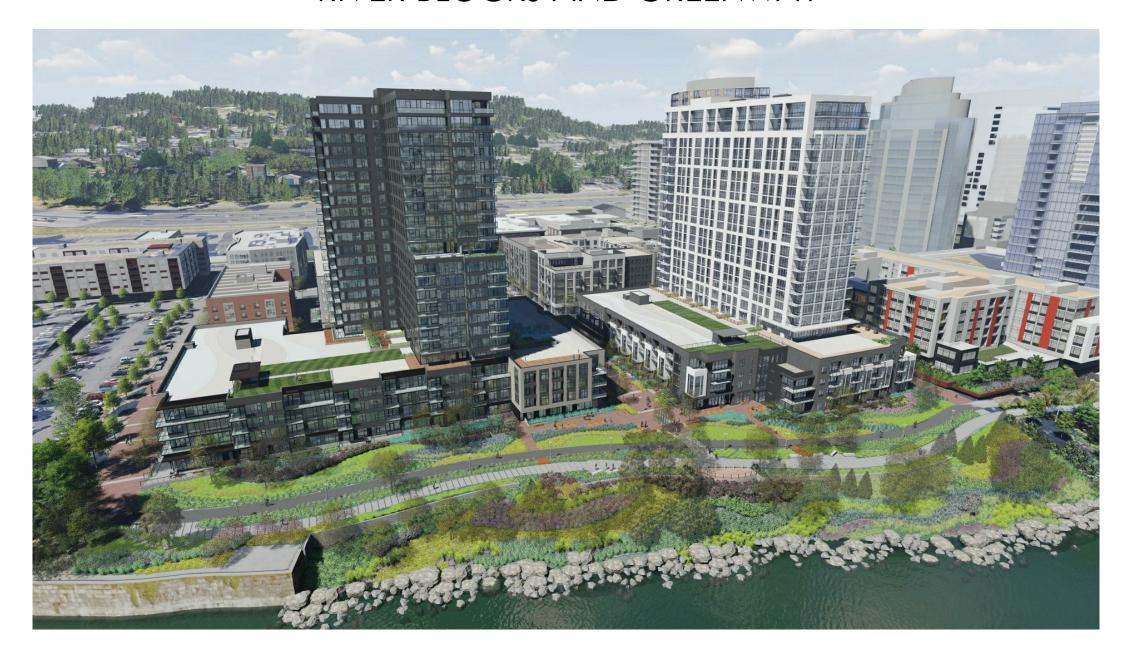
ALAMO MANHATTAN BLOCKS RIVER BLOCKS AND GREENWAY



OWNER / DEVELOPER

ALAMO MANHATTAN WADE JOHNS 3012 FAIRMONT STREET, SUITE 100 DALLAS, TX 75201 PH: 469.941.4514 EMAIL: WADE.JOHNS@ALAMOMANHATTAN.COM

ARCHITECT (BLOCKS 41 & 44)

WDG ARCHITECTURE SHANEY MULLEN 2001 BRYAN STREET, SUITE 3100 DALLAS, TX 75201 PH: 214.939.7916 EMAIL: SMULLEN@WDGARCH.COM

CIVIL ENGINEER

OTAK, INC MIKE PEEBLES 808 SW 3RD AVE, SUITE 300 PORTLAND, OR 97204 PH: 503.415.2416 EMAIL: MIKE.PEEBLES@OTAK.COM

LANDSCAPE ARCHITECT

LINDA TYCHER & ASSOCIATES LINDA TYCHER 11411 N. CENTRAL EXPRESSWAY, SUITE V **DALLAS, TX 75243** PH: 214.750.1210 EMAIL: LINDA@LINDATYCHERDESIGN.COM

RIVER BLOCKS VOLUME 1: BLOCK 41

EXHIBIT C: DESIGN DRAWINGS AND DETAILS

C.125	LB1 FLOOR PLAN - BLOCK 41
C.126	L01 FLOOR PLAN - BLOCK 41
C.127	LIGHTING PLAN - GROUND LEVEL - BLOCK 41
C.128	L02 FLOOR PLAN - BLOCK 41
C.129	L03 FLOOR PLAN - BLOCK 41
C.130	LO4 FLOOR PLAN - BLOCK 41
C.131	L05 FLOOR PLAN - BLOCK 41
C.132	LIGHTING PLAN - AMENITY DECK - B41
C.133	L06-20 FLOOR PLAN - BLOCK 41
C.134	L21 FLOOR PLAN - BLOCK 41
C.135	L22-23 FLOOR PLAN - BLOCK 41
C.136	ROOF PLAN - BLOCK 41
C.137	BLOCK 41 - WEST ELEVATION
C.138	BLOCK 41 - SOUTH ELEVATION
C.139	BLOCK 41 - EAST ELEVATION
C.140	BLOCK 41 - NORTH ELEVATION
C.141	BLOCK 41 - N-S BUILDING SECTION
C.142	BLOCK 41 - E-W BUILDING SECTION
C.143	BLOCK 41 - WEST ENLARGED ELEVATION
C.144	BLOCK 41 - WEST ENLARGED SECTION
C.145	BLOCK 41 - WEST ENLARGED ELEVATION
C.146	BLOCK 41 - WEST ENLARGED SECTIONS
C.147	BLOCK 41 - SOUTH ENLARGED ELEVATION
C.148	BLOCK 41 - SOUTH ENLARGED SECTIONS
C.149	BLOCK 41 - SOUTH ENLARGED ELEVATION
C.150	BLOCK 41 - SOUTH ENLARGED SECTION
C.151	BLOCK 41 - EAST ENLARGED ELEVATION
C.152	BLOCK 41 - EAST ENLARGED SECTIONS
C.153	BLOCK 41 - NORTH ENLARGED ELEVATION
C.154	BLOCK 41 - NORTH ENLARGED SECTIONS
C.155	BLOCK 41 - ENLARGED ELEVATION LEVEL 5 AMENITY
C.156	BLOCK 41 - ENLARGED SECTION LEVEL 5 AMENITY
C.157	BLOCK 41 - ENLARGED ELEVATION PENTHOUSE
C.158	BLOCK 41 - ENLARGED SECTION PENTHOUSE
C.159	BLOCK 41 - ENLARGED ELEVATION PENTHOUSE
C.160	BLOCK 41 - ENLARGED SECTION PENTHOUSE
C.161	BLOCK 41 - ADDITIONAL DETAILS
C.162	BLOCK 41 - PRODUCT DATA
C.163	BLOCK 41 - PRODUCT DATA
C.164	BLOCK 41 - MATERIAL BOARD
C.165	BLOCK 41 - MATERIAL BOARD

BLOCK 41 APPENDIX

APP.125	PERSPECTIVE OF NW CORNER - BLOCK 41
APP.126	PERSPECTIVE OF SW CORNER - BLOCK 41
APP.127	PERSPECTIVE OF SE CORNER - BLOCK 41
APP.128	PERSPECTIVE OF NE CORNER - BLOCK 41
APP.129	PERSPECTIVE ON LANE STREET LOOKING WEST - BLOCK 41
APP.130	RIVER PERSPECTIVE OF NE CORNER - BLOCK 41
APP.131	FAR DIAGRAMS - BLOCK 41
APP.132	FAR DIAGRAMS - BLOCK 41
APP.133	DIAGRAMS - GROUND FLOOR WINDOWS - BLOCK 41
APP.134	L01 WEATHER PROTECTION - BLOCK 41
APP.135	BICYCLE PARKING EXHIBIT - BLOCK 41
APP.136	B41 - TOWER PERSPECTIVE FROM SE
APP.137	B41 - TOWER PERSPECTIVE FROM NE
APP.138	B41 - TOWER PERSPECTIVE FROM SW
APP.139	B41 - TOWER PERSPECTIVE FROM NW
APP.140	GLAZING DIAGRAMS - B41 WEST ELEVATION
APP.141	GLAZING DIAGRAMS - B41 SOUTH ELEVATION
APP.142	GLAZING DIAGRAMS - B41 EAST ELEVATION
APP.143	GLAZING DIAGRAMS - B41 NORTH ELEVATION

RIVER BLOCKS VOLUME 2: BLOCK 44

EXHIBIT C: DESIGN DRAWINGS AND DETAILS

C.170	LO1 FLOOR PLAN - BLOCK 44
C.171	LIGHTING PLAN - GROUND LEVEL - B44
C.172	LO2 FLOOR PLAN - BLOCK 44
C.173	LO3 FLOOR PLAN - BLOCK 44
C.174	LO4 FLOOR PLAN - BLOCK 44
C.175	LIGHTING PLAN - AMENITY DECK - B44
C.176	LO5 FLOOR PLAN - BLOCK 44
C.177	L06-12 FLOOR PLAN - BLOCK 44
C.178	L13 FLOOR PLAN - BLOCK 44
C.179	L14-21 FLOOR PLAN - BLOCK 44
C.180	L22-23 FLOOR PLAN - BLOCK 44
C.181	ROOF PLAN - BLOCK 44
C.182	BLOCK 44 - WEST ELEVATION
C.183	BLOCK 44 - SOUTH ELEVATION
C.184	BLOCK 44 - EAST ELEVATION
C.185	BLOCK 44 - NORTH ELEVATION
C.186	BLOCK 44 - N-S BUILDING SECTION
C.187	BLOCK 44 - E-W BUILDING SECTION
C.188	BLOCK 44 - WEST ENLARGED ELEVATION
C.189	BLOCK 44 - WEST ENLARGED SECTIONS
C.190	BLOCK 44 - WEST ENLARGED ELEVATION
C.191	BLOCK 44 - WEST ENLARGED SECTION
C.192	BLOCK 44 - SOUTH ENLARGED ELEVATION
C.193	BLOCK 44 - SOUTH ENLARGED SECTION
C.194	BLOCK 44 - EAST ENLARGED ELEVATION
C.195	BLOCK 44 - EAST ENLARGED SECTION
C.196	BLOCK 44 - EAST ENLARGED ELEVATION
C.197	BLOCK 44 - EAST ENLARGED SECTIONS
C.198	BLOCK 44 - NORTH ENLARGED ELEVATION
C.199	BLOCK 44 - NORTH ENLARGED SECTION
C.200	BLOCK 44 - NORTH ENLARGED ELEVATION
C.201	BLOCK 44 - NORTH ENLARGED SECTION
C.202	BLOCK 44 - WEST ENLARGED ELEVATION
C.203	BLOCK 44 - WEST ENLARGED SECTION
C.204	BLOCK 44 - ENLARGED ELEVATION LEVEL 5 AMENITY
C.205	BLOCK 44 - ENLARGED SECTION LEVEL 5 AMENITY
C.206	BLOCK 44 - ENLARGED ELEVATION LEVEL 13 AMENITY
C.207	BLOCK 44 - ENLARGED SECTION LEVEL 13 AMENITY
C.208	BLOCK 44 - ENLARGED ELEVATION PENTHOUSE
C.209	BLOCK 44 - ENLARGED SECTION PENTHOUSE
C.210	BLOCK 44 - ADDITIONAL DETAILS
C.211	BLOCK 44 - PRODUCT DATA
C.212	BLOCK 44 - PRODUCT DATA
C.213	BLOCK 44 - MATERIAL BOARD

BLOCK 44 APPENDIX

APP.170	PERSPECTIVE OF NW CORNER - BLOCK 44
APP.171	PERSPECTIVE OF SW CORNER - BLOCK 44
APP.172	PERSPECTIVE OF SE CORNER - BLOCK 44
APP.173	PERSPECTIVE OF NE CORNER - BLOCK 44
APP.174	PERSPECTIVE OF NW CORNER W/ CONTEXT - BLOCK 44
APP.175	RIVER PERSPECTIVE OF SE CORNER - BLOCK 44
APP.176	DIAGRAMS - FAR BLOCK 44
APP.177	DIAGRAMS - FAR BLOCK 44
APP.178	DIAGRAMS - GROUND FLOOR WINDOWS - BLOCK 44
APP.179	L01 WEATHER PROTECTION - BLOCK 44
APP.180	BICYCLE PARKING EXHIBIT - BLOCK 44
APP.181	B44 - TOWER PERSPECTIVE FROM SE
APP.182	B44 - TOWER PERSPECTIVE FROM NE
APP.183	B44 - TOWER PERSPECTIVE FROM NW
APP.184	B44 - TOWER PERSPECTIVE FROM SW
APP.185	SIMPLIFICATION DIAGRAM
APP.186	GLAZING DIAGRAMS - B44 WEST ELEVATION
APP.187	GLAZING DIAGRAMS - B44 SOUTH ELEVATION
APP.188	GLAZING DIAGRAMS - B44 EAST ELEVATION

APP.189 GLAZING DIAGRAMS - B44 NORTH ELEVATION

RIVER BLOCKS VOLUME 3: LANDSCAPE, CIVIL, & GREENWAY

EXHIBIT C: DESIGN DRAWINGS AND DETAILS

LANDSCAPE

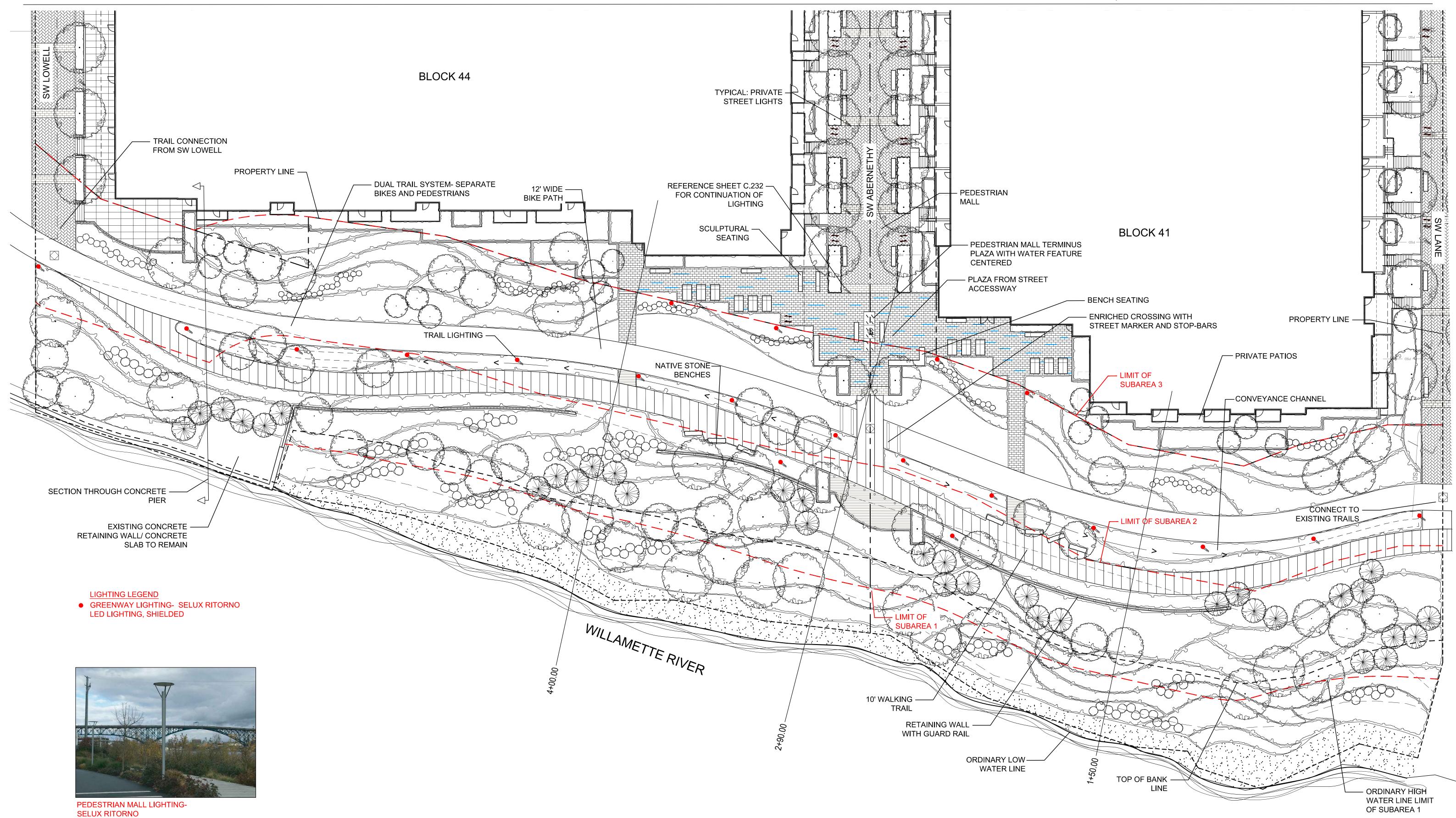
C.215	LANDSCAPE - GREENWAY DEVELOPMENT PLAN- OVERALL
C.216	LANDSCAPE - GREENWAY DEVELOPMENT PLAN- SOUTH
C.217	LANDSCAPE - GREENWAY DEVELOPMENT PLAN- NORTH
C.218	LANDSCAPE - GREENWAY PLANTING PLAN- SOUTH
C.219	LANDSCAPE - GREENWAY PLANTING PLAN- NORTH
C.220	LANDSCAPE - RIVER BLOCKS - B41 & B44
C.222	GREENWAY / PEDESTRIAN MALL ENLARGEMENT PLAN
C.223	MATERIAL SELECTIONS FOR SITE / PEDESTRIAN MALL
C.224	LANDSCAPE - ROOF TERRACES 41 & 44
C.226	TYPICAL PATIO SECTIONS
C.227	TYPICAL PATIO SECTIONS
C.228	LANDSCAPE - GREENWAY SECTION
C.229	LANDSCAPE - GREENWAY SECTION
C.230	LANDSCAPE - GREENWAY SECTION
C.231	LANDSCAPE - GREENWAY SECTION
C.232	LANDSCAPE - R.O.WPEDESTRIAN MALL/LIGHTING- RIVER BLOCKS- B41 & B44
C.233	LANDSCAPE - R.O.W LEVEL 5 PLANTING CHART - RIVER BLOCKS B41 & B44
C.236	PUBLIC OPEN SPACE / BONUS PLAN - B41 & B44
C.237	LANDSCAPE - LAWN EXHIBIT - B41 & B44
C.240	CONSTRUCTION DETAILS - GREENWAY
C.241	CONSTRUCTION DETAILS - GREENWAY
C.242	CONSTRUCTION DETAILS - MURAL WALL
C.243	CONSTRUCTION DETAILS - MURAL WALL
C.244	CONSTRUCTION DETAILS - MURAL WALL
CIVIL	

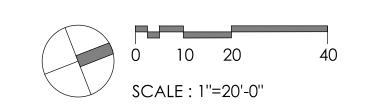
CIVIL

C.250	NOTES AND LEGEND
C.251	EXISTING CONDITIONS AND DEMOLITION PLAN
C.252	TREE PROTECTION PLAN
C.253	BLOCK 41 UTILITY PLAN
C.254	BLOCK 44 UTILITY PLAN
C.255	BLOCK 41 GRADING PLAN
C.256	BLOCK 44 GRADING PLAN
C.257	BLOCK 41 STORMWATER PLAN
C.258	BLOCK 44 STORMWATER PLAN
C.259	GREENWAY EXISTING CONDITIONS - SOUTH
C.260	GREENWAY EXISTING CONDITIONS - NORTH
C.261	GREENWAY SITE PLAN - OVERALL
C.262	GREENWAY SITE PLAN - SOUTH
C.263	GREENWAY SITE PLAN - NORTH
C.264	GREENWAY CONSTRUCTION MANAGEMENT PLAN - OVERALL
C.265	GREENWAY CONSTRUCTION MANAGEMENT PLAN - SOUTH
C.266	GREENWAY CONSTRUCTION MANAGEMENT PLAN - NORTH

GENERAL APPENDIX

APP.200	AERIAL PERSPECTIVE FROM SE	
APP.201	AERIAL PERSPECTIVE FROM NE	
APP.202	AERIAL PERSPECTIVE FROM NW	
APP.203	AERIAL PERSPECTIVE FROM SW	
APP.204	SITE CONTEXT / GROUND FLOOR USES	
APP.205	DIAGRAMS - TOWER SETBACK	
APP.206	CONTEXT - PANORAMIC @ OSPREY	
APP.207	CONTEXT - PANORAMIC @ ATWATER	
APP.208	CONTEXT - PANORAMIC @ MERIWETHER	
APP.209	AM BLOCKS - MODIFICATION 1 - TANDEM PARKING	
APP.210	AM BLOCKS - MODIFICATION 2 - BICYCLE PARKING	
APP.211	ALAMO BLOCKS - ADUSTMENT 1 - PARKING ACCESS	







PLANTING TABULATIONS PER SECTION 33.510.253 E.5.f LANDSCAPING

Greenway Landscaping- Eighty (80) percent of the area that is not covered by buildings, trails, or other allowed non-landscaped area must be covered by shrubs or ground cover, and all trees required by this paragraph must be installed in the ground and healthy.

	REQUIRED	PROVIDED	
	Subarea 1 , the area beginning 3 feet above the ordinary low water line to the high water line (12,801 s.f.) must meet the following requirements:		
1.	80% of the area must be covered in shrubs or ground		
	cover. 12,801 s.f. x 80%= 10,241 s.f. req. planting	-10,559 s.f. planted area provided	10,966 sf
2.	Shrubs. At least 80% of the required planting must be	40.070 6 1 1	
	planted in shrubs; 10,241 s.f. x 80% = 8,193 s.f. req. shrubs	10,076 s.f. shrubs provided	
3.	Trees. Trees are not required, but are allowed	No trees are planted in subarea 1.	_ 10 TREES
4.	Ground cover. All of the required landscaped area that is not planted with shrubs or trees must be fully covered with ground cover plants	483 s.f. ground cover provided on remaining area	890 sf
5.	Plant list. Only plants listed in the South Waterfront Greenway	All required planting within subarea 1 is	
	Subarea 1 Plant List may be planted.	from Subarea 1 Plant List.	
6.	Installation of landscaping. All planting must be of a sufficient size and number to meet the coverage standards within five years. Planting is not allowed during the summer.	All plant material will meet min. size and spacing requirements to meet coverage standards within five years.	

Subarea 2, the area beginning at the ordinary high water and measuring 45' landward of the top of bank (31,956 s.f. <u>5,784 s.f. trails = **26,172 s.f.**)</u> must meet the following requirements:

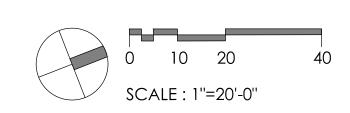
80% of the area must be covered in shrubs or ground cover26,172 s.f. x 80% = 20,938 s.f. req. planting 25,557 sf	26,962 s.f. planted area provided	26,370 sf
Shrubs. At least 80% of the required landscaped area must be	, 16.260 s.f . shrubs provided	23,060 sf
planted in shrubs. $\frac{20,938 \text{ s.t.} \times 80\%}{16,759} \text{ s.t.}$ req. shrubs 20,446	st	_
Trees. At least one tree must be planted for every 400 square feet		
of required landscaped area.	53 trees provided	67 TREES
20,938 s.f./ 400 s.f. = 53 trees. 25,557 sf/ 400 sf = 63 Trees		
Ground cover. All of the required landscaped area that is not	40.702 a f ground cover provided on	
planted with shrubs must be fully covered with ground	•	3,310 sf
cover plants	Temaning area.	
Plant list. Only plants listed in the South Waterfront Greenway	All planting within subarea 2 is from	
Subarea 2 and 3 Plant list of the Portland Plant List may be	Subarea 2 and 3 Plant List and eight	
planted. At least eight different species must be planted.	species are provided	
Installation of landscaping. All planting must be of a sufficient size	All plant material will meet min. size and	_
and number to meet the coverage standards within five years.	spacing requirements to meet coverage	
	Shrubs. At least 80% of the required landscaped area must be planted in shrubs. 20,938 s.f. x 80% = 16,750 s.f. req. shrubs 20,446 Trees. At least one tree must be planted for every 400 square feet of required landscaped area. 20,938 s.f./ 400 s.f. = 53 trees. 25,557 sf/ 400 sf = 63 Trees Ground cover. All of the required landscaped area that is not planted with shrubs must be fully covered with ground cover plants Plant list. Only plants listed in the South Waterfront Greenway Subarea 2 and 3 Plant list of the Portland Plant List may be planted. At least eight different species must be planted. Installation of landscaping. All planting must be of a sufficient size	cover. 26,172 s.f. × 80% = 20,038 s.f. req. planting 25,557 sf Shrubs. At least 80% of the required landscaped area must be planted in shrubs. 20,938 s.f. × 80% = 16,750 s.f. req. shrubs 20,446 Trees. At least one tree must be planted for every 400 square feet of required landscaped area. 20,038 s.f. / 400 s.f. = 53 trees. Ground cover. All of the required landscaped area that is not planted with shrubs must be fully covered with ground cover plants Plant list. Only plants listed in the South Waterfront Greenway Subarea 2 and 3 Plant list of the Portland Plant List may be planted. At least eight different species must be planted. Installation of landscaping. All planting must be of a sufficient size 16,260 s.f. shrubs provided 16,260 s.f. shrubs provided

standards within five years.

standards within five years.

Subarea 3, the area beginning 45' landward of the top of bank to 100' landward of top of bank (36,897 s.f. - 12,833 s.f. trails = **13,470 sf** 24,064 s.f.) must meet the following requirements: 23,427 sf

•	1. 80% of the area must be covered in shrubs or ground cover. 24,064 s.f. x 80%= 19,251 s.f. req. planting 18,742 sf	23,212 s.f. planted area provided	20,197 sf
	2. Shrubs. At least 60% of the required landscaped area must be		- (excluding la
4	planted in shrubs. At least 50% of the shrubs used to meet this requirement must be listed in the South Waterfront Greenway	13,296 s.f. shrubs provided	12,017 sf
	Subarea 2 and 3 Plant list. 49,251 s.f. x 60%= 41,551 s.f. shrubs	I1, <mark>245 sf</mark>	_
,	3. Trees. At least 1 tree must be planted for every 1,000 s.f. of		
	landscaped area. At least 50% of the trees used to meet this		
	requirement must be listed in the South Waterfront Greenway	49 trees provided	27 TREES
	Subarea 2 and 3 Plant List of the Portland Plant List.		
	$\frac{19,251 \text{ s.f.}}{1,000 \text{ s.f.}} = 19 \text{ trees required}$ 18,742 sf/ 1,000 sf = 19	∂ Trees	_
•	4. Ground cover. All of the required landscaped area that is not planted with shrubs must be fully covered with ground		
	cover plants. At least 50% of the ground cover plants must be	9,916 s.f. groundcover provided on	8,180 sf
	listed in the South Waterfront Greenway Subarea 2 and 3 Plant	remaining area	
	List.		_
	Plant list. 50% of required planting must utilize the South	50% of the required planting within subare	1 2
	Waterfront Greenway Subarea 2 and 3 Plant List. Plants included	3 is from the Subarea 2 and 3 Plant List	a
	on the Nuisance Plants List or Required Eradication List of the	3 is from the Subarea 2 and 3 r lant List	
	Portland Plant List are prohibited.		_
;	5. Installation of landscaping. All planting must be of a sufficient size	All plant material will meet min. size and	
	and number to meet the coverage standards within five years.	spacing requirements to meet coverage	





BLOCK 41 DUAL TRAIL SYSTEM- — SEPARATE BIKES AND PEDESTRIANS – NATIVE STONE LIMIT OF SUBAREA 3 BENCHES -12' WIDE BIKE was good of LIGHTING – RETAINING WALL WITH GUARD RAIL SUBAREA 2 - CONNECT TO EXISTING TRAILS TOP OF BANK LINE SUBAREA 1 - ORDINARY HIGH WATER LINE 10' WALKING TRAIL - ORDINARY LOW WATER LINE

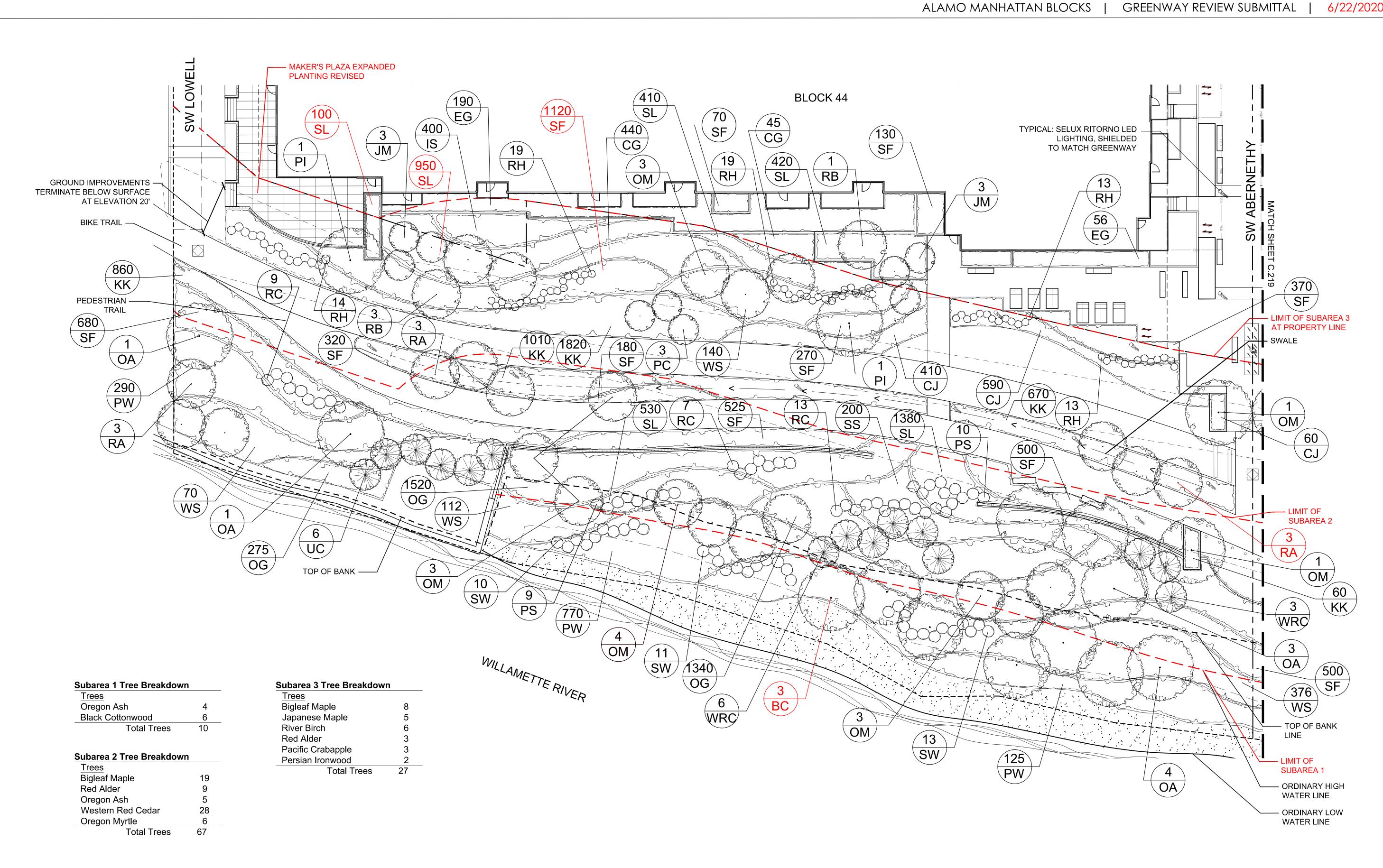
GREENWAY/ SUB-AREAS 1, 2, & 3 PLANT LIST IMAGES

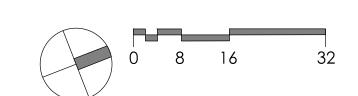


Spirea douglasii

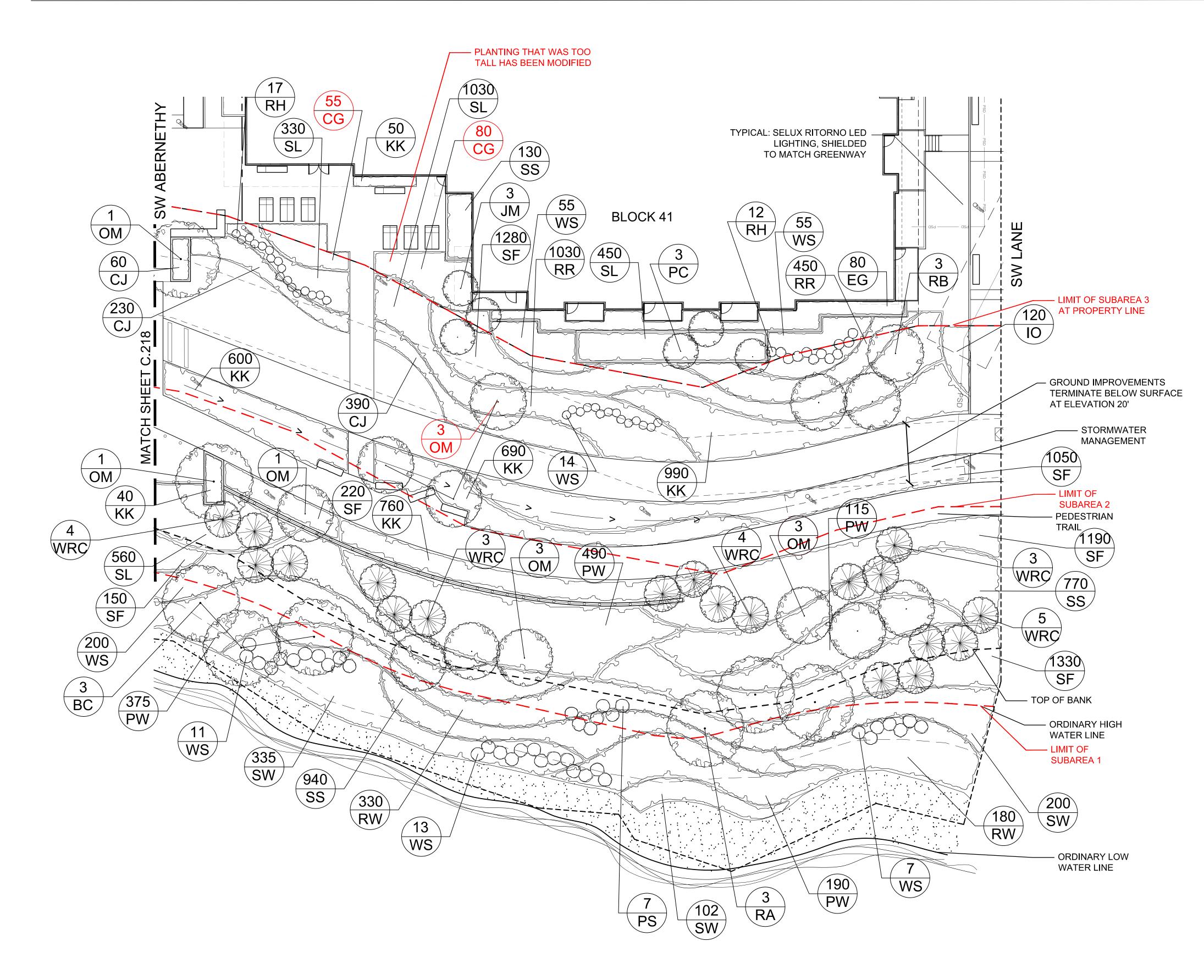
Vancouveria hexandra











Greenway	/ Public Space	Plant List
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Greenway / Public Space Flant List					
Key	Scientific Name	Common Name	SIZE	SPACING	
	Trees		1		
OM	Acer macrophyllum	Bigleaf Maple	4" cal.	Per Plan	
JM	Acer palmatum 'Emperor 1'	Emperor 1 Japanese Maple	3" cal.	Per Plan	
RA	Alnus Rubra	Red Alder	3" cal.	Per Plan	
RB	Betula nigra 'Cully'	'Heritage' River Birch	3" cal.	Per Plan	
OA	Fraxinus latifolia	Oregon Ash	3" cal.	Per Plan	
PC	Malus fusca	Pacific Crabapple	8'-10' ht.	Per Plan	
PI	Parrotia persica 'Vanessa'	Persian Ironwood 'Vanessa'	4" cal.	Per Plan	
ВС	Populus trichocarpa	Black Cottonwood	3" cal.	Per Plan	
WRC	Thuja plicata	Western Red Cedar	8'-10' ht.	Per Plan	
UC	Umbellularia californica	Oregon Myrtle	3" cal.	Per Plan	
	Shrubs	•			
EG	Abelia grandiflora	'Edward Goucher' Abelia	5 gal.	2'-6" o.c.	
	'Edward Goucher'		9	_ 0 0.0.	
PS	Amelanchier alnifolia	Pacific Serviceberry	5 gal.	4'-0" o.c.	
RR	Cistus species	Rockrose	1 gal.	12" o.c.	
SL	Gaultheria shallon	Salal	1 gal.	12" o.c.	
IS	Iris sibirica	Siberian Iris	1 gal.	12" o.c.	
OG	Mahonia aquifolium	Tall Oregon Grape	1 gal.	12" o.c.	
CG	Mahonia repens	Creeping Oregon Grape	5 gal.	24" o.c.	
SF	Polystichum munitum	Sword Fern	1 gal.	12" o.c.	
RH	Rhododendron 'PJM Compacta'	'PJM Compact' Rhododendron	5 gal.	3'-0" o.c.	
RC	Ribes sanguineum	Red-flowering Currant	5 gal.	2'-6" o.c.	
RW	Salix fluviatilis	Columbia River Willow	5 gal.	24" o.c.	
PW	Salix lucida	Pacific Willow	5 gal.	24" o.c.	
SW	Salix sitchensis	Sitka Willow	5 gal.	24" o.c.	
WS	Spirea douglasii	Western Spirea	5 gal.	2'-6" o.c.	
DV	Viburnum davidii	David Viburnum	5 gal.	2'-6" o.c.	
	Ground Cover				
KK	Arctostaphylos uva ursi	Kinnikinnick	1 gal.	12" o.c.	
SS	Carex obnupta	Slough Sedge	1 gal.	12" o.c.	
CJ	Trachelospermum	Confederate Jasmine	1 gal.	12" o.c.	
	jasminoides				
Ю	Vancouveria hexandra	White Inside-Out Flower	1 gal.	12" o.c.	
	•				

Subarea	1	Planting	Breakdown
Shrubs			

Columbia River Willow	975 sf
Pacific Willow	3,742 sf
Sitka Willow	2,219 sf
Western Spirea	3,140 sf
Subtotal	10,076 sf
Ground Cover	
Slough Sedge	890 sf
Total Planting	10,966 sf

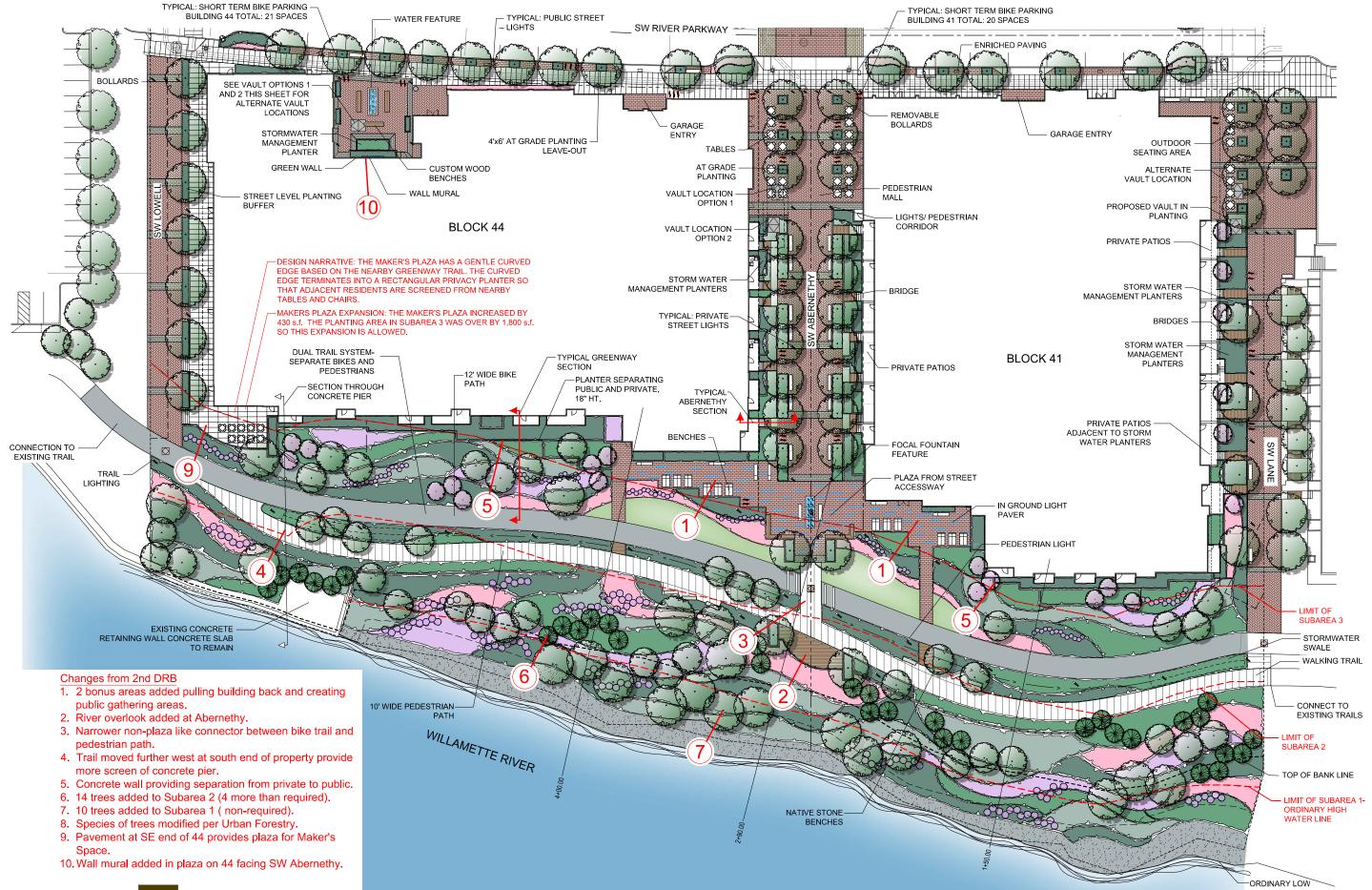
Subarea 2 Planting Break	down
Shrubs	
Pacific Serviceberry	530
Salal	2,695
Tall Oregon Grape	3,200
Sword Fern	5,460
Red-flowering Currant	410
Columbia River Willow	1,583
Pacific Willow	5,718
Sitka Willow	935
Western Spirea	2,529
Subtota	I 23,060
Ground Cover	
Kinnikinnick	2,205
Slough Sedge	1,105
Subtota	I 3,310
Total Planting	26 370

	_		
Subarea	3	Planting	Breakdown

<u>Siliubs</u>	
'Edward Goucher' Abelia	33
Rockrose	360
Salal	3,140
Siberian Iris	60
'PJM Compact' Rhododeno	Iron 640
Creeping Oregon Grape	875
Sword Fern	5,090
Western Spirea	1,597
Subtotal	12,017
Ground Cover	
Kinnikinnick	6,080
Confederate Jasmine	1,980
White Inside-Out Flower	120
Subtotal	8,180
Total Planting	20,197

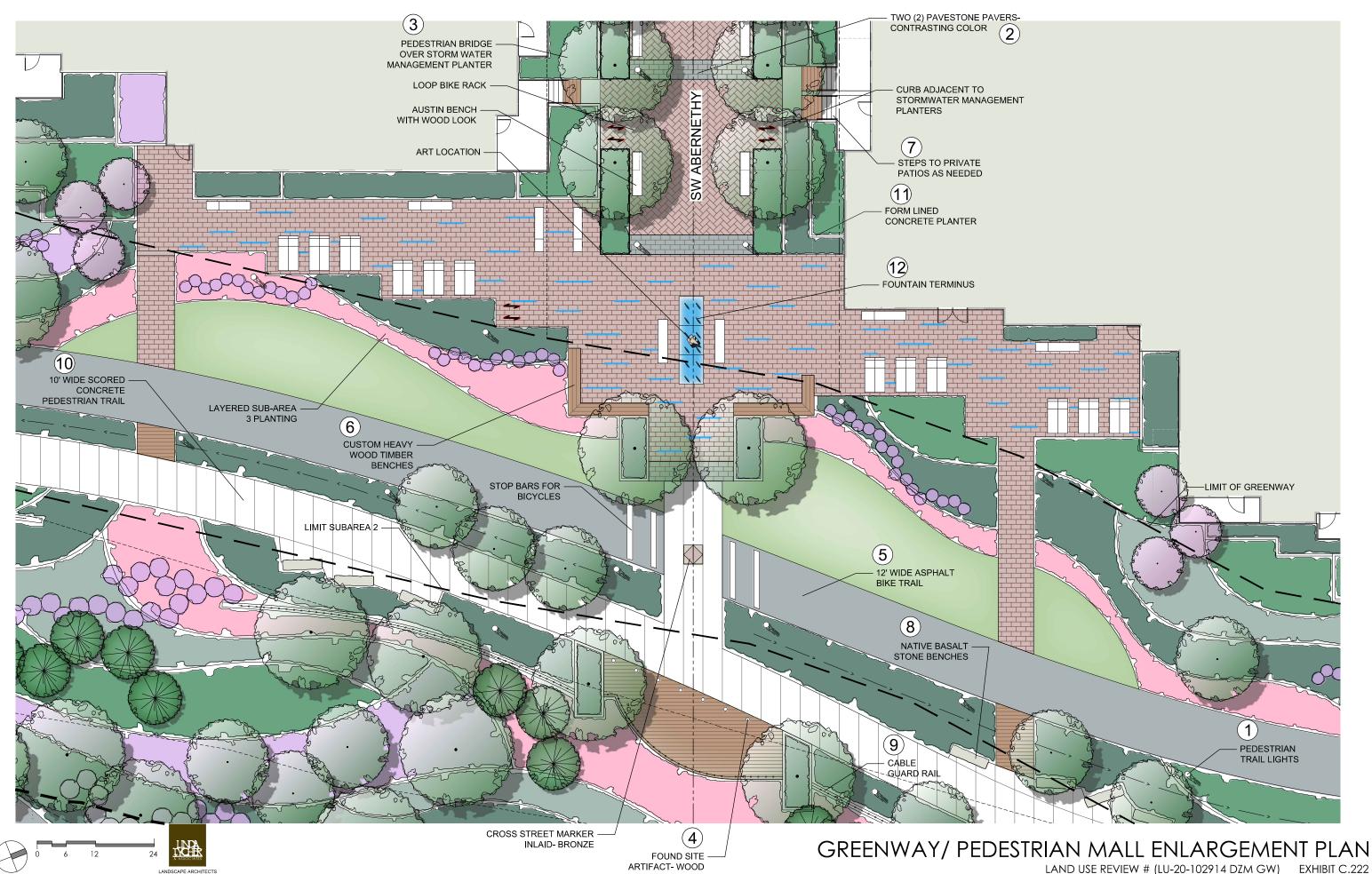












BOLLARD

DECORATIVE PEDESTRIAN LIGHT - SELUX RITORNO



PEDESTRIAN MALL CONCRETE PAVERS, TWO (2) CONTRASTING COLORS



WOOD BRIDGES OVER RAIN GARDENS

2

6

10



FOUND ARTIFACTS- PIER POSTS USED AS BOLLARDS





12' WIDE ASPHALT BIKE TRAIL



HEAVY TIMBER BENCH- MARITIME FEEL

(5)



PATIO CONNECTION TO PEDESTRIAN MALL



NATIVE BASALT STONE BENCH



CABLE GUARD RAIL



10' WIDE SCORED CONCRETE PEDESTRIAN TRAIL

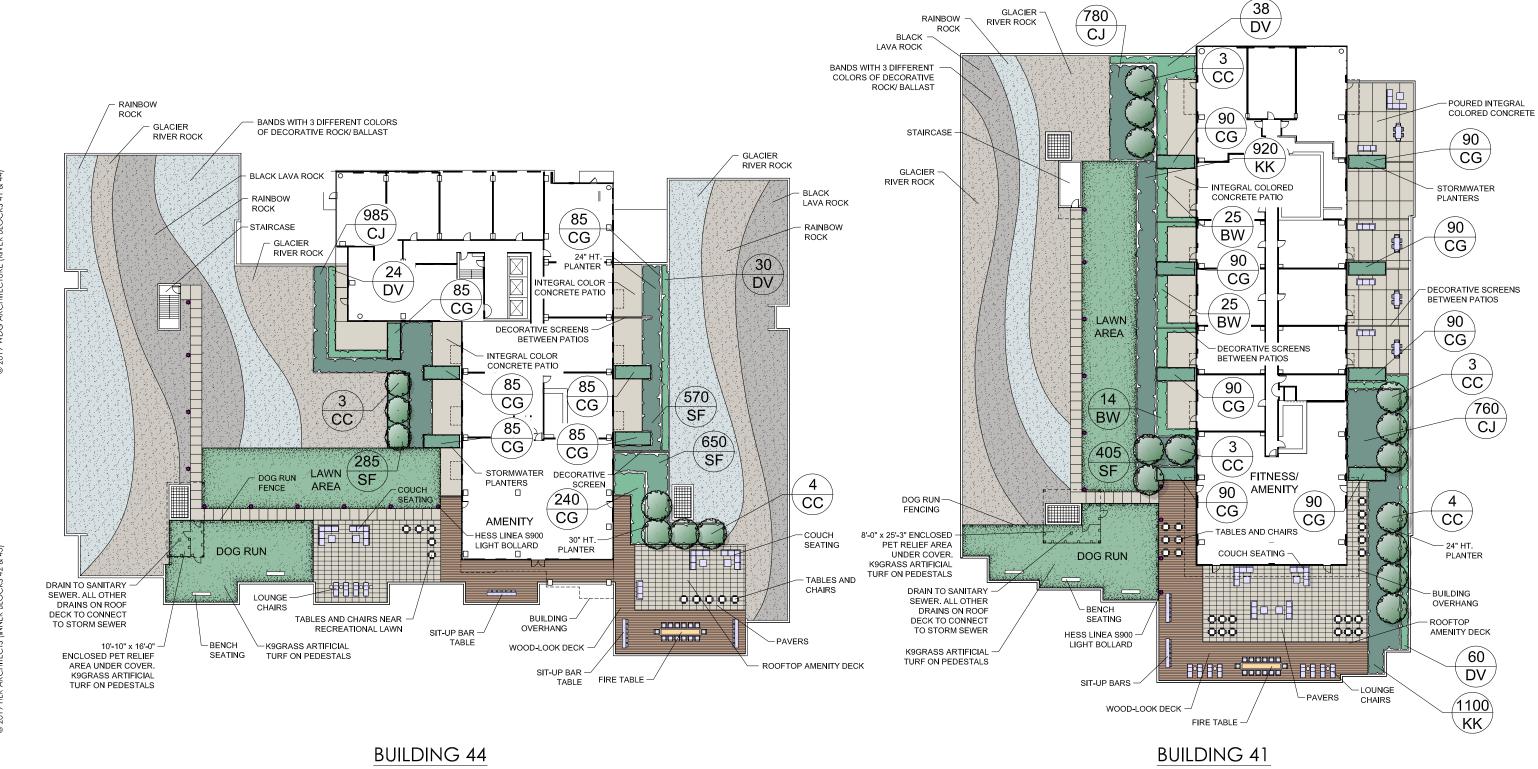


FORM LINED CONCRETE PLANTER



FOUNTAIN AT TERMINUS

















TYPICAL PRIVATE PATIO SECTION AT GREENWAY



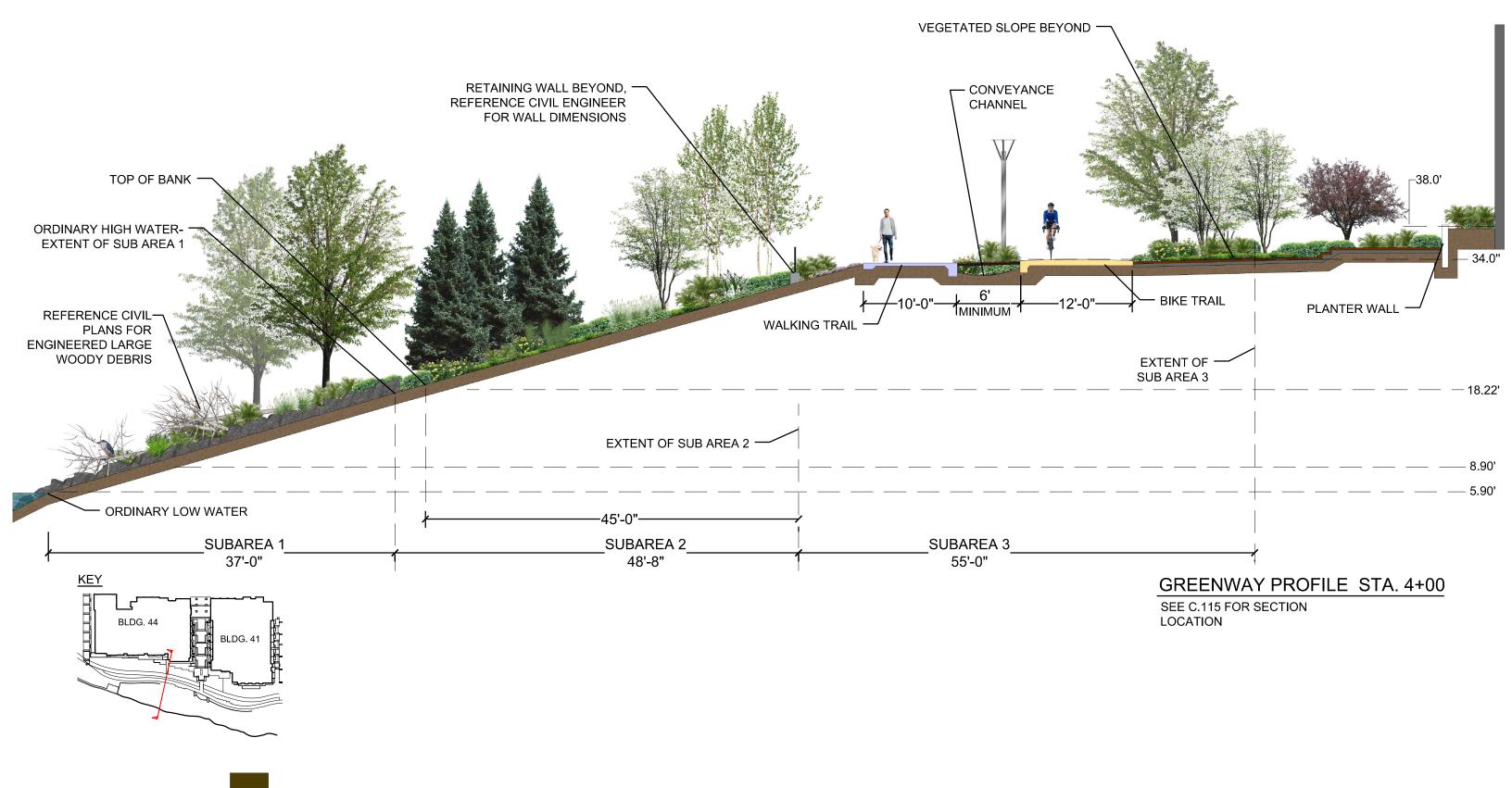


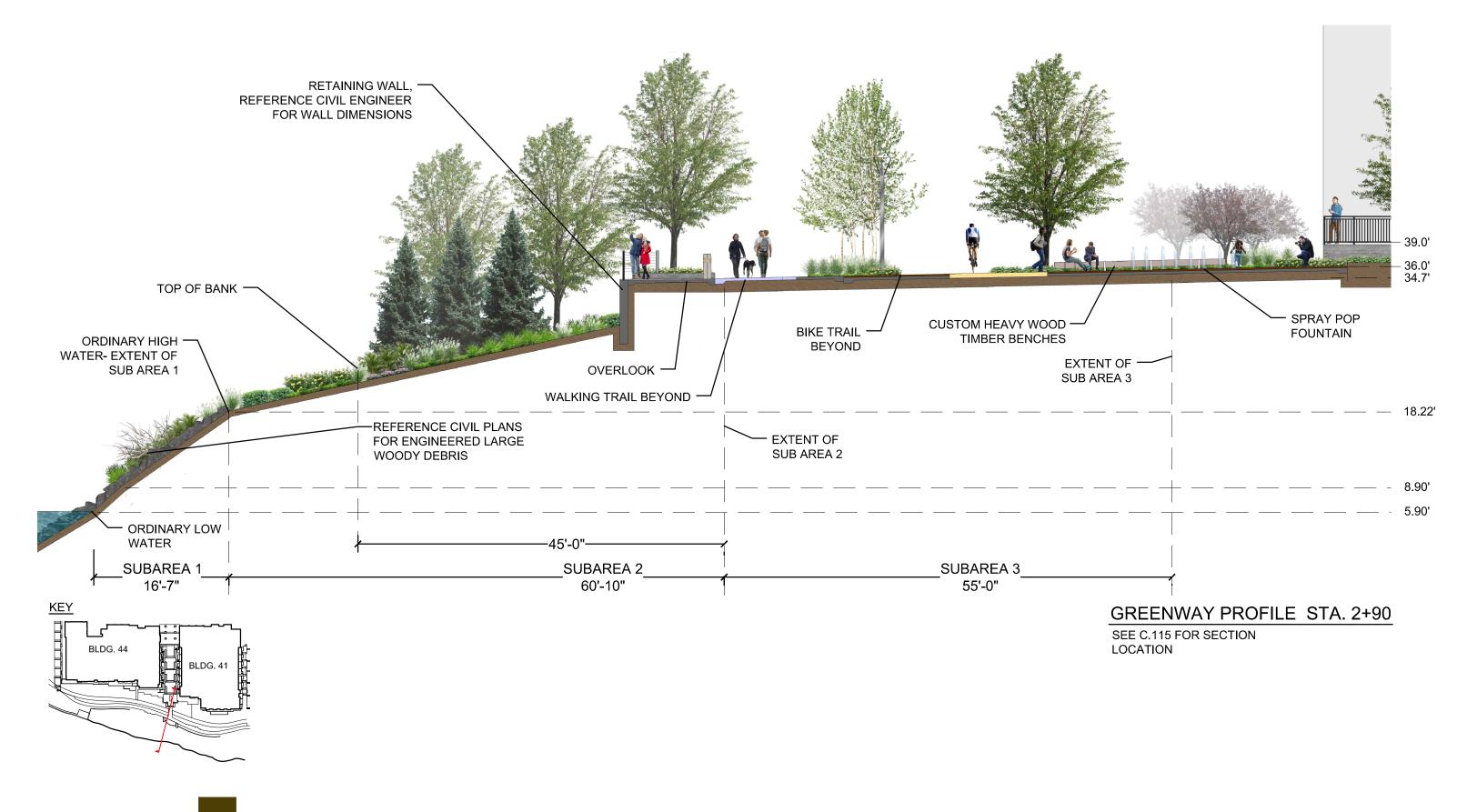


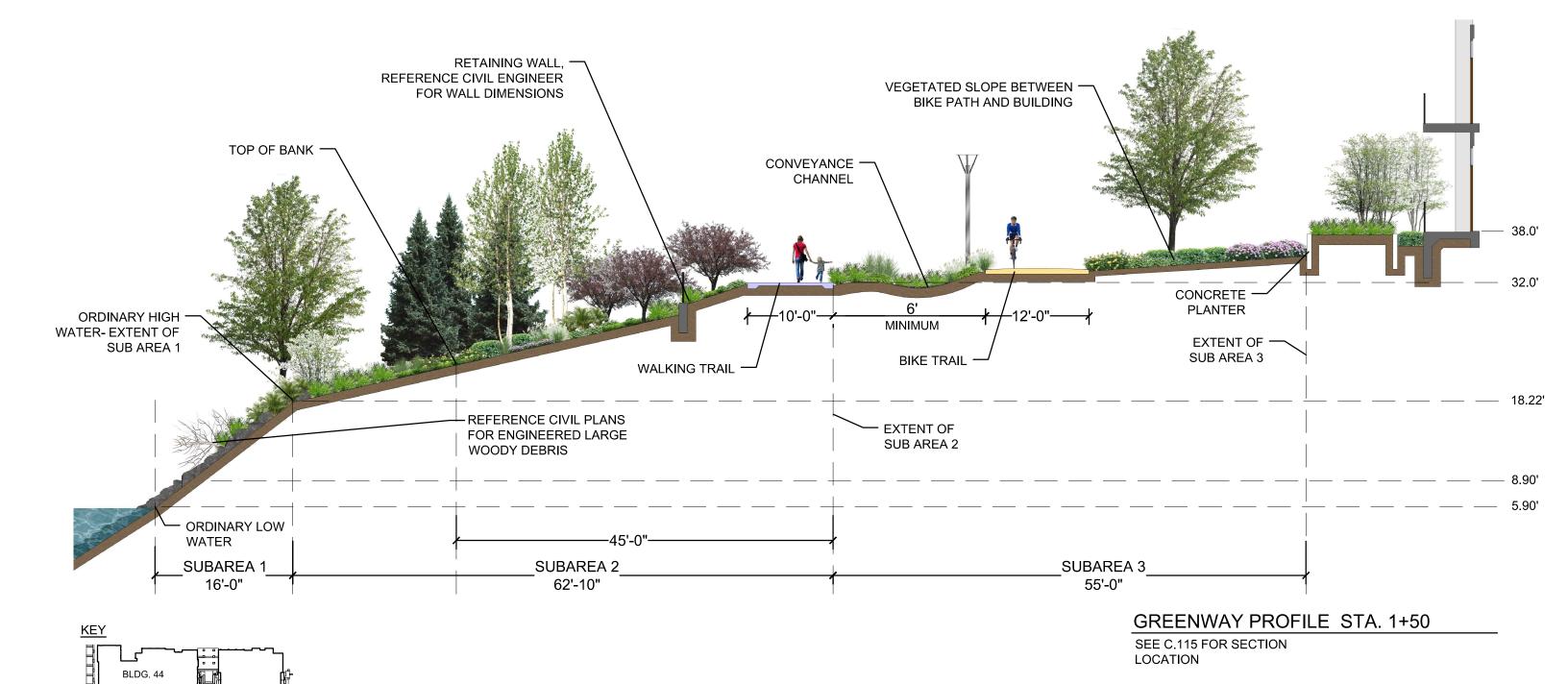
TYPICAL PRIVATE PATIO SECTION AT SW ABERNETHY







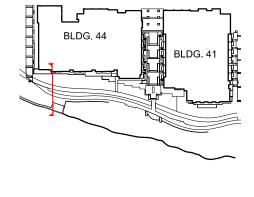






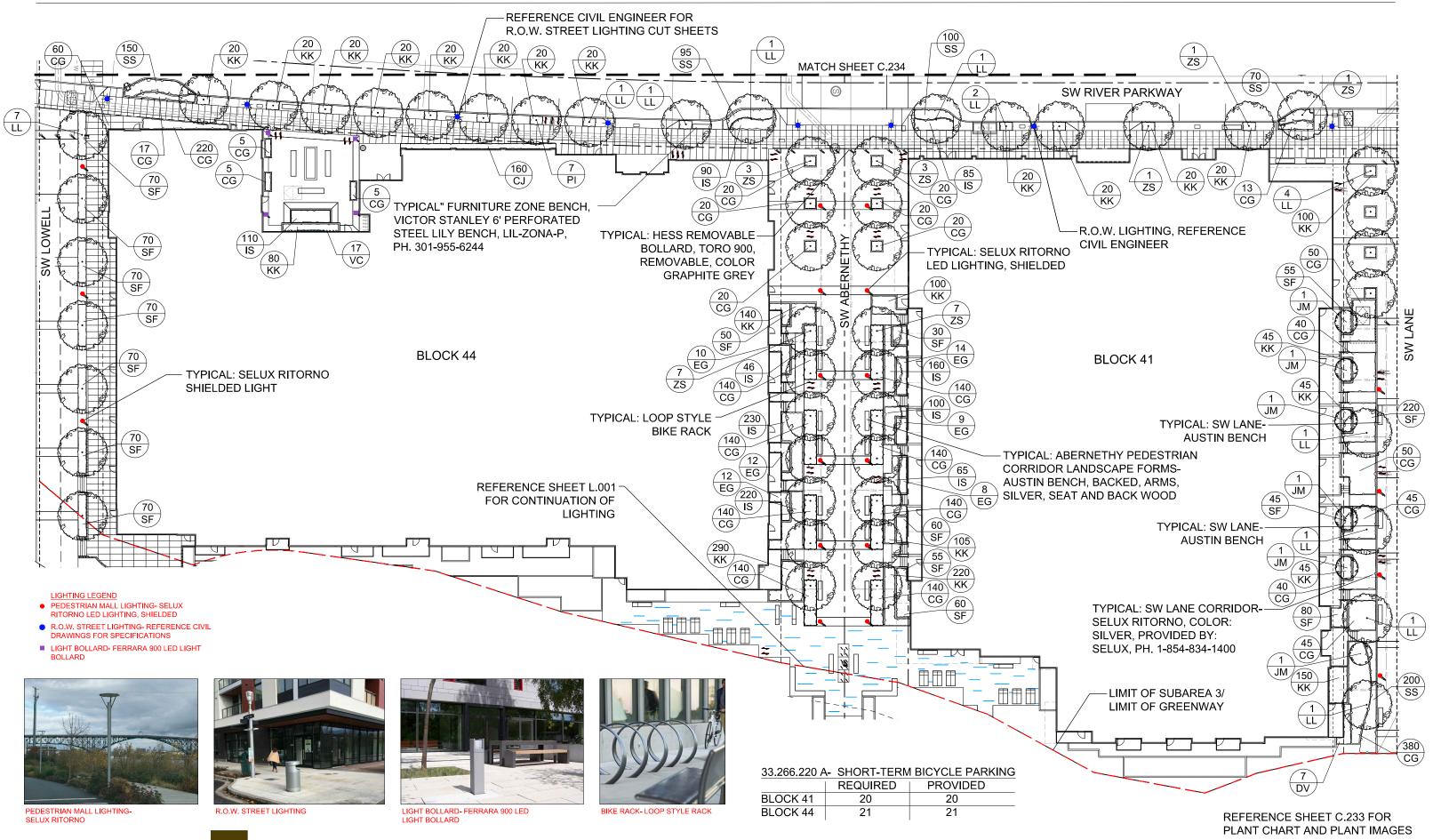
CONCRETE PIER SECTION

SEE C.115 FOR SECTION LOCATION



<u>KEY</u>





LANDSCAPE R.O.W., PEDESTRIAN MALLS, LEVEL 5 PLANT LIST IMAGES



Prunis virginiana Parrotia persica 'Canada Red'



'Vanessa'



Acer palmatum 'Emperor I'



Tilia cordata 'Greenspire'



Zelkova serrata 'Village Green'



Abelia grandiflora 'Edward Goucher'



Iris sibirica



Lavandula angustifolis Mahonia repens "Hidcote Blue'





Polystichum munitum



Viburnum davidii



Carex obnupta



Arctostaphylos uva ursi



Trachelospermum jasminoides



Parthenocissus quinquefolia

Public R.O.W. - Level 5 - Pedestrian Mall Plant List

Key	Scientific Name	Common Name	SIZE	SPACING
	Trees			
CC	Prunus virginiana 'Canada Red'		3" cal.	Per Plan
PΙ	Parrotia persica 'Vanessa'	Persian Ironwood 'Vanessa'	4" cal.	Per Plan
JM	Acer palmatum 'Emperor 1'	Emperor 1 Japanese Maple	3" cal.	Per Plan
LL	Tilia cordata 'Greenspire'	'Greenspire' Littleleaf Linden	4" cal.	Per Plan
ZS	Zelkova serrata 'Village Green'	'Village Green' Zelkova	4" cal.	Per Plan
	Shrubs			
EG	Abelia grandiflora	'Edward Goucher' Abelia	5 gal.	2'-6" o.c
IS	Iris sibirica	Siberian Iris	1 gal.	12" o.c.
EL	Lavandula angustifolia	Hidcote Blue	5 gal.	2'-6" o.c.
	'Hidcote Blue'	English Lavender		
CG	Mahonia repens	Creeping Oregon Grape	1 gal.	12" o.c.
SF	Polystichum munitum	Sword Fern	1 gal.	12" o.c.
DV	Viburnum davidii	David Viburnum	5 gal.	2'-6" o.c.
	Ground Cover			
SS	Carex obnupta	Slough Sedge	1 gal.	12" o.c.
KK	Arctostaphylos uva ursi	Kinnikinnick	1 gal.	12" o.c.
CJ	Trachelospermum	Confederate Jasmine	1 gal.	12" o.c.
	jasminoides			
VC	Parthenocissus quinquefolia	Virginia Creeper	1 gal.	12" o.c.

MARITIME BOLLARDS

WOOD PIER POSTS

CONSTRUCTED FROM EXISTING

WOOD OVERLOOK

WITH ILLUMINATED

GUARDRAIL

PROJECT IMAGES



INSET LIGHT BANDS IN BONUS PLAZAS

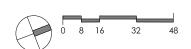


WATER FEATUERE AT TERMINUS OF ABERNETHY



ILLUMINATED HANDRAIL ON OVERLOOK







CABLE GUARDRAIL AT OVERLOOK

SCALE: 3/4" = 1'-0"

TO 1/4" THICK BOTTOM STEEL PLATE

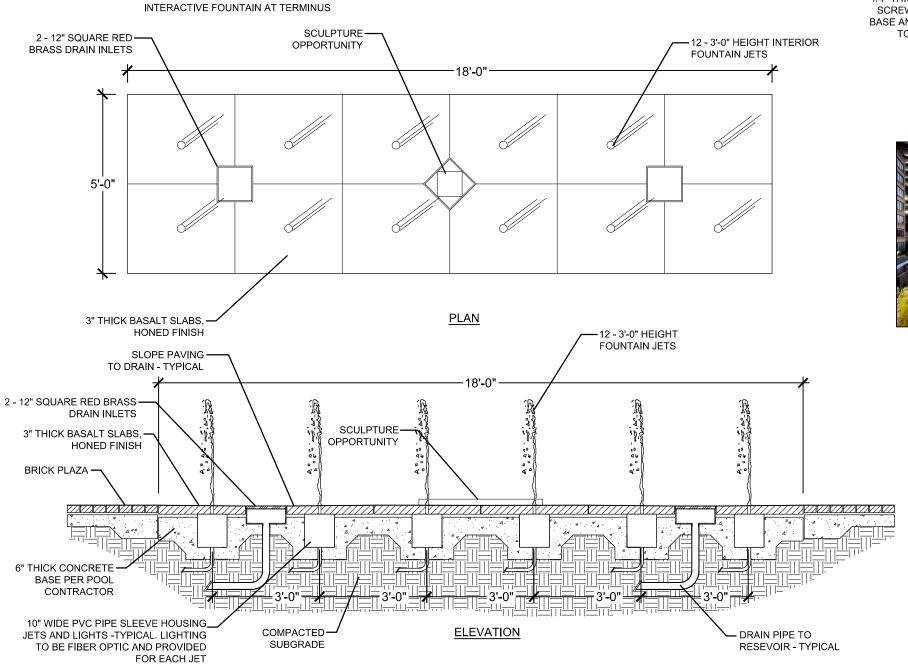
SCALE: 1/2" = 1'-0"

SCULPTURAL BENCH SEATING
AT BONUS PLAZA SCALE

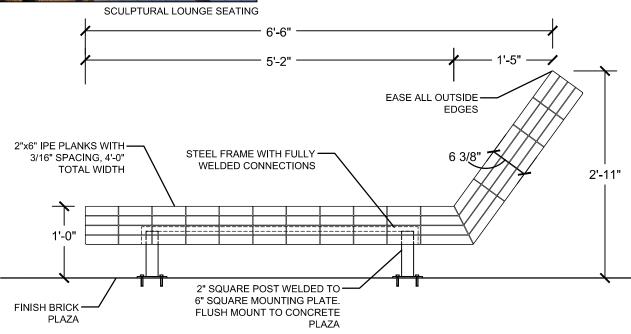


SCULPTURAL BENCH SEATING

STEEL CONNECTOR -PLATE SCREWED TO SOLID WOOD END 1'-2" 2"x8" IPE PLANKS THICK STEEL SPACER SOLID WOOD BASE. PLATE WELDED TO CUT FROM SINGLE -1" THICK STEEL SPACER PLATE CONNECTOR PLATE STOCK WELDED TO BOTTOM PLATE 1/4" RECESS-CUT OUT FOR -L-BRACKET 1/4" THICK L-BRACKET 2"x8" IPE PLANKS 2'-0" SCREWED TO WOOD BASE AND ANCHORED 1/2" DIA. THROUGH BOLT TO BRICK PLAZA 3"DIA. STEEL PIPE WELDED





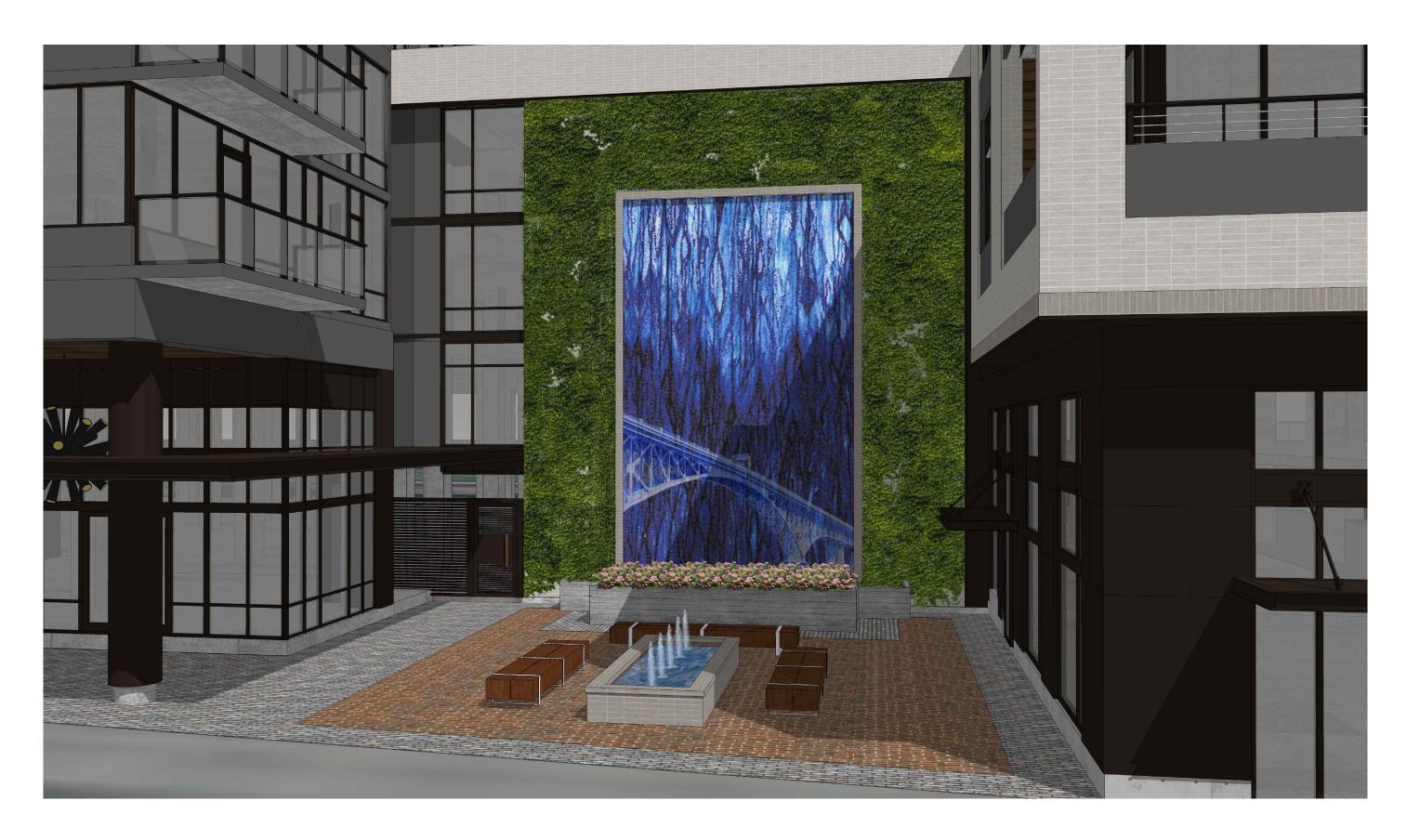


INTERACTIVE FOUNTAIN DETAIL SCALE: 3/8" = 1'-0"

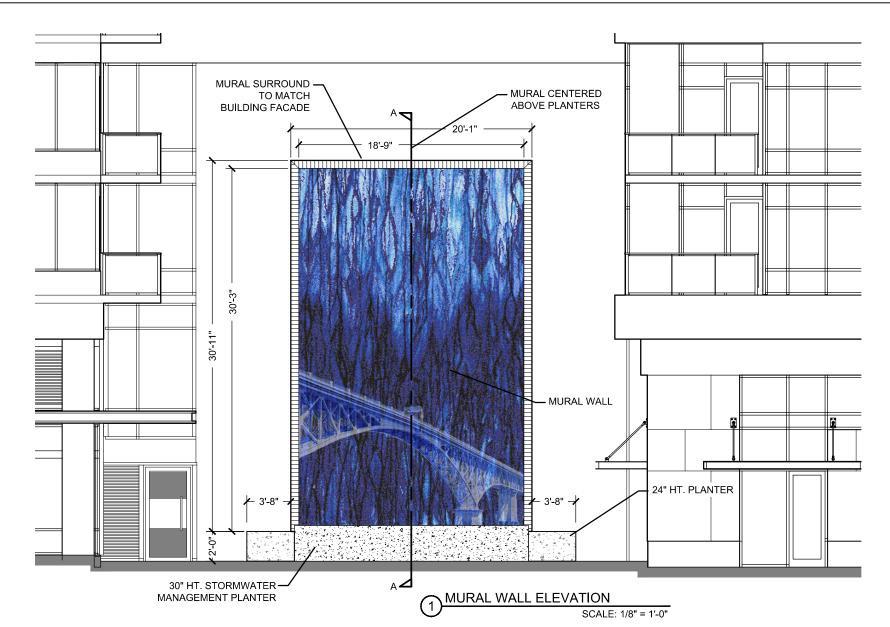




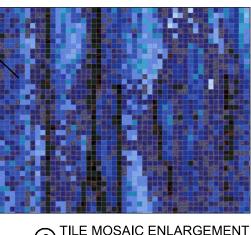








CUSTOM GLASS MURAL WALL-**URBN COLLECTION** COLOR: COBALT 3/4" VITREOUS GLASS PROVIDED BY: ARTAIC PH: 1-617-418-1928 artaic.com



3 TILE MOSAIC ENLARGEMENT



HISTORIC ROSS ISLAND BRIDGE
PHOTO- 1937 SCALE SCALE: NTS



- 1. ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE "ENGINEER OF RECORD". IF ERRORS OR OMISSIONS ARE FOUND AFTER THE PERMIT HAS BEEN ISSUED, THE PERMITTEE OR ITS CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD (BRIAN A. BALLERINI OF OTAK, INC. AT 503-415-2416) TO HAVE THE CORRECTIONS MADE. ALL CHANGES WILL REQUIRE THE APPROVAL OF THE CITY ENGINEER PRIOR TO THE
- 2. THE CONTRACTOR SHALL HAVE AT ALL TIMES ON-SITE, THE APPROVED CONSTRUCTION DRAWINGS & SPECIAL SPECIFICATIONS, CITY OF PORTLAND STANDARD SPECIFICATIONS & STANDARD DRAWINGS, AND ALL OTHER APPLICABLE SPECIFICATIONS BOOKS AND MANUALS. ELECTRONIC EQUIVILENT ARE
- 3. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THESE DRAWINGS AND THE APPLICABLE REQUIREMENTS OF THE 2010 EDITION OF THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS AND ALL REVISIONS AND SPECIAL SPECIFICATIONS.
- 4. A PRECONSTRUCTION CONFERENCE WITH CITY STAFF AND AN APPROVED TEMPORARY TRAFFIC CONTROL PLAN (ISSUED IN CONJUNCTION WITH A STREET /SIDEWALK CLOSURE PERMIT) ARE REQUIRED BEFORE COMMENCING WORK. SEE PERMIT FOR SCHEDULING A PRECONSTRUCTION CONFERENCE AND ACQUISTION OF THE TTCP.
- 5. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM FROM BENCH MARK NO. 3754, ELEVATION = 35.449, LOCATED AT SW MOODY AVE AND SW WHITAKER ST.
- 6. ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING [503.232.1987]. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL [811 OR 1-800-332-2344].

ENCROACHMENTS 7. STREET FURNISHINGS ARE SHOWN FOR REFERENCE ONLY. THE INSTALLATION OF ALL STREET FURNITURE INCLUDING BUT NOT LIMITED TO BENCHES, NON CITY INSTALLED BIKE RACKS, GARBAGE CANS, ELECTRICAL SYSTEMS (CONDUIT, CONDUCTORS, OUTLETS), AND PUBLIC ART, ARE NOT AUTHORIZED UNDER THIS PERMIT.

UNANTICIPATED CONTAMINATED MATERIAL

A SEPARATE REVOCABLE PERMIT IS REQUIRED

- 8. REMOVE AND DISPOSE (AT A PROPER LOCATION OR LANDFILL) ALL MATERIALS EXCAVATED FROM WORK IN THE RIGHT-OF-WAY. FOR DISPOSAL ON PRIVATE PROPERTY, SECURE A FILL PERMIT, PRIOR TO BEGINNING WORK FROM THE BUREAU OF DEVELOPMENT SERVICES (BDS). PROVIDE A COPY OF THE APPROVED FILL PERMIT TO THE STREET CONSTRUCTION INSPECTOR.
- FOR UNANTICIPATED CONTAMINATED MEDIA ENCOUNTERED, THE PERMITTEE/APPLICANT OR ITS AGENT SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE MANAGEMENT, AND DISPOSAL OF CONTAMINATED MEDIA ENCOUNTERED. THE PERMITTEE IS ALSO RESPONSIBLE FOR ALL RESULTANT DELAYS.
- THE PERMITTEE OR ITS AGENT SHALL PROVIDE THE CITY (ENGINEERING AND INSPECTION) WITH COPIES OF ALL DISPOSAL PERMITS FROM THE PERMITTED DISPOSAL FACILITY, ANALYTICAL RESULTS USED TO GAIN ACCEPTANCE OF THE CONTAMINATED MEDIA, AND DISPOSAL RECEIPTS/DAILY WEIGH SLIPS. DAILY WEIGH SLIP AMOUNTS SHALL BE CHECKED AGAINST INSPECTOR'S DAILY REPORTS. THE PERMITTEE MUST USE AN OREGON FACILITY FOR DISPOSAL OF THE CONTAMINATED MEDIA.

UTILITIES

- 9. UTILITIES SHOWN ON THESE PLANS ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY AND ARE NOT AUTHORIZED FOR INSTALLATION UNDER THE PUBLIC STREET IMPROVEMENT PERMIT. PRIVATE AND PUBLIC UTILITY COMPANIES ARE REQUIRED TO SECURE SEPARATE UTILITY PERMITS FROM THE PBOT FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- 10. COORDINATION OF ALL UTILITY RELOCATES, REMOVALS, OR INSTALLATION WITHIN THE LIMITS OF WORK IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR.
- 11. STORM AND SANITARY SEWERS ARE BEING CONSTRUCTED UNDER JOB # ????, AS APPROVED BY THE BUREAU OF ENVIRONMENTAL SERVICES.
- 12. WATER MAINS AND SERVICES ARE BEING CONSTRUCTED UNDER JOB # ????, AS APPROVED BY THE WATER BUREAU.

STREET PAVEMENT

- 13. ALL MANHOLE LIDS AND VALVE BOXES SHALL BE ADJUSTED TO FINISHED STREET GRADE.
- 14. THE STREET INSPECTOR WILL MAKE THE FINAL DETERMINATION OF THE LIMITS OF PAVEMENT RESTORATION, INCLUDING SAWCUT LINES AND SKIN PATCHING. THE PERMITTEE/CONTRACTOR SHALL CONSULT WITH THE STREET INSPECTOR PRIOR TO SAWCUTTING OR DEMOLISHING OF PAVEMENT.
- 15. SAWCUTS SHALL BE STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING PAVEMENT AND NEW PAVEMENT AND ALL NEW PAVEMENT JOINTS SHALL BE SAND SEALED.
- 16. EXISTING PAVEMENT SECTION WIDTHS OF 2 FEET OR LESS BETWEEN PROPOSED SAWCUT AND EXISTING PAVEMENT EDGE (I.E. UTILITY TRENCH REPAIR), SHALL BE RESTORED PER STD. DWG. P-505.
- 17. PAVEMENT SECTION SHALL BE AS SHOWN ON THE STREET TYPICAL SECTION(S) OR MATCH EXISTING PAVEMENT IF EXISTING IS A THICKER SECTION.

CURBS, SIDEWALKS, AND DRIVEWAYS

- 18. UTILITY LIDS, MANHOLE COVERS, VALVE COVERS (THAT ARE NOT SHOWN ON THESE CONSTRUCTION DRAWINGS) ARE NOT ALLOWED IN THE THROUGH PEDESTRIAN ZONE. THEY MUST BE PLACED IN THE SIDEWALK FURNISHING OR BUILDING ZONE IF THE PROPER PBOT UTILITY PERMIT HAS BEEN SECURED.
- 19. FULL HEIGHT CURBS SHALL BE CONSTRUCTED AT ALL LOCATIONS UNLESS A NEW DRIVEWAY IS CONSTRUCTED AT THE SAME TIME AS THE CURB.
- 20. ALL SIDEWALK CONTRACTION JOINTS SHALL BE PER SECTION 00759.49 "CONTRACTION JOINTS" OF THE STANDARD CONSTRUCTION SPECIFICATION AND CITY STANDARD DWG P-551.
- 21.NO FUTURE DRIVEWAYS SHALL BE CONSTRUCTED UNLESS THERE IS A BUILDING PERMIT ISSUED FOR AN ON-SITE PARKING SPACE, OR OTHER APPROVAL FROM BDS.
- 22. CONTRACTOR MAY USE CONCRETE OR ASPHALT CONCETE FROM THE PRE-APPROVED MIX DESIGNS LIST IF AVAILABLE. IF NOT, THE CONTRACTOR WILL NEED TO SUMBIT A MIX DESIGN FOR APPROVAL.
- 23.USE ONLY APPROVED DETECTABLE WARNING DEVICES FROM THE CITY'S CONSTRUCTION PRODUCTS LIST
- 24. ALL DRIVEWAYS ARE REQUIRED TO HAVE A MINIMUM OF 3 FEET OF HARD SURFACING BEHIND SIDEWALK (SEE STD DWG P-536).

STORM SEWER PIPE

- 25. THE ACCEPTABLE INLET LEAD PIPE MATERIALS ARE AS FOLLOWS:
 - C.S.P. ASTM C_14, CLASS 3 WITH CLASS 'B' BEDDING AND BACKFILL
 - HDPE D 3035 SDR 26 WITH FLEXIBLE PIPE BEDDING AND GRANULAR BACKFILL
 - PVC ASTM D 3034 SDR 35 WITH FLEXIBLE PIPE BEDDING AND GRANULAR BACKFILL. PIPE BEDDING AND BACKFILL PER STANDARD PLAN NOS. P-100 AND P-101.
 - SURFACING PER STD. DWG. P-515, P-516 AND P-517.
- 26.FOR PLUGGING OF ABANDONED SEWER PIPES, AND FILLING ABANDONED PIPES, MANHOLES, AND CATCH BASINS, SEE SECTIONS 00490.43 AND 00490.44 RESPECTIVELY OF THE STANDARD SPECIFICATION.

CATCH BASINS AND INLETS

27.ALL CATCH BASIN AND INLETS SHALL BE CAST-IN-PLACE. CONSTRUCT CAST-IN-PLACE CATCH BASINS AND INLETS ACCORDING TO SECTION 00470.

TRAFFIC AND PARKING CONTROL

- 28. THE CONTRACTOR MUST ACQUIRE AN APPROVED TEMPORARY STREET USE PERMIT (TSUP) PRIOR TO CLOSURE OF ANY STREET, SIDEWALK, TRAVEL LANE OR PARKING LANE. THE TSUP IS ACQUIRED FROM THE PERMIT CENTER LOCATED AT 1900 SW 4TH AVENUE.
- 29. THE CONTRACTOR SHALL NOT REMOVE OR COVER ANY TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS, OR BARRICADES THAT ARE NOT IDENTIFIED ON THE APPROVED TEMPORARY TRAFFIC CONTROL PLAN.
- 30. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY TEMPORARY TRAFFIC CONTROL DEVICES (INCLUDING BUT NOT LIMITED TO THE FOLLOWING - SIGNS, PAVEMENT MARKINGS, AND BARRICADES) UNTIL THE PERMANENT TRAFFIC CONTROL DEVICES ARE INSTALLED.
- 31. WHEN WORK INTERFERES WITH THE OPERATION OF A TRIMET BUS OR BUS STOP, CONTACT TRIMET AT 503-962-4949 A MINIMUM OF 14 DAYS PRIOR TO CLOSING OR DISRUPTING TRIMET'S OPERATION.
- 32.THE CONTRACTOR SHALL INSTALL OR REINSTALL ALL PERMANENT TRAFFIC CONTROL SIGNING, CURB AND PAVEMENT MARKINGS, AND BARRICADES.
- 33. THE CONTRACTOR SHALL SUBMIT MATERIALS LIST FOR APPROVAL 14 DAYS PRIOR TO INSTALLING PERMANENT TRAFFIC CONTROL SIGNING, CURB AND PAVEMENT MARKINGS, AND BARRICADES.
- 34. ALL NEW SIGN MATERIALS SHALL COMPLY WITH SECTION 2910 OF THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS. ALL SIGNS SHALL BE TYPE III OR IV BACKGROUND SHEETING ON ALUMINUM SIGN BLANKS. SIGN TYPES FOR EACH SIGN, AS SPECIFIED IN SECTION 2910.02, ARE NOTED IN THE
- 35.SIGNS AND SIGN POSTS REMOVED BY THE PERMITEE OR ITS AGENT SHALL BE DELIVERED TO THE BUREAU OF MAINTENANCE, ALBINA YARD. CONTACT JIM BUHLER AT 503-823-4056 TO ARRANGE A DELIVERY TIME. REMOVE ALL SIGNS, CONCRETE AND DEBRIS FROM THE POST PRIOR TO DELIVERY.
- 36. ALL CURB AND PAVEMENT MARKING MATERIALS SHALL BE ON THE CITY'S CONSTRUCTION PRODUCTS LIST (CPL) OR THE STATE'S QUALIFIED PRODUCTS LIST (QPL). ALL MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURERS APPROVED APPLICATION PROCEDURE.
- 37. ALL LONGITUDINAL LINE WORK TO BE METHOD B (NON-PROFILE) EXTRUDED THERMOPLASTIC, 120 MILS
- 38. ALL TRANSVERSE LINE WORK, LEGENDS, SYMBOLS, AND ARROWS SHALL BE TYPE "B-HS" PREFORMED THERMOPLASTIC. BIKE LANE STENCILS, GREEN BICYCLE LANE MARKINGS, AND BIKE PATH RAILROAD MARKINGS SHALL BE 90 MILS THICK. ALL OTHER TRANSVERSE PAVMENT MARKINGS SHALL BE 120-125 MILS
- 39. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY CURB OR PAVEMENT MARKINGS DAMAGED, WORN OUT OR REMOVED DUE TO CONTRACTOR'S OPERATION.
- 40.IN METERED DISTRICTS: ALL PARKING CONTROL SIGNING, METERS, POSTS AND PAVEMENT STRIPING & MARKINGS WILL BE INSTALLED BY CITY FORCES. NOTIFY PARKING CONTROL AT 503-823-7275. ALL COSTS ASSOCIATED WITH THIS WORK WILL BE CHARGED TO THE PERMIT.
- OUTSIDE METERED DISTRICTS: PARKING CONTROL SIGNING WILL BE INSTALLED BY THE CONTRACTOR. CONTACT PARKING CONTROL AT 503-823-7275 14 DAYS PRIOR TO INSTALLATION TO IDENTIFY EXACT SIGN LOCATIONS.

STREET LIGHTING

41.IF UNDERGROUND CONDUITS AND WIRES FOR STREET LIGHT INSTALLATION IS REQUIRED OR IS DESIRED. THE PERMITTEE IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, AND COORDINATION OF INSTALLATION WITH THE APPROPRIATE UTILITY.

- 42.ALL TREE REMOVAL SHALL COMPLY WITH THE FEDERAL MIGRATORY BIRD TREATY ACT. SEE THE SPECIAL PROVISIONS FOR REQUIREMENTS PRIOR TO CUTTING OF ANY TREE.
- 43.ALL GROUND DISTURBANCES NEAR TREES REQUIRES ROOT INSPECTION!! CONTACT URBAN FORESTRY (URBAN FORESTRY AT 503-823-8733: FOR ROOT INSPECTIONS PRESS 3) PRIOR TO ALL EXCAVATIONS ADJACENT TO TREES. CONSULTATION WITH THE URBAN FORESTER IS REQUIRED BEFORE CUTTING OF
- 44.FOR ALTERNATE TREE SPECIES OR ALTERNATE TREE PLANTING LOCATION APPROVAL (PRIOR TO PLANTING), CONTACT URBAN FORESTRY AT 503-823-8733: TO LEAVE A MESSAGE FOR THE TREE INSPECTOR PRESS 5.

RETAINING WALLS

- 45.THE PERMITTEE OR ITS AGENT SHALL PROVIDE QUALITY ASSURANCE FOR ALL STRUCTURES AND STRUCTURAL EMBANKMENTS BY RETAINING THE SERVICES OF A COMPETENT CERTIFIED PROFESSIONAL TO MAKE ALL FIELD INSPECTIONS, MATERIAL TESTING AND REPORTS IN ACCORDANCE WITH THE APPROVED GEOTECHNICAL REPORT, THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS, ODOT MANUAL OF FIELD TEST PROCEDURES, ODOT NON-FIELDED TESTED MATERIALS ACCEPTANCE GUIDE. AND ODOT CONSTRUCTION MANUAL.
- THE PERMITTEE OR ITS AGENT SHALL SUBMIT THE INSPECTION REPORTS AND TEST RESULTS TO THE BUREAU OF TRANSPORTATION. SUBMIT TO THE FOLLOWING:
 - **TOOD LILES**
- BUREAU OF TRANSPORTATION
- 1120 SW 5TH AVENUE, SUITE 800 PORTLAND, OR 97204
- FAX: 503-823-6992
- EMAIL: TODD. LILES@PORTLANDOREGON.GOV

EROSION CONTROL

- 46.EROSION/SEDIMENTATION CONTROL (ESC) IS REQUIRED ON THIS PROJECT. IMPLEMENTATION OF THE ESC AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE OR IT'S AGENT UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED. THE PERMITTEE OR IT'S AGENT SHALL PROVIDE INLET PROTECTION TO DOWNSTREAM INLETS FROM THE SITE PER THE EROSION CONTROL MANUAL [MARCH 2008]. CATCH BASIN AND STORM DRAIN INLET PROTECTION SHALL BE INSTALLED PER DETAIL DRAWINGS 4.3-B AND 4.3-G.
- 47.AN EROSION/SEDIMENTATION CONTROL (ESC) PLAN IS REQUIRED ON THIS PROJECT. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE OR IT'S AGENT UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND THE VEGETATION/LANDSCAPING IS ESTABLISHED.
- 48. CONSTRUCTION OF ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH OAR 340-41-55 AND THE CITY OF PORTLAND EROSION CONTROL MANUAL [MARCH 2008].
- 49.APPROVAL OF THIS EROSION / SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER PROPOSED PROJECT DESIGN ELEMENTS.
- 50.THE PERMITTEE OR IT'S AGENT SHALL CLEARLY MARK WITH SURVEY FLAGGING THE CLEARING LIMITS OF THE WORK ZONE SHOWN ON THIS PLAN PRIOR TO BEGINNING EARTHWORK. DURING CONSTRUCTION, THE PERMITTEE OR IT'S AGENT SHALL MAINTAIN THE MARKED CLEARING LIMITS AND SHALL NOT DISTURB THE AREAS OUTSIDE OF THE WORK ZONE.
- 51. THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION. THE PERMITTEE OR IT'S AGENT SHALL INSPECT THESE MEASURES DAILY AND UPGRADE THEM TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE WORK ZONE.
- 52.INSTALL A "GRAVEL CONSTRUCTION ENTRANCE" AT EACH POINT OF ENTRY TO THE CONSTRUCTION SITE ACCORDING TO DETAIL DRAWING 4.2-A OF THE EROSION CONTROL MANUAL [MARCH 2008].

FOR GRADING PERMITS AND STRUCTURAL FILLS

- 53.THE PERMITTEE OR IT'S AGENT SHALL RETAIN THE SERVICES OF A GEOTECHNICAL ENGINEER TO MAKE ALL INSPECTIONS, TO PROVIDE MATERIAL TESTING SERVICES, AND TO CERTIFY THAT THE PLACED STRUCTURAL FILLS MEET THE EMBANKMENT SPECIFICATION RECOMMENDED IN THE GEOTECHNICAL REPORT, AND SECTION 00330 - "EARTHWORK" OF THE STANDARD CONSTRUCTION SPECIFICATION.
- 54. THE PERMITTEE OR IT'S AGENT SHALL ADHERE TO THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT PREPARED BY GEODESIGN.
- 55. SCHEDULE AN IN-FIELD PRE-EARTHWORK MEETING WITH CITY STREET CONSTRUCTION INSPECTOR (PBOT), BUREAU OF DEVELOPMENT SERVICES (BDS) REPRESENTATIVE, GEOTECHNICAL ENGINEER, AND OTHER APPROPRIATE PARTIES PRIOR TO COMMENCING WORK. NOTIFY STREET CONSTRUCTION/INSPECTION 4 CALENDAR DAYS PRIOR TO THE MEETING. [503.823.7012]
- 56.PREPARE SUBGRADE BY REMOVING ALL SURFACE VEGETATION, DEBRIS, AND TOPSOIL PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL IN A FUTURE RIGHT-OF-WAY AREA.
- 57. THE GEOTECHNICAL ENGINEER SHALL SEND TEST AND INSPECTION RESULTS TO:
- TOOD LILES, BUREAU OF TRANSPORTATION
- 1120 SW 5TH AVENUE, SUITE 800 PORTLAND, OR 97204-1971
- OR VIA EMAIL TO: TODD.LILES@PORTLANDOREGON.GOV

FOR JOINT PBOT/BES PERMITS ONLY

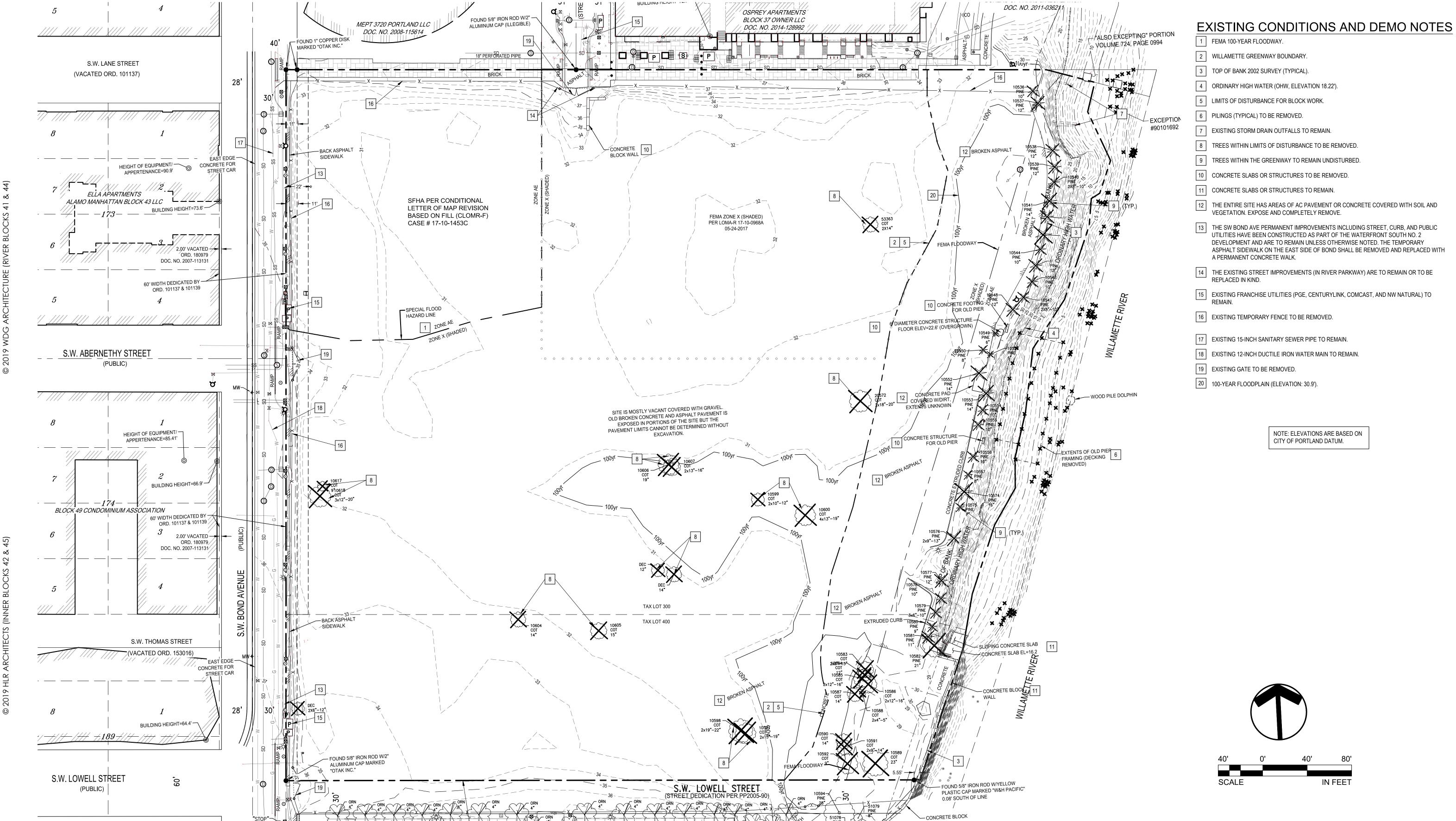
- 58.DISPOSE OF ALL SEWER TRENCH SPOIL MATERIAL AT A PROPER LANDFILL, OR SHALL OBTAIN A PERMIT FROM THE BUREAU OF DEVELOPMENT SERVICES BEFORE BEING DISPOSED OF ON-SITE. A COPY OF THE GRADING PERMIT AND PLAN SHALL BE PROVIDED TO THE BUREAU OF ENVIRONMENTAL SERVICES FOR CONSTRUCTION INSPECTION AT THE PRE-CONSTRUCTION MEETING. ALL WORK OUTSIDE THE PUBLIC RIGHT-OF-WAY, INCLUDING CUTS, FILLS, GRADING, AND CLEARING MAY REQUIRE PERMITS FROM THE BUREAU OF DEVELOPMENT SERVICES
- 59.FOUNDATION STABILIZATION MAY BE NECESSARY AS PER CITY OF PORTLANDS STANDARD CONSTRUCTION SPECIFICATIONS AND APPROVED BY BES.
- 60.MARK THE ENDS OF ALL STUB OUTS AND LATERALS WITH CONTINUOUS PRESSURE TREATED 2" X4" LUMBER. THE TOP 12' SHALL BE PAINTED WHITE AND STENCILED WITH BLACK "ST" FOR STORM OR PAINTED GREEN AND STENCILED BLACK "SS" FOR SANITARY, AND WITH PIPE SIZE, MATERIAL TYPE, AND PIPE DEPTH. BURY THE 2" X 4" LUMBER TO THE STUB OR LATERAL
- 61.PROPERLY SHORE AND BRACE ALL SEWER TRENCH LINES AND EXCAVATIONS TO PREVENT CAVING AS REQUIRED BY OREGON OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OR-OSHA) AND SECTION 00510 - "STRUCTURE EXCAVATION AND BACKFILL" OF THE STANDARD CONSTRUCTION
- 62. THE PERMITTEE OR IT'S AGENT SHALL BE RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF THE STORMWATER FACILITIES AS PRESCRIBED IN THE APPROVED "OPERATIONS & MAINTENANCE" PLAN FOR 2 YEARS AFTER ITS ACCEPTANCE BY THE CITY.

STORMWATER NARRATIVE

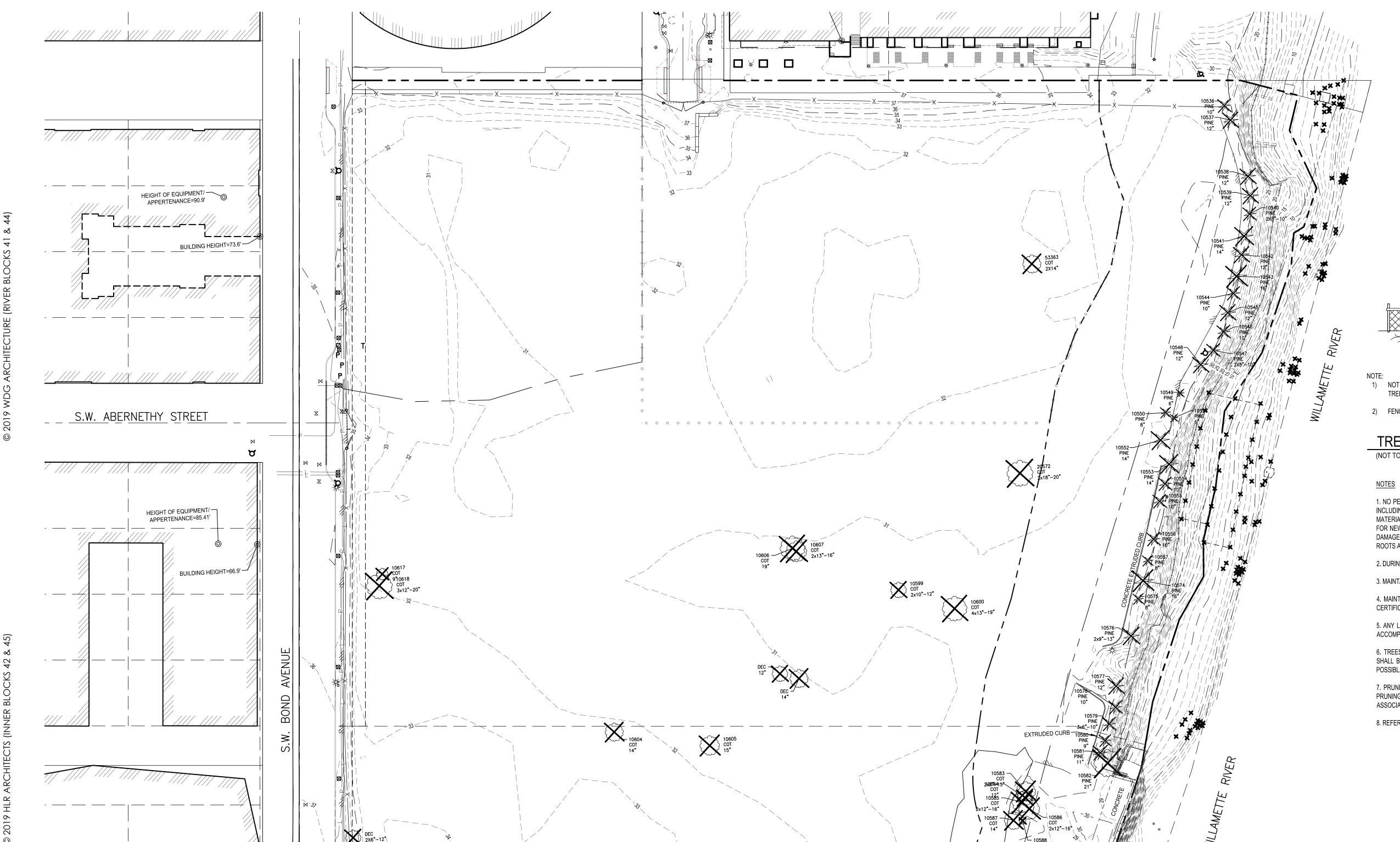
THE PROPOSED STORMWATER MANAGEMENT SYSTEM, DESIGNED IN ACCORDANCE WITH THE CITY OF PORTLAND'S STORMWATER MANAGEMENT MANUAL AND SEWER AND DRAINAGE FACILITIES DESIGN MANUAL, WILL INCLUDE LINED VEGETATED PLANTERS FOR WATER QUALITY TREATMENT AND A PIPED CONVEYANCE SYSTEM WHICH CONNECTS TO AN EXISTING STORM SEWER IMMEDIATELY SOUTH OF SW LOWELL STREET. VEGETATED FLOW-THROUGH PLANTERS WERE SIZED USING THE CITY'S PRESUMPTIVE APPROACH CALCULATOR (PAC) TOOL MEET POLLUTION REDUCTION REQUIREMENTS BY FILTERING STORM WATER THROUGH THE TOPSOIL MIX SPECIFIED BY BES. THE PROPOSED IMPROVEMENTS MEET THE CRITERIA FOR EXEMPTION FROM FLOW CONTROL RUNOFF, PER SECTION 1.3.4 OF THE STORMWATER MANAGEMENT MANUAL, AS THE STORM LINE DISCHARGES DIRECTLY TO THE WILLAMETTE RIVER THROUGH THE EXISTING SW LOWELL STREET OUTFALL. THE STORMWATER CONVEYANCE SYSTEM HAS BEEN SIZED TO CONVEY AND CONTAIN THE 10-YEAR, 5-MINUTE EVENT WITHOUT SURCHARGING AND THE 25-YEAR, 5-MINUTE STORM EVENT WITH AT LEAST 6 INCHES OF FREEBOARD.

LEGEND STORM DRAIN STORM DRAIN MANHOLE STORM DRAIN DRY WELL STORM DRAIN CLEAN OUT STORM DRAIN CATCH BASIN STORM DRAIN DROP INLET STORM DRAIN AREA DRAIN STORM DRAIN MAIN STORM DRAIN LATERAL PRIVATE STORM LINE LIDA PLANTERS SAND FILTER SANITARY SEWER SANITARY SEWER MANHOLE SANITARY SEWER CLEAN OUT SANITARY SEWER MAIN SANITARY SEWER LATERAL —— SS ——— SS —— PRIVATE SEWER LINE ------ PSS -------- PSS -------WATER WATER VALVE м Ф WATER BLOW-OFF WATER METER (VAULT) WATER MAIN ______w ____ WATER MAIN (BY PWB) FIRE HYDRANT FIRE DEPT. CONNECTION POST INDICATOR VALVE DOUBLE CHECK VALVE FIRE WATER MAIN ——FW ———FW —— ELECTRIC **ELECTRIC JUNCTION BOX** UTILITY POLE & GUY UTILITY POLE WITH LIGHT **☆-**◇-☆ ELECTRIC LINE UNDERGROUND UTILITY TRENCH NATURAL GAS GAS VALVE **GAS BLOW OFF** GAS METER GAS LINE **TELEPHONE** TELEPHONE MANHOLE TELEPHONE RISER TELEPHONE POLE UNDERGROUND TELEPHONE **OVERHEAD LINES** CABLE TV / COMM CABLE RISER UNDERGROUND CABLE TV UNDERGROUND COMM STREET LIGHTING STREET LIGHT POLE STREET LIGHT JUNCTION BOX STREET LIGHT CONTROLLER \boxtimes UNDERGROUND CONDUIT 100-YR FLOOD PLAIN _____ 100yr _____

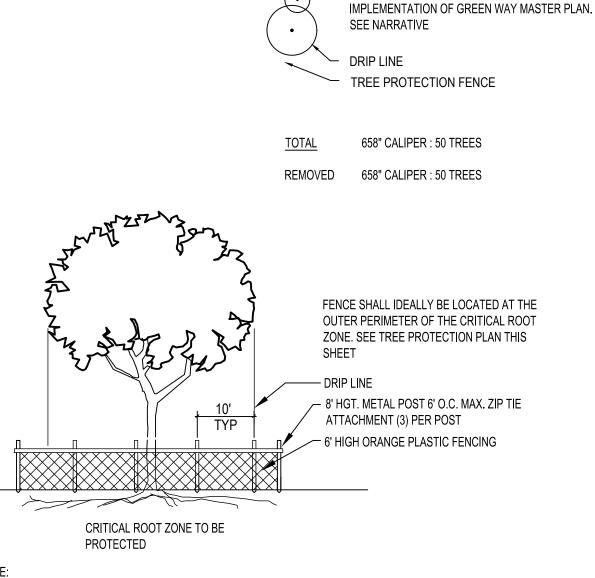
NOTES AND LEGEND



EXISTING TREE TO BE REMOVED



S.W. LOWELL STREET



1) NOTIFY THE OWNER'S ARBORIST BEFORE CONDUCTING ANY WORK WITHIN THE CRITICAL ROOT ZONE OF TREES PROPOSED TO REMAIN.

2) FENCES SHALL BE IN PLACE PRIOR TO BEGINNING CONSTRUCTION! SEE GRADING PLAN

TREE PROTECTION DETAIL

(NOT TO SCALE)

1. NO PERSON MAY CONDUCT ANY ACTIVITY BEYOND THE PROTECTED AREA OF ANY TREE DESIGNATED TO REMAIN,

2. DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY OBJECT TO ANY TREE DESIGNATED FOR PROTECTION.

3. MAINTAIN TREES THROUGHOUT CONSTRUCTION PERIOD BY WATERING AND FERTILIZING.

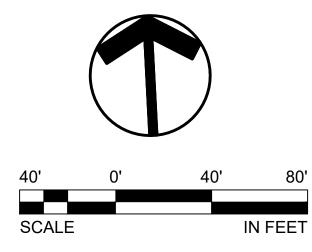
4. MAINTAIN THE PROTECTIVE BARRIERS IN PLACE UNTIL THE ARBORIST AUTHORIZES THEIR REMOVAL OR A FINAL

5. ANY LANDSCAPING DONE IN THE PROTECTED ZONE SUBSEQUENT TO THE REMOVAL OF THE BARRIERS SHALL BE ACCOMPLISHED WITH LIGHT MACHINERY OR HAND LABOR.

6. TREES TO BE RETAINED SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. CLEARING OPERATIONS

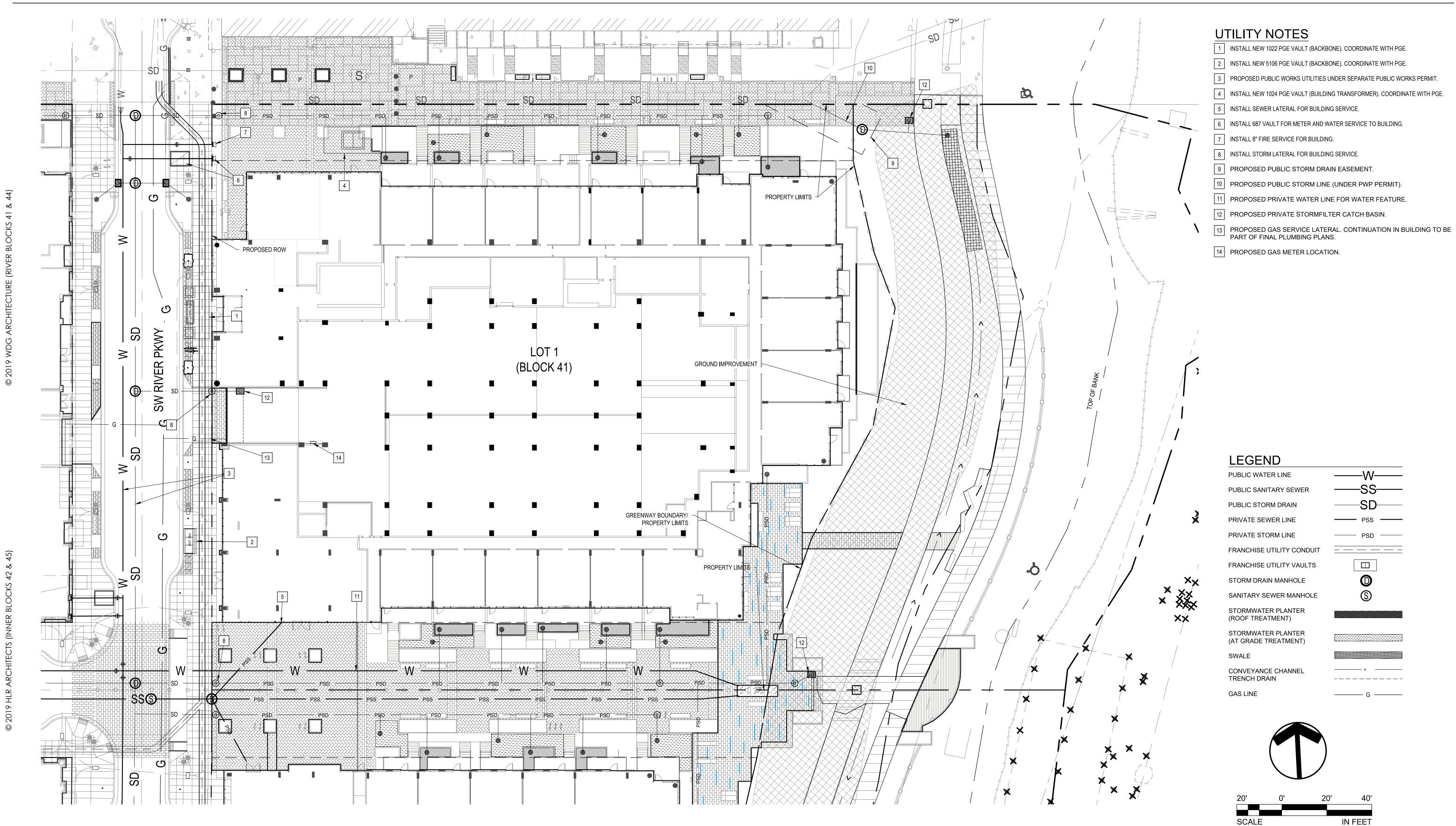
7. PRUNE PROTECTED TREES AS REQUIRED TO AVOID DAMAGE FROM CONSTRUCTION. PRIOR TO ANY PROPOSED PRUNING CONTACT AND COORDINATE WITH THE OWNER'S ARBORIST. PRUNE PURSUANT TO NATIONAL ARBORIST

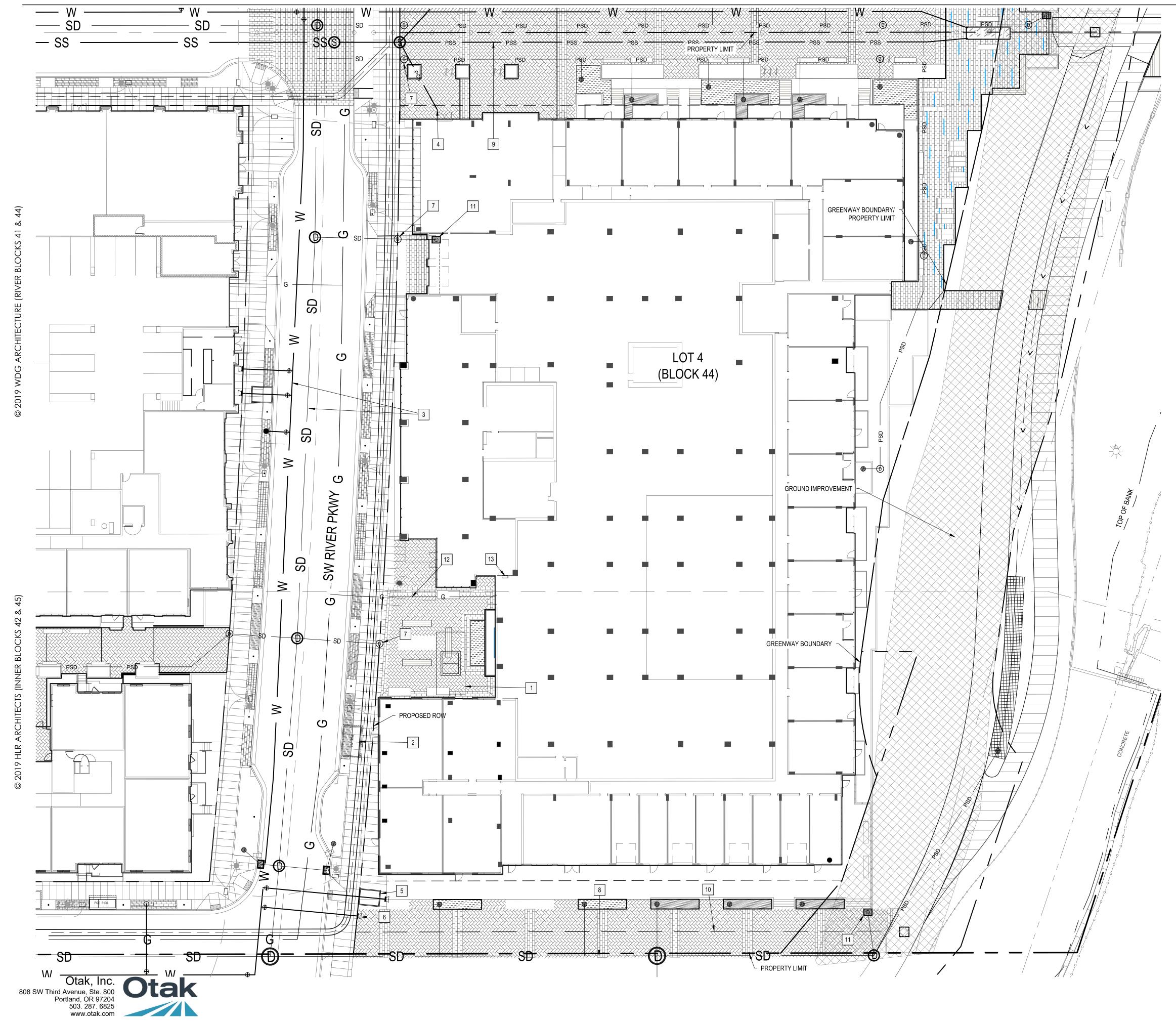
8. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION.



S.W. LOWELL STREET

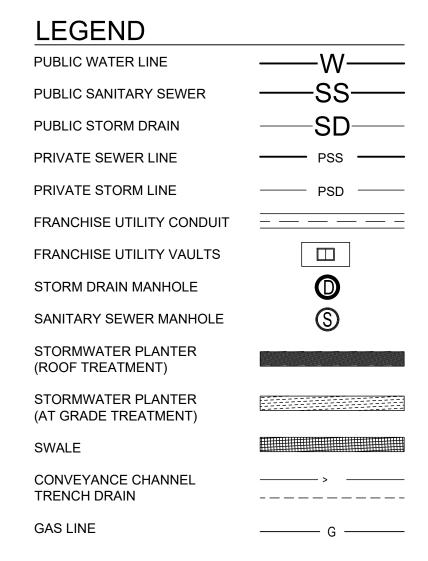
BUILDING HEIGHT=64.4'-

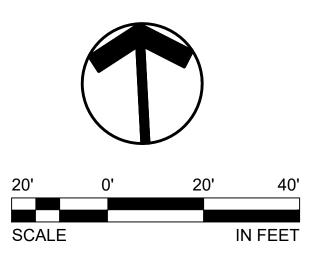


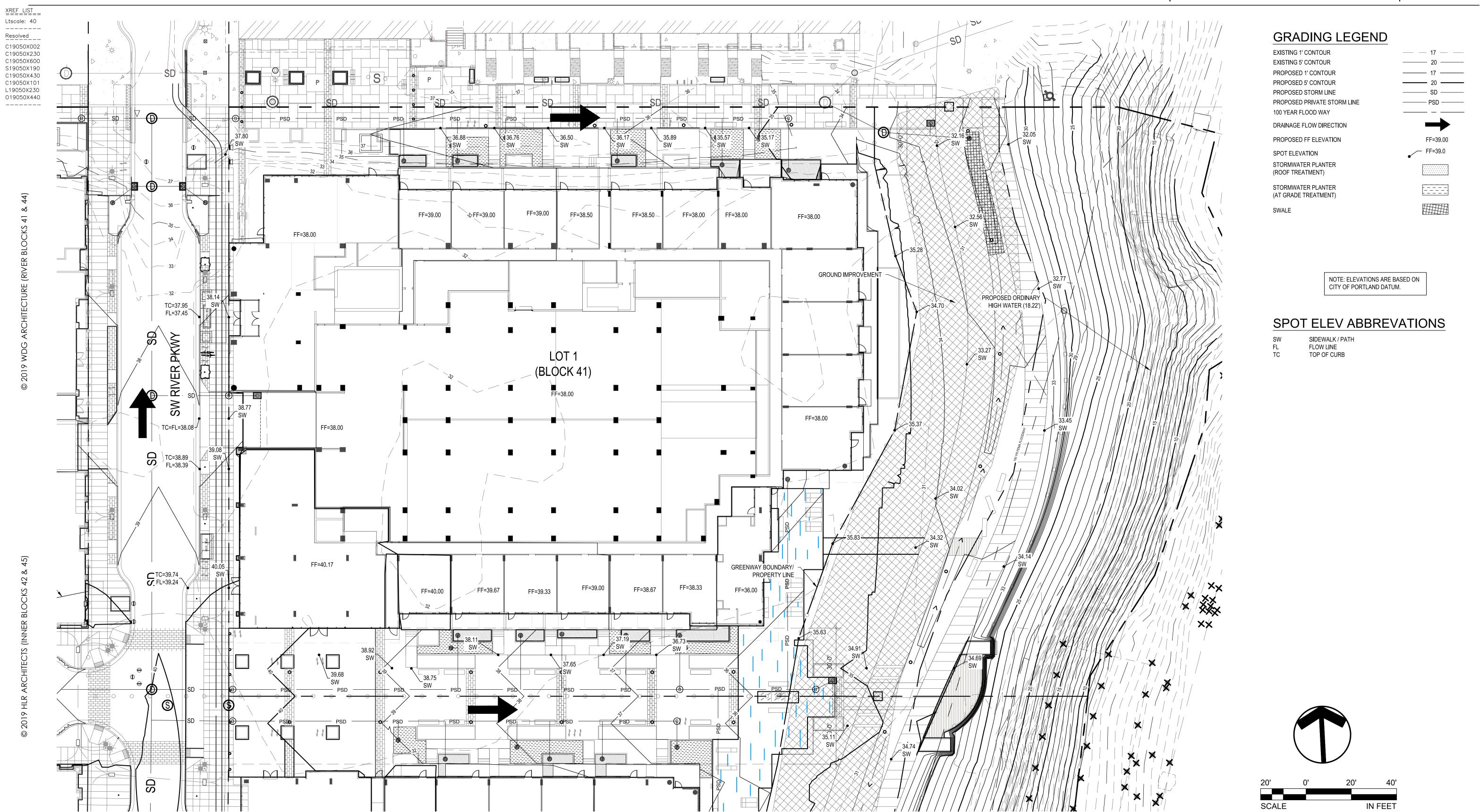


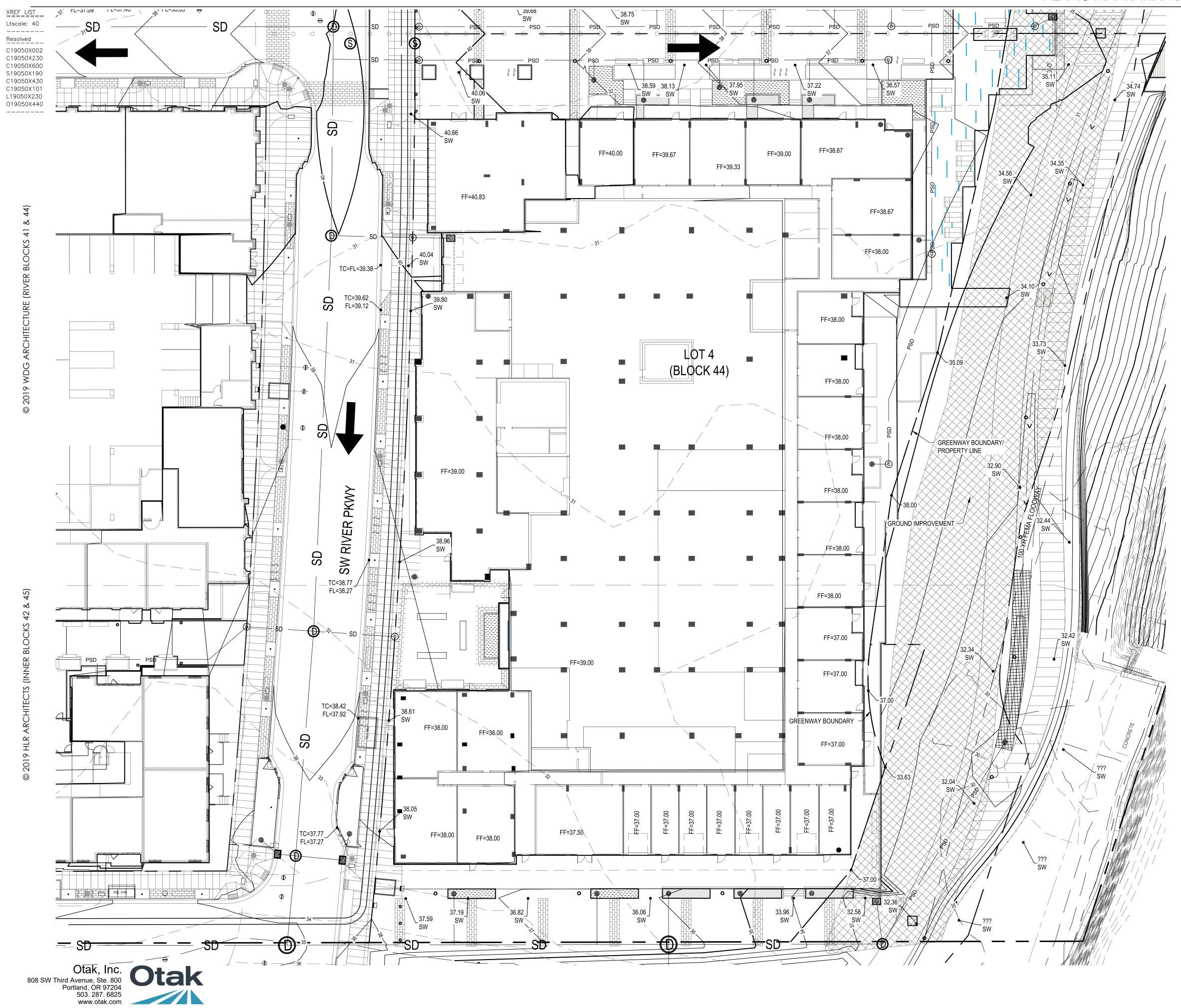
UTILITY NOTES

- 1 INSTALL NEW 1024 PGE VAULT (BUILDING TRANSFORMER). COORDINATE WITH PGE.
- 2 INSTALL NEW 712 PGE VAULT (BACKBONE). COORDINATE WITH PGE.
- 3 PROPOSED PUBLIC WORKS IMPROVEMENTS UNDER SEPARATE PUBLIC WORKS PERMIT.
- 4 INSTALL SEWER LATERAL FOR BUILDING SERVICE.
- 5 INSTALL 687 VAULT FOR METER AND WATER SERVICE TO BUILDING.
- 6 INSTALL 8" FIRE SERVICE FOR BUILDING.
- 7 INSTALL STORM LATERAL FOR BUILDING SERVICE.
- 8 PROPOSED PUBLIC STORM LINE (UNDER PWP PERMIT).
- 9 PROPOSED PRIVATE SANITARY SEWER FOR WATER FEATURE.
- 10 PROPOSED PUBLIC STORM DRAIN EASEMENT.
- 11 PROPOSED PRIVATE STORMFILTER CATCH BASIIN.
- PROPOSED GAS SERVICE LATERAL. CONTINUATION IN BUILDING TO BE PART OF FINAL PLUMBING PLANS.
- 13 PROPOSED GAS METER LOCATION.









GRADING LEGEND

EXISTING 1' CONTOUR

EXISTING 5' CONTOUR

PROPOSED 1' CONTOUR

PROPOSED 5' CONTOUR

PROPOSED STORM LINE

PROPOSED PRIVATE STORM LINE

100 YEAR FLOOD WAY

DRAINAGE FLOW DIRECTION

PROPOSED FF ELEVATION

STORMWATER PLANTER

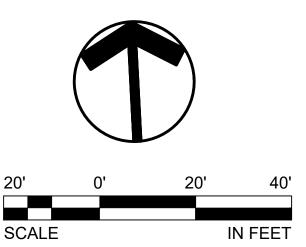
(ROOF TREATMENT)

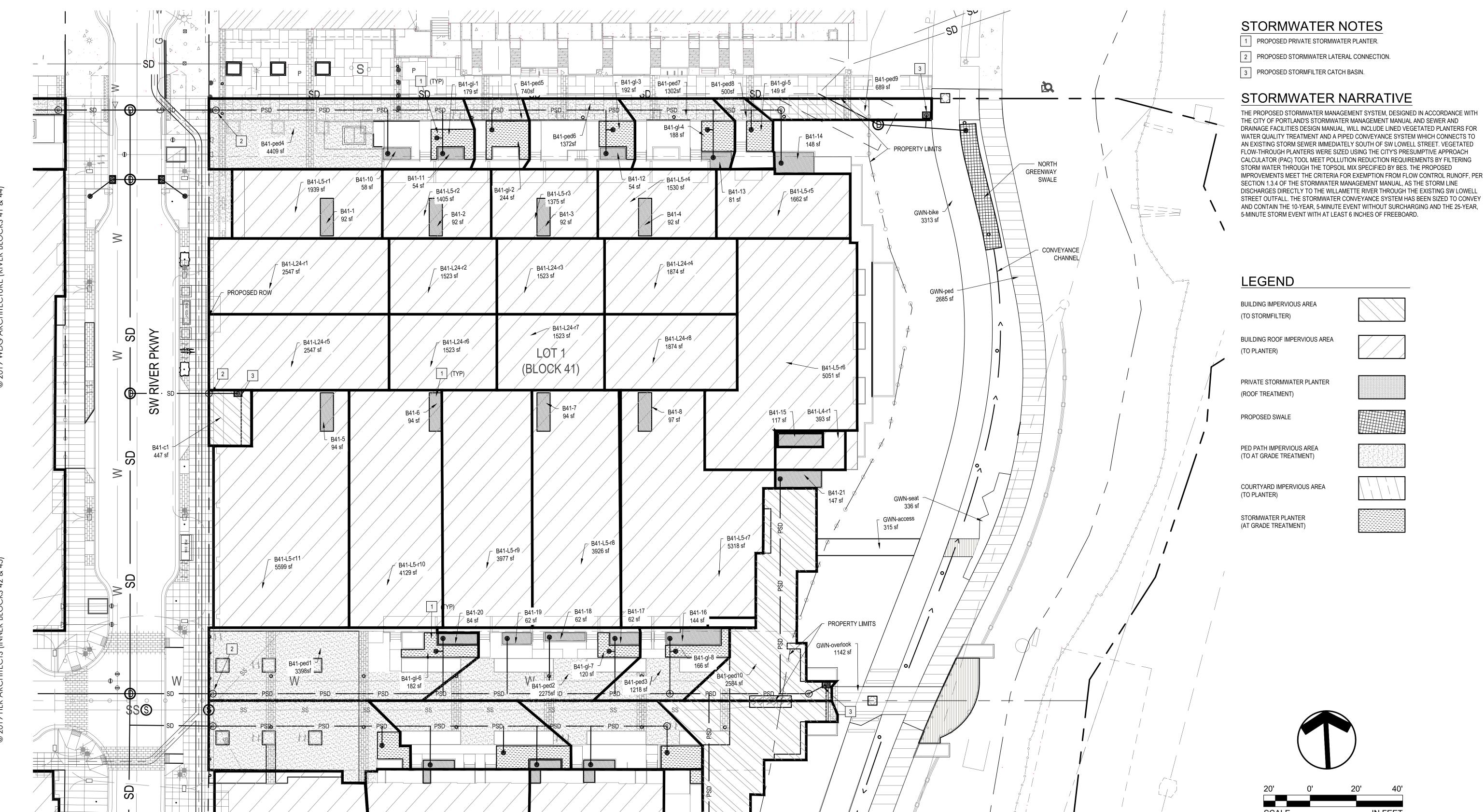
SWALE

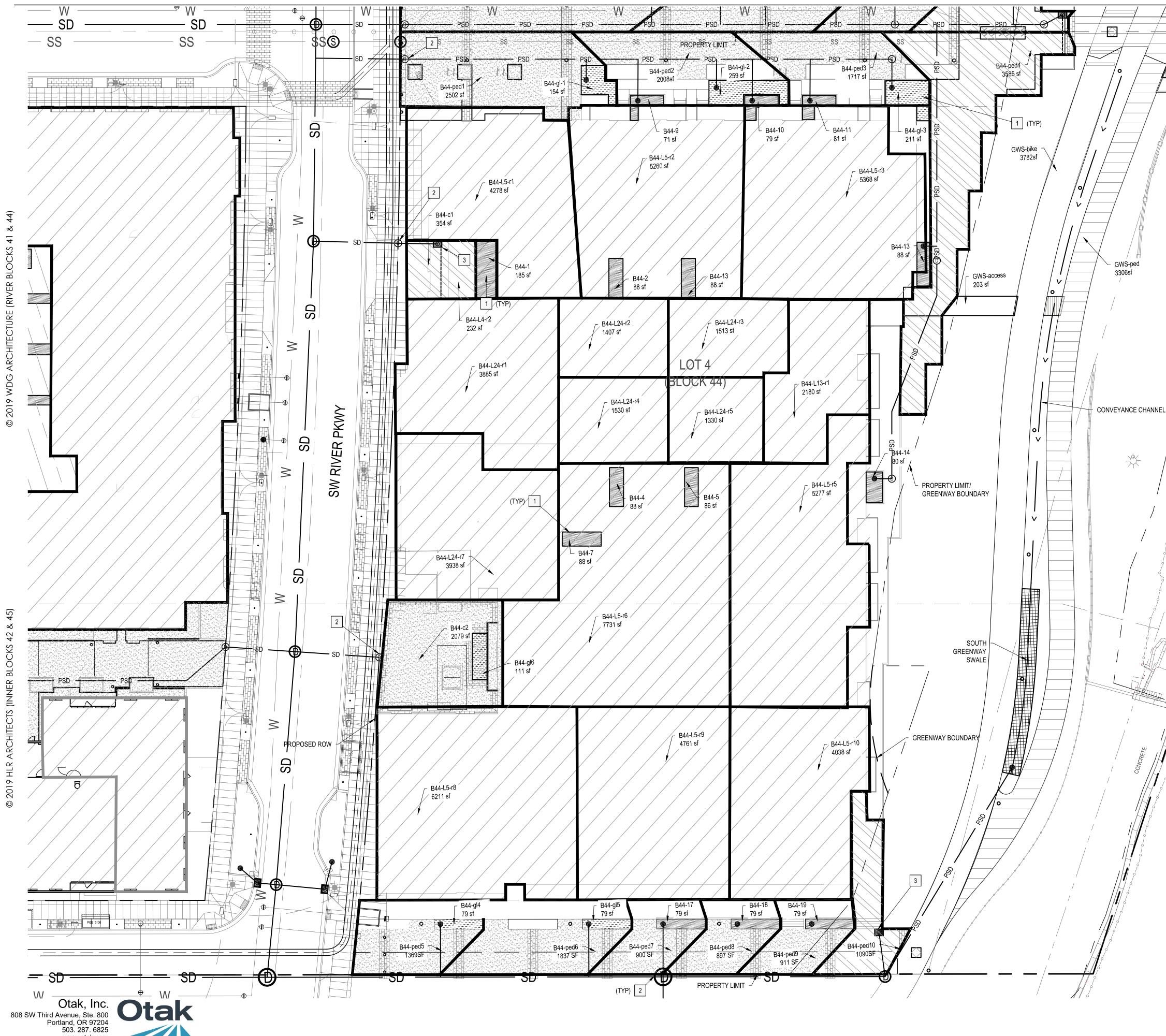
NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

SPOT ELEV ABBREVATIONS

SW SIDEWALK / PATH FL FLOW LINE TC TOP OF CURB







STORMWATER NOTES

- 1 PROPOSED PRIVATE STORMWATER PLANTER.
- 2 PROPOSED STORMWATER LATERAL CONNECTION.
- 3 PROPOSED STORMFILTER CATCH BASIN.

STORMWATER NARRATIVE

THE PROPOSED STORMWATER MANAGEMENT SYSTEM, DESIGNED IN ACCORDANCE WITH THE CITY OF PORTLAND'S STORMWATER MANAGEMENT MANUAL AND SEWER AND DRAINAGE FACILITIES DESIGN MANUAL, WILL INCLUDE LINED VEGETATED PLANTERS FOR WATER QUALITY TREATMENT AND A PIPED CONVEYANCE SYSTEM WHICH CONNECTS TO AN EXISTING STORM SEWER IMMEDIATELY SOUTH OF SW LOWELL STREET. VEGETATED FLOW-THROUGH PLANTERS WERE SIZED USING THE CITY'S PRESUMPTIVE APPROACH CALCULATOR (PAC) TOOL MEET POLLUTION REDUCTION REQUIREMENTS BY FILTERING STORM WATER THROUGH THE TOPSOIL MIX SPECIFIED BY BES. THE PROPOSED IMPROVEMENTS MEET THE CRITERIA FOR EXEMPTION FROM FLOW CONTROL RUNOFF, PER SECTION 1.3.4 OF THE STORMWATER MANAGEMENT MANUAL, AS THE STORM LINE DISCHARGES DIRECTLY TO THE WILLAMETTE RIVER THROUGH THE EXISTING SW LOWELL STREET OUTFALL. THE STORMWATER CONVEYANCE SYSTEM HAS BEEN SIZED TO CONVEY AND CONTAIN THE 10-YEAR, 5-MINUTE EVENT WITHOUT SURCHARGING AND THE 25-YEAR, 5-MINUTE STORM EVENT WITH AT LEAST 6 INCHES OF FREEBOARD.

LEGEND

BUILDING IMPERVIOUS AREA

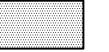
(TO STORMFILTER)



BUILDING ROOF IMPERVIOUS AREA (TO PLANTER)



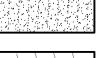
PRIVATE STORMWATER PLANTER (ROOF TREATMENT)



PROPOSED SWALE



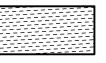
PED PATH IMPERVIOUS AREA (TO AT GRADE TREATMENT)

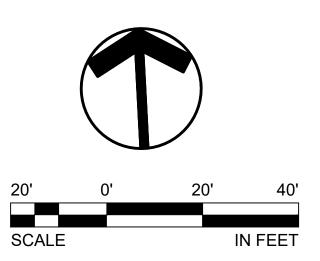


COURTYARD IMPERVIOUS AREA (TO PLANTER)



STORMWATER PLANTER (AT GRADE TREATMENT)





2 WILLAMETTE GREENWAY BOUNDARY.

3 TOP OF BANK (2002 LINE). 4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22').

5 ORDINARY LOW WATER (OLW, ELEVATION 5.90')

6 EXISTING TEMPORARY FENCE TO BE REMOVED.

7 EXISTING STORM DRAIN STRUCTURE/PIPE TO BE REMOVED.

8 TREES TO BE REMOVED PER LAND DIVISION APPROVAL.

9 EXISTING WATER HYDRANT TO BE REMOVED.

EXISTING CONCRETE PIER, MONOLITHIC WALL, AND ADJACENT CONCRETE SLABS TO REMAIN.

11 EXISTING CONCRETE SLABS OR STRUCTURES TO BE REMOVED.

THE ENTIRE SITE HAS AREAS OF AC PAVEMENT OR CONCRETE COVERED WITH SOIL AND VEGETATION. EXPOSE AND COMPLETELY REMOVE.

REMOVE EXISTING WOOD PIER AND DECKING. REMOVE PIERS IN THEIR ENTIRETY UNLESS DEEMED HISTORICALLY SIGNIFICANT BY ARCHAEOLOGICAL STUDY.

14 EXISTING WOOD PILING TO BE REMOVED.

LEGEND 2' CONTOUR

EXISTING TREE

10' CONTOUR ORDINARY HIGH WATER (OHW, ELEV 18.22') TOP OF BANK (2002 LINE)

DRAINAGE FLOW ARROW

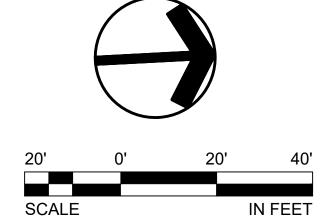
100-YEAR FLOODPLAIN (ELEV 30.9')

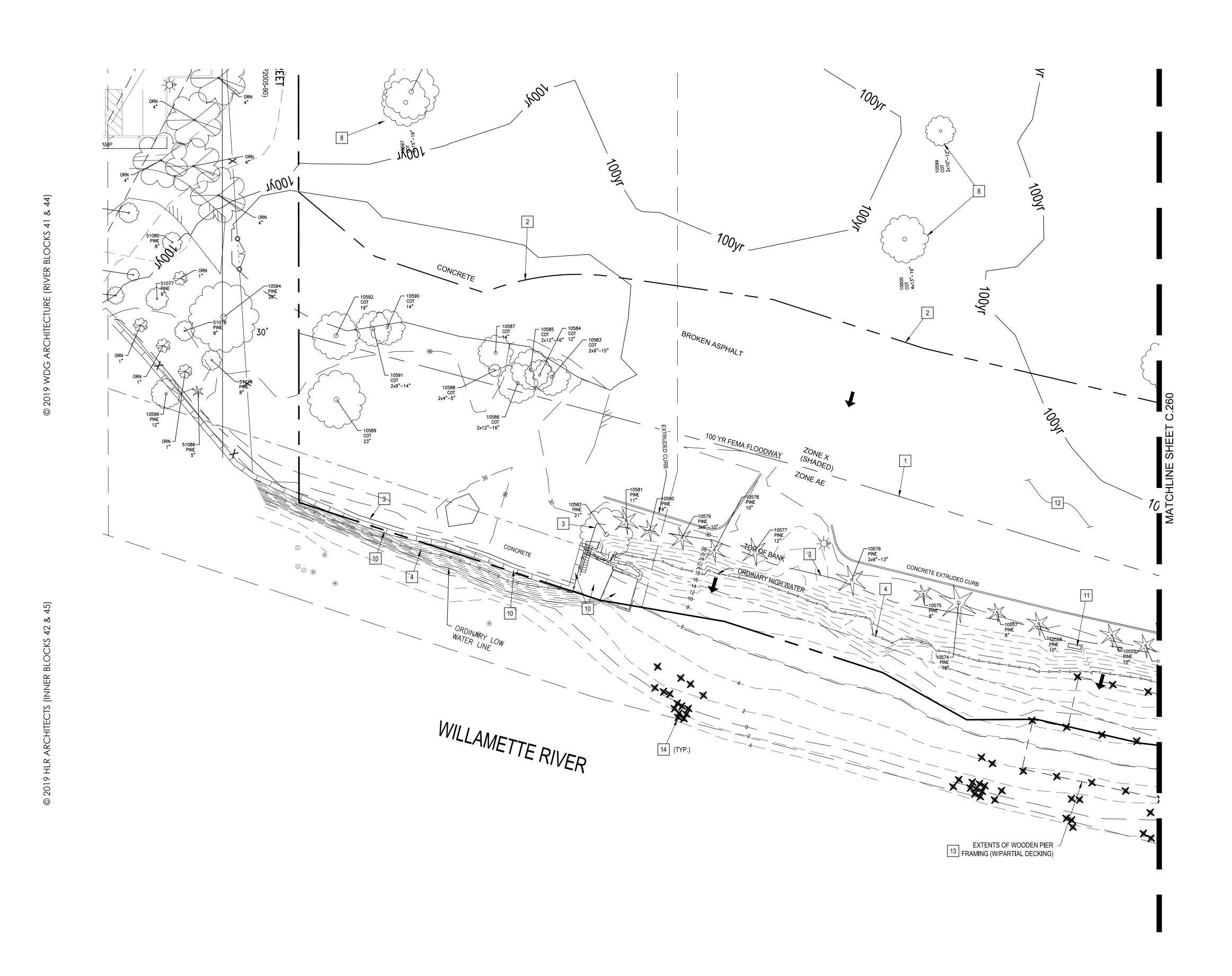
NOTE: ALL EXISTING TREES WITHIN GREENWAY TRACT TO BE REMOVED.

TOTAL TREE DBH REMOVED (WITHIN GREENWAY TRACT) COTTONWOOD: 243" DBH PINE: 350" DBH

NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

ZONING NOTE: SUBJECT SITE LIES ENTIRELY WITHIN COP ZONE CX dg.





EXISTING CONDITIONS AND DEMO NOTES

1 FEMA 100-YEAR FLOODWAY.

TEINIA 100-TEAR FEOODWAT

2 WILLAMETTE GREENWAY BOUNDARY.

3 TOP OF BANK (2002 LINE).

4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22').

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14 EXISTING WOOD PILING TO BE REMOVED.

LEGEND

2' CONTOUR 10' CONTOUR ORDINARY HIGH WATER (OHW, ELEV 18.22')

TOP OF BANK (2002 LINE)

EXISTING TREE

DRAINAGE FLOW ARROW

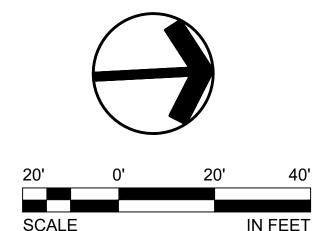
100-YEAR FLOODPLAIN (ELEV 30.9')

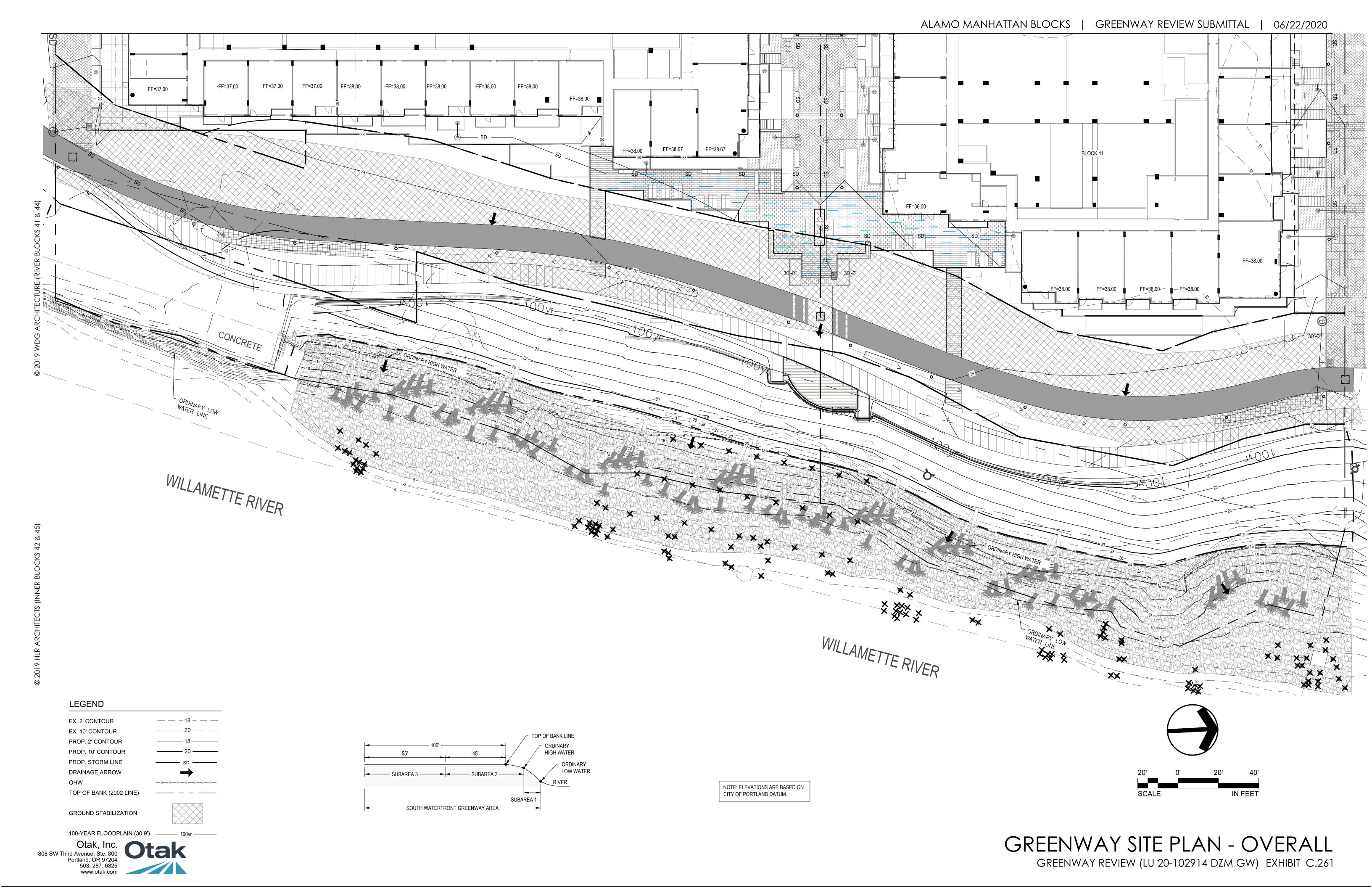
NOTE: ALL EXISTING TREES WITHIN GREENWAY TRACT TO BE REMOVED.

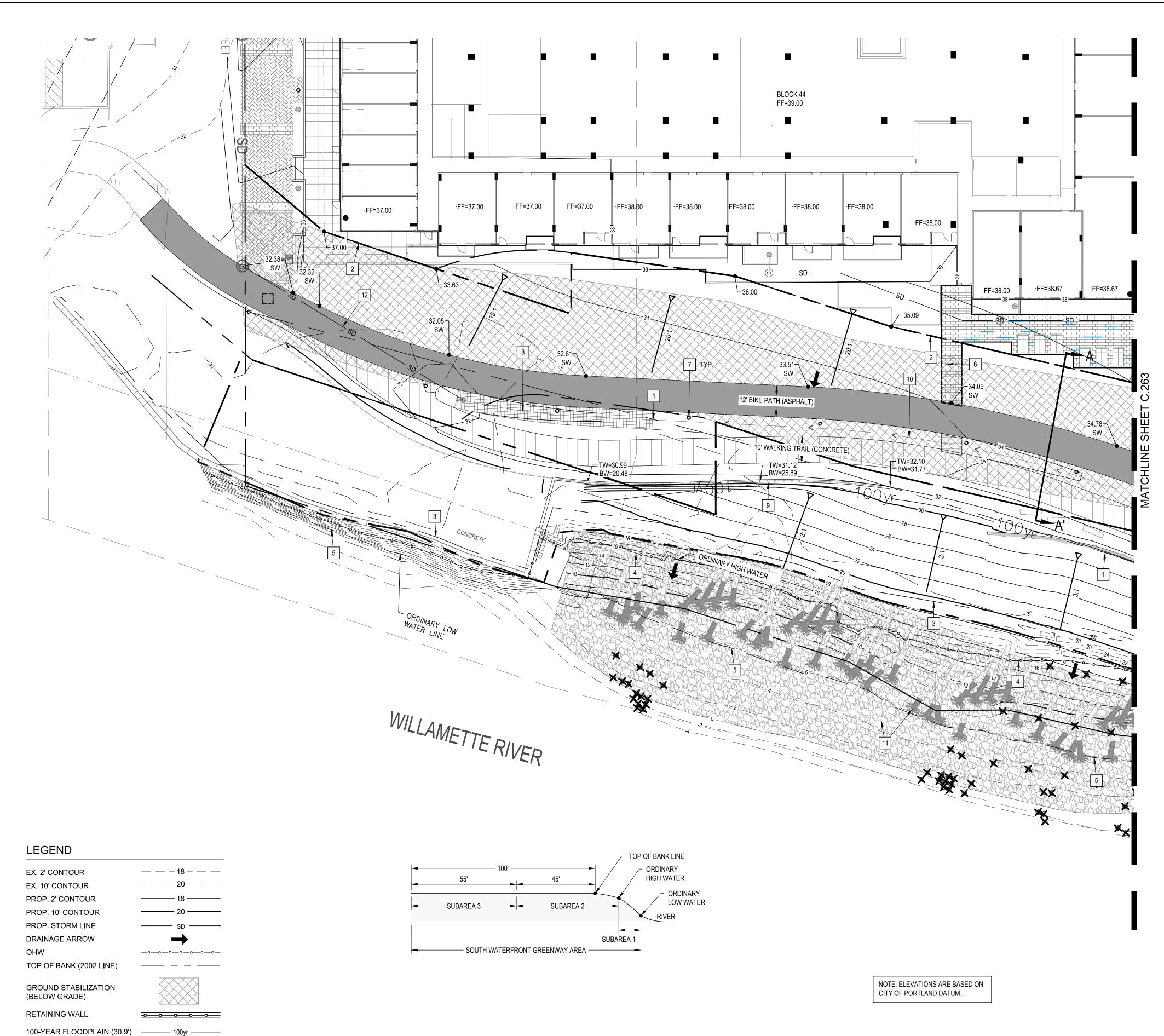
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NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

ZONING NOTE:
SUBJECT SITE LIES ENTIRELY WITHIN COP ZONE CX dg.







SITE NOTES

1 FEMA 100-YR FLOODWAY

2 WILLAMETTE GREENWAY BOUNDARY

3 TOP OF BANK (2002 LINE)

4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22')

5 ORDINARY LOW WATER (OLW, ELEVATION 5.90')

6 SIDEWALK

7 TRAIL LIGHTING

8 STORM WATER QUALITY FEATURE (SWALE)

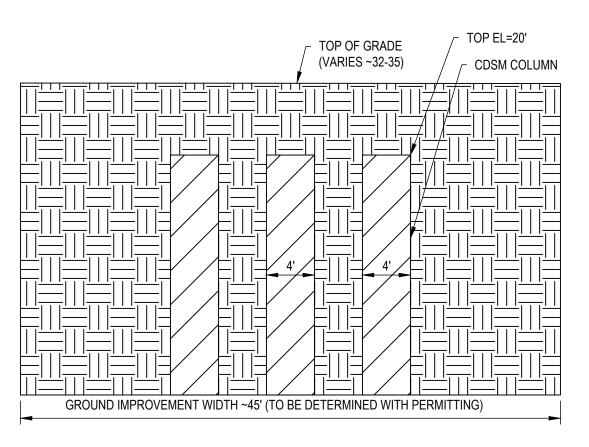
9 RETAINING WALL WITH GUARDRAIL

10 CONVEYANCE CHANNEL

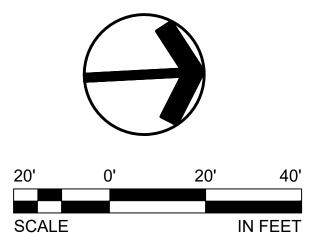
11 WOODY DEBRIS AND RIP RAP. SEE BANK STABILIZATION PLAN FOR DETAILS.

12 STORM CONNECTION FROM SWALE TO PUBLIC STORM MANHOLE

SEE SHEETS C2.0 - C3.0 FOR PRELIMINARY BANK STABILIZATION PLANS AND CROSS-SECTIONS



SECTION A-A' - GROUND STABILIZATION SECTION

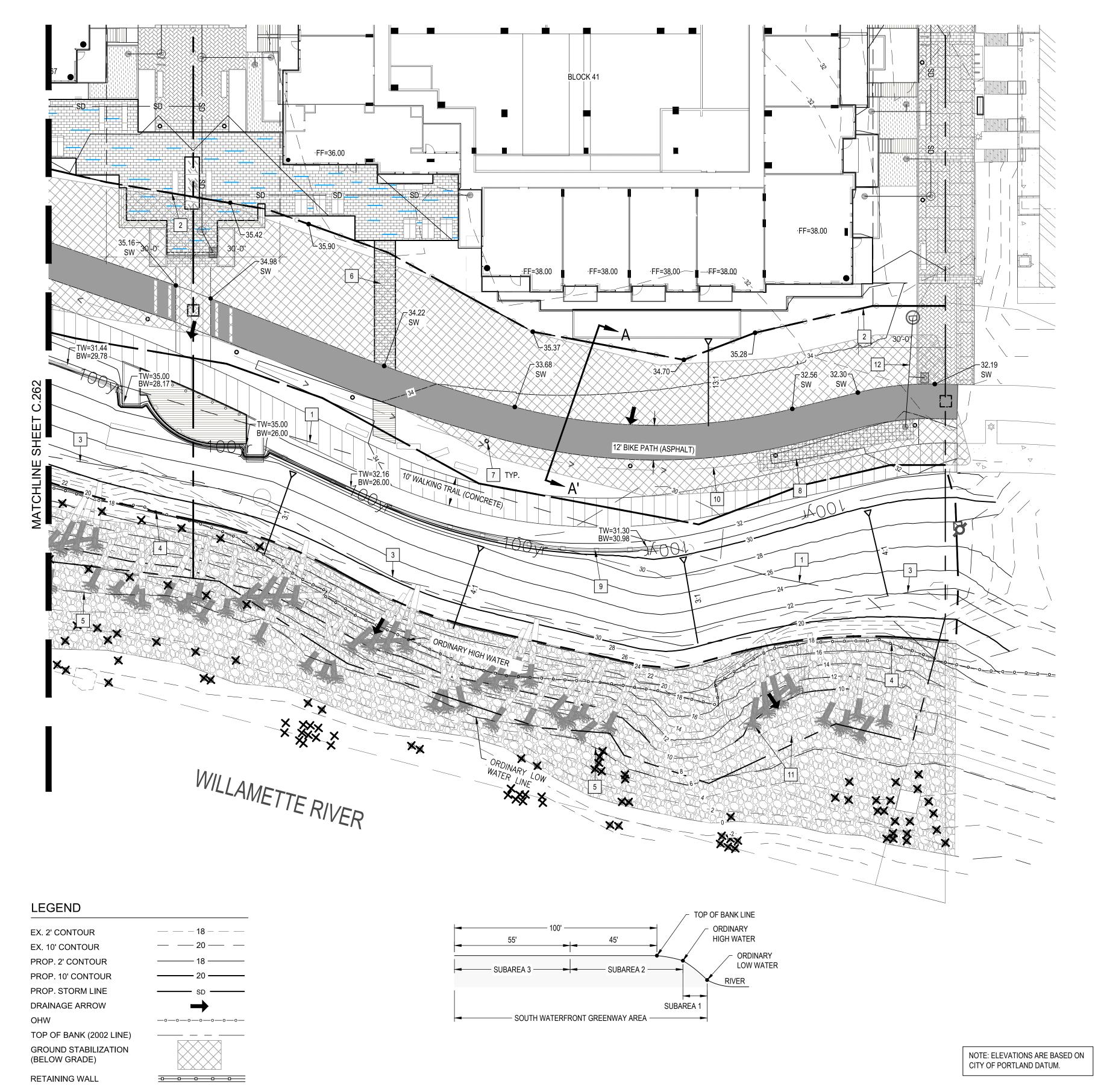


GREENWAY SITE PLAN - SOUTH GREENWAY REVIEW (LU 20-102914 DZM GW) EXHIBIT C.262





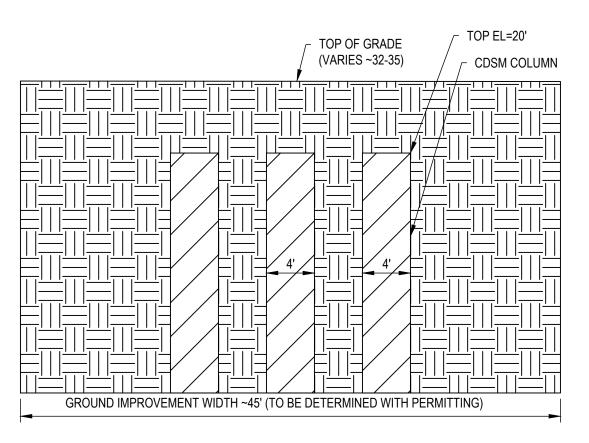
Otak, Inc.
808 SW Third Avenue, Ste. 800
Portland, OR 97204
503. 287. 6825



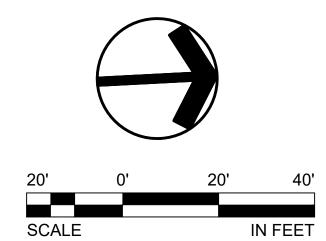


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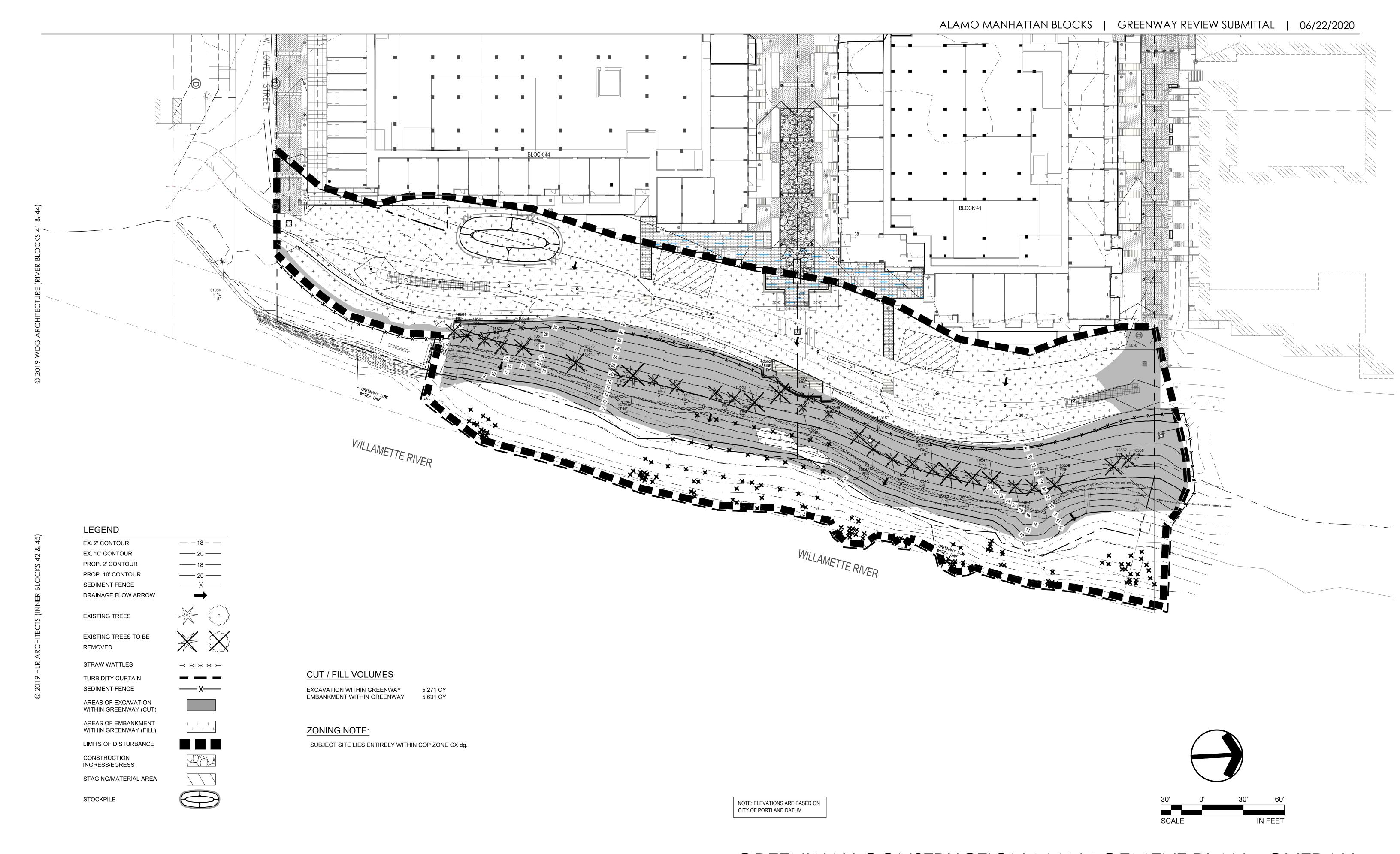
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SECTION A-A' - GROUND STABILIZATION SECTION





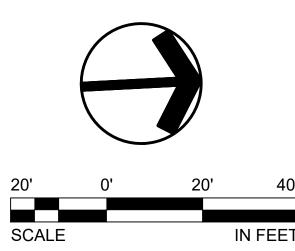




CONSTRUCTION MANAGEMENT NOTES

- 1 FEMA 100-YEAR FLOODWAY
- 2 WILLAMETTE GREENWAY BOUNDARY
- 3 TOP OF BANK 2002 LINE (TYPICAL)
- 4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22')
- 5 ORDINARY LOW WATER (OLW, ELEVATION 5.90')
- REMOVE EXISTING WOOD PIER AND DECKING. REMOVE PIERS IN THEIR ENTIRETY UNLESS DEEMED HISTORICALLY SIGNIFICANT BY ARCHAEOLOGICAL STUDY.
- 7 PROPOSED STAGING/MATERIAL AREA
- 8 PROPOSED STOCKPILE LOCATION

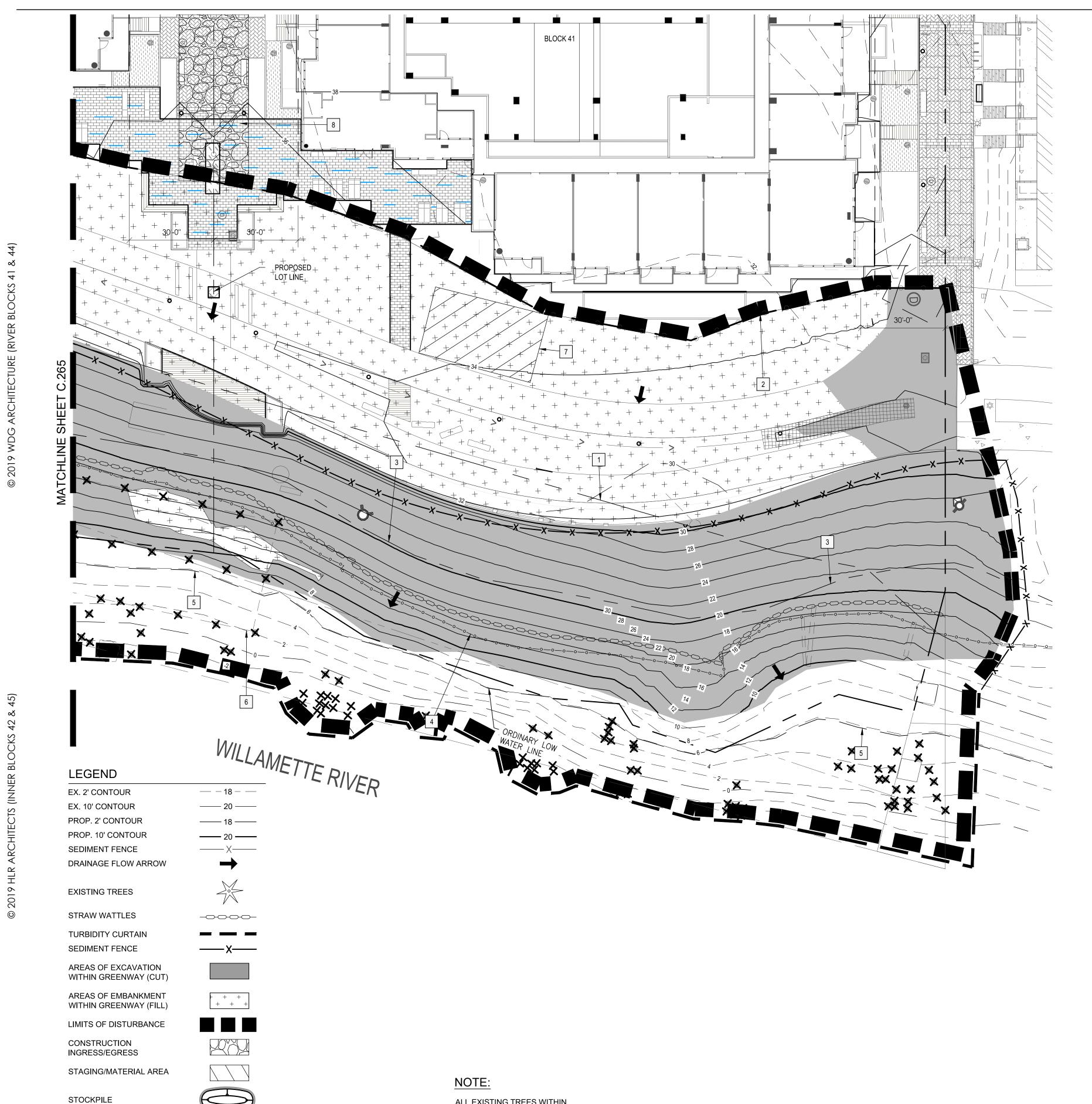
NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.



NOTE:

ALL EXISTING TREES WITHIN GREENWAY TRACT TO BE REMOVED.





CONSTRUCTION MANAGEMENT NOTES

1 FEMA 100-YEAR FLOODWAY

2 WILLAMETTE GREENWAY BOUNDARY

3 TOP OF BANK 2002 LINE (TYPICAL)

4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22')

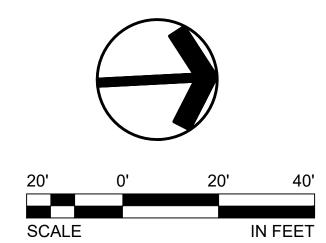
5 ORDINARY LOW WATER (OLW, ELEVATION 5.90')

REMOVE EXISTING WOOD PIER AND DECKING. REMOVE PIERS IN THEIR ENTIRETY UNLESS DEEMED HISTORICALLY SIGNIFICANT BY ARCHAEOLOGICAL STUDY.

7 PROPOSED STAGING/MATERIAL AREA

8 PROPOSED CONSTRUCTION INGRESS/EGRESS

NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.



Otak, Inc. 808 SW Third Avenue, Ste. 800 Portland, OR 97204 503. 287. 6825 ALL EXISTING TREES WITHIN GREENWAY TRACT TO BE REMOVED.