



REVISED STAFF REPORT AND RECOMMENDATION TO THE DESIGN COMMISSION

CASE FILE: LU 17-174490 DZM
PC # 17-115416, DAR # 17-141164
Neuberger Hall Renovation
REVIEW BY: Design Commission
WHEN: Thursday, August 03, 2017 at 1:30pm
WHERE: CH2M Center: 2020 SW 4th Ave
Portland, OR 97201 (Lincoln Room) Lobby Level

Bureau of Development Services Staff: Arthur Graves 503-823-7803 |
Arthur.Graves@portlandoregon.gov

GENERAL INFORMATION

Applicant: Nick Hodges | Hacker Architects, Inc. | 503.227.1254
733 SW Oak St Suite 100 | Portland, Oregon | 97205

Owner/Agent: Steve Rounds | Portland State University
1825 SW Broadway | PO Box 751 | Portland Oregon 97207

Site Address: **1855 SW BROADWAY**

Legal Description: BLOCK 199, PORTLAND
Tax Account No.: R667721030, R667721030
State ID No.: 1S1E04DA 06900, 1S1E04DA 06900
Quarter Section: 3228
Neighborhood: Portland Downtown, contact Rani Boyle at 503-725-9979.
Business District: None
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City - University District
Other Designations: The site, including both buildings, is listed on the Historic Resource Inventory

Zoning: CXd: Central Commercial (CX) with Design (d) overlay
Case Type: DZM: Design Review with Modifications
Procedure: Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

Proposal:

The applicant requests Design Review for exterior alterations to Neuberger Hall, a five story building on the Portland State University (PSU) campus located in the University District sub-district of the Central City Plan District. The proposal includes the removal of the existing curtain wall from the west half of the building to be replaced with a new glazing and curtain wall system which includes shifting metal panels. The existing brick on this half of the building will be darkened with a lime-wash application. Alterations to the upper stories of the east half of the building include the replacement of existing single-pane glazing with high-performance

glazing in the same locations. The ground floor of the entire building will be altered to include new entrances and increased glazing. Exterior areas immediately adjacent to the building on the north, west and south will be re-landscaped.

The applicant also requests one modification to the development standards:

- **To Ground Floor Windows:** To reduce the required length of glazing on the north (SW Harrison), south (SW Hall) and east (SW Broadway) façades from 50% to 33%, 50% to 33%, and 50% to 34%, respectively.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the criteria of Title 33. The relevant criteria are:

- Central City Fundamental Design Guidelines
- 33.825.040 Modifications that will better meet Design Review Requirements

ANALYSIS

Site and Vicinity:

A building of the Portland State University (PSU) campus, Neuberger Hall, while currently one building occupying a full block site, is the aggregate of two half block buildings constructed approximately 8 years apart: the western half of the building was built in 1961 and the eastern half of the building was constructed in 1969. Both are built in the New Brutalism Style, are heavily symmetrical, and are composed of concrete and masonry, with large grids of clear and spandrel glazing. The site is surrounded by vacated streets on three sides: SW Hall Street to the south, SW Park Avenue to the west, and SW Harrison Street to the north. The site fronts SW Broadway to the east.

Portland State University is located in the University District, which is in the southern part of downtown. The South Park Blocks are partially located on campus. Notable campus development nearby include the Peter Stott Center, Millar Library and the Community Recreation Field with the Walk of the Heroines to the north of the building across SW Hall, as well as the Smith Memorial Union about 750 feet to the northeast.

Zoning:

The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The Design Overlay (d) zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate the following prior land use reviews for Neuberger Hall on the Portland State University campus.

- LU 85-004338 DZ (131-85). Design Review approval of automatic teller machine in Neuberger Hall.

- [LU 91-008915 LUR \(91-00660\)](#). Design Review approval of installation of two satellite dishes to the roof of Neuberger Hall.
- [LU 92-009257 LUR \(92-00138\)](#). Design Review approval of installation of 2 small heat pumps to the roof of Neuberger Hall.
- [LU 93-010775 LUR \(93-00776\)](#). Design Review approval of installation of 5 small heat pumps to the roof of Neuberger Hall.
- [LU 94-011396 LUR \(94-00494\)](#). Design review approval to enclose the north and south-facing stairwells with aluminum frame, panels and swinging door.
- [LU 97-014669 LUR \(97-00623\)](#). Design Review approval of installation air conditioning unit to roof.
- [LU 98-015459 LUR \(98-00153\)](#). Design Review approval of emergency generator and louvers to the west facade.
- [LU 99-017088 LUR \(99-00683\)](#). Design Review approval of nonconforming development.
- [LU 08-107661](#). Design Review approval of six cellular communications antennas to the penthouse.

Agency Review: A “Notice of proposal in Your Neighborhood” was mailed **July 14, 2017**. The following Bureaus have responded with comments:

- **Bureau of Environmental Services (BES):** Rosa Lehman, June 06, 2017. With the following comments: (Exhibit E-1).
Plans: Submit a revised set of land use plans to reflect all changes requested by BES staff below, as well as changes requested by other agency reviewers.

Nonconforming Sewer: The submitted utility plan shows that the nonconforming sewer lateral in SW Broadway will be resolved by abandoning it and installing a new connection. However, the lateral in the vacated street to the north of the property has not been addressed in the submittal.

Presumptive or Performance Approach Stormwater Report (Onsite): See Section 2.4.4 and 2.4.5 of the [2016 Stormwater Management Manual](#) (SWMM) for stormwater report submittal guides. The report must follow the outline included in Section 2.4.6 and be stamped by a registered engineer. The submitted storm report must be amended to address:

The new roof area created by the alteration of the building for the light well; and

The unmanaged area adjacent to the building.

Additionally, the pervious and impervious areas appear to be swapped on the basin map and the trees to be used for tree credit should be clearly identified.

Special Circumstance Application: The applicant may consider applying for Special Circumstance, however BES has not received an application to review. Special circumstances on a proposed site may make it impractical to meet the stormwater management requirements to the standards specified in the SWMM. Through the Special Circumstances process, BES reviews requests to either meet stormwater management requirements in alternative ways or to pay an Offsite Stormwater Management Fee in lieu of building a stormwater facility. Refer to Section 1.5 of the SWMM for submittal requirements and submit the application directly to the BES reviewer assigned to this land use review. The applicant should be aware that the review process takes 21 days from the date the application is deemed complete. Either an approved Special Circumstance application or an alternative stormwater management plan that meets SWMM requirements must be submitted prior to BES approval of the proposed design review application.

- **Fire Bureau:** Dawn Krantz, June 16, 2017. With the following comments: (Exhibit E-2).

The applicant shall obtain a separate building permit for this proposal. All applicable Fire Code requirements shall apply at the time of permit review and development.

- Bureau of Development Services Life Safety/Building Code Section: Kathy Aulwes, July 03, 2017. With the following comments. (Exhibit E-3).
 - 1 A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. More information regarding building code requirements can be obtained by visiting the Bureau of Development Services Development Services Center - 1900 SW 4th Ave, 1st floor. The Development Services Center is open Monday through Friday from 8:00 a.m. to 3:00 p.m. (close at noon on Thursday). No appointment is necessary. Building Code information is also available online at: <http://www.portlandonline.com/bds/>, or by calling (503) 823-1456.
 - 2 It is recommended the applicant visit the Development Services Center for more information at 1900 SW 4th Ave, 1st floor. The Development Services Center is open Monday through Friday from 8:00 a.m. to 3:00 p.m. (close at noon on Thursday). No appointment is necessary.
 - 3 The structure is enrolled in the Facilities Permits Program (FPP). Please contact the assigned Facilities plans examiner/building inspector for building code requirements. FPP main telephone number (503) 823-5521.
 - 4 For the purposes of determining the required wall and opening protection and roof-covering requirements, buildings on the same lot shall be assumed to have an imaginary property line somewhere between them. OSSC 705.3
 - 5 Exterior walls less than 30 feet to property line must be 1-hour fire-rated construction. Exterior walls located less than or equal to 10 feet to a property line must be one-hour fire-rated for exposure to fire from both sides. Exterior walls located more than 10 feet to a property line must be one-hour fire-rated for exposure to fire from the inside only. OSSC 602.1, 705.5
 - 6 Openings in exterior walls less than 3 feet to a property line are not allowed. Unprotected openings in exterior walls less than 5 feet to a property line are not allowed in an unsprinklered building. OSSC 705.8
 - 7 Alterations to the building exterior envelope shall meet the prescriptive requirements Energy Code. Exception: When up to 25 percent of the glazing in any one wall is being replaced, it may be replaced with glazing with a U-factor and shading coefficient equal or better than the existing glazing. OEESC 101.4.2

The following Bureaus have responded with no comments or concerns:

- Bureau of Transportation (PBOT): Fabio de Freitas, June 05, 2017.
- Bureau of Development Services Site Development: George Helm, July 05, 2017.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **July 14, 2017**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

(1) DESIGN REVIEW (33.825)

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the

neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A2. Emphasize Portland Themes. When provided, integrate Portland-related themes with the development's overall design concept.

Findings:

- The proposed exterior alterations to the building are designed to engage and further activate one of Portland's signature urban gathering spaces, the South Park Blocks. By locating entries and large glazed areas on the Park-facing elevations the building transforms a currently underutilized edge of the Park into an active pedestrian area in which the boundaries of the interior of the building blur with the exterior space of the Park.
- The building provides a transition area plaza including seating and gathering areas directly facing the Park. This continues the theme of providing seating and gathering areas facing the Park, demonstrated at the adjacent Millar Library steps, the Peter Stott Center, Shattuck Hall and other cultural buildings along the South Park Blocks such as

at the Oregon Historical Society and the Portland Art Museum/Mark Building.

- The project meets the minimum performance level for Oregon Energy code and LEED certification. In addition, the project is pursuing a LEED Gold certification.
- Landscaping: The proposed landscaping, while not a strictly native palette, does interact with the overall building concept, again echoing the natural features found in Portland's surrounding environment. The landscaping also continues a pattern established around other university buildings adjacent to the Park Blocks.

This guideline is met.

A3. Respect the Portland Block Structures. Maintain and extend the traditional 200-foot block pattern to preserve the Central City's ratio of open space to built space. Where superblock exist, locate public and/or private rights-of-way in a manner that reflects the 200-foot block pattern, and include landscaping and seating to enhance the pedestrian environment.

Findings:

- The current building footprint, which is not proposed to be altered with the building rehabilitation, occupies the full block site.
- Vacated streets are immediately adjacent to the building on the north, south and west sides. Landscaping and seating areas will be created to better integrate the interior lobby and services spaces to the South Park Blocks.

This guideline is met.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

Findings:

The project integrates unifying design elements and includes new features that unify and connect the project as a whole and the project's individual building components to each other, the surrounding streets, and the broader neighborhood area as follows:

- The existing brick (on the 1961 portion of the building) will be maintained and so the west half of the building will remain integrated with the 1969 portion of Neuberger Hall as well as other adjacent academic masonry buildings on the PSU campus: Shattuck Hall, Millar Library, Blackstone Residence Hall, Cramer Hall, and Smith Memorial Union.
- The existing brick paving accent band used in the south end of the South Park Blocks will be maintained to continue to define the formal hardscape pedestrian paths in this area.
 - The integration of seating and landscaping along the west elevation provides places to sit along the edge of the Park while softening the transition from the building to the Park Blocks.
 - The additional integration of a sidewalk area on the north elevation, as well as seating and landscaping, carries this language around the building to provide further unifying elements to the west elevation while helping to mitigate the unresolved vacated Harrison Street area to the north.
- The proposed freestanding sign design and location is drawn from the Portland Art Museum and Oregon Historical Society, providing connections and a similar design along the Park Blocks.

This guideline is met.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

Findings:

- The alterations to the building and site are intended to improve the connection and engagement primarily between the building and the South Park Blocks to the immediate west, and secondarily through to SW Broadway to the east.
- To connect the building with its context and celebrate its location on the South Park Blocks, the west half of the building has been altered at the ground floor with a new canopied entry on the west elevation. This entry connects to the Park with a new plaza area including transitional landscaping, seating, and gathering and workstation areas. The west elevation ground floor is also continuously glazed at a height up to 11' to provide unbroken visual connections to the Park.
- The upper stories of the western half of the building include a new shifting metallic silver metal panel cladding system intended to better engage the Park Blocks through a less rigid and more organic design providing generous views and nuanced connection to the trees and activity of the South Park Blocks.
- Existing Park amenities such as the brickwork surrounding the pedestrian paths and existing park pole lighting are being maintained.
- On the southern edge of the project site, the vacated street will continue to be integrated into the development with improved entries at the southwest corner and the center of the building and foundation landscaping consistent with the landscaping adjacent to the south at Shattuck Hall.
- The east elevation removes the existing concrete panels from the ground floor adjacent to the right-of-way and replaces them with aluminum window systems approximately 12 foot high by 7 feet wide. In addition, a new entrance off of SW Broadway provides significant access and visual connection both to the planned gallery space and through the building to the South Park Blocks to the west.

This guideline is met.

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings:

- The intention of the proposal is to rehabilitate Neuberger Hall both internally and externally. Internally, to rectify and organize an inefficient design that has been the de facto result of the merger of two different half-block buildings constructed nearly a decade apart. Externally, the rehabilitating is intending to mitigate aging, inefficient and failing cladding and storefront systems. The proposed alterations continue to respect the original Brutalist architecture of the two buildings (the 1961 and the 1969 buildings) that constitute Neuberger Hall. Also, while the proposal addresses deferred maintenance to the entire building, both the 1961 and the 1969 portions of the building will continue to read as individual architectural design elements. Collectively, the massing, form and material palette of the original building will be maintained through the proposed alterations.

This guideline is met.

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

Findings:

- The massing of the building has not been altered. However, greater attention has been given to the building's facades both at the ground floor and the upper stories to better contribute to the pedestrian experience while maintaining a sense of urban enclosure.
- Increased glazing and revitalized entry ways at the ground floor on all elevations diminishes the dominant nature of the full block Brutalist building and improves the sense of pedestrian scale.
- The incorporation of new metal panels to the upper stories of the west half of the building

also helps to reinforce and articulate the human scale of the ground floor.

- The urban edges of the building are articulated with both projecting and recessed elements such as canopies, recessed entries, and storefront systems.

This guideline is met.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings:

- The alterations to Neuberger Hall provide improved connections and integration to the adjacent streets on all sides.
- The north elevation provides a new sidewalk between the existing trees and the building to improve the pedestrian scale and help better define the adjacent vacated Harrison Street as a pedestrian dominated area. Additional seating and refurbished landscaping is included in the proposed sidewalk area along this elevation. Increased glazing at the pedestrian level of this elevation is proposed to reduce the existing solid and daunting façade and to allow improved visual connections into the building.
- The west elevation at the ground floor incorporates storefront systems that provide full glazing and clear views to the adjacent South Park Blocks and from the vacated right-of-way into the building. The new entry at the northwest corner along with the improved plaza area includes seating and gathering spaces, and allows increased access and connections to the Park Blocks. The proposed 10 foot deep canopy at the entrance provides additional utility and visual clarity to a building that has long suffered from inadequate access.
- The south elevation provides increased connections into the building from the adjacent vacated SW Hall Street with new entryways and new storefront systems with improved glazing. A 10 foot deep steel canopy consistent with the two other proposed canopies, is integrated above the entry at the southwest corner.
- The east elevation of the building includes extensive street-level glazing accomplished through the removal of existing precast concrete panels along this façade. Alterations lowering the interior floor at this level also contribute greatly to the increased access and visual connection from SW Broadway. As with the west and south elevations, the east elevation includes a 10 foot deep (by approximately 40 long) steel canopy above the new entrance.

This guideline is met.

A9. Strengthen Gateways. Develop and/or strengthen gateway locations.

Findings:

- The default design of the Brutalist building, being two connected half block buildings, has created a structure that has been difficult to navigate at best and imposing at worst. While being located between the South Park Blocks to the west and SW Broadway and the greater urban environment to the east, the building has historically responded to neither. In short, the building has been more of an obstacle between the urban areas and Park blocks than a gateway. The proposed alterations improve both the east and west frontages with the significant addition of glazing providing clear visibility into and through the building, as well as with improved entry and access points on the two primary facades. Collectively, the proposed alterations take advantage of the established university building and its pivotal location to enhance and provide a sense of transition both from the east and the west.

This guideline is met.

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

Findings:

- The project will provide a variety of pedestrian experiences connected to and within its adjacent sidewalk spaces and the Park Blocks. As previously mentioned, the pedestrian access route to the north will be strengthened and further defined with the integration of a new 12 foot sidewalk between the existing trees and the building.
- The existing pedestrian access way on the south elevation of the building (vacated SW Hall Street) will be maintained with the area adjacent to the building being re-landscaped.
- The west elevation of the building will integrate a plaza area approximately 20 feet in width and 125 feet in length along the frontage providing increased access to the building's Park facing façade. The plaza area will include a large "social jetty" seating and workstation feature to enable gathering and activity.
- All public rights-of-way surrounding the new portions of the building will be enhanced by connecting the building to the site with extensive areas of glazing, overhanging canopies, and a variety of exterior places to sit and gather.

This guideline is met.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings:

- Large areas of glazing will transmit interior light outwards after daylight hours, inviting views into the public spaces of the building and celebrating the activity within. This will be most evident on the east and west elevations where new storefront systems with extensive glazing have been added to the ground floor.
- Down-lights from canopies are provided as well as a continuation of Portland State's standard pole-mounted site lighting at the Park.
- Building equipment is located on the roof. All rooftop equipment is screened from view from the street.
- Other than service/campus vehicles and required fire lanes, there is no public vehicular access to the north, south, or west frontages of the building. On the east, the project will maintain the existing one-way cycle track lane and on-street parking currently provided on SW Broadway that establishes a buffer between the sidewalk and street.

This guideline is met.

B3. Bridge Pedestrian Obstacles. Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings and consistent sidewalk designs.

Findings:

- Other than service/campus vehicles and required fire lanes, there is no public vehicular access to the north, south, or west frontages of the building.

This guideline is met.

B4. Provide Stopping and Viewing Places. Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

B5. Make Plazas, Parks and Open Space Successful. Orient building elements such as main entries, lobbies, windows, and balconies to face public parks, plazas, and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally oriented pocket parks that incorporate amenities for nearby patrons.

Findings for B4 and B5:

- A variety of seating, gathering and watching opportunities are created at the west edge of the building facing the South Park Blocks with the integration of the proposed plaza area including the large “social jetty” feature.
- Similarly, at the north a variety of seating and watching opportunities are created at the edge of the building facing SW Harrison Street with the integration of the proposed new sidewalk area including seating amenities.
- Large clear glazed storefront systems added to all elevations provide direct visual connection to adjacent areas such as the vacated streets, adjacent South Park Blocks and large Heritage Tree (Copper Beech) directly across the Park Blocks, in front of the Millar Library.

These guidelines are met.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

Findings:

- The three projecting canopies, on the east, west and south facades are integrated into the design of the sidewalk levels of the building, providing covered rain protection.

This guideline is met.

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building’s overall design concept.

Findings:

- All public entries into the building are fully ADA accessible.

This guideline is met.

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

Findings:

- Alterations to the building at the ground floor, on all elevations, include increased glazing for improved view opportunities and visual access into and out-of the building.
- Extensive full height glazing at the pedestrian level is incorporated in the rehabilitation of the 1961 portion of the building, providing visual connections from the building into the South Park Blocks and adjacent vacated right-of-ways.
- The proposed new metal panel system installed on the 1961 half of the building also significantly increases the collective amount of glazing on the building as a further effort to ensure a strong connection to the South Park Blocks amenity.
- The removal of existing original concrete panels from the ground floor of the east façade of the building to be replaced with new aluminum storefront systems and clear glazing, provides significant additional views to surrounding points of interest and activity without a negative impact to the integrity of the buildings structure or architectural character.

This guideline is met.

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

Findings:

- High-quality exterior materials such as aluminum and fiberglass storefront glazing systems, and metal panels are proposed with an emphasis on long-term durability. Materials original to the building, such as concrete and masonry will be maintained across much of the exterior. Single-pane glazing will be replaced with new fiberglass window systems including high performance insulated units across the upper stories of the 1969 portion of the building.
Proposed glazing at the ground floor will be aluminum storefront systems. Above the ground floor on the west portion (1961 building) of the building metal Alucobond panels with a clip system are proposed.
- Existing building brick: the applicant intends to bring material samples and will describe the revised dark lime-wash treatment to the August 03, 2017 Design Commission hearing. So long as the information submitted is acceptable to the Design Commission at that time, staff recommends approval.

This guideline is met.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

Findings:

- The proposed alterations to the east elevation ground floor (SW Broadway façade) of the east half of Neuberger Hall (the 1969 building) maintain the form and overall character of the Brutalist building while providing improved visibility and access along SW Broadway. The removal of existing concrete panels at the pedestrian level, while maintaining the existing grid of the façade, is a significant improvement to the pedestrian environment along this frontage.
- The new east elevation entry, while impacting the stark symmetry of the elevation, is compatible in regards to proportion, scale and construction materials.
- The removal of existing original single-pane glazing from the east half of Neuberger Hall (the 1969 building) to be replaced with new high-performance fiberglass window systems in the same openings is compatible and respectful of the Brutalist building.
- Alterations to the west elevation maintain key features from the original 1961 building in the proposed rehabilitation. While the rigid symmetry of the original building is not fully maintained the shear walls remain and continue to book-end the proposed façade treatments.
- In addition, while the proposed metal panel cladding system intends to lighten the demeanor of the building and provide an improved dialogue with the South Park Blocks, the structural grid of the original building is deliberately articulated and revealed in the background as a way of acknowledging and respecting the original architecture.

This guideline is met.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings:

- The building's massing will not be changed with the proposed alterations to the exterior.
- Neuberger Hall maintains the original materials palette which is consistent with other university buildings in proximity and adjacent to the South Park Blocks: Shattuck Hall to

the south, the Millar Library to the west, and the Smith Memorial Student Union to the north, to name those that are adjacent. The hue of the north and south corner brick shear walls on the west elevation is proposed to be altered in an effort to modernize and rehabilitate the building in accordance with other proposed exterior alterations.

Originally, the intent was to lime-wash the brick to a lighter hue. The current design proposes a different direction, using the lime-wash technique to darken the existing brick. The intent of the darker brick is to help visually reduce the mass of the shear walls while framing and providing greater emphasis to the new shifting metal panels. While the majority of masonry buildings on the PSU campus employ a tan brick, Shattuck Hall to the immediate south of the site provides context and precedent for a darker hue.

- The building provides a series of seating and gathering areas directly facing the South Park Blocks, continuing the theme of providing seating, and gathering areas facing the Park, as demonstrated with the adjacent Shattuck Hall plaza areas, Peter Stott Center and Millar Library steps as well as with other cultural buildings along the South Park Blocks such as at the Oregon Historical Society and the Portland Art Museum/Mark Building.

This guideline is met.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings:

- The proposed exterior alterations do not attempt to redevelop or unify the entire exterior of the building (the 1961 and 1969 buildings). As such, the east half of the building will remain largely unchanged above the ground floor, with the exception of the removal and replacement of the existing single-pane glazing within the existing openings.
- The east elevation ground floor removes existing precast concrete panels to be replaced with fully glazed aluminum systems and entry way. This effect or alteration to the building, while not sharing the same datum, is carried around to the west elevation and so helps to add a degree of coherency and continuity to the building at both primary entrances. The addition of matching 10 foot deep steel canopies at the new south, east and west entrances provides further coherency and unity to the building design.
- The west portion of the building (1961 building) incorporates new shifting metallic silver composite metal panels on the north, west and south elevations. The panels are intended to provide a more organic response and improved connection to the South Park Blocks to the immediate west.

This guideline is met.

C6. Develop Transitions between Buildings and Public Spaces. Develop transitions between private development and public open space. Use site design features such as movement zones, landscape element, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

C7. Design Corners that Build Active Intersections. Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

Findings for C6 and C7:

- The rehabilitated east elevation ground floor provides increased glazing for improved visual connections into the building, such as to the proposed interior gallery to be programmed along the majority of the ground floor adjacent to SW Broadway. In addition, a new at grade entry with extending steel canopy is proposed at the north half of the

façade, further providing visual connections to and through the building to the South Park Blocks to the west and improving the access and transitions between the building and the adjacent urban area to the east.

- On the north elevation, the installation of a sidewalk including scored concrete paving and seating amenities between the existing trees and the building, provides a transition space from the building into the adjacent vacated street.
- The south elevation transition space from the building is defined by a 15 foot deep landscaped area and new entry at the southwest corner. The new entry includes a 10 foot deep steel canopy providing clear wayfinding into the building and a space for gathering.
- The west elevation includes extensive full-height glazing along the ground floor providing significant improvements to the visual and physical connections to the adjacent South Park Blocks. An enlarged entry with at the north portion of the elevation including a 10 foot deep steel canopy further emphasizes the access into the building while activating the façade. The transition space along this facade includes new and refurbished planting areas, vegetated stormwater areas, hardscape areas and a large seating and workspace feature.

These guidelines are met.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings:

- The articulation of the building's façade includes increased glazing with larger windows at the ground floor on all elevations. Upper stories on the 1969 portion of the building will not be altered other than the proposed removal of the single-pane glazing to be replaced with high performance insulated units.
- Upper stories on the 1961 portion of the building will be clad with metallic silver composite metal panels randomly installed to better integrate with the organic nature of the adjacent South Park Blocks.

This guideline is met.

C9. Develop Flexible Sidewalk-Level Spaces. Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

Findings:

- The proposed alterations create increased glazing, visibility and access to the ground floor at all elevations. The alterations to the ground floor support the proposed active building uses including a gallery on the east elevation adjacent to SW Broadway and the increase connection to the South Park Blocks on the west elevation.

This guideline is met.

C10. Integrate Encroachments. Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

Findings:

- The design capitalizes on its adjacency to the South Park Blocks by developing the western edge of the project site in an effort to better integrate with, and transition from, the building to the Park. On this elevation, the vacated right-of-way will be integrated into the development by creating a plaza area including seating and workspace amenity within the singular "social jetty" feature. This feature creates a series of human-scaled places to sit, gather and face the park and will help to activate its edge. Additional elements

extending into the vacated right-of-way on the west elevation include the 10 foot steel canopy above the new entrance and the proposed freestanding sign.

Note: Due to an easement within the SW Park Avenue vacated right-of-way and the requirement from the Bureau of Environmental Services (BES) that the applicant obtain an encroachment agreement, both the “social jetty” and the freestanding sign are designed to be moveable.

- Features in the SW Harrison Street vacated right-of-way to the north include proposed benches as an amenity to the proposed sidewalk that are integrated with the existing landscaping.
- Note: The existing skybridge is not proposed to be altered with this submittal.
- Features in the SW Hall Street vacated right-of-way to the south include the proposed 10 foot steel canopy over the southwest corner entrance.
 - Features in the SW Broadway Street right-of-way to the east include a proposed 10 foot steel canopy over the new entrance.
 - Canopies are designed to integrate with the overall building and while providing sheltered views.

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building’s overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City’s skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

Findings:

- The existing roof has been altered and integrated to accommodate a large central light well.
- A new rooftop mechanical unit is located on the west half of the building, set back approximately 30 feet from the western roof edge of the 1961 building. The new mechanical unit will be painted a light gray metal to match existing mechanical units on the roof.

This guideline is met.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building’s overall design concept. Use exterior lighting to highlight the building’s architecture, being sensitive to its impacts on the skyline at night.

Findings:

- Proposed lighting includes recessed LED down-lights located within all canopies to signify and highlight main entry points along the east, west and south elevations. Facing the South Park Blocks, the lighting proposal also includes the maintenance of existing ornamental light poles in their current locations.

This guideline is met.

C13. Integrate Signs. Integrate signs and their associated structural components with the building’s overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings:

- New building fascia signage is proposed on the south and west elevations. Each sign is modest and discreet, and each is under 32 square feet in size and so exempt from Design Review per Portland Zoning Code 33.420.041.F.
- A freestanding sign is proposed on the west elevation (C.42 and C.86), in the landscape area adjacent to the new pedestrian entrances. This sign is designed to be removable due to issues associated with an existing easement and subsequent encroachment agreement

with the Bureau of Environmental Services (BES). This sign is also under 32 square feet and so is not subject to Design Review.

Therefore, signs are not subject to Design Review and this guideline does not apply.

D1. Park Blocks. Orient building entrances, lobbies, balconies, terraces, windows, and active use areas to the Park Blocks. In the South Park Blocks, strengthen the area's emphasis on history, education, and the arts by integrating special building elements, such as water features or public art. In the Midtown Park Blocks, strengthen the connection between the North and South Park Blocks by using a related system of right-of-way elements, materials, and patterns. In the North Park Blocks, strengthen the area's role as a binding element between New China/Japantown and the Pearl District.

Findings:

- The proposed alterations to the building both inside and out are largely in an effort to create a renewed relationship and more literal connection with the South Park Blocks. To this point, the ground floor plan has been mitigated and reorganized to provide improved access and visual connection from SW Broadway through to the South Park Blocks.
- Increased glazing along the west elevation is provided to improve connections to the Park Blocks at the pedestrian level.
- Proposed new plaza areas along the west elevation of the building including landscaping, seating and workstation areas provide additional integration and transitional space from the building to the Park Blocks.
- Proposed metal paneling to the 1961 half of the building at the upper stories is also designed to reinvent the exterior of the building to be more organic, playful and better integrated with the Park Blocks.
- The Thomas Hardy piece, *Oregon Country* (1962), that is currently located along the west elevation of the building will be relocated approximately three blocks away to the south side of the Science Research and Teaching Center (SRTC). New artwork will be realized on site within the proposed gallery space. This exterior alteration at the SRTC could be subject to further design review.

With the Condition of Approval that the Tom Hardy sculpture, Oregon Country, must be relocated to a publicly-accessible location on the PSU campus along the Park Blocks and in accordance with the Tom Hardy estate. A Type II Design Review (DZ) would be required for the removal and relocation of the sculpture. The Type II DZ for the new location must be approved prior to issuance of the main building permit for the Neuberger Hall renovation, this guideline is met.

(2) MODIFICATION REQUEST (33.825)

33.825.040 Modifications That Will Better Meet Design Review Requirements:

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. Better meets design guidelines.** The resulting development will better meet the applicable design guidelines; and

B. Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.

Modification #1: Ground Floor Windows, PZC 33.130.230: To reduce the required length of glazing on the north (SW Harrison), south (SW Hall) and east (SW Broadway) façades from 50% to 33%, 50% to 33%, and 50% to 34%, respectively.

Purpose Statement: In the C zones, blank walls on the ground level of buildings are limited in order to:

- Provide a pleasant, rich, and diverse pedestrian experience by connecting activities occurring within a structure to adjacent sidewalk areas, or allowing public art at the ground level;
- Encourage continuity of retail and service uses;
- Encourage surveillance opportunities by restricting fortress-like facades at street level; and
- Avoid a monotonous pedestrian environment.

Standard 33.130.230: In the CX zone, all exterior walls on the ground level which face a street lot line, sidewalk, plaza, or other open public space or right-of-way must meet the general window standard: the windows must be at least 50 percent of the length and 25 percent of the ground level wall area. Ground level wall areas include all exterior wall areas up to 9 feet above the finished grade.

Findings:

The current design scheme does not comply with the ground floor window requirement that, “windows must be at least 50 percent of the length...of the ground level wall”. This condition is not being entirely met on the north, south and east elevations. However, the proposed alterations to these elevations provide significantly more glazing than what is currently present. In addition, existing conditions impact the ease with which this portion of the requirement can be accomplished; these primarily include the east-west grade change and the bottom of the existing window location (in connection with the location of the proposed exterior cladding alterations) along the 1969 building facades.

With the removal and replacement of the exterior cladding to the western portion of the building (1961), alterations meeting the ground floor window standards could be achieved on all three elevations on this portion of the building. Because the cladding on the eastern portion of the building (1969) is not failing, alterations to this area include only the replacement of existing single-pane glazing in the same openings. However, due to the current location of the existing windows on the eastern portion of the building (1969), with their bottoms being greater than 4 feet above ground, no portion of these existing windows qualify to the ground floor window standard. To meet the standard would require a significant alteration to the window openings. This would in turn result in a window typology at the ground floor that is not consistent with the rest of the building.

Proposed glazing on the north and south elevations of the building provide significant improvements to visual connection and transparency into the building. The proposed alterations to the glazing on the east elevation transform the building from an obstacle with a “fortress-like facade” to having a street frontage that is fully visible, rich and a diverse experience to pedestrians.

Therefore this Modification merits approval.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of

Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. As indicated in detail in the findings above, the proposal meets the applicable design guidelines and modification criteria and therefore warrants approval.

TENTATIVE STAFF RECOMMENDATION

A dark lime-wash is recommended per the discussion, review and approval of the dark lime-wash product and materials presented to the Design Commission at the August 03, 2017 hearing.

(May be revised upon receipt of new information at any time to the Design Commission decision)

Staff recommends approval.

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 17-174490 DZM ". All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. With the Condition of Approval that the Tom Hardy sculpture, *Oregon Country*, must be relocated to a publicly-accessible location on the PSU campus along the Park Blocks and in accordance with the Tom Hardy estate. A Type II Design Review (DZ) would be required for the removal and relocation of the sculpture. The Type II DZ for the new location must be approved prior to issuance of the main building permit for the Neuberger Hall renovation.
- D. No field changes allowed.

=====

Procedural Information. The application for this land use review was submitted on May 19, 2017, and was determined to be complete on June 9, 2017.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the *Zoning Code* in effect on May 19, 2017.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant waived the 120-day review period, as stated with Exhibit A-3. Unless further extended by the applicant, **the 120 days will expire on: June 19, 2018.**

Some of the information contained in this report was provided by the applicant. As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the recommendation of the Bureau of Development Services with input from other City and public agencies.

This report is not a decision. The review body for this proposal is the Design Commission who will make the decision on this case. This report is a recommendation to the Design Commission by the Bureau of Development Services. The review body may adopt, modify, or reject this recommendation. The Design Commission will make a decision about this proposal at the hearing or will grant a continuance. Your comments to the Design Commission can be mailed, c/o the Design Commission, 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201 or faxed to 503-823-5630.

You will receive mailed notice of the decision if you write a letter received before the hearing or testify at the hearing, or if you are the property owner or applicant. You may review the file on this case by appointment at our office at 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201. Please call the file review line at 503-823-7617 to schedule an appointment.

Appeal of the decision. The decision of the Design Commission may be appealed to City Council, who will hold a public hearing. If you or anyone else appeals the decision of the Design Commission, City Council will hold an evidentiary hearing, one in which new evidence can be submitted to them. Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing.

Who can appeal: You may appeal the decision only if you write a letter which is received before the close of the record for the hearing, if you testify at the hearing, or if you are the property owner/applicant. **Appeals must be filed within 14 days of the decision. An appeal fee of \$5,000 will be charged.**

Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services in the Development Services Center, 1900 SW Fourth Ave., First Floor. Neighborhood associations recognized by the Office of Neighborhood Involvement may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chair person or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization's bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the city.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Arthur Graves
July 26, 2017

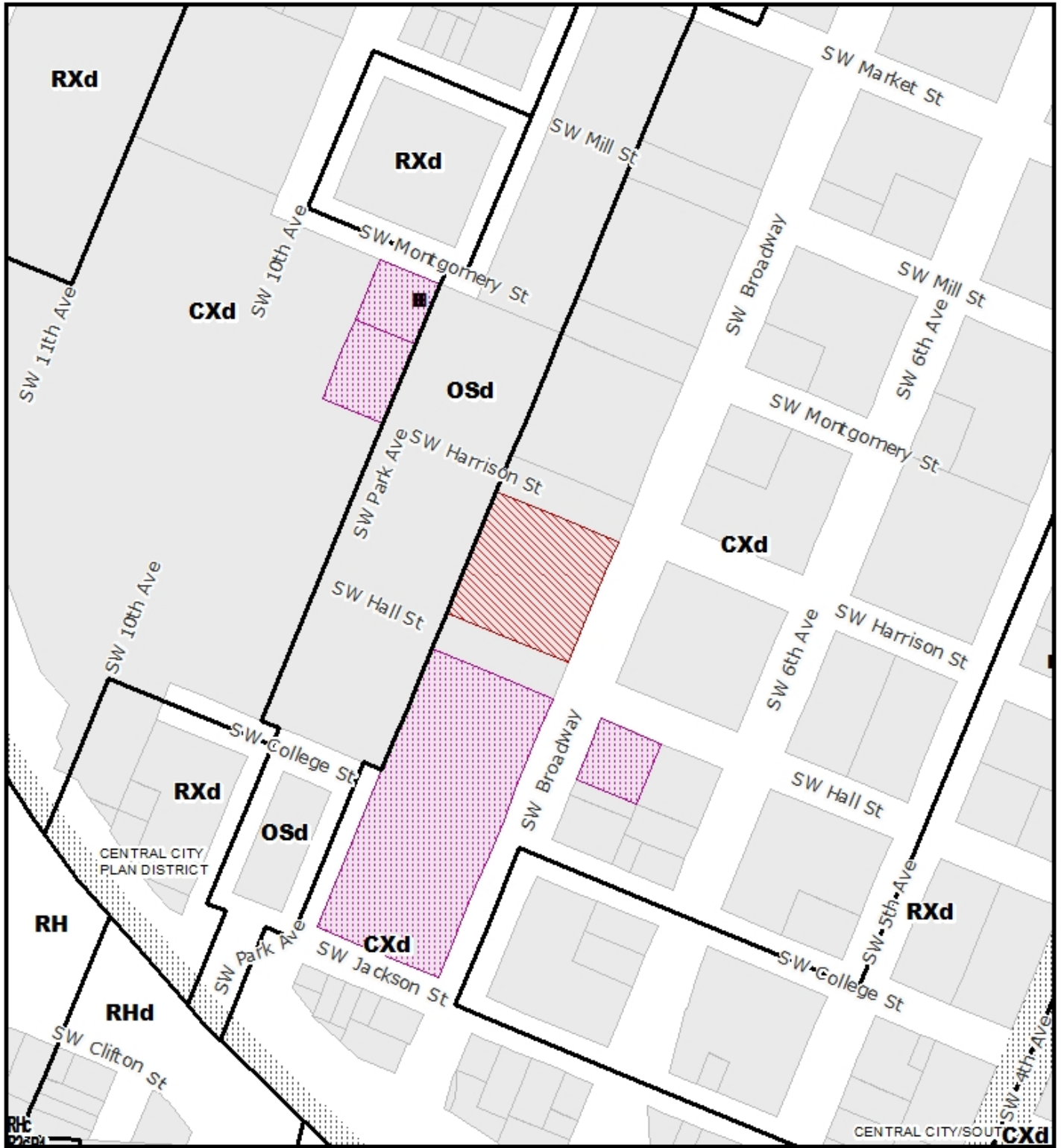
EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement:
 1. Initial Submittal: 5.19.2017
 2. Initial Submittal Appendix: 5.19.2017
 3. 120-day waiver: 5.19.2017
 4. Revised Drawings: 7.11.2017
 5. Revised Drawings: 7.12.2017
 6. Revised Drawings: 7.14.2017
 7. Revised Submittal Appendix: 7.18.2017
 8. Response to Memorandum: 7.18.2017
- B. Zoning Map (attached)
- C. Plans & Drawings:
 1. C.2 Table of Contents
 2. C.3 Project Information - Project Narrative
 3. C.5-2 Project Information - Project Narrative / Design Advice Request Comments - Response
 4. C.5-3 Project Information - Project Narrative / Design Advice Request Comments - Response
 5. C.5-4 Project Information - Project Narrative / Design Advice Request Comments - Response
 6. C.6 Project Information - Surge Summary Map
 7. C.7 Project Information - Campus Bike Parking Map
 8. C.8 Project Information - Ground Floor Windows Modification Summary
 9. C.9 Project Information - F.A.R Summary

10. C.10-C.13	Project Information - Design Guidelines Response
11. C.14-C.18	Project Information - Zoning Code Summary
12. C.19	Site Context - Vicinity Plan
13. C.20-C.21	Site Context - Photos
14. C.22	Site Survey with Existing Utilities
15. C.23	Site Design - Utility Plan and Stormwater Management
16. C.24	Site Design - Tree Protection Plan
17. C.25	Landscape - Urban Context
18. C.27	Landscape - Site Context
19. C.28	Landscape - Existing Conditions Circulation
20. C.29-C.30	Landscape - Aspirational Circulation
21. C.31	Landscape - Site Plan (attached)
22. C.32	Landscape - Partial Site Plan North
23. C.33	Landscape - Elevation North
24. C.34	Landscape - Partial Site Plan South
25. C.35	Landscape - Elevation South
26. C.36	Landscape - Partial Site Plan West
27. C.37	Landscape - Site Furnishing Details
28. C.37-2	Landscape - Site Furnishing Details
29. C.38	Landscape - Elevation West
30. C.39	Landscape - Concept Renderings
31. C.40	Landscape - Concept Renderings
32. C.41	Landscape - Planting Palette
33. C.42	Building Plans - Basement and Level 1
34. C.43	Building Plans - 2nd Floor and 2nd Floor Mezzanine
35. C.44	Building Plans - 3rd Floor and 3rd Floor Mezzanine
36. C.45	Building Plans - 4th Floor and 4th Floor Mezzanine
37. C.46	Building Plans - 5th Floor and Roof/Penthouse
38. C.47	Building Section
39. C.48	Building Elevations - North (Existing)
40. C.49	Building Elevations - North (New) (attached)
41. C.50	Building Elevations - South (Existing)
42. C.51	Building Elevations - South (New) (attached)
43. C.52	Building Elevations - East (Existing)
44. C.53	Building Elevations - East (New) (attached)
45. C.54	Building Elevations - West (Existing)
46. C.55	Building Elevations - West (New) (attached)
47. C.56-61	Building Design - Facade Concept
48. C.62	Building Design - Materials
49. C.63	Building Design - Materials (West Elevation)
50. C.64	Building Perspective - West Elevation Strategy
51. C.65	Enlarged Street Elevations - SW Broadway Typical
52. C.66	Enlarged Street Elevations - SW Broadway Building Entry
53. C.67	Enlarged Street Elevations - SW Park Typical Bay
54. C.68	Enlarged Street Elevations - SW Park Building Entry
55. C.69	Enlarged Street Elevations - SW Harrison Typical Bay
56. C.69-2	Enlarged Street Elevations - SW Hall Building Entry
57. C.70	Exterior Details
58. C.71	Exterior Details
59. C.71-2	Exterior Details
60. C.72	Nighttime Rendering
61. C.73	Supplemental Information - Building Perspectives
62. C.74	Supplemental Information - Building Perspectives
63. C.75	Supplemental Information - Building Perspectives
64. C.76	Supplemental Information - Building Perspectives

- 65. C.77 Ground Floor Windows - North Elevation
 - 66. C.78 Ground Floor Windows - South Elevation
 - 67. C.79 Ground Floor Windows - East Elevation
 - 68. C.80 Ground Floor Windows – Exhibits
 - 69. C.81 Ground Floor Windows – Exhibits
 - 70. C.82 Ground Floor Windows - Exhibits
 - 71. C.83-C.84 Public Art - Tom Hardy Sculpture
 - 72. C.86 Product Data - Freestanding Sign
 - 73. C.87 Product Data - Rooftop Mechanical
 - 74. C.88 Product Data - Rooftop Mechanical
 - 75. C.90 Product Data - Rooftop Detail
 - 76. C.91-C.92 Product Data - Light Fixtures
 - 77. C.93 Product Data - Applied Lime Wash over Brick Masonry
 - 78. C.94 Product Data - Composite Metal Panel
 - 79. C.95 Product Data - Storefront Window System
 - 80. C.96 Product Data - Fiberglass Window System
 - ~~81. C.97 Product Data - Fiberglass Window System~~
 - 82. C.98-C.105 Existing Building Drawings
- D. Notification information:
1. Request for response
 2. Posting letter sent to applicant
 3. Notice to be posted
 4. Applicant’s statement certifying posting
 5. Mailing list
 6. Mailed notice
- E. Agency Responses:
1. Bureau of Environmental Services
 2. Fire Bureau
 3. Bureau of Development Services Life Safety/Building Code Section
- F. Letters: None received.
- G. Other:
1. Original LUR Application
 2. Pre-Application Conference Notes
 3. Request for Completeness: 6.02.2017
 4. Memorandum: 6.15.2017

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



THIS SITE LIES WITHIN THE:
 CENTRAL CITY PLAN DISTRICT
 UNIVERSITY DIST SUBDISTRICT

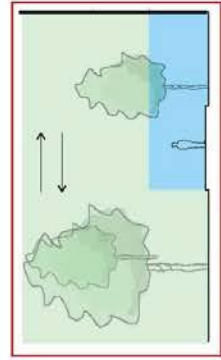
-  Site
-  Also Owned Parcels
-  Historic Landmark

File No.	LU 17-174490 DZM
1/4 Section	3228
Scale	1 inch = 200 feet
State ID	1S1E04DA 6900
Exhibit	B May 23, 2017

UPDATED CONTENT



- KEY**
- ① Existing Trees to Remain
 - ② Proposed Trees
 - ③ Refurbished Planting Area
 - ④ Vegetated Stormwater Area
 - ⑤ "Social Jetty"
 - ⑥ Bench
 - ⑦ Scored Concrete Paving
 - ⑧ Steps w/ Handrails
 - ⑨ Relocated Bicycle Racks
 - ⑩ Seating to remain
 - ⑪ Bicycle Racks to Remain
 - ⑫ Existing Lightpole to Remain



SITE PLAN



01



01 NORTH ELEVATION
SCALE : 3/64" = 1'-0"

BUILDING ELEVATION - NORTH

UPDATED CONTENT

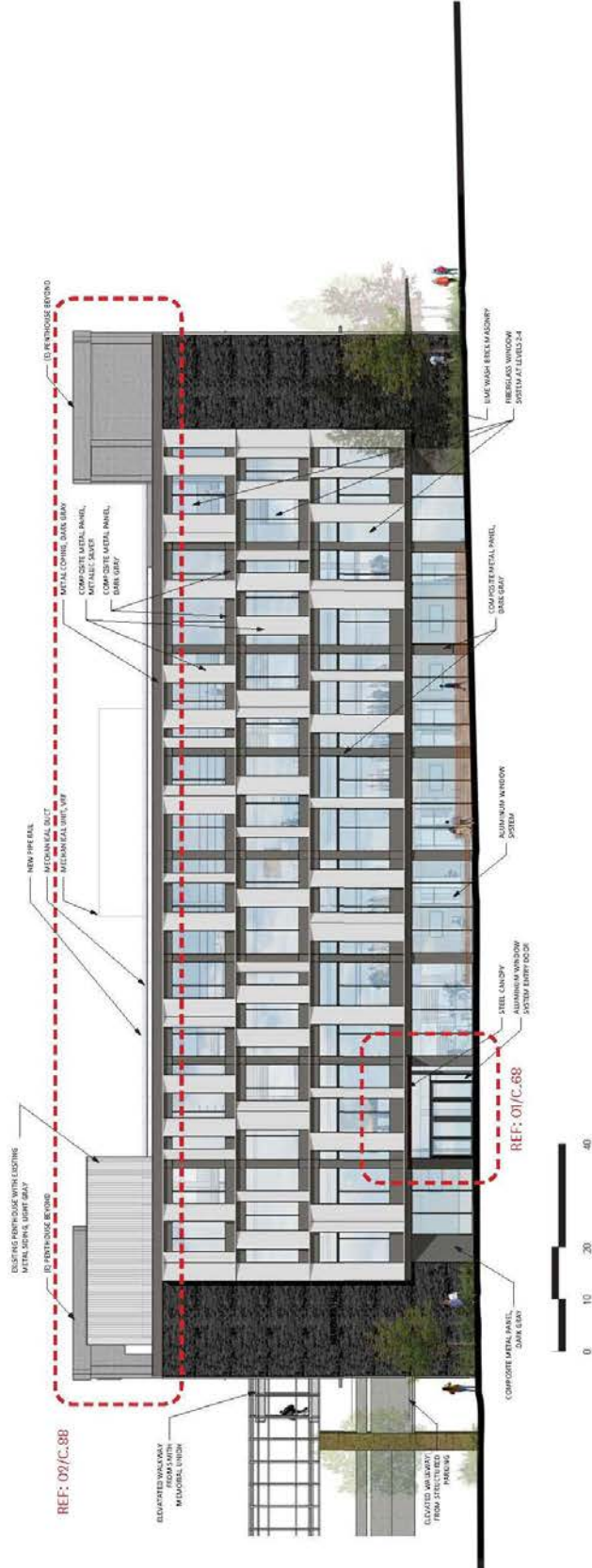


01 SOUTH ELEVATION
SCALE: 3/64" = 1'-0"



01

BUILDING ELEVATION - SOUTH



01 WEST ELEVATION
SCALE: 3/64" = 1'-0"



01

BUILDING ELEVATION - WEST