

3025 SW HAMPSHIRE ST. REV-01 RSO4-047109

RS.04.047/09 REV.01.

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SEP 21 2004
MICROFILMED

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CITY OF
PORTLAND, OREGON
BUREAU OF DEVELOPMENT SERVICES
1900 SW 4th Ave, Suite 5000
Portland, OR 97201



RESIDENTIAL 1 & 2 FAMILY PERMIT

04-047109-REV-01-RS

Site Address: 3025 SW HAMPSHIRE ST
3025 HAMPSHIRE ST

Issued: 9/16/04

PROJECT INFORMATION		Occ. Group	Const. Type
Single Family Dwelling	Alteration	R3	V-N
Project Description: FOUNDATION REVISION			

APPLICANT ORANGEWALL STUDIOS *GARY HARTILL*
PROPERTY OWNER JIMMY W GO & VALERIE W GO
CONTRACTOR JEFFREY C WALLIN

Phone (503) 227-8100
Phone (503) 223-1541
Phone

Project Details		Project Details	
Code Edition	IRC - 2003	GIS Update Flag	09/09/04
Valuation at Issuance	10000	Water District	Portland Water Bureau
Zoning Enforcement Agency	Portland		

PAID
SEP 16 2004
CITY OF PORTLAND

This permit expires if, at any time, 180 days pass without an approved inspection. If you are not able to obtain an inspection approval within 180 days, you may request a one-time only extension of 180 days by calling 503-823-7388.

**BEFORE
YOU DIG**

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 852-001-0010 through OAR 852-001-0090. You may obtain copies of the rules by calling the center. (Note the telephone number for the Oregon Utility Notification Center is 1-800-332-7344).

CITY CONTACT

E-Mail:

Phone:

Fax: (503) 823-4172

**INSPECTION REQUEST
PHONE NUMBERS**

Building/Trade Inspections - Call Before 6:00 AM:

(503) 823-7000

TDD: (503) 823-6868

**IVR Inspection Request
Number:**

2385803

GENERAL NOTES

1. General Data

- The scope of this remodel adds 19.25 gross square feet for a shower addition to an existing powder room on the first floor and replaces the existing toilet and vanity. The new bathroom includes the following: new toilet, pedestal sink, tile floors and shower enclosure, new lighting and plumbing controls.
- Care is to be taken during the construction process to minimize weather damage to the existing structure and contents.
- Contractor to handle written guarantees to owner for a period of 24 months after final acceptance covering all defects in materials and workmanship. Any trouble that develops during this period due to defective materials or faulty workmanship shall be promptly corrected by the contractor, supplying all necessary materials and labor without additional cost to owner.
- Trade names denote character and quality of products desired and shall not be construed as limiting competition. Alternates must be submitted to ORANGEWALLstudios for approval prior to purchase or installation.
- These notes are general in nature and are intended to set minimum standards for construction. Where there is a conflict between a general note and the drawings the more restrictive shall apply.
- When interpreting the contract documents, the contractor shall not scale the drawings. If dimensions shown are unclear, contradictory or do not exist, please contact ORANGEWALLstudios for clarification.
- Homeowner to pay for and obtain all necessary permits.
- Contractor to provide all necessary temporary support for walls and floors prior to completion of vertical and lateral load systems.
- All work shall be in strict compliance with the following codes (latest edition):
 - 2000 International Residential Code as amended by State and local jurisdictions (Verify with local building official).
 - American Concrete Institute, The Council of America.

2. Site work

- All footings to bear on undisturbed soil. Notify designer of any unusual soil conditions. Fill to be compacted or gravel compacted in 6" lifts.
- Remove rubbish and construction debris from site periodically until completion.
- Box and protect trees and shrubs to remain until completion of contract.
- Connect new foundation drains to existing foundation drain.
- Footings to be hand excavated.

3. Concrete

- 0310 Concrete
 - Minimum concrete compressive strength to be 2500 psi at 28 days.
 - Place and cure all concrete per ACI codes and standards.
- 0310 Foundations (Design soil pressure 1500 psf)
 - All footings to bear on firm, compacted soil minimum. Notify designer before proceeding if any unusual conditions are encountered in the footing excavations.
 - Clean all footing excavations of loose material by hand.
- 03700 Reinforcing Steel
 - All reinforcing steel to be A-615, grade 60.
 - Place all reinforcing per ACI codes and standards.

4. Wood & Plastic

- 0410 Lumber
 - Underlayment and grades to be as follows:
 - Ratons, ceiling joists, & stiffing Douglas Fir #2
 - Bucks, blocking and bridging and misc. Douglas Fir or Hem Fir #2
 - 2x4 studs Douglas Fir or Hem Fir #2
 - 2x6 studs and larger Douglas Fir #2
 - Interior beams None used
 - Headers to be 4x8's unless noted otherwise.
 - Block solid between joists and rafters at bearing walls. Cross-bridge joists deeper than 12" at 8'-0" o.c. maximum.
 - All nailing to be per 2000 IRC Table R602.3
 - All framing lumber to be 15% dried, season dried, or field dried to a tested moisture content not to exceed 10%.

0450 Connectors and Supports

- All joists or beams framing into (not bearing) on beams, headers or girders shall be supported with "LUS" type Simpson or equal joist or beam hangers. All post beam and post footing connections to be made with Simpson post cap and post base.

04122 Structural Plywood and Oriented Strand Board

- All exterior plywood to be C-D grade with exterior glue. Thickness and index number to be 1/2 inch No. 3216 for walls; 5/8 inch No. 4070 Plywood for roof spans up to 32 inches; 5/8 inch tongue-and-groove plywood for floors with underlayment and carpet or sheet vinyl; 3/4 inch tongue-and-groove C-D grade plywood for floors with hardwood or tile, unless noted otherwise on drawings. Each sheet to bear on APA stamp. Minimum plywood nailing per IRC Table K602.3.
- Install roof and floor sheathing with face grain perpendicular to supports and stagger end joints. Install wall sheathing either horizontal or vertical, and block all edges of sheathing with 2x4 or thicker blocking. Block roof sheathing where noted on drawings and where plywood widths are less than 12 inches. Glue floor sheathing to all supports. Protect all sheathing from weather damage and moisture. Replace all buckled or soft sheets.

7. Thermal & Moisture Protection

- 07100 Waterproofing & Dampproofing
 - Install Fortifiber Moisture Barrier at all windows. Install according to Fortifiber Window Flashing Guide which meets Federal Specification UU-8-7700, Style 4, Grade A.
 - Install pre-finished aluminum flashing at head of all exterior windows and doors and as noted on the drawings.

07200 Insulation

- Insulate house as follows:
 - R-21 batt insulation in new (2x6) exterior walls.
 - R-30 batt or rigid insulation in vaulted areas
 - R-30 blown in insulation in new attics.
 - R-15 Rigid Insulation at slab on grade edges.
- 07310 Siding
 - New exterior siding to be as called out on drawings repeat existing siding as needed at remodeled area. Install over air infiltration barrier of 15# building paper.
- 07320 Sheet Metal Flashing & Trim
 - Provide 28 GA. galvanized flashing where required and as noted noted on the drawings
- 07720 Roof Accessories
 - Install new continuous pre-finished gutters and downspouts as shown on the exterior elevations at new roof eave. To info existing gutters and downspouts at existing roofs where noted. Relocate existing downspouts as needed.
- 07720 Sealants, Caulking & Seals
 - All exterior doors and windows to be caulked in place and polyssealed.
 - Polysal all construction joints, plumbing and electrical penetrations to insure maximum air tightness and insulation and as per current energy code requirements.

8. Doors and Windows

- 08200 Wood and Plastic Doors and Frames
 - See door schedule for specifications and sizes.
- 08300 Windows
 - Verify Window type and size with designer prior to framing. Window U-value to equal or exceed 0.4
 - See section 07100 for flashing requirements.

- All new interior door and window trim to match existing profile, size and finish. Except at shower area, where sill and jambs are to have life returns to the window. All the window head of all jambs, head, and sill pieces to be continuous boards with no splices. Ceiling and base trim to be installed with long grain boards possible. 4x8 trim at splices if necessary. For ceiling and base trim, nailing at outside corner joints, butt at inside corner joints. Use finishing nails (no staples) for installation & set for wood filler.
- Interior hardware to be verified with designer
- 08710 Rotten Hardware
 - Verify with designer

09000 Finishes

- 09250 Gypsum Board
 - Now gypsum board to have light orange peel finish. Use water resistant gypsum board on new walls in bathroom. Exterior gypsum board to be screwed or glued and nailed to studs.

15. Mechanical

- 15150 Floor Drains
 - Floor drain to be designed for use with a membrane shower pan system w/ adjustable head assembly. Run FD-2254 or approved equal. Center on shower space and set elevation per drawings.

16400 Plumbing, Fixtures, Milling, Trim, & Accessories

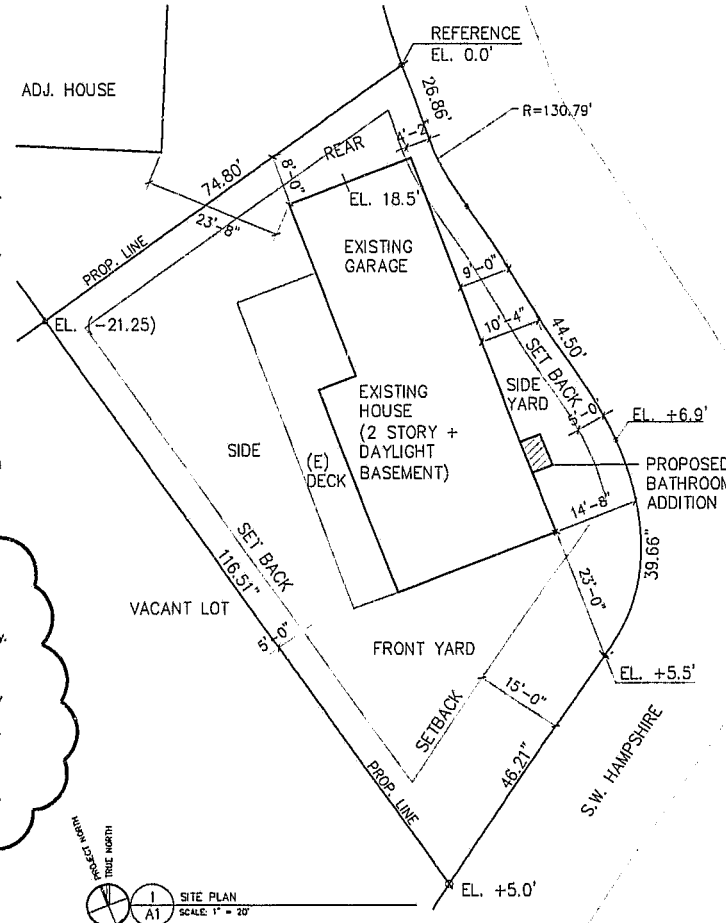
- All new plumbing to meet code requirements. Plumber to size supply and waste piping as required by code. Connect supply system to existing service. New shower faucets to be installed with pressure balanced valves and scald guard. Verify fixtures and rough-in requirements prior to start of construction.
- Waste and vent pipe to be ABS plastic pipe (except waste stacks larger than 2" to be cast iron). Water supply piping to be copper type "W". Insulate all hot water piping and all pipes in wall adjacent to unheated space.
- All exterior foundation drains to be flexible polyethylene sealed pipe with an ADS Drain Guard filter fabric sock. All downspouts to be connected to existing drainage system.
- When new plumbing work is in conflict with existing or new structural members (joist, beams, columns), consult with designer prior to cutting or drilling. Do not cut or drill member, unless approved cutting or drilling may require additional structural work at plumber's expense.
- Return and plumbing accessories per schedule. Contractor to verify compatibility and fit at all specified fixtures.
- Contractor to supply all components and parts necessary for complete installation.

16550 Heating, Ventilating & Air Conditioning

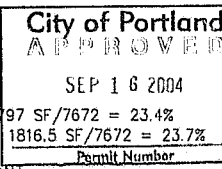
- Relocate existing supply vent per drawings or as directed on field by design.

16. Electrical

- All electrical work to meet code requirements. Electrical service to be sized by contractor as required for all electrical, mechanical, and heating needs. Verify existing electrical service prior to bid submission and provide additional and/or new service as required.
- All outlets to be located 12" from finish floor to bottom of outlet plate unless otherwise noted on plans. Breakouts given on the plans are to the bottom of the finished electrical plate.
- All light fixtures to be supplied by contractor with lamps and existing relocated fixtures replaced as required.
- The allowances for Owner selected light fixtures in the future schedule are wholesale (contractor's) price before contractor's mark up. Installation for all Owner selected light fixtures to be included in contractor's base bid.
- For the location of fixtures: Where no dimensions given and the approximate location shown is in conflict with structural or other object, it is the contractor's responsibility to verify fixture location with designer prior to rough-in.



LOT#15 BLOCK 17
ARLINGTON HEIGHTS
PROPERTY ID: R108743
ZONE R7
LOT SIZE: 7,672 SF
PROPOSED ADDITION: 19.5 SF
CURRENT BLDG COVERAGE: 197 SF / 7672 = 2.34%
PROPOSED BLDG COVERAGE: 1816.5 SF / 7672 = 23.7%



PROJECT SUMMARY:
ADDITION OF 19.5 SF BAY FOR NEW SHOWER AT AN EXISTING BATHROOM. REPLACE TOILET, SINK, LIGHTING AND FINISHES AT EXISTING BATH.

SHEET INDEX:

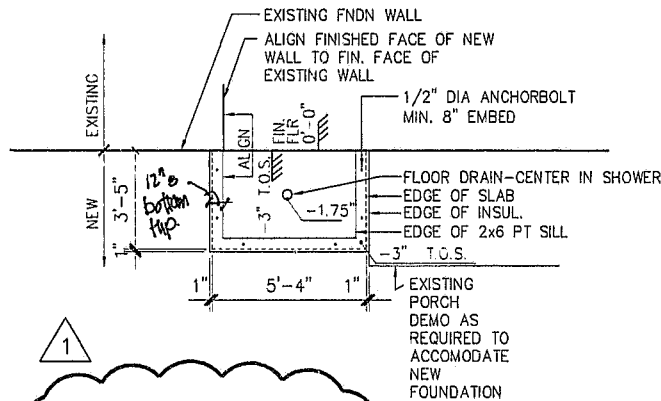
- GENERAL NOTES/SITE PLAN
- PLANS
- ELEVATIONS/SECTION

REVISION 1: 9/13/04

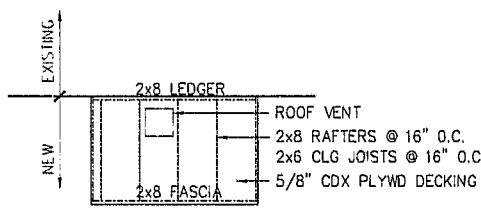
PROJECT NO. 09-09-04
DATE 09/09/04
ORANGEWALLstudios
3025 SW HAMPSHIRE PORTLAND OR 97205
GO RESIDENCE: BATH REMODEL
3025 SW HAMPSHIRE PORTLAND OR 97205

A1

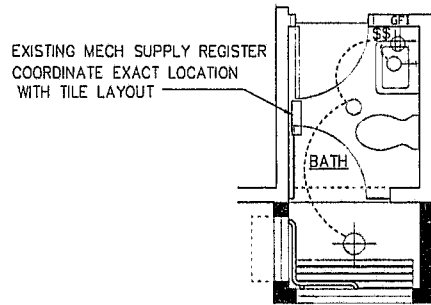
04-047109-Rev.01-RS



1
2 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



3 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



4 ELECTRICAL/MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

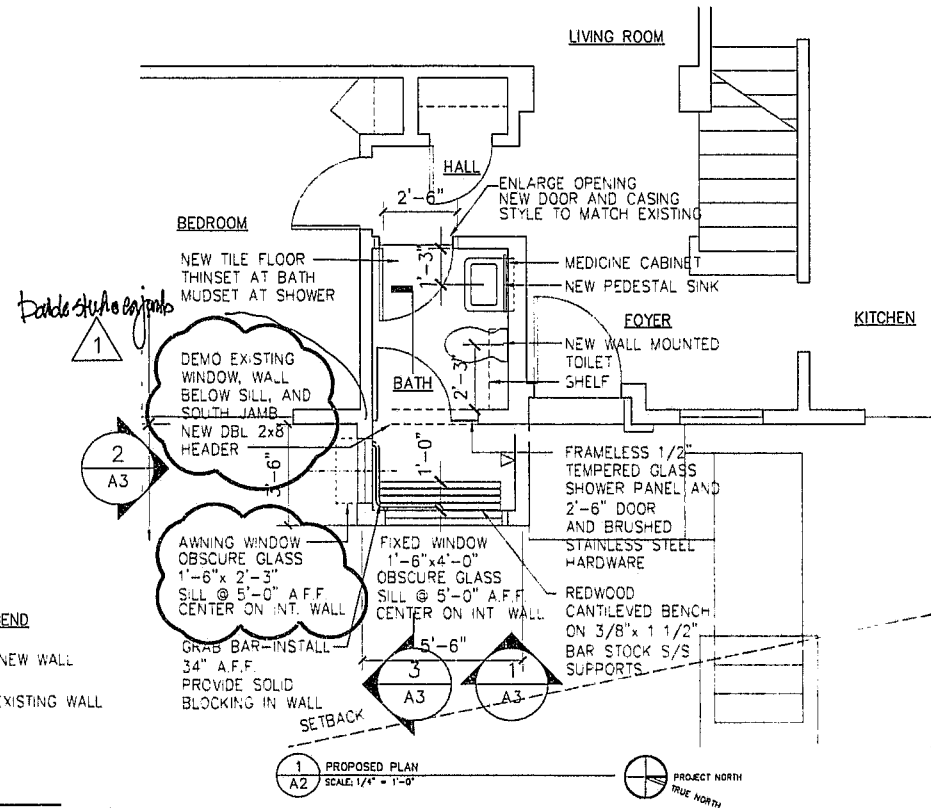
- NEW WALL
- EXISTING WALL

ELECTRICAL LEGEND

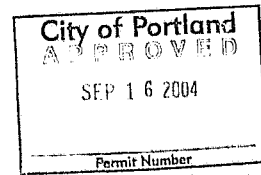
- SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- DUPLEX OUTLET
- QUAD OUTLET
- GFI OUTLET
- DEDICATED CIRCUIT
- 4" DIA RECESSED CAN FIXTURE
- 6" DIA. RECESSED FIXTURE
- SURFACE MOUNTED FIXTURE
- DATA/CABLE JACK
- TELEPHONE JACK

NOTES:

- COORDINATE LOCATION OF ALL LIGHT FIXTURES PRIOR TO INSTALLING
- INSTALL UL VET LISTED RECESSED FIXTURE AT SHOWER
- PROVIDE LABOR ALLOWANCE FOR OWNER FURNISHED CONTACTOR INSTALLED FIXTURES
- VERIFY ALL FIXTURE TYPES & LOCATIONS WITH DESIGNER PRIOR TO INSTALLATION



1 PROPOSED PLAN
SCALE: 1/4" = 1'-0"

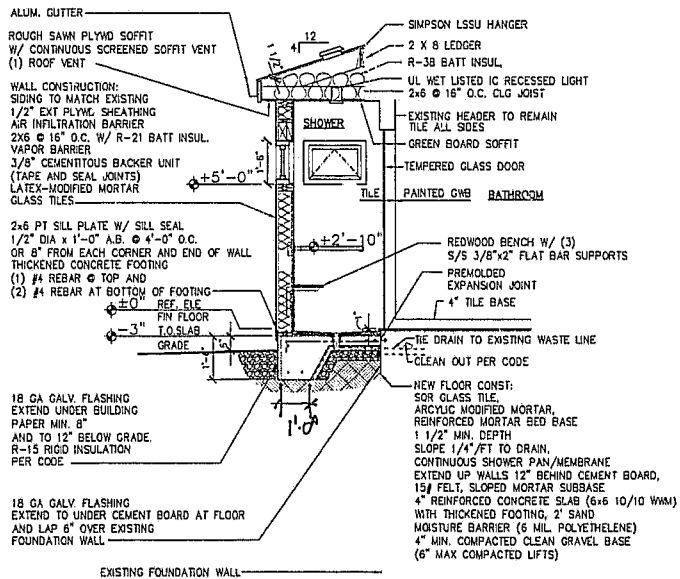


PROJECT NO. 07-134
DATE 04-002
ORANGEWALLSTUDIOS
3101 SW 24th Ave, Portland, Oregon 97205
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F: 503.227.2601

GO RESIDENCE: BATH REMODEL
3025 SW HAMPSHIRE PORTLAND OR 97205

PLANS
A2

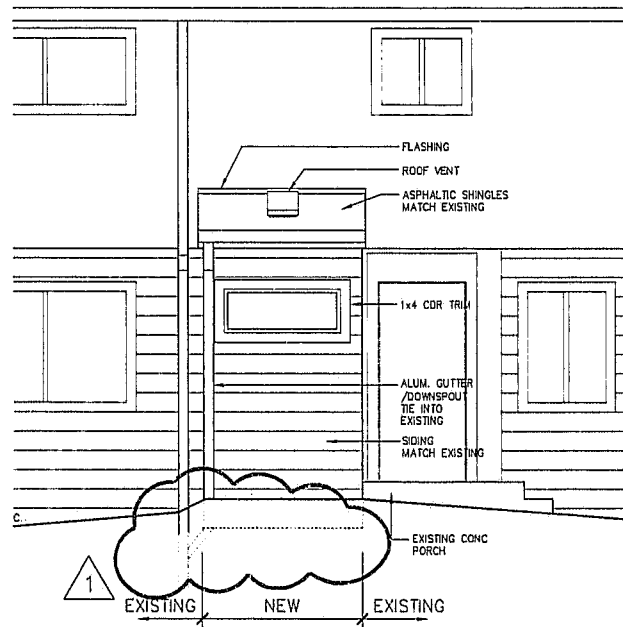
REVISION 1: 9/13/04



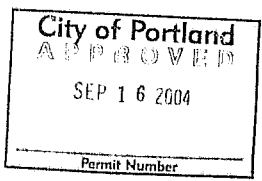
EXISTING FOUNDATION WALL

3
A3 WALL SECTION
SCALE: 1/4" = 1'-0"

2
A3 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
(NORTH SIMILAR WITHOUT WINDOW)



1
A3 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 REVISION 1: 9/13/04

ELEVATIONS/SECTION

A3

GO RESIDENCE: BATH REMODEL

3025 SW HAMPSHIRE PORTLAND OR 97205

PROJECT NO. 04-C02
DATE 09/09/04

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