



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Rebecca Esau, Interim Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** July 14, 2017  
**To:** Interested Person  
**From:** Tim Heron, Land Use Services  
503-823-7726 / [Tim.Heron@portlandoregon.gov](mailto:Tim.Heron@portlandoregon.gov)

**NOTICE OF A PUBLIC HEARING ON A PROPOSAL  
IN YOUR NEIGHBORHOOD**

**CASE FILE:** LU 17-184917 DZ **Providence Park Stadium  
Expansion**

PC # 17-130903

**REVIEW BY:** Design Commission

**WHEN:** August 3, 2017 at 1:30 PM

**WHERE:** CH2M Center-2020 SW 4th Ave (Lincoln  
Room)  
Portland, OR 97201

Development has been proposed in your neighborhood requiring a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map are attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

**Owner/s:** Susan Hartnett, City Of Portland  
1120 SW 5th Avenue  
Portland, OR 97204  
503-823-6958; [Susan.Hartnett@Portlandoregon.Gov](mailto:Susan.Hartnett@Portlandoregon.Gov)

City Of Portland  
1120 SW 5th Ave #1250  
Portland, OR 97204-1912

**Applicant:** Chelsea Grassinger, Allied Works Architecture  
1532 SW Morrison St  
Portland, OR 97205  
503-227-1737; [Chelsea@Alliedworks.Com](mailto:Chelsea@Alliedworks.Com)

Mike Golub, Portland Timbers  
1844 SW Morrison St  
Portland, OR 97205  
503-553-5411; [Mgolub@Timbers.Com](mailto:Mgolub@Timbers.Com)

**Site Address:** 1844 SW MORRISON ST

**Legal Description:** TL 800 6.95 ACRES SEE R645766 (R941330531) FOR LEASED ACCOUNT, SECTION 33 1N 1E; TL 800 / SEE R316785 (R941330530) FOR MAIN ACCOUNT, SECTION 33 1N 1E  
**Tax Account No.:** R941330530, R941330530, R941330531  
**State ID No.:** 1N1E33DC 00800, 1N1E33DC 00800, 1N1E33DC 00800A1  
**Quarter Section:** 3027

**Neighborhood:** Goose Hollow, contact [planning@goosehollow.org](mailto:planning@goosehollow.org).  
**Business District:** Goose Hollow Business Association, contact Angela Crawford at 503-223-6376. Stadium Business District, contact Tina Wyszynski at [Tina.wyszynski@gmail.com](mailto:Tina.wyszynski@gmail.com)  
**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

**Plan District:** Central City - Goose Hollow

**Zoning:** OSd, Open Space Zone with design overlay  
**Case Type:** DZ, Design Review  
**Procedure:** Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

**Proposal:**

Design Review for a 4,000 seat expansion of Providence Park Stadium. The design includes removing the existing covered seating area along SW 18th Avenue and constructing a new 100' tall covered seating and arcade structure. Additional facilities such as balconies, restaurants, bathrooms and kitchen areas are also proposed as a part of this expansion.

The arcaded portion of the addition is also proposed to project approximately 14-feet over the SW 18th Avenue Right-of-Way. This aspect of the proposal is subject to a Major Encroachment Review by the Portland Bureau of Transportation where a recommendation from the Portland Design Commission is required, and ultimate approval by the Portland City Council whom is the Approval Body.

The design utilizes cast in place concrete for the primary structure, textured and colored to have a similar look to the existing facility's concrete material. The ground level frontage of the SW 18th Avenue façade will include square metal mesh material painted black, with gates and fencing designed to match the existing design of Providence Park Stadium. For the upper level frontages, floor to ceiling glass storefront systems will enclose the spaces behind the seating levels. The roof canopy will extend down to the SW 18th Avenue furnishing zone of the Right of Way with a lacework of round steel tubes of varying sizes to create a visually interesting framework expression for the arcade portion of the proposal. The roof will be a translucent fabric material providing some natural light into the stands below, as well as expressing the long curve of the cantilevered structure over the stadium seating.

Because the proposal is for exterior alterations to an existing structure in the design overlay zone, Design Review is required.

**Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- Central City Fundamental Design Guidelines
- Goose Hollow District Special Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing, or complete within 180 days. This application was filed on June 16, 2017 and determined to be complete on June 30, 2017.

### **DECISION MAKING PROCESS**

The Bureau of Development Services will be making a recommendation on this proposal; our report and recommendation will be available 10 days before the hearing. The Staff report will be posted on the Bureau of Development Services website. Look at [www.portlandonline.com](http://www.portlandonline.com). On the left side of the page use the search box to find Development Services, then click on the Zoning/Land Use section select Notices and Hearings. Land use review notices are listed by the District Coalition shown at the beginning of this document. The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <http://www.portlandonline.com/auditor/index.cfm?c=28197> .

The neighborhood association, listed on the first page of this notice, may take a position on this application and may have scheduled an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

To comment, you may write to the Bureau of Development Services, 1900 SW Fourth Ave., Suite 5000 or FAX your comments to 503-823-5630; or you may testify at the hearing. In your comments, you should address the approval criteria. The Hearings Officer does not accept comments via e-mail. Please refer to the file number when seeking information or submitting testimony. Written comments must be received by the end of the hearing. The applicant and Planning staff will be at the hearing to answer questions and respond to comments. The general order of appearance for oral testimony at the hearing is as follows: Bureau of Development Services staff report, applicant testimony, testimony of interested parties who wish to ask questions or testify, staff response and closing comments, and applicant's closing comments. Design Commission will make a decision about this proposal at the hearing or will grant a continuance.

The applicant and proponents have the burden of proof to show that each and every element of the approval criteria are satisfied. In order to prevail, the opponents must persuade the Design Commission to find that the applicant has not carried the burden of proof with regard to one or more of the approval criteria. The opponents may also explain to the Design Commission how or why the facts asserted by the applicant are not supported by evidence in the record. Opponents may wish to recommend conditions of approval which will make the proposal more acceptable, if approved.

Prior to the conclusion of the hearing before the Design Commission, any participant may request an opportunity to present additional evidence or testimony regarding the application. If such a request is made, the record will be held open for seven days to receive the new evidence and the record shall be held open for at least an additional seven days to provide the other parties an opportunity to respond to that new evidence.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

**APPEAL PROCESS**

You can appeal the decision of the Design Commission to the City Council. If appealed, City Council will hold an evidentiary hearing. New evidence can be submitted to the City Council in the event of an appeal of an evidentiary hearing

A fee is charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver. The City Council's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue in person or in writing by the close of the record at or following the final evidentiary hearing on this case may preclude an appeal to LUBA on that issue. Also, if you do not provide enough detailed information to the Design Commission, they may not be able to respond to the issue you are trying to raise. In such a situation an appeal to LUBA based on that issue may not be allowed.

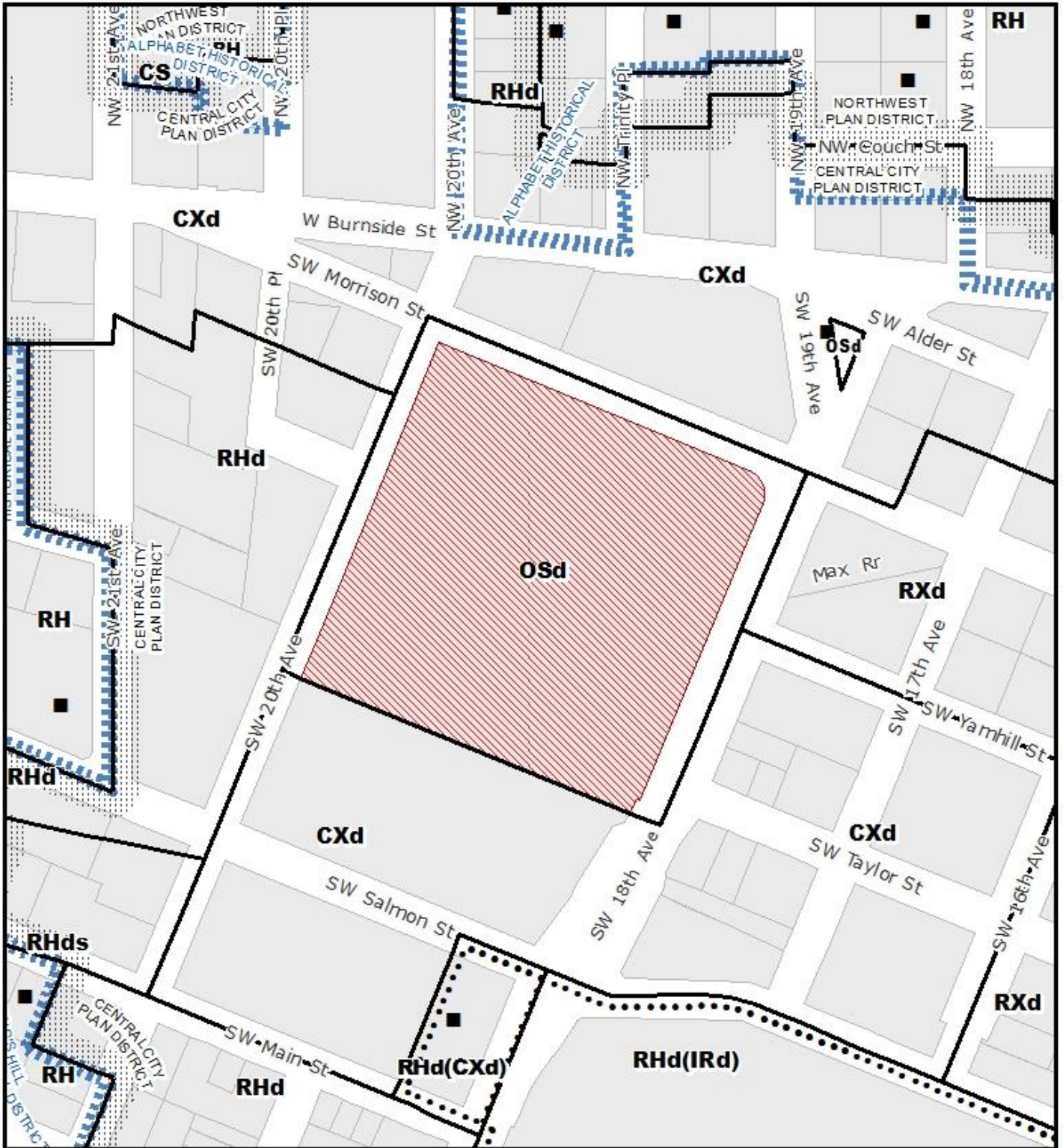
**HEARING CANCELLATION**


This public hearing will be cancelled if Portland Public Schools close due to inclement weather or other similar emergency. Check local television and radio reports for school closures. The hearing will be rescheduled for the earliest possible date. A renotification notice will not be sent. Please call the Bureau of Development Services at 503-823-7617, for information regarding cancellations or rescheduling.

To attend the hearing, public transportation is available. Tri-Met buses stop near the BDS building at SW Fifth or Sixth Ave. at SW Hall St. and SW Harrison St. Call Tri-Met at 503-238-7433 (or [www.trimet.org/schedule/allroute.htm](http://www.trimet.org/schedule/allroute.htm)) for routes and times. Hourly rated public parking is available a half block south of the building on Fourth Ave.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:** Zoning Map, Site Plan, Section & Elevations

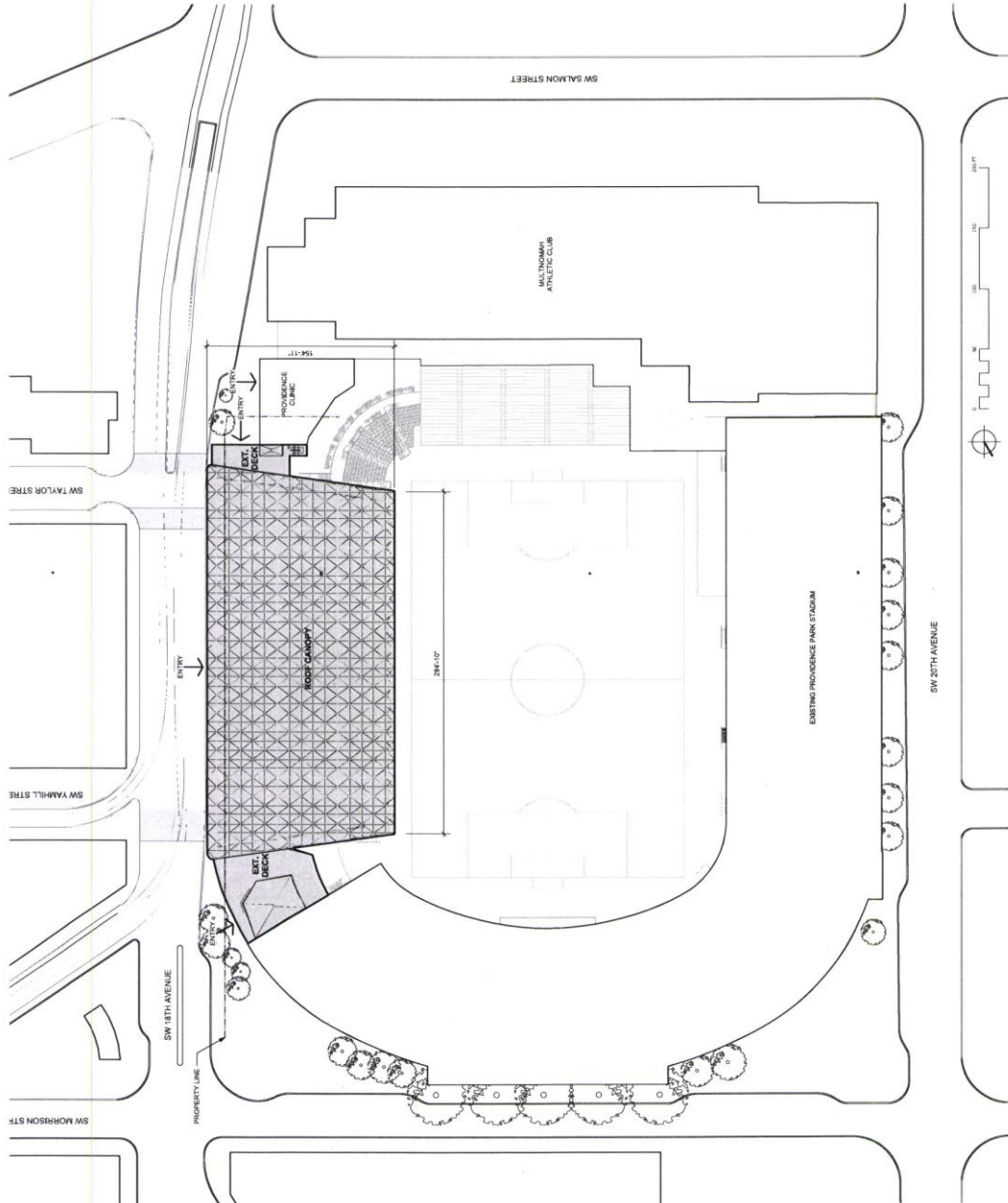


**ZONING**  NORTH

THIS SITE LIES WITHIN THE:  
 CENTRAL CITY PLAN DISTRICT  
 GOOSE HOLLOW SUBDISTRICT

-  Site
-  Historic Landmark

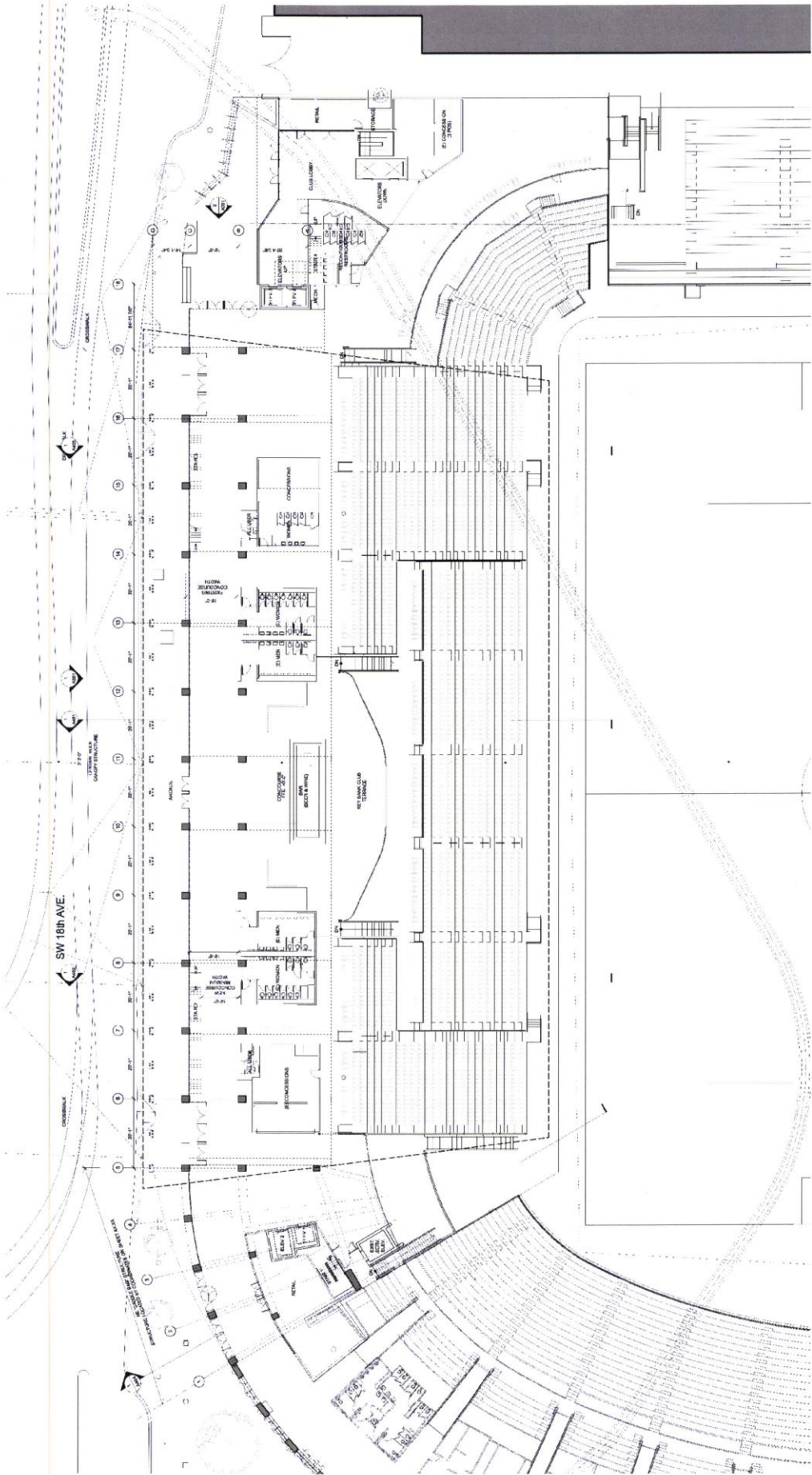
File No.	LU 17-184917 DZ
1/4 Section	3028 3027
Scale	1 inch = 200 feet
State ID	1N1E33DC 800
Exhibit	B Jun 19, 2017



**SITE PLAN**

LAND USE REVIEW # LU 17-184917 DZ EXHIBIT C.1

PROVIDENCE PARK STADIUM EXPANSION | 05 JULY 2017  
 © 2017 *stark* works architecture



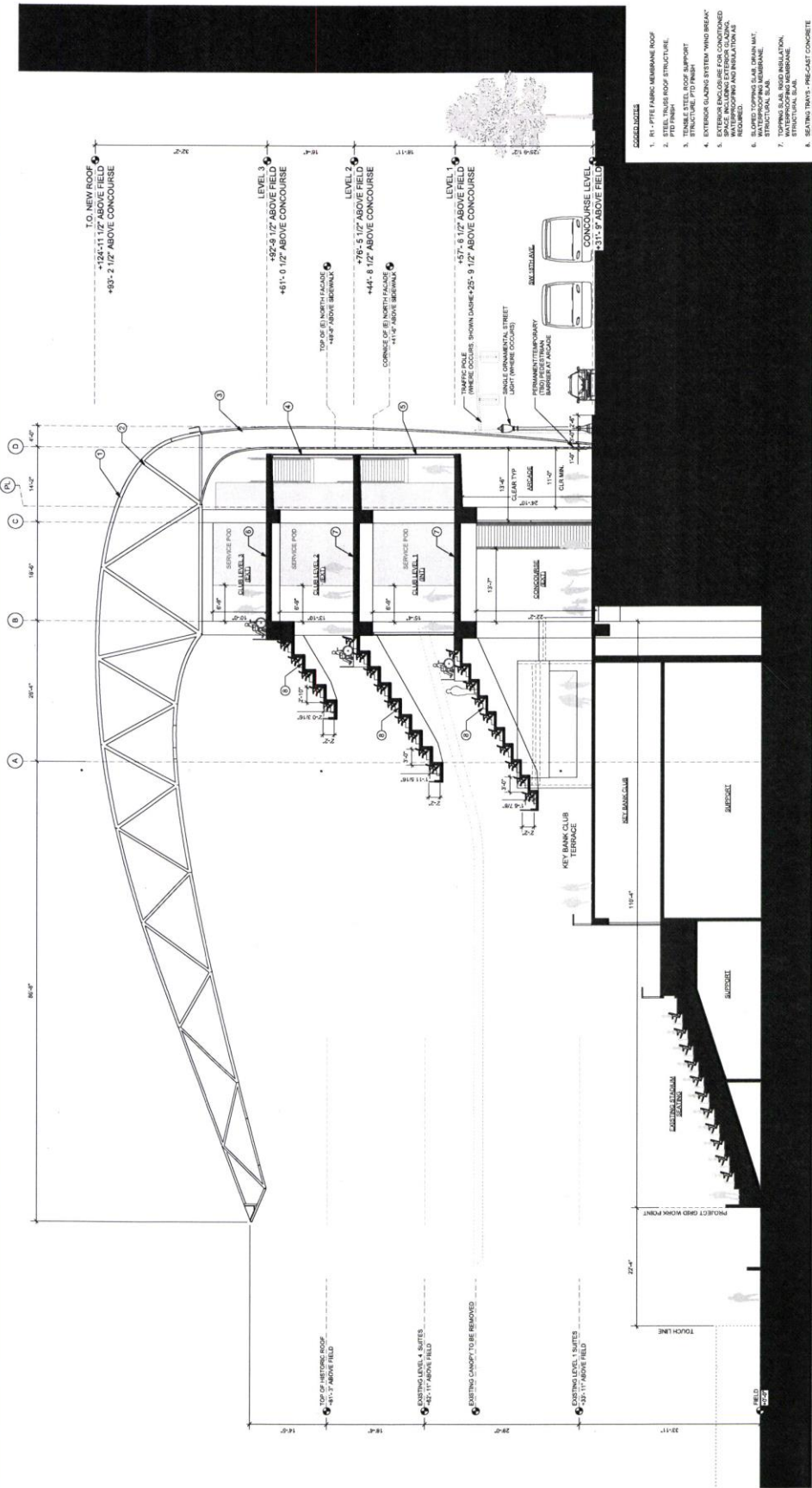
SW 18th AVE.

CONCOURSE FLOOR PLAN

LAND USE REVIEW # LU 17-184917 DZ EXHIBIT C.2

PROVIDENCE PARK STADIUM EXPANSION | 05 JULY 2017

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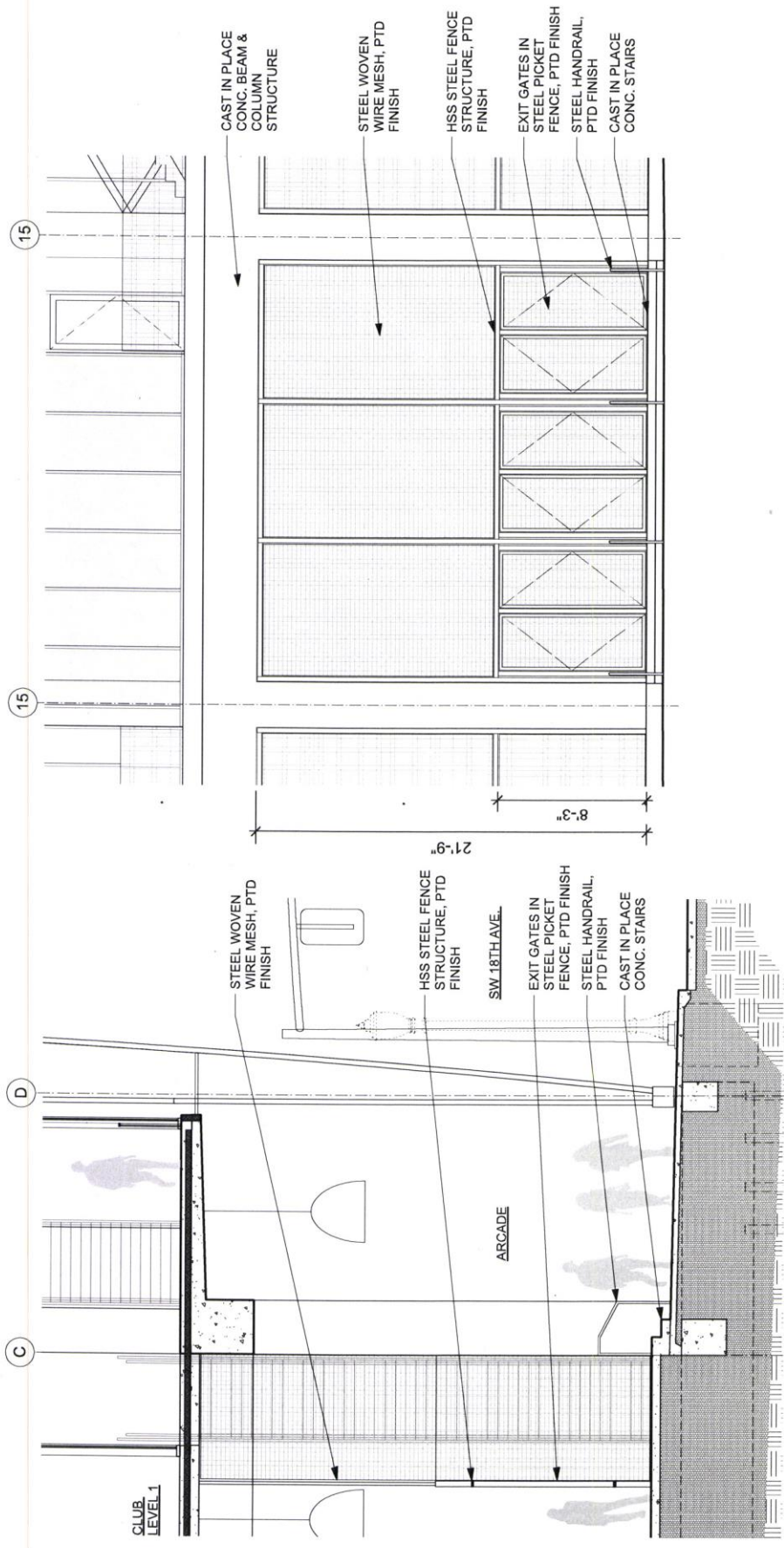
- CONCLUSIONS**
1. R1 - PTFE FABRIC MEMBRANE ROOF
  2. STEEL TRUSS ROOF STRUCTURE
  3. STABLE STEEL ROOF SUPPORT STRUCTURE, PFD FINISH
  4. EXTERIOR GLAZING SYSTEM "WIND BREAK"
  5. EXTERIOR INSULATION FOR CONDITIONED SPACE, WITH WINDPROOFING AND INSULATION AIR
  6. SLOPED TOPPING SLAB, DRAIN MAT, STRUCTURAL MEMBRANE
  7. TOPPING SLAB, RIGID INSULATION, STRUCTURAL MEMBRANE
  8. SEATING TRANS - PRECAST CONCRETE WITH REINFORCING STEEL

**BUILDING SECTION**

LAND USE REVIEW # LU 17-184917 DZ EXHIBIT C.10

PROVIDENCE PARK STADIUM EXPANSION | 05 JULY 2017  
 © ALLIED WORKS ARCHITECTURE



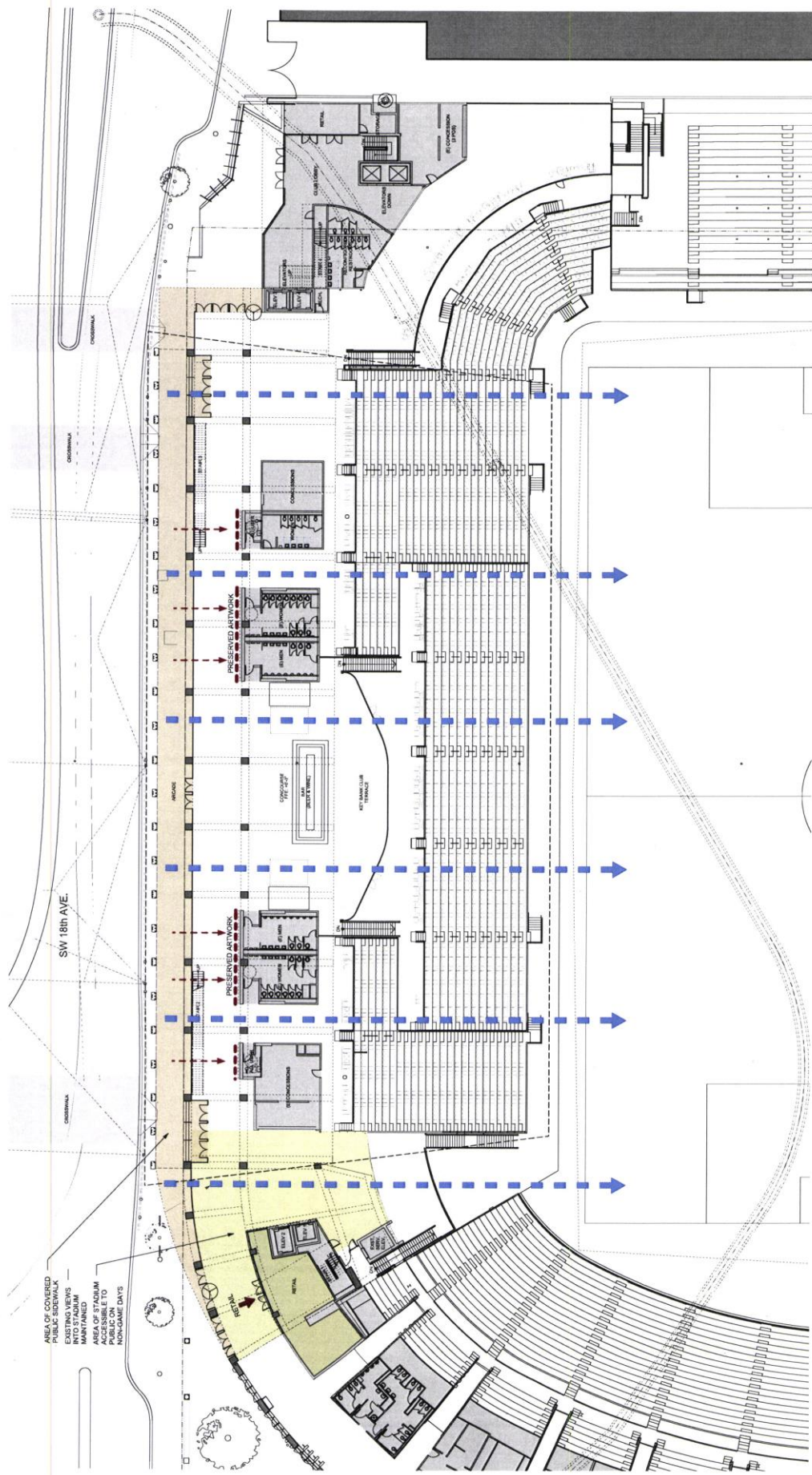


2 ENLARGED ELEVATION: PICKET FENCE @ ARCADE / CONCOURSE EXIT

ENLARGED SECTION: ARCADE / CONCOURSE EXIT

SCALE: 3/16"=1'-0" 0 1 5

ENLARGED FENCE ELEVATION

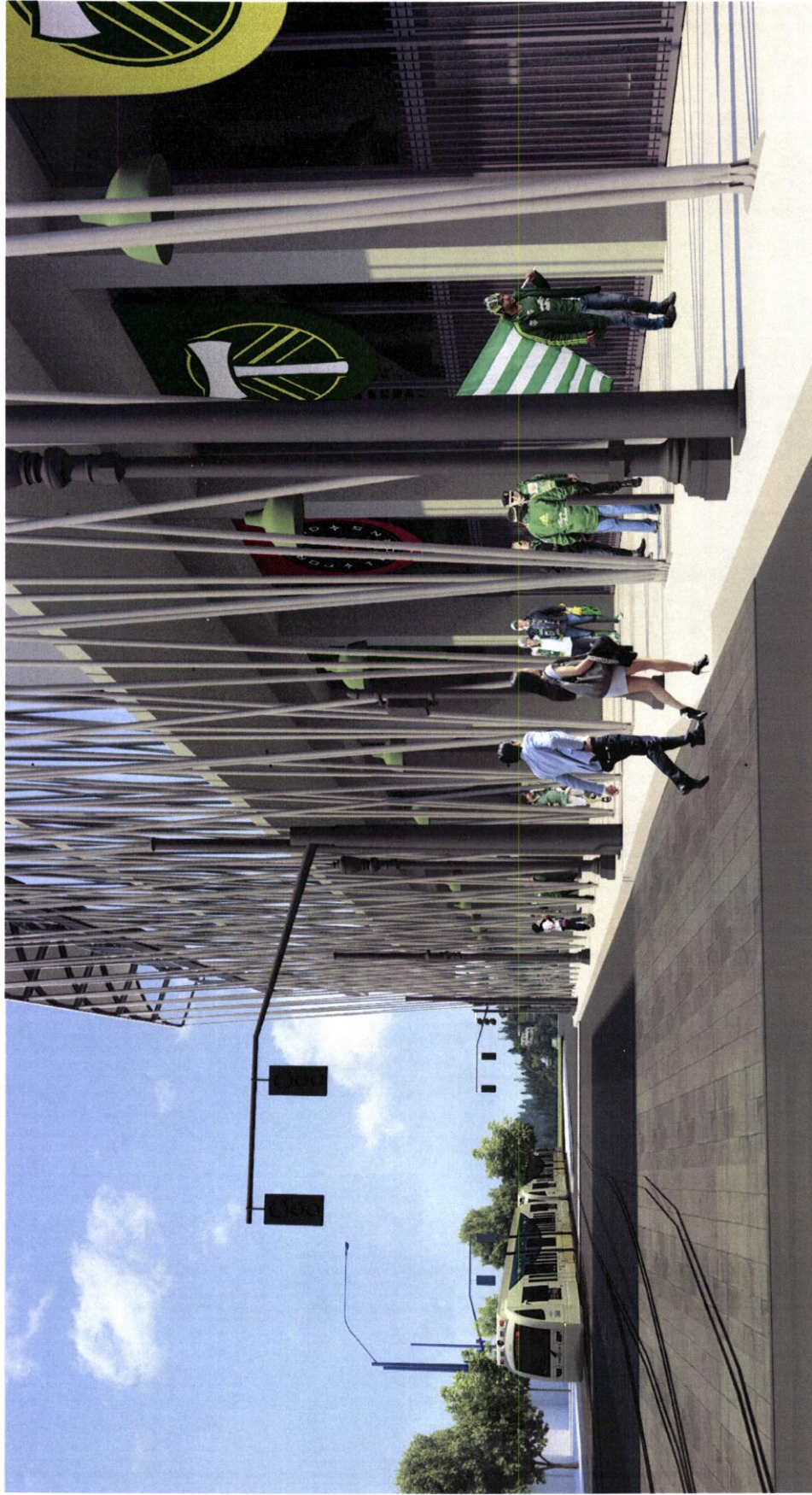


AREA OF COVERED PUBLIC SIDEWALKS TO BE MAINTAINED INTO STADIUM MAINTAINED AREA OF STADIUM PUBLIC SIDEWALKS TO BE MAINTAINED ON NON-GAME DAYS

**PUBLIC AMENITIES DIAGRAM**

LAND USE REVIEW # LU 17-184917 D2 EXHIBIT APP.11

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SW 18TH AVE ARCADE



VIEW FROM SW MORRISON AND 18TH

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