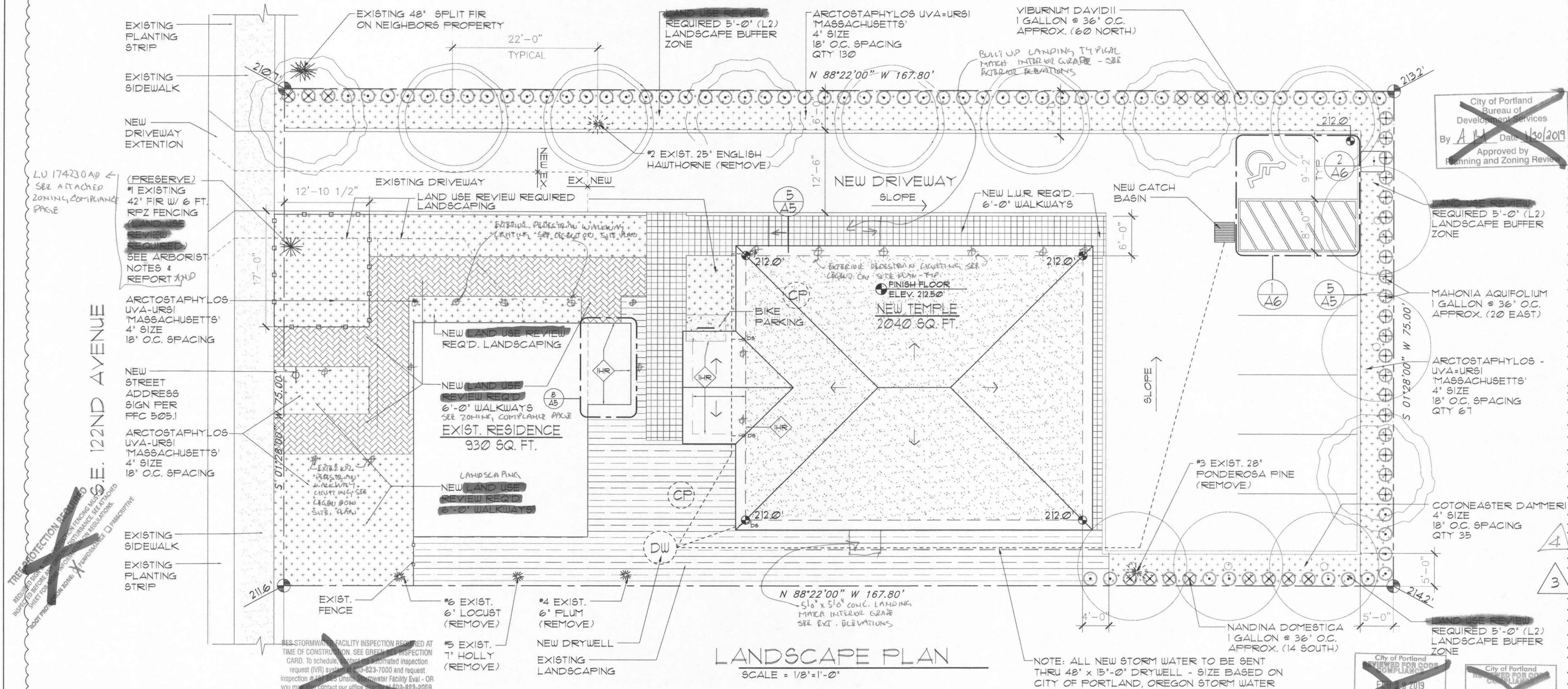




ARBORIST NOTES:

PROPER TREE PROTECTION FENCING GIVES A TREE THE BEST CHANCE OF SURVIVAL. THE ENTIRE ROOT AREA SHOULD BE PROTECTED. THE ROOT AREA IS CALCULATED BY EACH DIAMETER INCH OF THE TREE. THE ZONE SHOULD EXTEND 1 FOOT PER 1 INCH IN RADIUS IN ALL DIRECTIONS. IN THIS SITUATION THE "PERFORMANCE PATH" METHOD OF TREE PROTECTION MUST BE USED. TREE PROTECTION FENCING SHALL BE ERECTED BEFORE ANY DEMOLITION OR CONSTRUCTION ACTIVITIES OCCUR. THE FENCING SHOULD BE 6 FEET IN HEIGHT AND THE FABRIC SHOULD BE CHAIN LINK. A TREE PROTECTION SIGN SHOULD BE POSTED ON THE FENCING ALERTING WORKERS TO KEEP OUT. NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION ZONE (TPZ). THE FENCING SHALL NOT BE MOVED OR ALTERED AT ANY TIME AND NO WORKERS SHALL ENTER THE TPZ IF THERE IS AN EMERGENCY OR IF FOR SOME REASON THE FENCING NEEDS TO BE REMOVED OR THE TPZ NEEDS TO BE ENTERED. THE BUILDING CONTRACTOR MUST HAVE A CERTIFIED ARBORIST ON SITE DURING THAT TIME. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF THE TREES.

TREE PROTECTION:
A 5 FOOT WIDE WALKING PATH APPEARS ON THE PROPOSED SITE PLANS ON THE SOUTH AND EAST OF TREE #1. TO LIMIT THE COMPACTION AND DIGGING IN THIS AREA, I WOULD HIGHLY RECOMMEND A PATH MADE OF PAVERS WITH A SAND BASE. THIS WILL GREATLY REDUCE THE POSSIBLE DAMAGE TO THE ROOTS. I WOULD EXTEND THE FENCING AS FAR SOUTH AND EAST AS POSSIBLE, ABOUT 13 TO 15 FEET AND THEN NORTH TO THE EDGE OF THE DRIVEWAY AND WEST TO THE EDGE OF THE SIDEWALK. BEING THE CERTIFIED ARBORIST ON THIS PROJECT, I WILL NEED TO BE CONTACTED WHEN THE PROTECTION FENCE IS ERECTED FOR INSPECTION. IN ADDITION, I WILL NEED TO BE CONTACTED AND ON SITE WHEN DIGGING NEAR THE TPZ AND A ROOT 3" IN DIAMETER GETS EXPOSED. I WILL THEN DETERMINE WHAT MEASURES NEED TO BE TAKEN. AFTER MY FINAL INSPECTION AND CONSTRUCTION WORK IS COMPLETED, FOLLOW UP CARE MAY BE NECESSARY SUCH AS SUBSURFACE FERTILIZATION, MYCORRHIZAE TREATMENTS AND POSSIBLE PRUNING. BY PROTECTING THIS TREE AND TAKING A LITTLE EXTRA CARE, I SEE THIS TREE BEING VIABLE FOR FUTURE GENERATIONS.

LEGEND

- NEW BUILDING
- NEW REQUIRED 6'-0" WIDE CONC. PAVEMENT WALKWAYS
- NEW ASPHALT WALKWAYS
- NEW REQUIRED L2-APPROVED LANDSCAPING
- EXISTING LANDSCAPING
- ROOT PROTECTION FENCE FOR EXISTING TREES - PER CITY OF PORTLAND ZONING GUIDELINES
- PROPOSED DRYWELL
- DECOMMISSIONED CESSPOOL
- EXISTING TREE
- EXIST. TREE TO BE REMOVED
- GRADE ELEVATION INFORMATION

PLANTING LIST:

- TREES:**
- MAPLE TREE
OSTRYA VIRGINIANA - AMERICAN HOPHORNBEAM - QTY. (5) 1.5" CALIPER
 - FRAXINUS OXYCARPA : RAYWOOD ASH - QTY. (4) 1.5" CALIPER
 - CALOCEDRUS (LIBOCEDRUS) DECURRANS : INCENSE CEDAR - QTY. (5) 15 GALLON

LANDSCAPE NOTES:

285.80 LINEAR FEET OF OF LANDSCAPE PERIMETER = 14 MEDIUM TREES
SEE ARBORIST REPORT FOR EXISTING TREE INVENTORY, STATUS, AND PRESERVATION RECOMMENDATIONS.

PLANTING LIST CONT:

- SHRUBS:**
- VIBURNUM DAVIDII X60, 1 GALLON, 36" O.C. SPACING
 - MAHONIA AQUIFOLIUM X20, 1 GALLON, 36" O.C. SPACING
 - NANDINA DOMESTICA 'GULF STREAM' X14, 2-3 GALLON, 36" O.C. SPACING
- GROUND COVER:**
- ARCTOSTAPHYLOS UVA URSI: KINNICKINICK, BEARBERRY, QTY (314) 4" @ 4" O.C.
 - COTONEASTER DAMMERI : BEARBERRY COTONEASTER, QTY. (50) 4" @ 18" O.C.

ZAİK ASSOCIATES

2340 N.W. THURMAN SUITE 201 PORTLAND, OREGON 97210 503-222-9158

in a joint venture with

DARYL SIEKER, ARCHITECT, LLC

A NEW SANCTUARY FOR
IU MIEN BUDDHIST TEMPLE

5410 SE 122ND AVENUE
PORTLAND, OREGON 97126

1/25/2019	4
1/7/2019	3
REVISIONS	
1	4/20/2018
2	5/9/2018
3	5/15/2018 SBMTL
4	6/25/2018
5	10/25/2018
DATE 2/10/2018	
JOB NO.	
DRAWN PLZ	
APPROVED	
LANDSCAPE	
PLAN	
SCALE 1/8"=1'-0"	
DUG NAME	

REGISTERED ARCHITECT
DARYL L. SIEKER
WEST LINN, OREGON
STATE OF OREGON

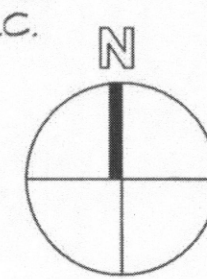
DRAWING NO.

LP

OF TEN

City of Portland
Bureau of
Development Services
By *[Signature]* Date 2/24/2020
Approved by
Planning and Zoning Review

City of Portland
REVIEWED FOR CODE
COMPLIANCE
FEB 24 2020
Permit Number





City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



Permit Revision Submittal Requirements and Application

A Permit Revision is required when there are proposed changes to the project after the permit has been issued. This may arise due to discrepancies between the city-approved permit drawings and actual field conditions, or the customer has changed their mind about an aspect of the project. In all cases, a revision to the existing permit must be submitted, reviewed and approved.

Applicants will provide:

- ☐ A copy of this application
- ☐ Three (3) sets of plans that clearly reflect the proposed change(s).
- Drawings and calculations must be stamped and signed by the Architect and/or the Engineer of Record, if applicable.

- ☒ One (1) copy of the original city approved permit drawings. (NOTE: If your project has an assigned process manager please contact them regarding submittal of the revision).
- ☐ Two (2) sets of calculations, if applicable
- ☐ Inspector's correction notice, if revision is due to an inspection correction
- ☐ Revision fee (paid at time of submittal)

Contact Information:

Contact name FOO CHEN

Address 5408 SE 122nd AVE

City Portland State OR Zip Code 97236

Phone 503-806-4838 Email foo.chen@gmail.com

Value of proposed revision 0 Issued permit # 18-173857.000

Job site address 5400 SE 122nd AVE Portland, OR 97236

Description of revision Landscaping

Fees:

The Permit Revisions are subject to fees associated with plan review, processing and any increase in project value. Additional fees may apply if adding plumbing fixtures.

The Bureau of Development Services fee schedule is available under the fees tab on the BDS web site at: www.portlandoregon.gov/bds. Fees are updated annually on July 1st.

Helpful Information:

Bureau of Development Services
City of Portland, Oregon
1900 SW 4th Avenue, Portland, OR 97201
www.portlandoregon.gov/bds

Submit your plans in person to:

Development Services Center (DSC), First Floor,
For Hours Call 503-823-7310

Important Telephone Numbers:

BDS main number 503-823-7300
DSC automated information line 503-823-7310
Building code information 503-823-1456
BDS 24 hour inspection request line 503-823-7000
Residential information for
one and two family dwelling 503-823-7388
General Permit Processing and
Fee Estimate info 503-823-7357
City of Portland TTY 503-823-6868