

4336 SW CONDOR AVE.

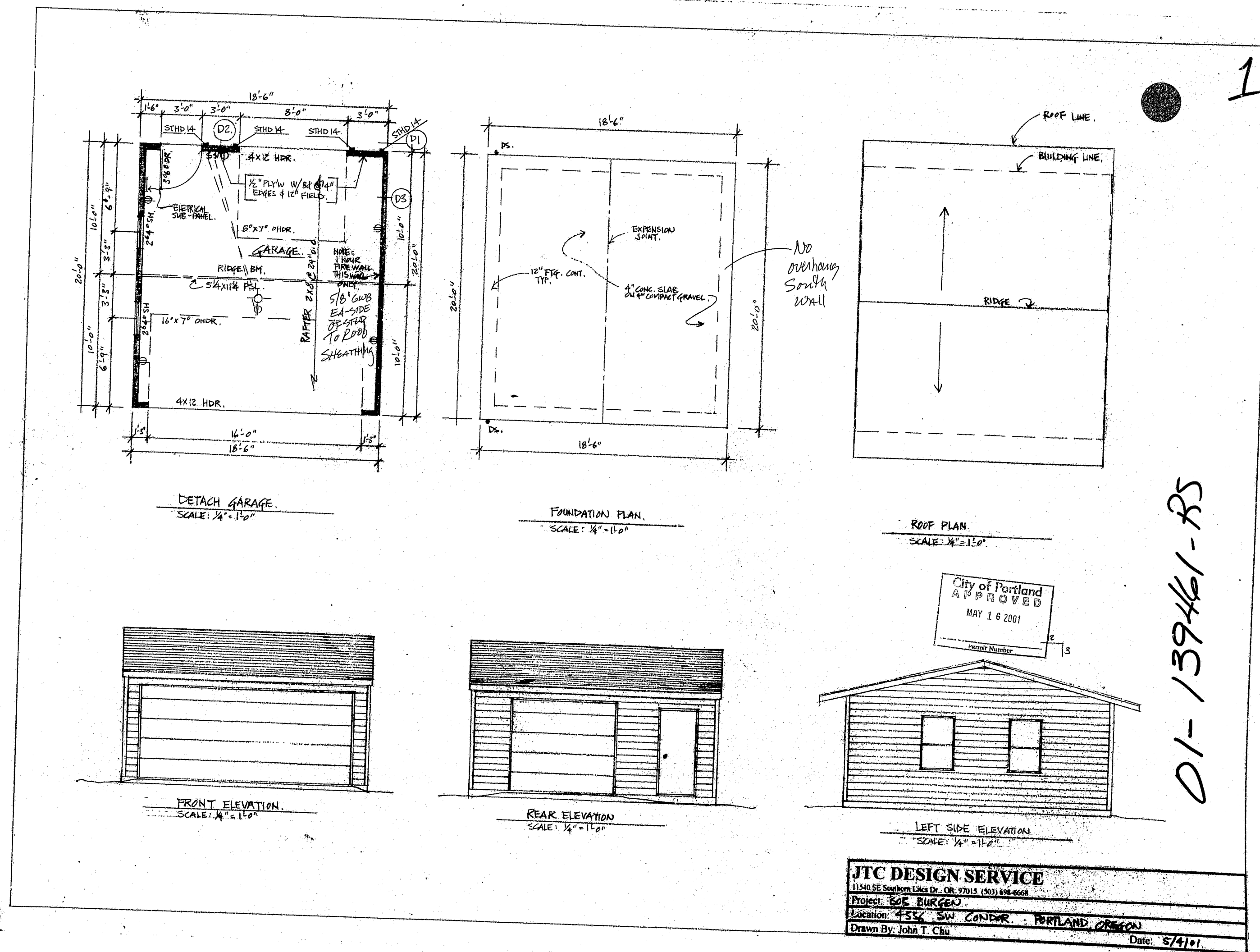
RS01-139461

JUN 2001
MICROFILMED

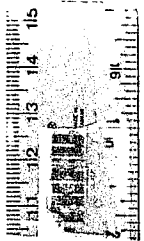
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MAY 22 2001
MICROFILMED

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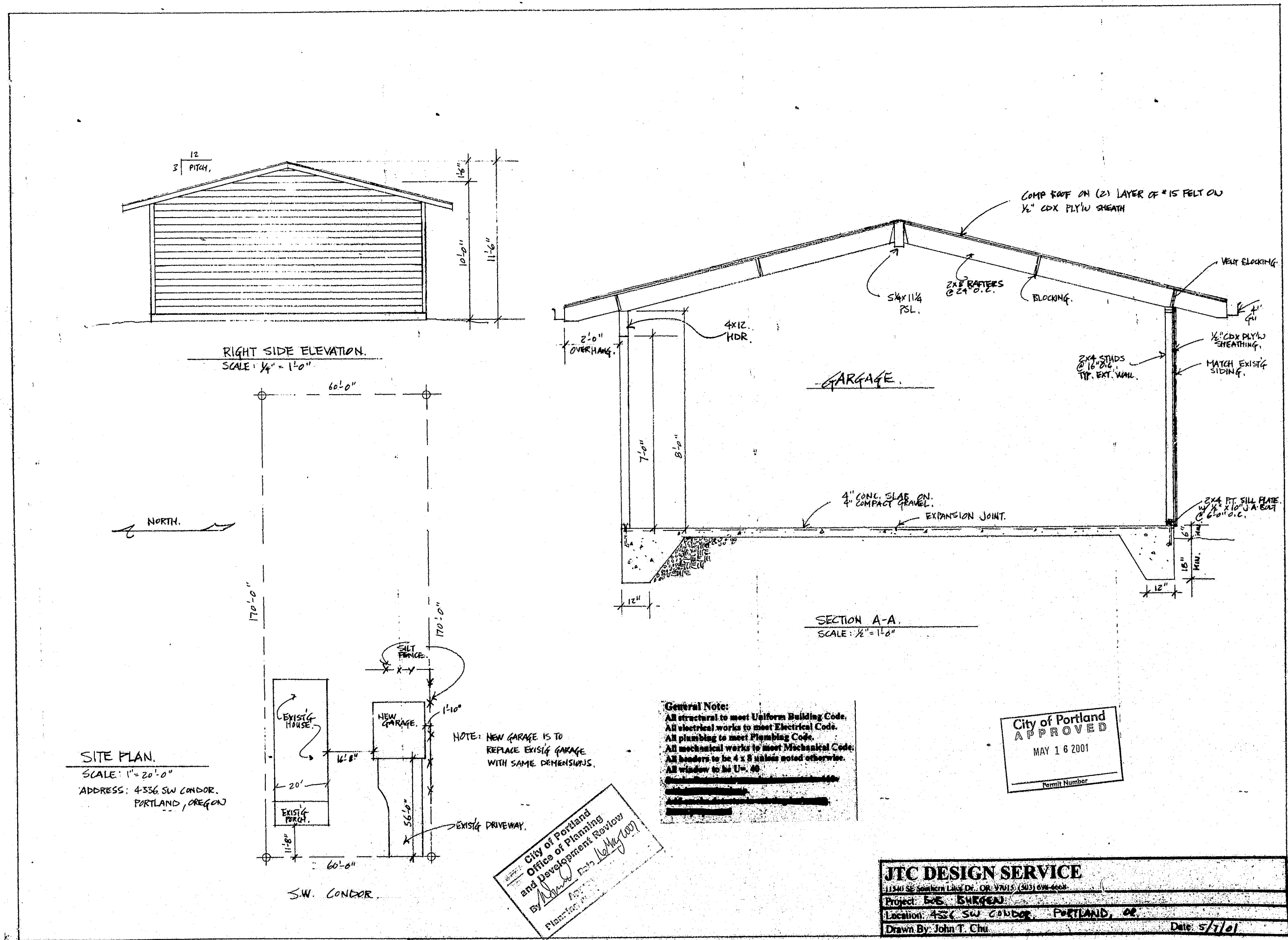
01-139461-R5



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MAY 22 2001
MICROFILMED



RS-01-139461

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MAY 22 2001
MICROFILMED

34



CITY OF
PORTLAND, OREGON
OFFICE OF PLANNING AND DEVELOPMENT REVIEW
1900 SW 4th Ave, Suite 5000
Portland, OR 97201



RESIDENTIAL 1 & 2 FAMILY PERMIT

01-139461-000-00-RS

Site Address: 4336 SW CONDOR AVE
4336 CONDOR AVE

Issued: 5/16/01

PROJECT INFORMATION		Occ. Group	Const. Type
Garage/Carport	New Construction	U1	V-N
Project Description: NEW GARAGE.			

APPLICANT	ROBERT F BURGAN	Phone	(503) 228-5565
OWNER	MARY MC ARTHUR	Phone	
CONTRACTOR	ROBERT F BURGAN	Phone	

Project Details	Project Details
1st Brnch circuit w/o svc or fdr 1	Code Edition (Year) 2000
Each additional branch circuit 1	Number of Stories 1
Rain drain # of feet 99	Zoning Enforcement Agency Portland

PAID
MAY 16 2001
CITY OF PORTLAND

BEFORE YOU DIG	ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0060. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is 1-800-332-2344).
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CITY CONTACT	Phone:
E-Mail:	Fax: (503) 823-4172

INSPECTION REQUEST PHONE NUMBERS	Building/Trade Inspections - Call Before 6:00 AM:	(503) 823-7000
TDD: (503) 823-6868		
IVR Inspection Request Number: 2102011		

DO NOT REMOVE

Approval criteria for Zoning must be attached to plans on construction site.

1 copy to each set of plans
1 copy to DSC file

Plancheck # 01-139461-RS

Planner: Michelle Desand

ONE & TWO FAMILY RESIDENTIAL PLAN REVIEW SHEET

Date: 15 May 2007 Zone: RS

Addition and Lot: Blk 8 Sst E+P

LUR History: none

Substandard Lot ☒ Y ☒ PUD/Cluster ☒ Y ☒

ADU: ☒ Y ☒ Detached Access. Structure ☒ Y ☒ N

Lot size: 10200

Plan District: none

Minimum

Required

Proposed

Front Setback

10

NC

Side Setback

5

1'10"

Rear Setback

5

NC

Parking Setback

18

36'

Outdoor Area

250' 12x12

Side/1000

Trees (preservation, planting, or fund)

NA

NA

Maximum

Vehicle Paving

40%

No change

Building Coverage

45%

1400 13%

Height

30

11'

Roofing Surface

NA

NA

Base Zone Design Standards

Main Entrance

Replace existing
no changes to B225

Street Facing Façade

Length of Garage Wall

Street Lot Line Setbacks

Other Req/Notes

City of
Office
and Development
Planning and
Zoning
15 May 2007

DOCUMENT

POOR QUALITY

Don P. Sherman, PE

3746 SE Morrison Street

Portland, Oregon 97214

(503) 230-8876

(503) 230-7785 fax

BURGEN GARAGE

Portland, Oregon

For:

JTC Design

Portland, Oregon

May 15, 2001

Subject

Sheet No.

Framing

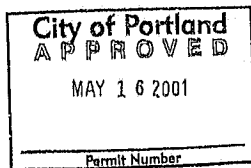
FRI

Lateral Load

LL1-LL3

Details

D1-D3



01-139461-R

BURGEN GARAGE
FRAMING

FR1
5-13-01

RIDGE BM

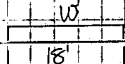
$$W = 40'' (20'/2) = 40' \times 1'$$

$$M = 40'' (18')^2 / 8 = 16,200'$$

$$S \geq \frac{16,200 (12)}{24,000 (1.5)} = 65.0 \text{ in}^3$$

$$I \geq \frac{5 (40'') (18')^4 (1728)}{384 E (L/240)} = \frac{552 \text{ in}^4}{(528 \text{ in}^4)}$$

USE 5'4" x 11'4" PL



HEADER

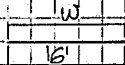
$$W = 40'' (10'/2) = 20' \times 1'$$

$$M = 20'' (16')^2 / 8 = 6,400'$$

$$S \geq \frac{6,400 (12)}{24,000 (1.5)} = 64.0 \text{ in}^3$$

$$I \geq \frac{5 (20'') (16')^4 (1728)}{384 E (L/240)} = 230 \text{ in}^4$$

USE 4" x 12"



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MAY 16 2001
Permit Number

142
5-5-01

CHK DIAPH DEFL

$$\Delta_{DIAPH} = \frac{w_L L}{2Gt} + .0375 L e_n$$

$$= \frac{95(20)}{2(75)(.535)} + .0375(20)(.031) = .047"$$

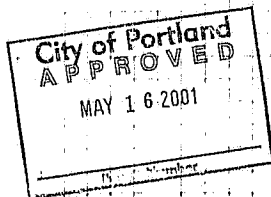
$$\Delta_{SW} = \frac{4w_{MAX} h^3}{EA b} + \frac{w_{MAX} h}{2Gt} + .75 h e_n$$

$$= \frac{4(59)(8)^3}{15 \times 10^6 (10.5)(6)} + \frac{59(8)}{2(75)(.535)} + .75(8)(.031) = .92"$$

$$\Delta_{EW} = \frac{8w_{MAX} h^3}{EA b} + \frac{w_{MAX} h}{2Gt} + .75 h e_n$$

$$= \frac{8(300)(8)^3}{15 \times 10^6 (10.5)(6)} + \frac{300(8)}{2(75)(.535)} + .75(8)(.031) = .229"$$

$$\Delta_{TL} = .468" < .00547 \text{ OK}$$



LL3
5-15-01

BURGEN GARAGE

Overturning	15 (psf) = RF dead				
Line I	6 (ft) = Trib. Area				
	8 (psf) = Wall dead				
	Length (ft)	shear (k/ft)		Height (ft)	
	V = 4	0.075	=	0.30	8
M, resist:	Dead load	length (ft)		Mom (k-ft)	
	RF = 0.36	2	=	0.72	
	Wall = .3 kips	2	=	0.58	
	Adj = .3 kips	4	=	1.08	
Main Flr	Mot = 2.40		Mr = 2.4 kips	0.67	WIND Reduction
			Uplift = 0.20	OK w/ A.B.'s	

Overturning	15 (psf) = RF dead				
Line A	6 (ft) = Trib. Area				
	8 (psf) = Wall dead				
	Length (ft)	shear (k/ft)		Height (ft)	
	V = 3	0.300	=	0.90	8
M, resist:	Dead load	length (ft)		Mom (k-ft)	
	RF = 0.27	1.5	=	0.41	
	Wall = .2 kips	1.5	=	0.32	
	Adj = .3 kips	3	=	0.81	
Main Flr	Mot = 7.20		Mr = 1.5 kips	0.67	WIND Reduction
			Uplift = 2.06	Use S111114	

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Sheet Number

Overturning calc

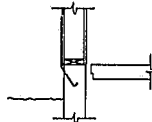
NOTE:

PROVIDE EDGE NAILING
PER PLAN @ STUDS

T.O. FOUND WALL

STRAP HOLD DOWN PER

PLAN TO DBL STUD
CONN OVER WALL SHG PER:



NOTE:

PLACE STRAP MIN 1-1/2" FROM
CORNER OF FOUND WALL

PER W/CR

11/2"

D1

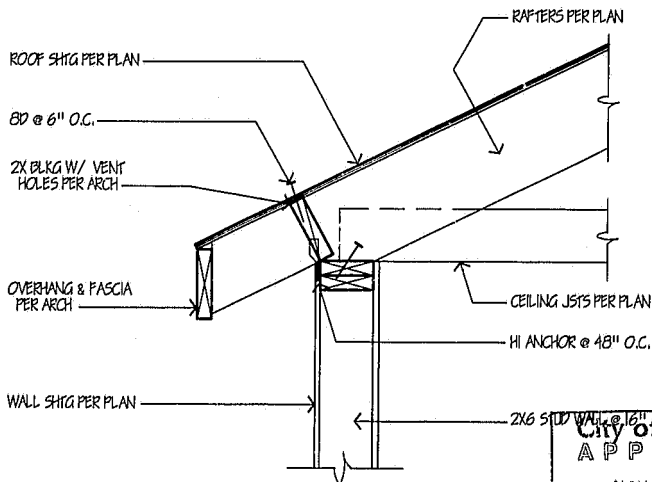
TYP SHEAR WALL STRAP HOLD DOWN

HLDS1110

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SCALE: 1/4" = 1'-0"
Permit Number



DZ

ROOF RAFTER @ EXT WALL

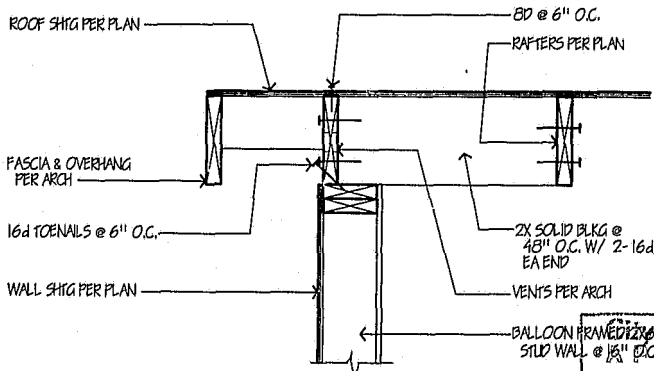
RFSKS

SCALE

1/4" = 1'-0"

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D3

GABLE END WALL / PARALLEL RAFTER

RFSK6

SCALE: 1" = 1' 0"

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