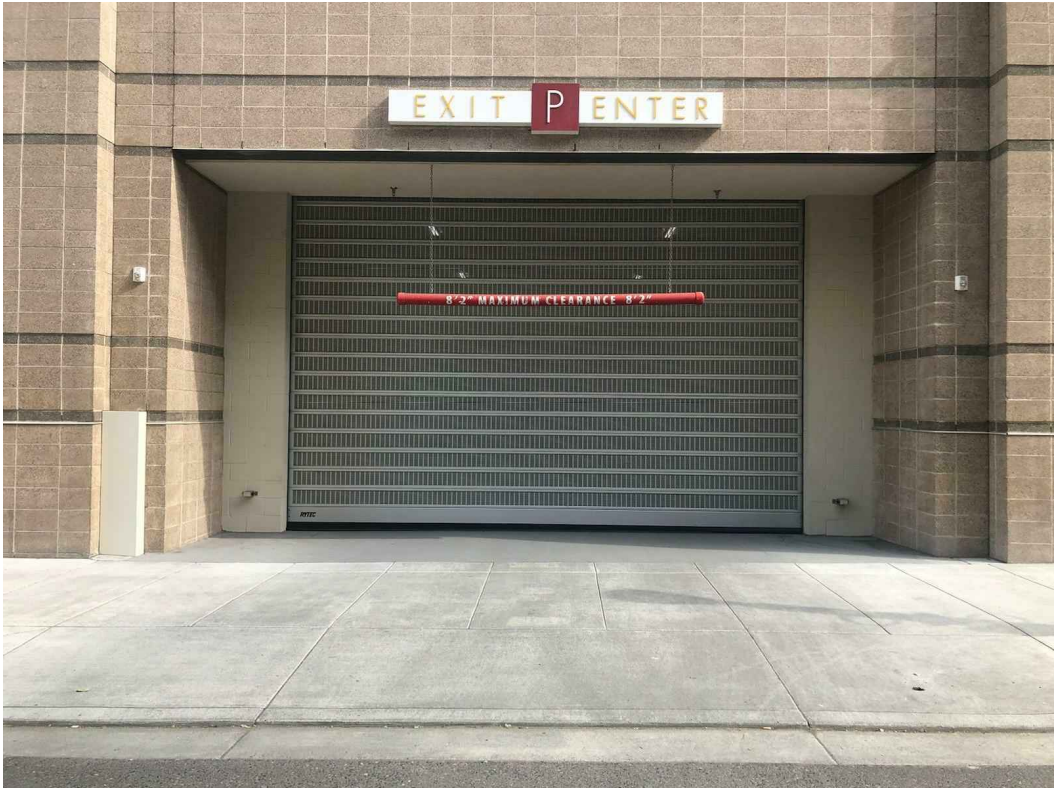


WALL SCONCE
TUBE UP AND DOWN OUTDOOR WALL LIGHT
COLOR: BLACK
SIZE: WIDTH 4.5", HEIGHT 6.5", DEPTH 6"
BRAND: WAC LIGHTING



DOWNLIGHT
ROUND LED FLUSH MOUNT CEILING LIGHT
7-INCH 3000
BY WAC LIGHTING
COLOR: BRONZE
SIZE: DIAMETER 7", HEIGHT .5"





GARAGE GATE VIEW AT DAY TIME



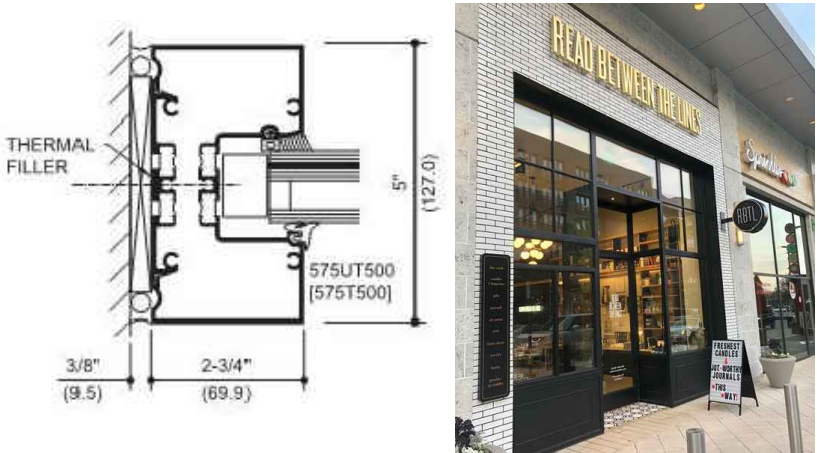
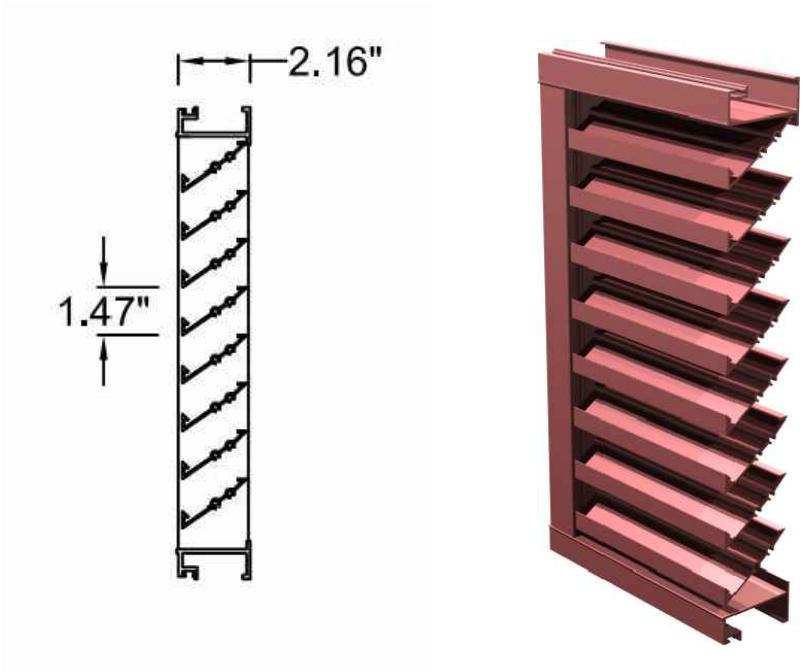
GARAGE GATE VIEW AT NIGHT TIME



PERFORATIONS ALLOW UP TO 30% FREE AIR PASSAGE
(SAMPLE IS FOR TEXTURE ONLY AND NOT COLOR)

GARAGE DOOR
SPIRAL VT - HIGH PERFORMANCE VENTILATED DOOR
COLOR: BLACK
SIZE: WIDTH 20', HEIGHT 11'
BRAND: RYTEC DOORS

NOTE:
COLOR OF DOOR TO MATCH OTHER
FENESTRATION MATERIALS
PROVIDED AT THE GROUND LEVEL



STOREFRONT
IR 501T/501UT FRAMING
COLOR: BLACK
BRAND: KAWNEER



VENTING
HIGH PERFORMANCE
FIXED ARCHITECTURAL LOUVER
FRAME: .060" EXTRUDED ALUMINUM (16 GA)
COLOR: MATCH ADJACENT EXTERIOR
CLADDING COLOR
BRAND: UNITED ENERTECH



VINYL WINDOWS
INNOTECH WINDOWS + DOORS
COLOR: BLACK
BRAND: PASSIVE HOUSE CERTIFIED WINDOWS

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OUTDOOR BENCH 1
THE AUSTIN BENCH
STYLE: FREESTANDING/ SURFACE MOUNT BACKLESS
MATERIAL: ALUMINUM AND EXTERIOR WOOD
SIZE: DEPTH 22", WIDHT 72", HEIGHT 18"
BRAND: LANDSCAPE FORMS

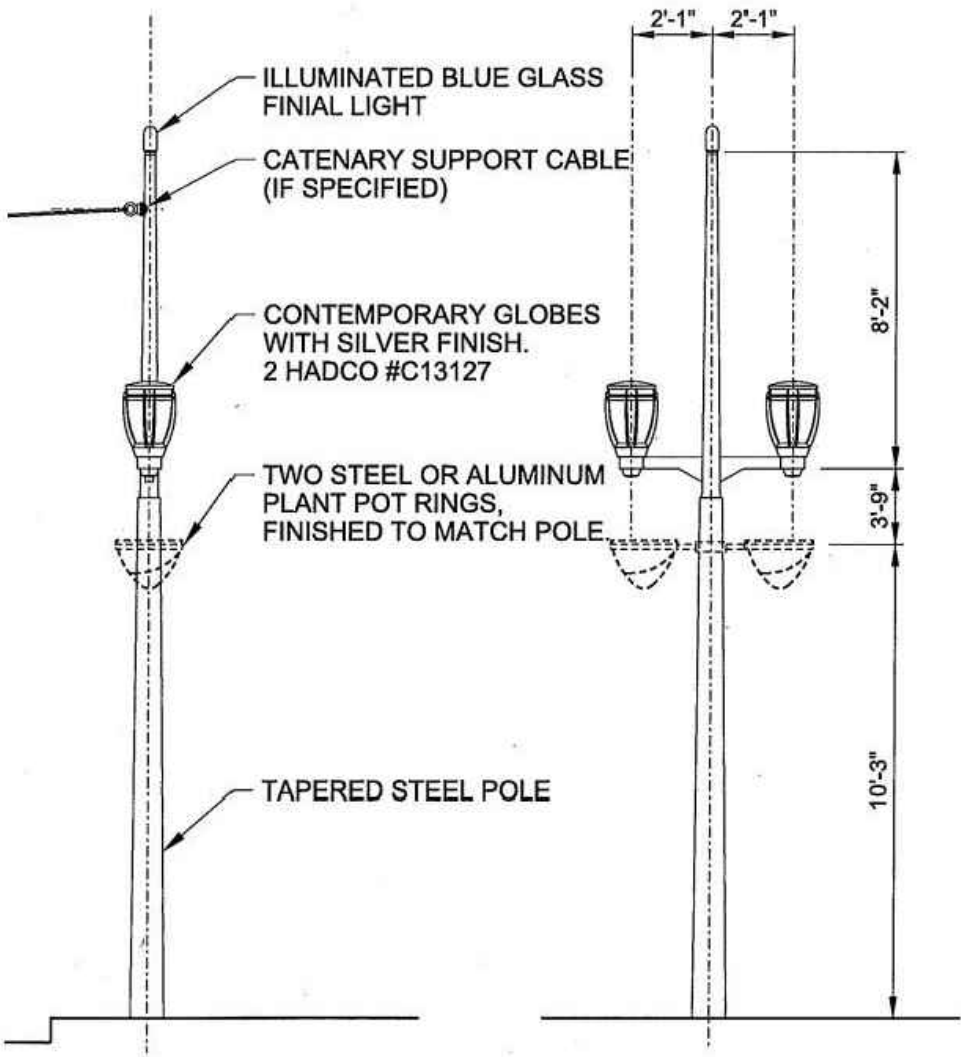


OUTDOOR BENCH 2
THE LILY BENCH
COLLECTION: PERENNE COLLECTION
STYLE: LIL-20NA WITHOUT ARMREST
MATERIAL: PERFORATED STEEL PANEL,
RECYCLED SOLID STEEL BARS
SIZE: LENGHT 6'-0"
BRAND: VICTOR STANLEY

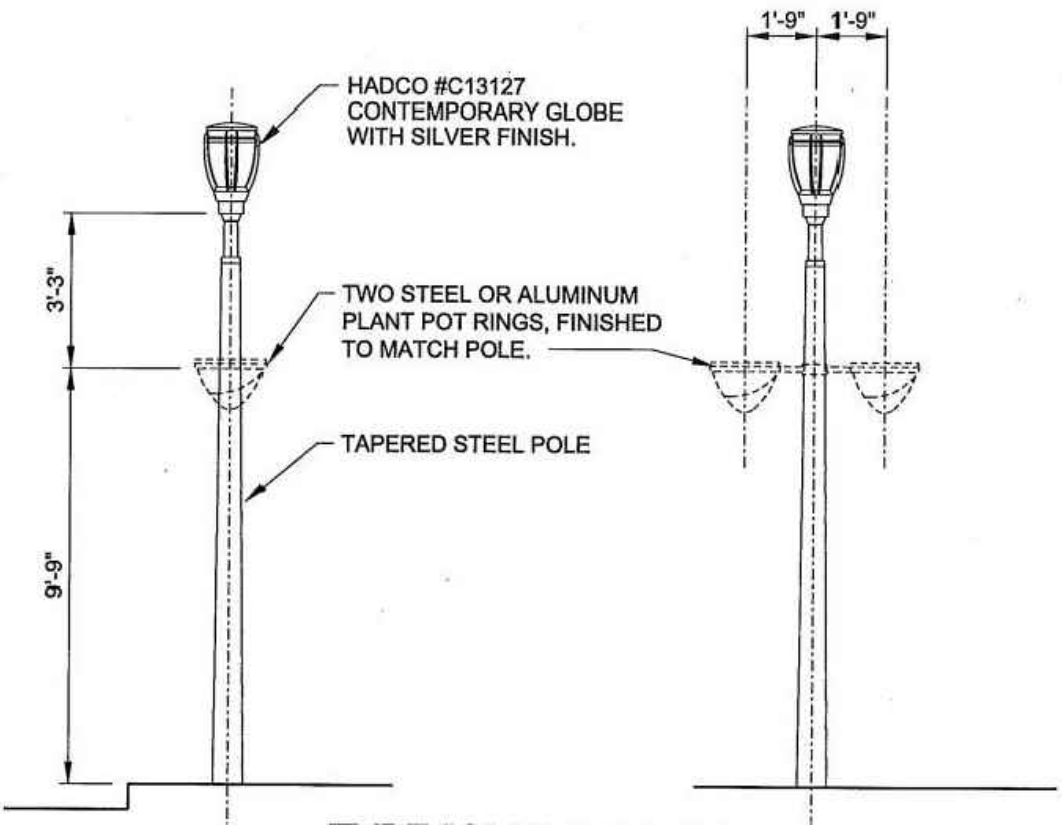


BICYCLE RACK
THE LOOP BIKE RACK
COLLECTION: 35 COLLECTION
COLOR: ALUMINUM
SIZE: DEPTH 14", LENGTH 36", HEIGHT 31"
BRAND: LANDSCAPE FORMS

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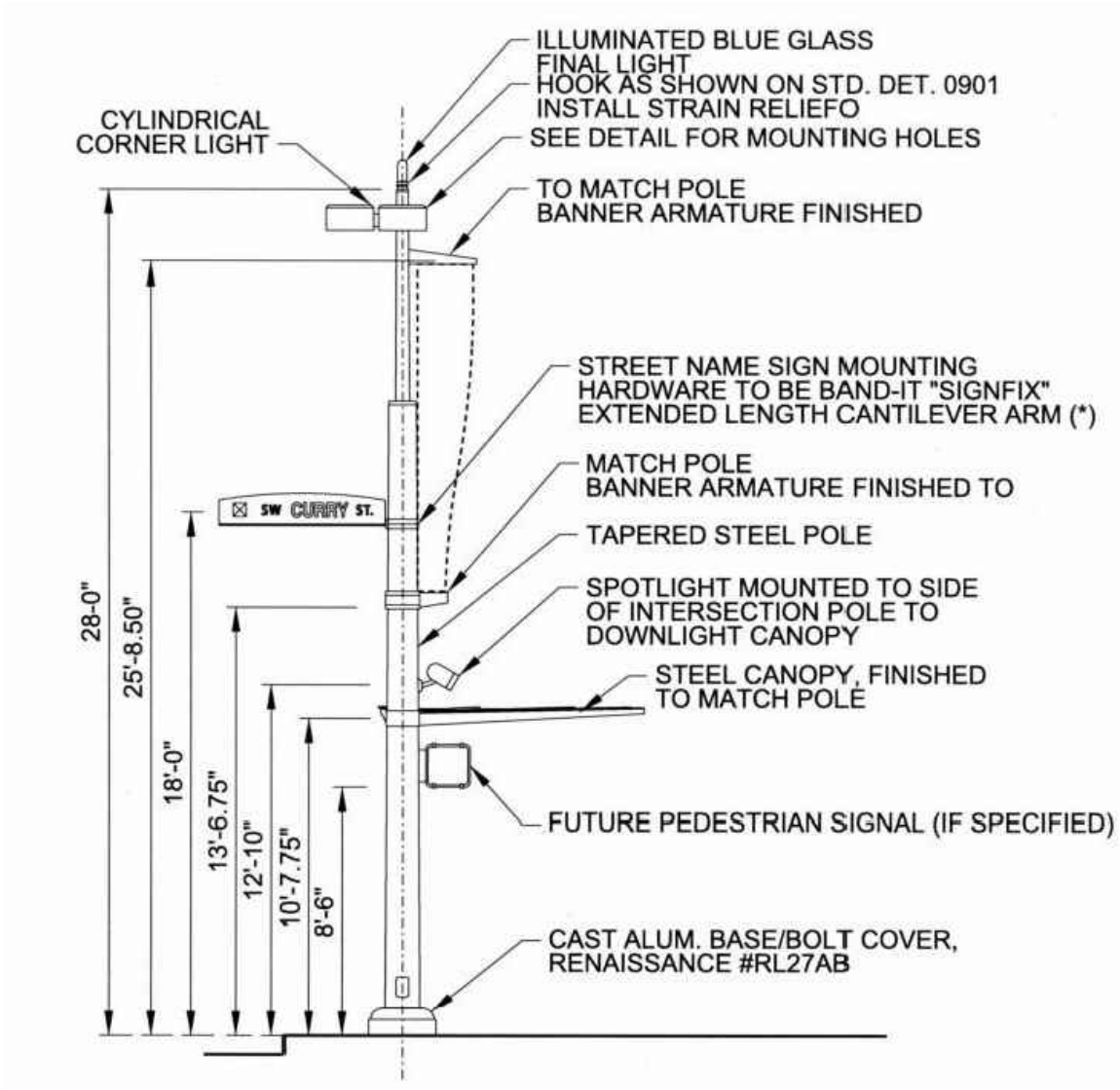


STREET LIGHT 1
TYPICAL STREET LIGHT OPTIONS PER CITY STANDARDS

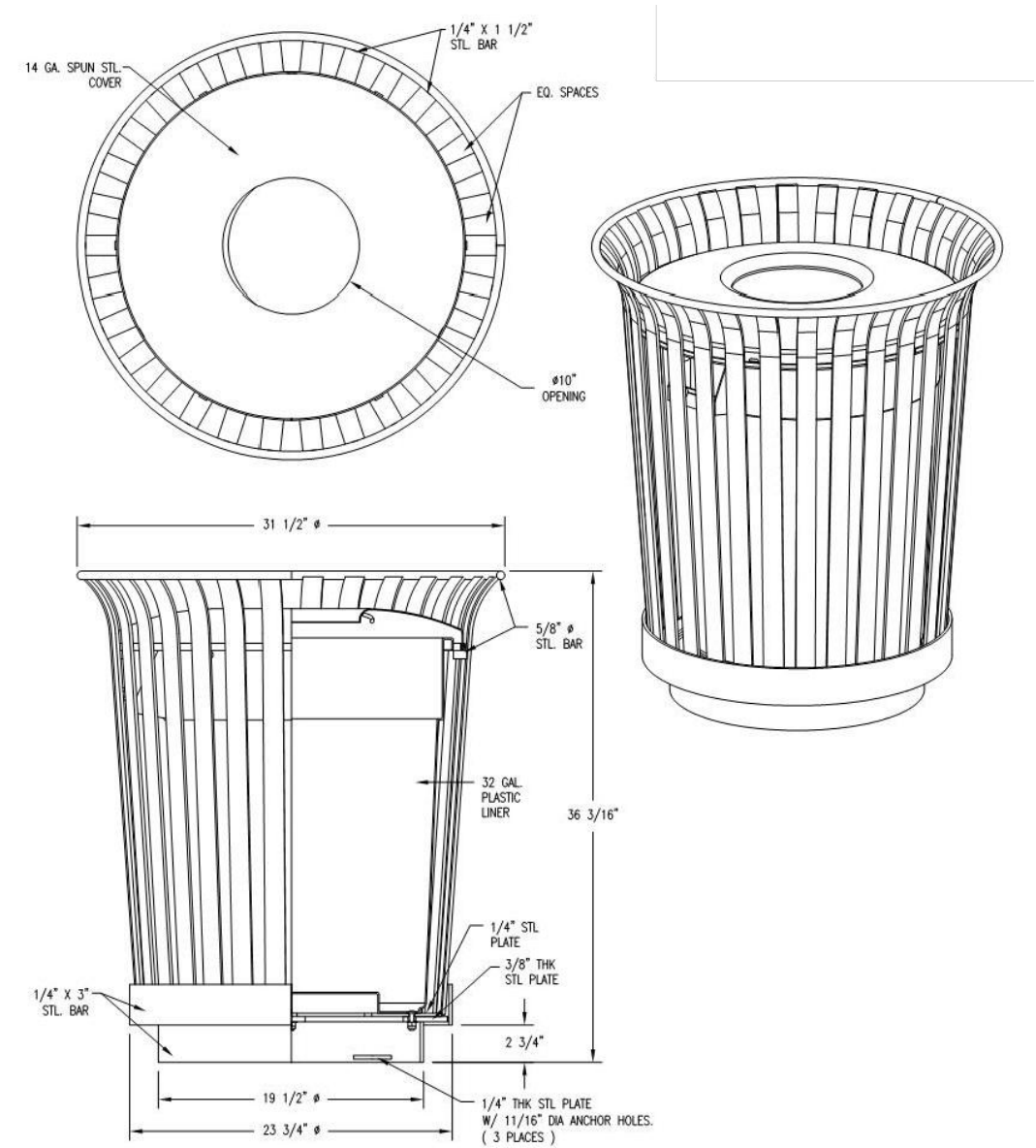


STREET LIGHT 2
TYPICAL STREET LIGHT OPTIONS PER CITY STANDARDS





STREET LIGHT 3
TYPICAL STREET LIGHT OPTIONS PER CITY STANDARDS



TRASH RECEPTACLE
COLOR: BLACK
BRAND: DUMOR, INC

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