



# City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | [www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)



## Permit Revision Submittal Requirements and Application

A Permit Revision is required when there are proposed changes to the project after the permit has been issued. This may arise due to discrepancies between the city-approved permit drawings and actual field conditions, or the customer has changed their mind about an aspect of the project. In all cases, a revision to the existing permit must be submitted, reviewed and approved.

### Applicants will provide:

☒ A copy of this application

☒ Three (3) sets of plans that clearly reflect the proposed change(s).

Drawings and calculations must be stamped and signed by the Architect and/or the Engineer of Record, if applicable.

☒ One (1) copy of the original city approved permit drawings. (NOTE: If your project has an assigned process manager please contact them regarding submittal of the revision).

☐ Two (2) sets of calculations, if applicable

☐ Inspector's correction notice, if revision is due to an inspection correction

☐ Revision fee (paid at time of submittal)

### Contact Information:

Contact name Elizabeth Steszyn

Address 404 SE 45th Ave

City Portland State OR Zip Code 97215

Phone 503-341-9226 Email steszyn@comcast.net

Value of proposed revision — Issued permit # 16-24444 RS

Job site address 410 1727 SE Madison Portland OR 97214

Description of revision extending width of upper level by one foot.

### Fees:

The Permit Revisions are subject to fees associated with plan review, processing and any increase in project value. Additional fees may apply if adding plumbing fixtures.

The Bureau of Development Services fee schedule is available under the fees tab on the BDS web site at: [www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds). Fees are updated annually on July 1st.

### Helpful Information:

**Bureau of Development Services**  
City of Portland, Oregon  
1900 SW 4th Avenue, Portland, OR 97201  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

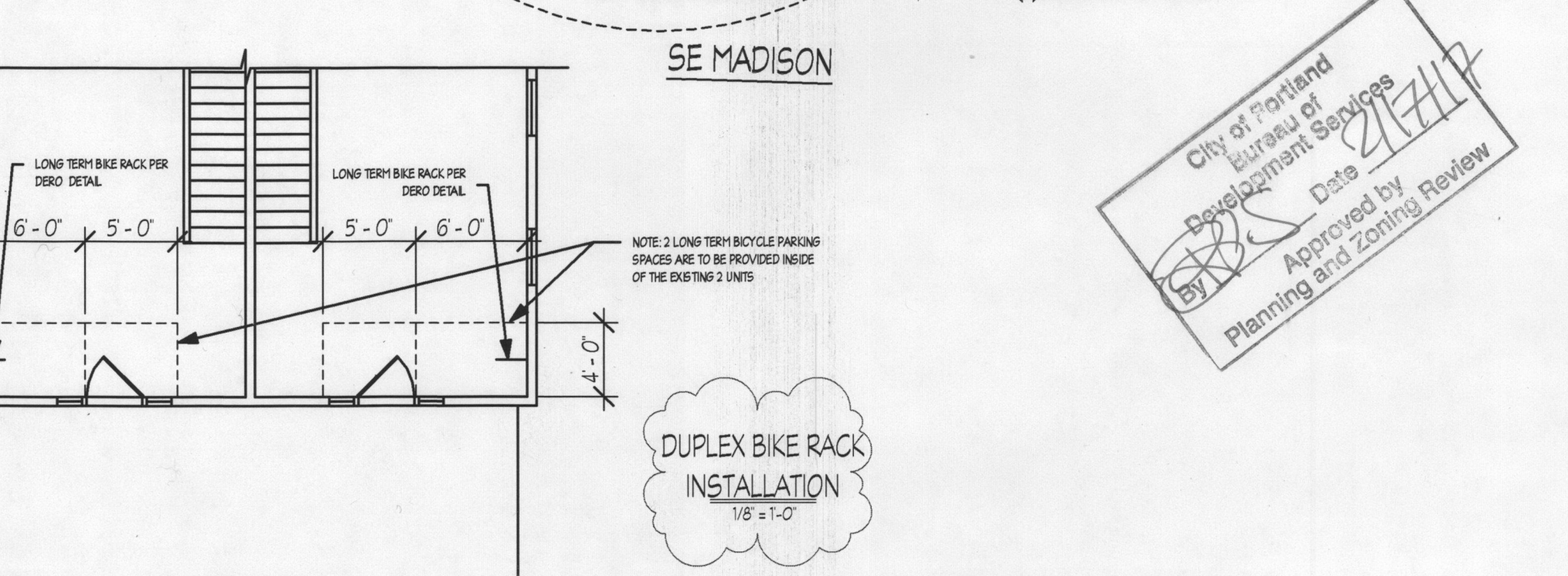
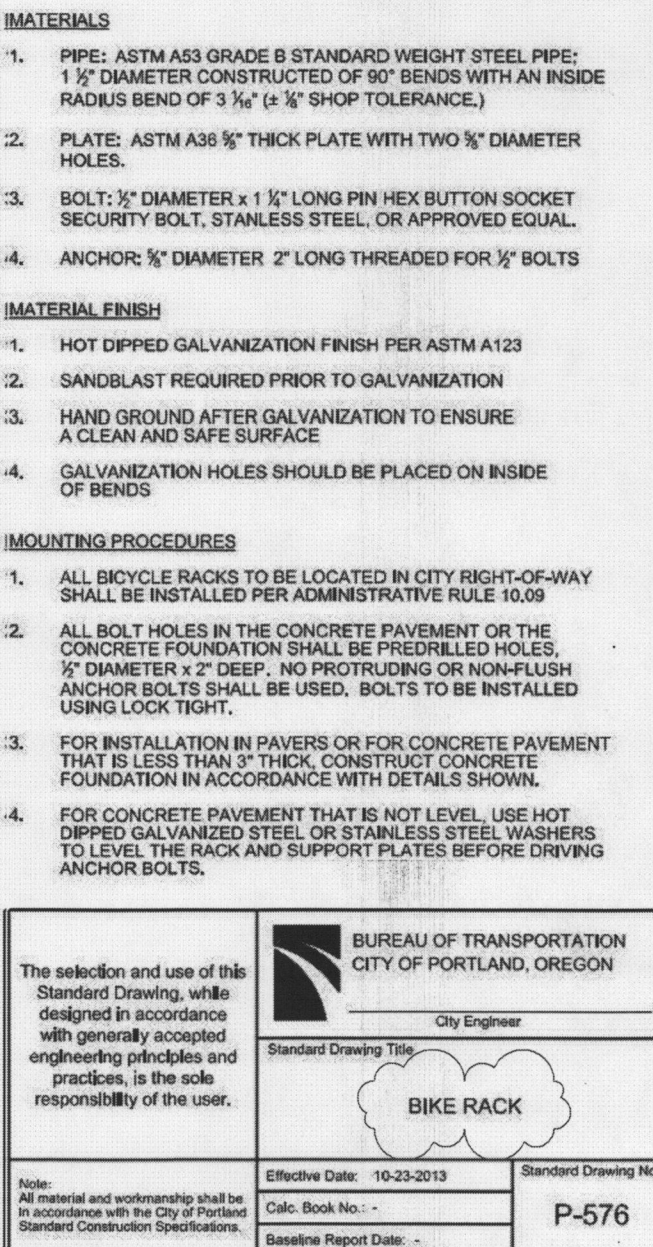
### Submit your plans in person to:

Development Services Center (DSC), First Floor,  
For Hours Call 503-823-7310 | Select option 1

### Important Telephone Numbers:

BDS main number ..... 503-823-7300  
DSC automated information line ..... 503-823-7310  
Building code information ..... 503-823-1456  
BDS 24 hour inspection request line ..... 503-823-7000  
Residential information for  
one and two family dwelling ..... 503-823-7388  
General Permit Processing and  
Fee Estimate info ..... 503-823-7357  
City of Portland TTY ..... 503-823-6868





### PLANTING SCHEDULE

|                             |   |
|-----------------------------|---|
| <u>ASSESSOR</u>             |   |
| Address:                    | 1727 SE MADISON ST, PORTLAND, OR 97214    |
| Property ID:                | R196889                                   |
| Tax Roll:                   | KENWORTHYS ADD, BLOCK 7, W 1/2 OF LOT 566 |
| Use:                        | 2-4 UNIT MULTI-FAMILY                     |
| Lot: 566                    |   |
| Block:                      | 7   |
| County:                     | Multnomah                                 |
| State ID:                   | 151E02AC 14500                            |
| Alt Account Number:         | R447700660                                |
| Map Number:                 | 3132 OLD                                  |
| Land Type:                  | RESIDENTIAL LAND                          |
| Total Land Area:            | 0.11 acres (5,000 sq ft)                  |
| LOT AREA:                   | 5,000 S.F.                                |
| EXISTING BUILDING COVERAGE: | 1,971 S.F.                                |
| - EXISTING HOUSE:           | 1,571 S.F.                                |
| - EXISTING GARAGE:          | 400 S.F.                                  |

EXISTING IMPERVIOUS AREAS  
EXISTING HOUSE: 1,571 S.F.  
EXISTING DRIVEWAY & WALKWAYS: 695 S.F.  
EXISTING GARAGE: 400 S.F.  
TOTAL EXISTING IMPERVIOUS AREA: 2,666 S.F.

PROJECT DESCRIPTION  
•NEW SINGLE FAMILY RESIDENCE ON  
SAME SITE AS EXISTING DUPLEX  
CODE SUMMARY  
•2014 ORSC  
•2014 OEESC  
•PRESCRIPTIVE DESIGN

**SITE PLAN**  
1" = 10'-0"

City of Portland  
REVIEWED FOR CODE  
COMPLIANCE  
FEB 17 2017

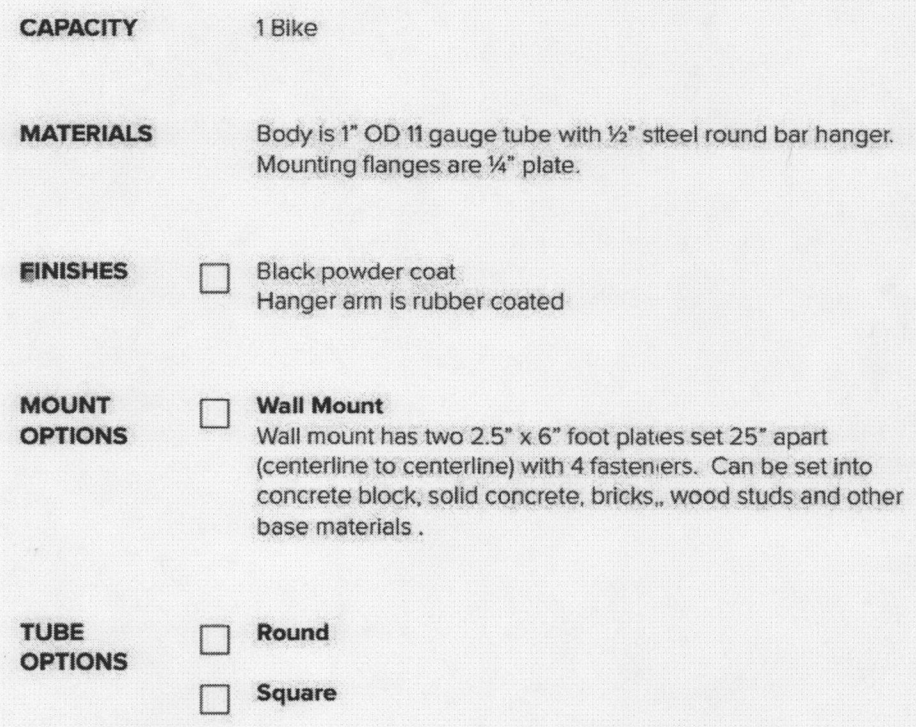
Permit Number

1727 SE MADISON ST.  
SITE PLAN

CS

10-24444 Rev01 RS

NOTE: 4 LONG TERM BIKE RACKS ARE  
REQUIRED TO BE INSTALLED. CONTRACTOR TO  
INSTALL BIKE RACK INSIDE EACH UNIT.  
- SEE MANEUVERING AREA REQUIREMENTS BELOW



A diagram showing a rectangular area divided into 12 equal vertical sections by 11 vertical lines. To the left of the rectangle, a vertical double-headed arrow indicates the height is 6 feet.

Standards for all bicycle parking found in Title 33, Planning and Zoning, §§ 2616.220, C.3 are as follows:

The bicycle frame and one wheel can be locked to the rack with a high security, U-shaped shackle lock even if both wheels are left on the bicycle;

An area of 2 feet by 6 feet must be provided for each bicycle parking space in order that a bicycle six feet long can be securely held in place with its frame supported by the rack. The bicycle should not be able to be pushed over or fall in a manner that will damage its wheels or components.

The rack must be securely anchored.



All ideas, arrangements, drawings and plans set forth on this sheet are the original work product of, owned by and are the property of Builders Design, Inc., and Oregon corporation, and use of this said work product is limited to a specified project for the persons named hereon, and for the construction of one building. Any use, reuse or disclosure of said plans, reproductions or project, ideas, designs and/or arrangements, other than by Builders Design, Inc., is strictly prohibited without the written permission of Builders Design, Inc. Written dimensions on these drawings have precedence over scaled dimensions; contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication. Supervision is not included unless specified in work contract.

1727 SE MADISON ST.

ELEVATIONS AND ROOF PLAN

Project number: 10393

Date: 2/13/2017 2:14:10 PM

Drawn by: BSY

Area:

Scale: As indicated

1

# INSULATION

ADDITIONAL MEASURES CHOSEN

5 Building tightness testing, ventilation and duct sealing:

A Mechanical exhaust, supply, or combination system providing whole-building ventilation rates specified in Table N101.1(3), or ASHRAE 62.2, and

The Dwelling shall be tested with a blower door and found to exhibit no more than

1. 6.0 air changes per hour<sup>1</sup>

2. Performance tested duct systems<sup>2</sup>

C Ductless heat pump:

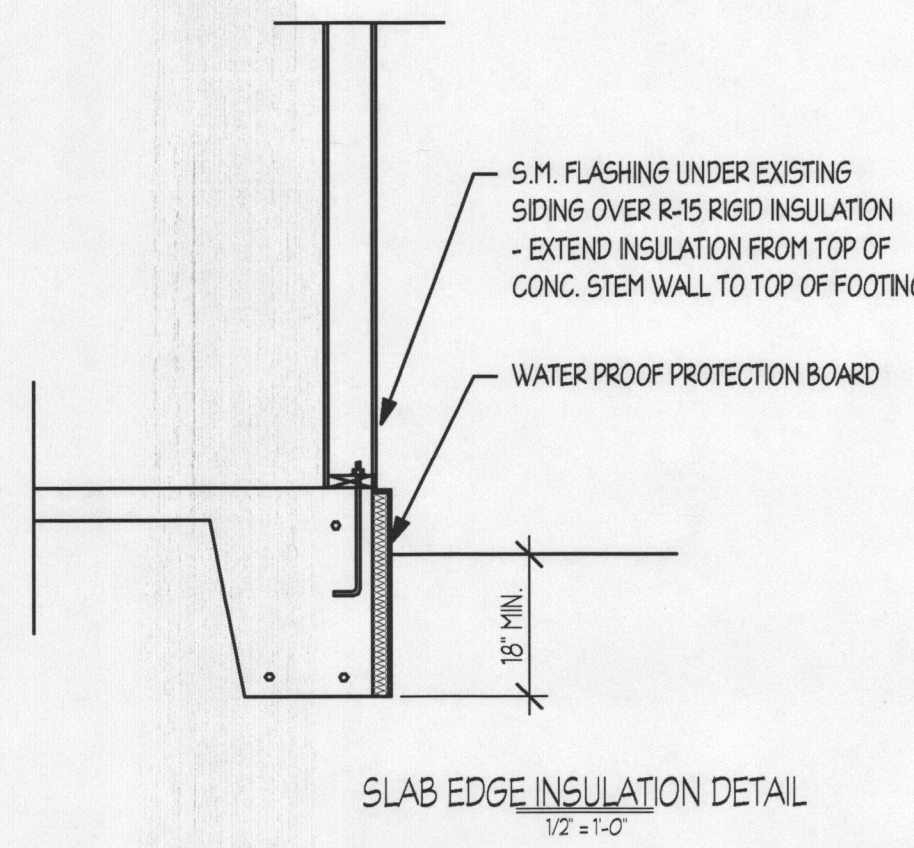
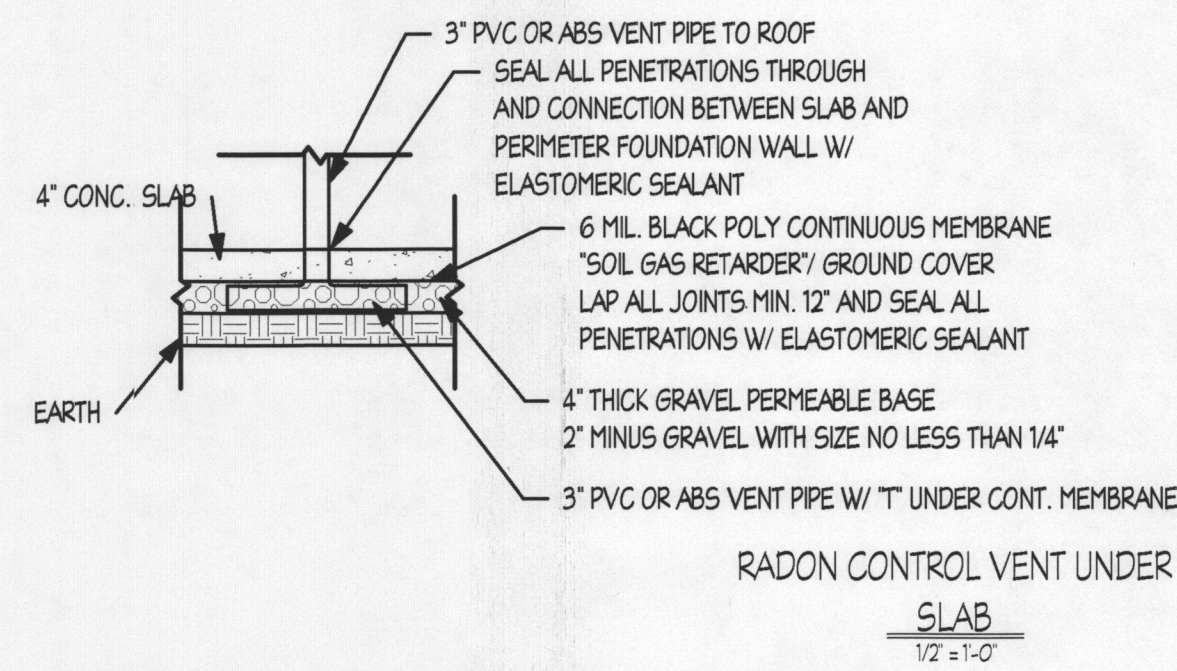
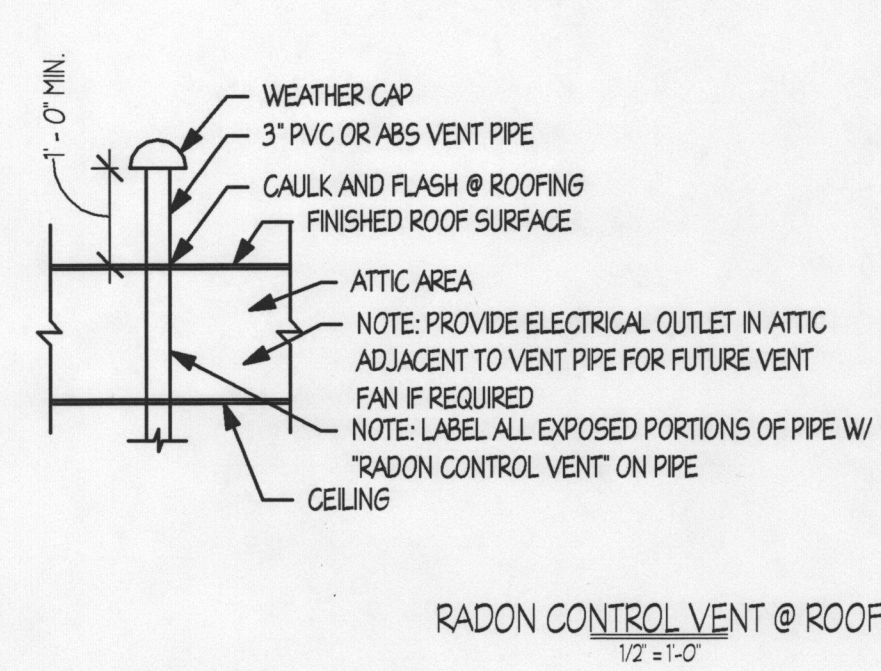
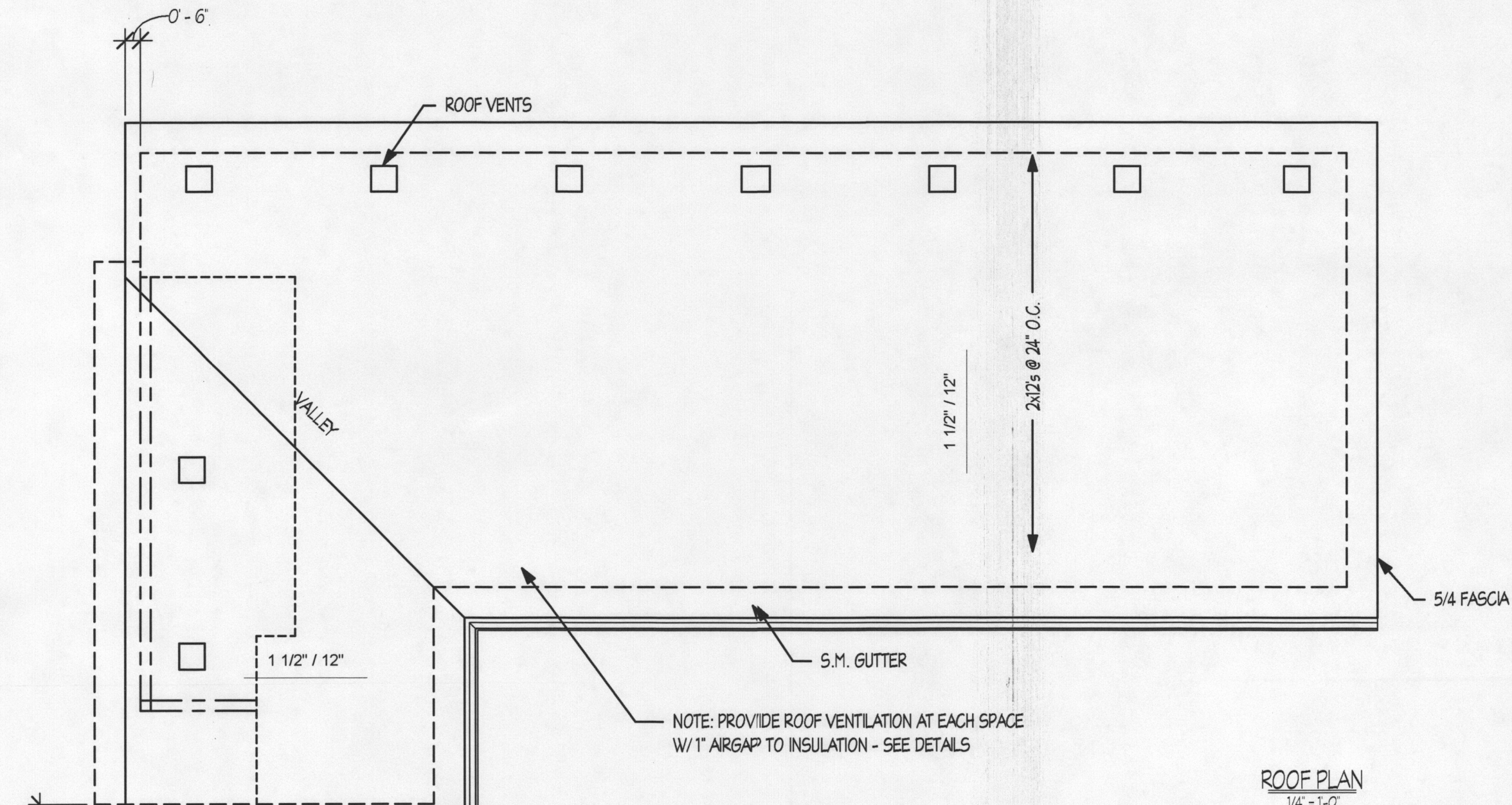
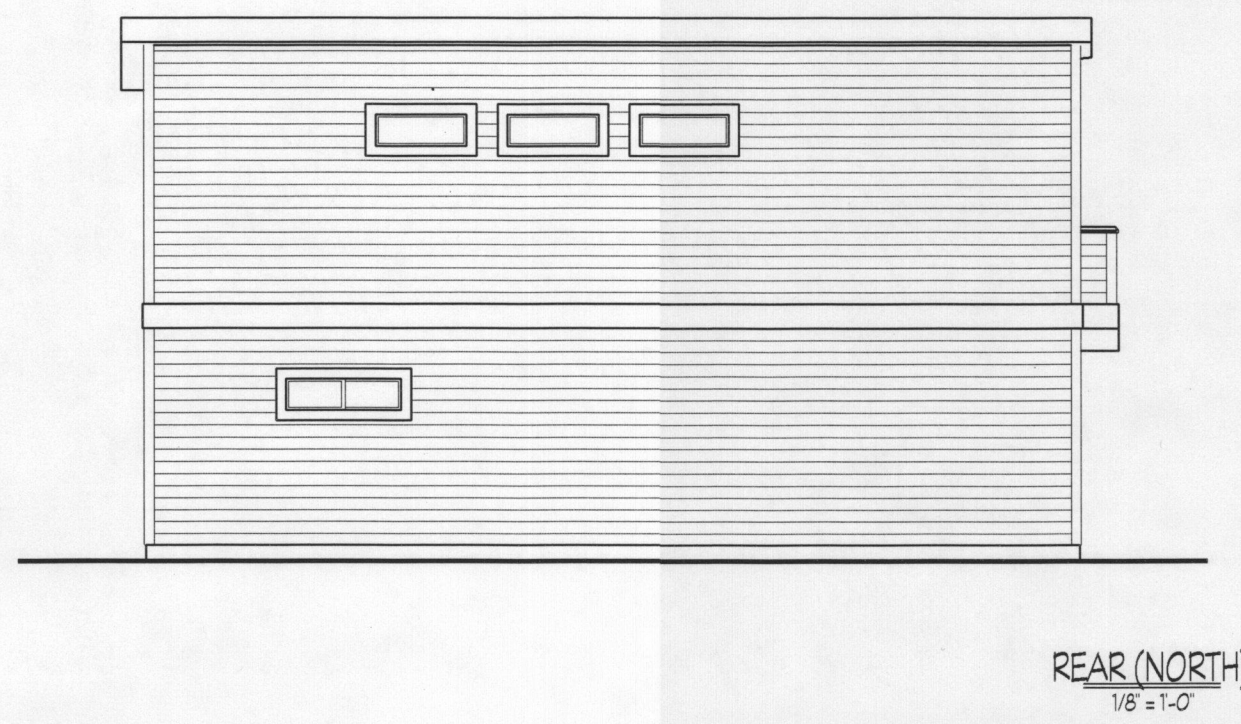
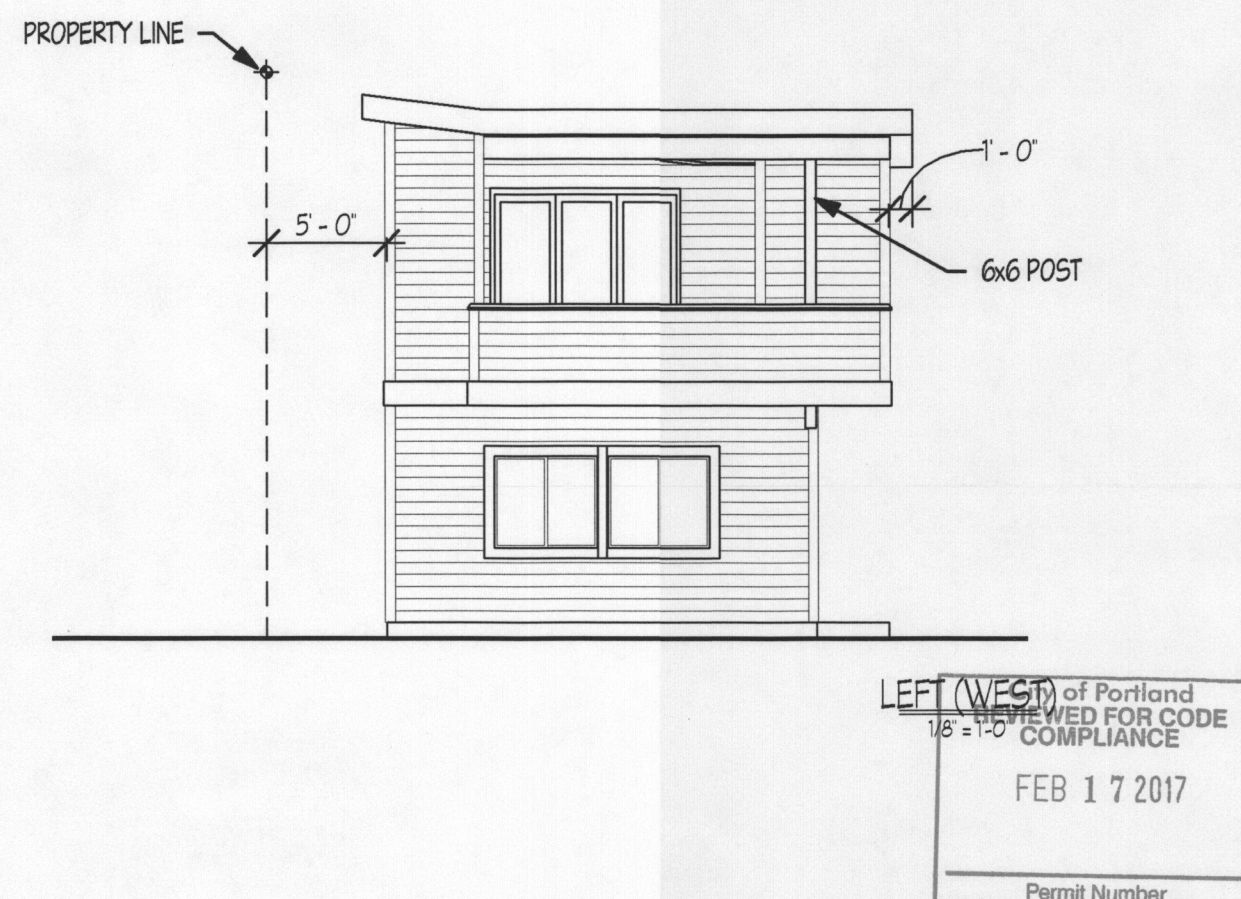
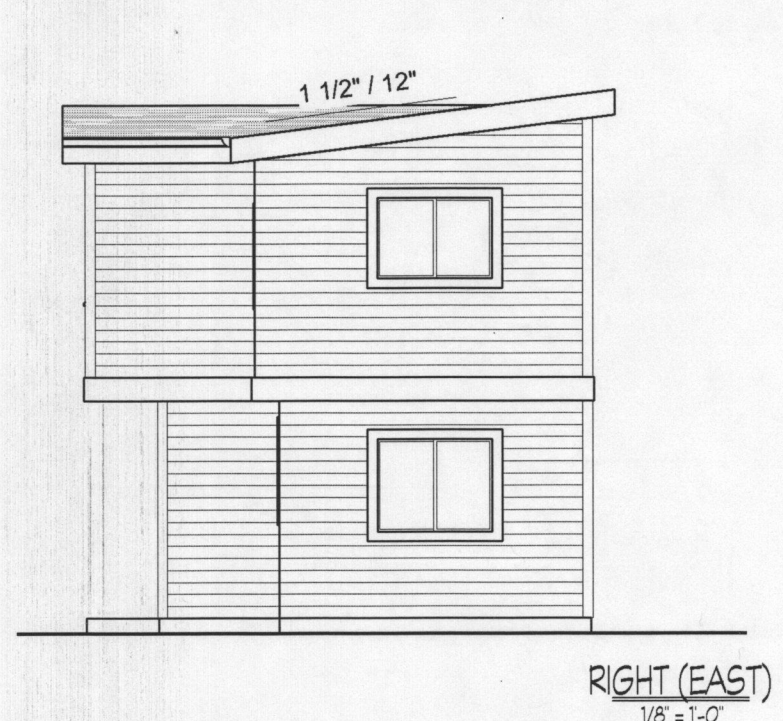
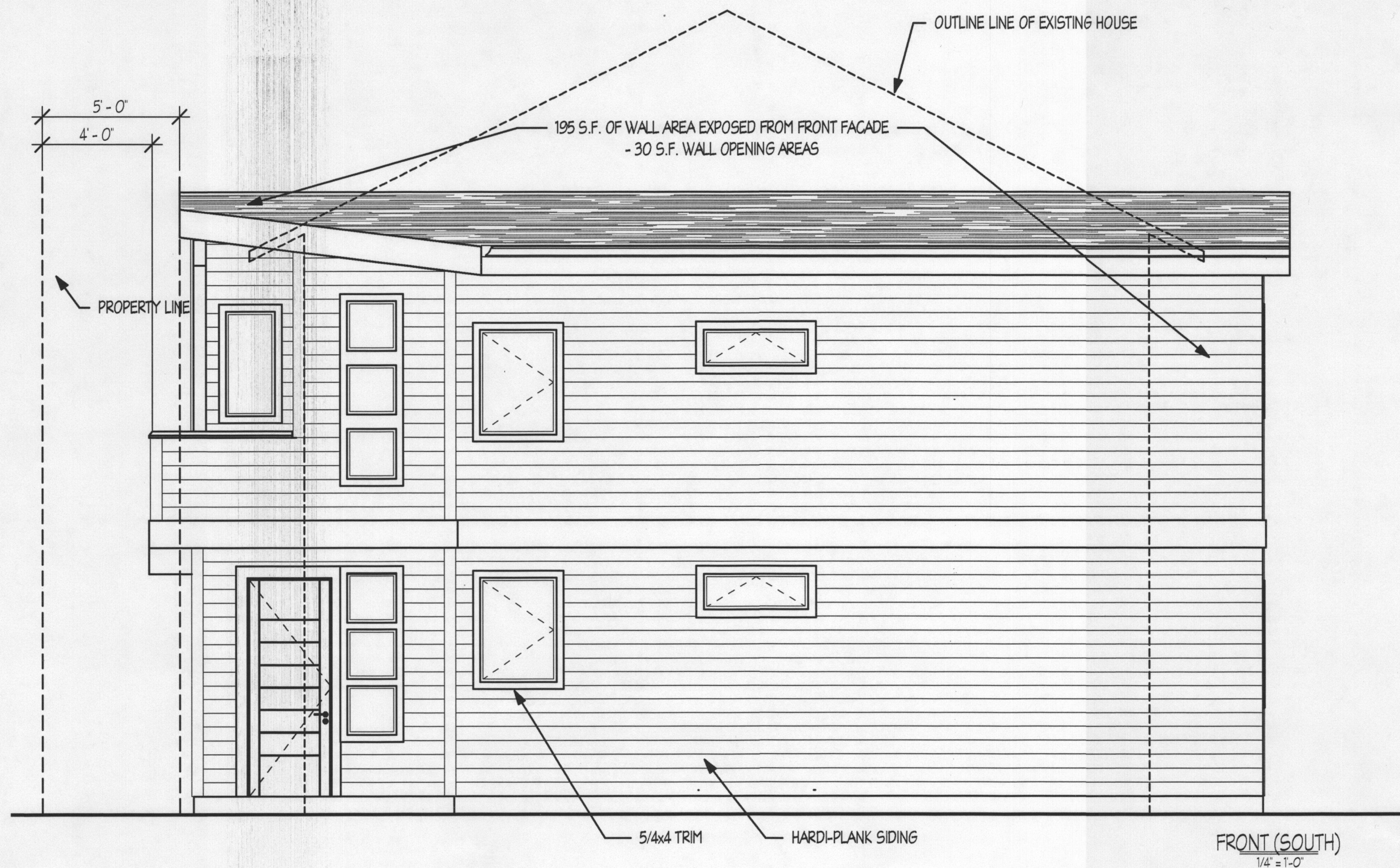
Replace electric resistance heating in at least the primary zone of dwelling with at least one ductless mini-split heat pump having a minimum HSPF of 8.5. Unit shall not have integrated backup resistance heat, and the unit (or units, if more than one is installed in the dwelling) shall be sized to have capacity to meet the entire dwelling design heat loss rate at outdoor design temperature condition. Conventional electric resistance heating may be provided for any secondary zones in the dwelling. A packaged terminal heat pump (PTHP) with comparable efficiency ratings may be used when no supplemental zonal heaters are installed in the building and integrated backup resistance heat is allowed in a PTHP

FOOTNOTES:

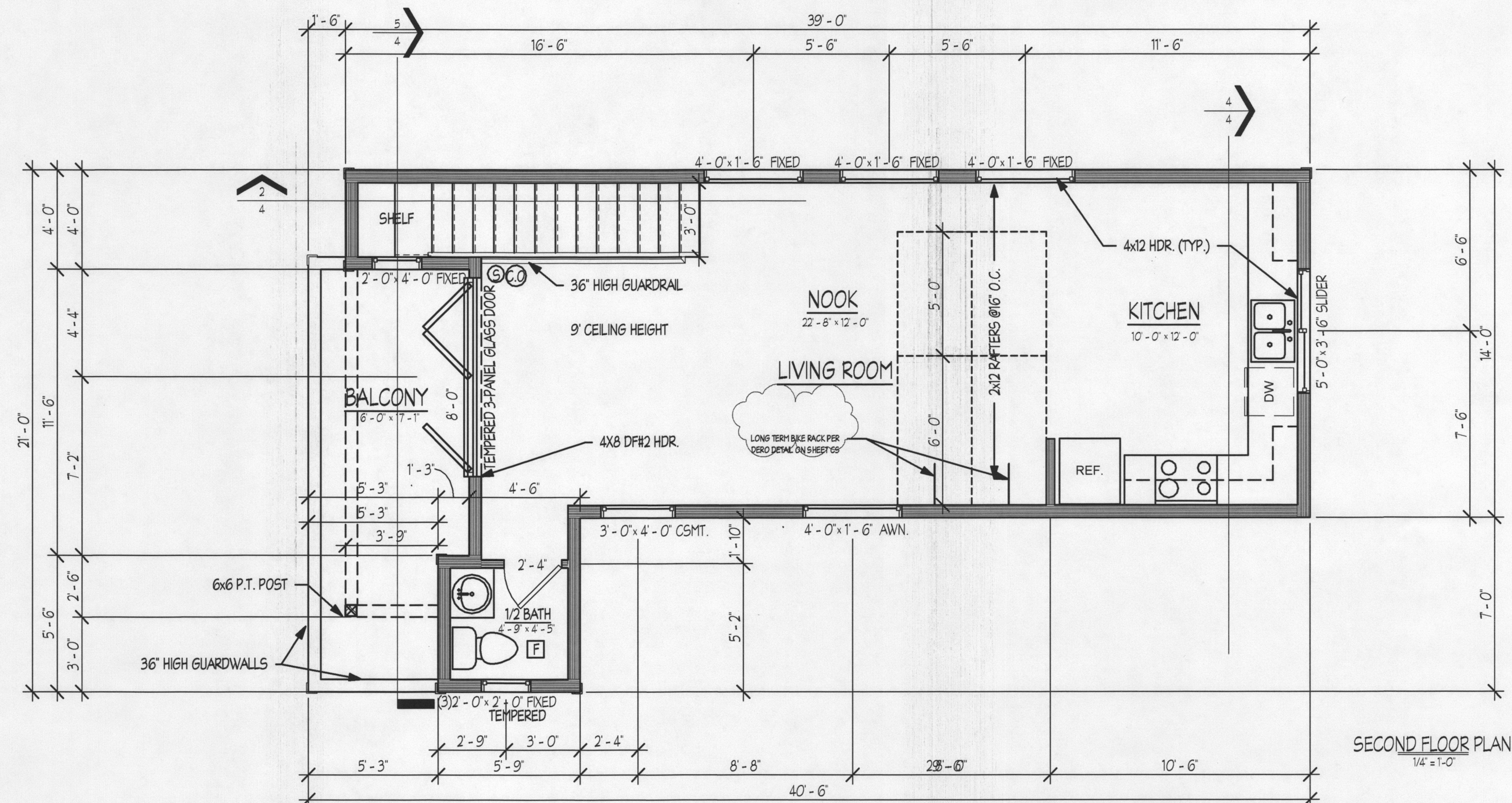
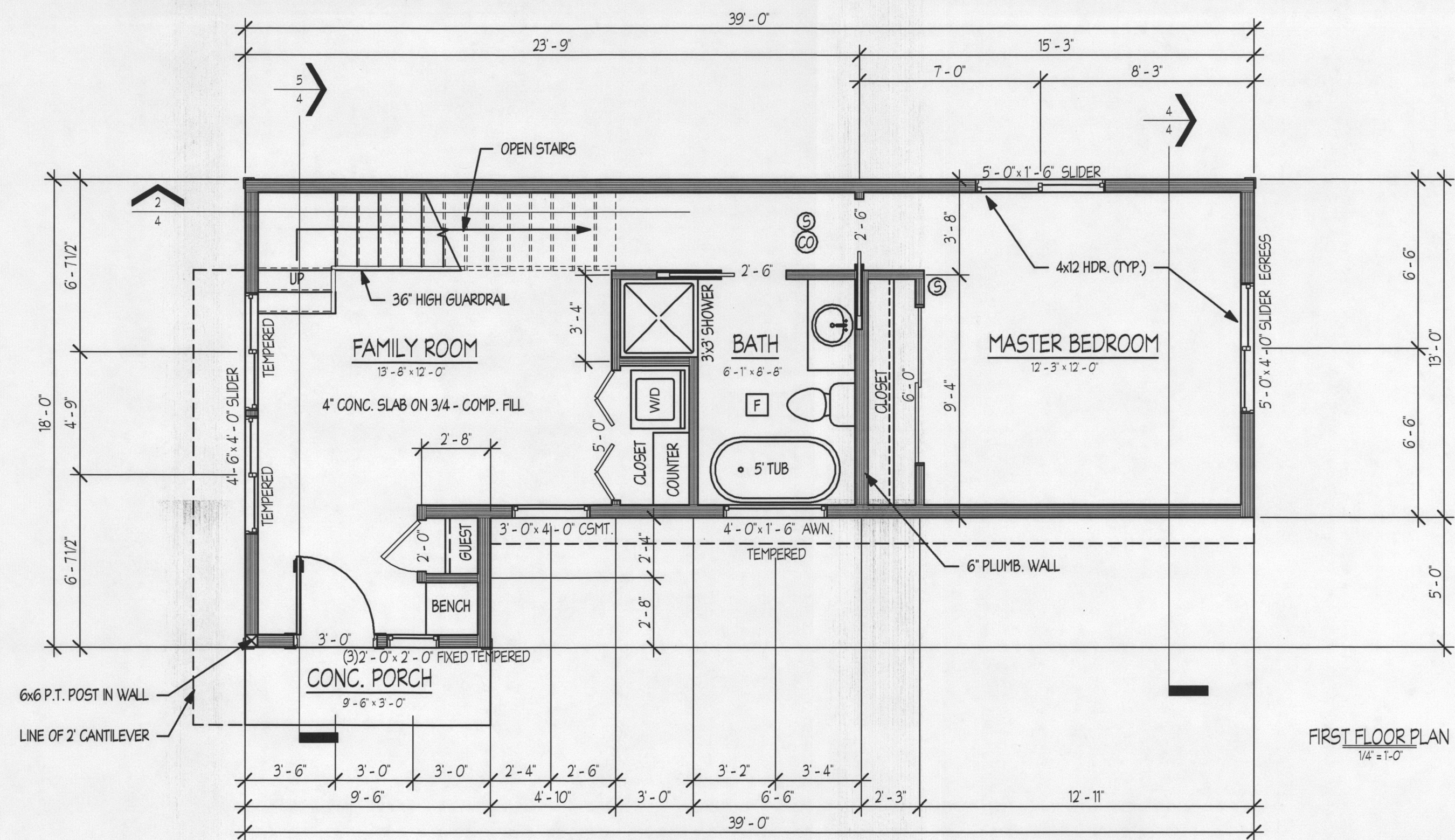
b. Documentation of Performance Tested Ductwork shall be submitted to the building official upon completion of work. This work shall be performed by a technician certified by the Performance Tested Comfort Systems (PTCS) program administered by the Bonneville Power Administration (BPA), documentation shall be provided that work demonstrates conformance to PTCS duct performance standards



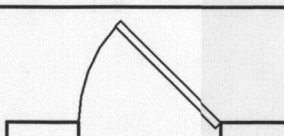



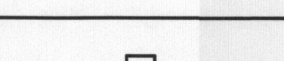
f. Building tightness test shall be conducted with a blower door depressurizing the dwelling 50 Pascals from ambient conditions. Documentation of blower door test shall be submitted to the building official upon completion of work.

| PRESCRIPTIVE ENVELOPE REQUIREMENTS |        |
|------------------------------------|--------|
| ABOVE GRADE WALL                   | R-21   |
| BELOW GRADE WALL                   | R-15   |
| FLAT CEILINGS                      | R-38   |
| VAULTED CEILINGS                   | R-38   |
| UNDERFLOORS                        | R-30   |
| SLAB-EDGE PERIMETER                | R-15   |
| HEATED SLAB INTERIOR               | R-10   |
| WINDOWS                            | U-0.35 |
| SKYLIGHTS                          | U-0.60 |
| EXTERIOR DOORS                     | U-0.20 |
| EXTERIOR DOORS W/ 2.5 ft GLAZING   | U-0.40 |
| FORCED AIR DUCT INSULATION         | R-8    |







|   |                             |
|---|-----------------------------|
|    | SLIDING GLASS               |
|    | POCKET DOOR                 |
|    | SWINGING DOOR               |
|    | NEW WALL                    |
|    | CARBON MONOXIDE<br>DETECTOR |
|   | FAN                         |
|  | SMOKE DETECTOR              |

City of Portland  
Bureau of  
Development Services  
Date 2/17/17  
By [Signature]  
Approved by  
Planning and Zoning Review

City of Portland  
REVIEWED FOR CODE  
COMPLIANCE  
FEB 17 2017  
Permit Number

**BUILDERS  
DESIGN INC.**  
COMMERCIAL · RESIDENTIAL · REMODELING  
111125 NE WEIDLER ST. · PORTLAND, OR 97220  
PHONE: (503) 252-3453 · FAX: (503) 252-3454  
EMAIL: BUILDERSDESIGN@GMAIL.COM

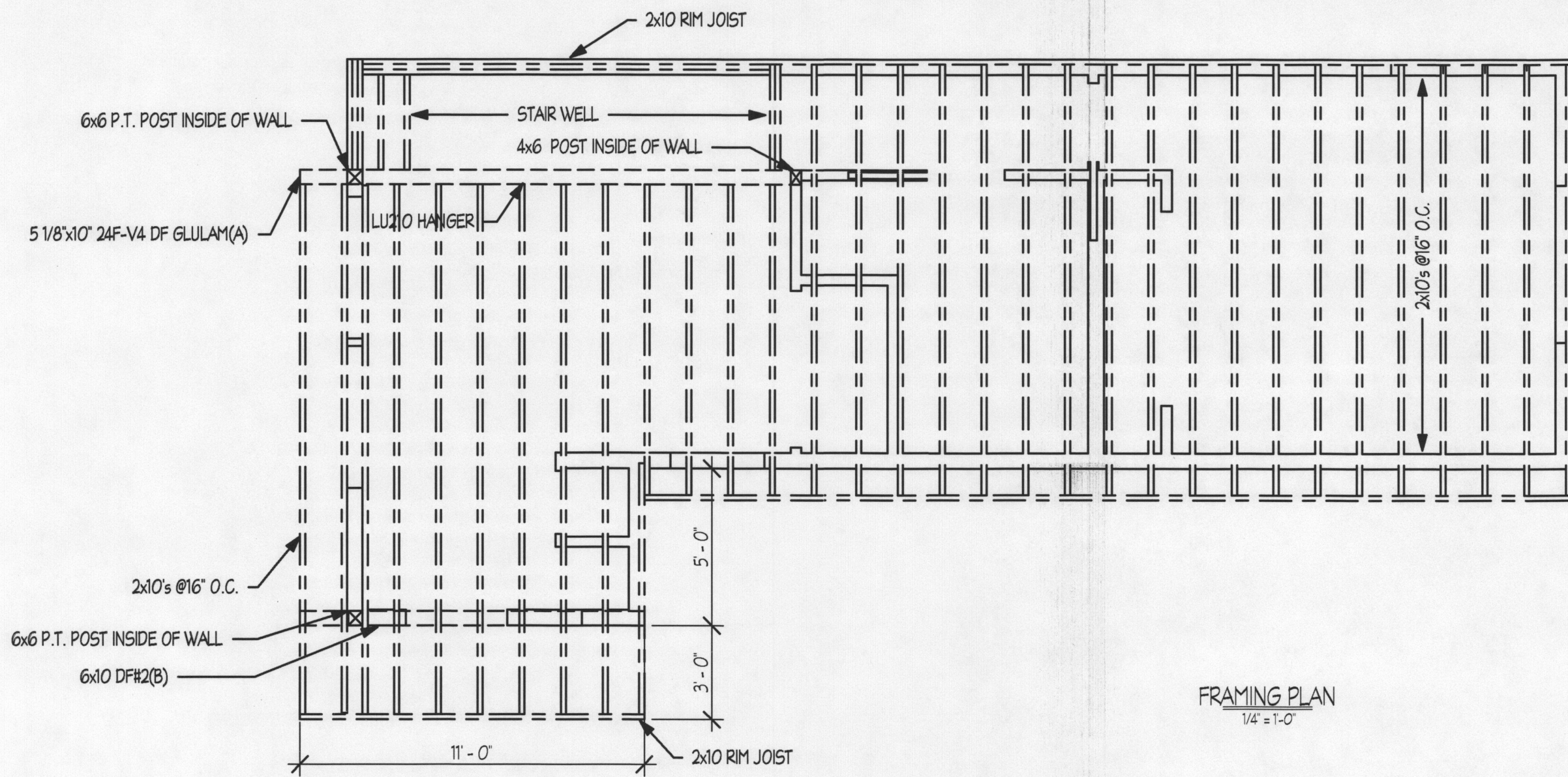
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1727 SE MADISON ST.  
1st FLOOR PLAN

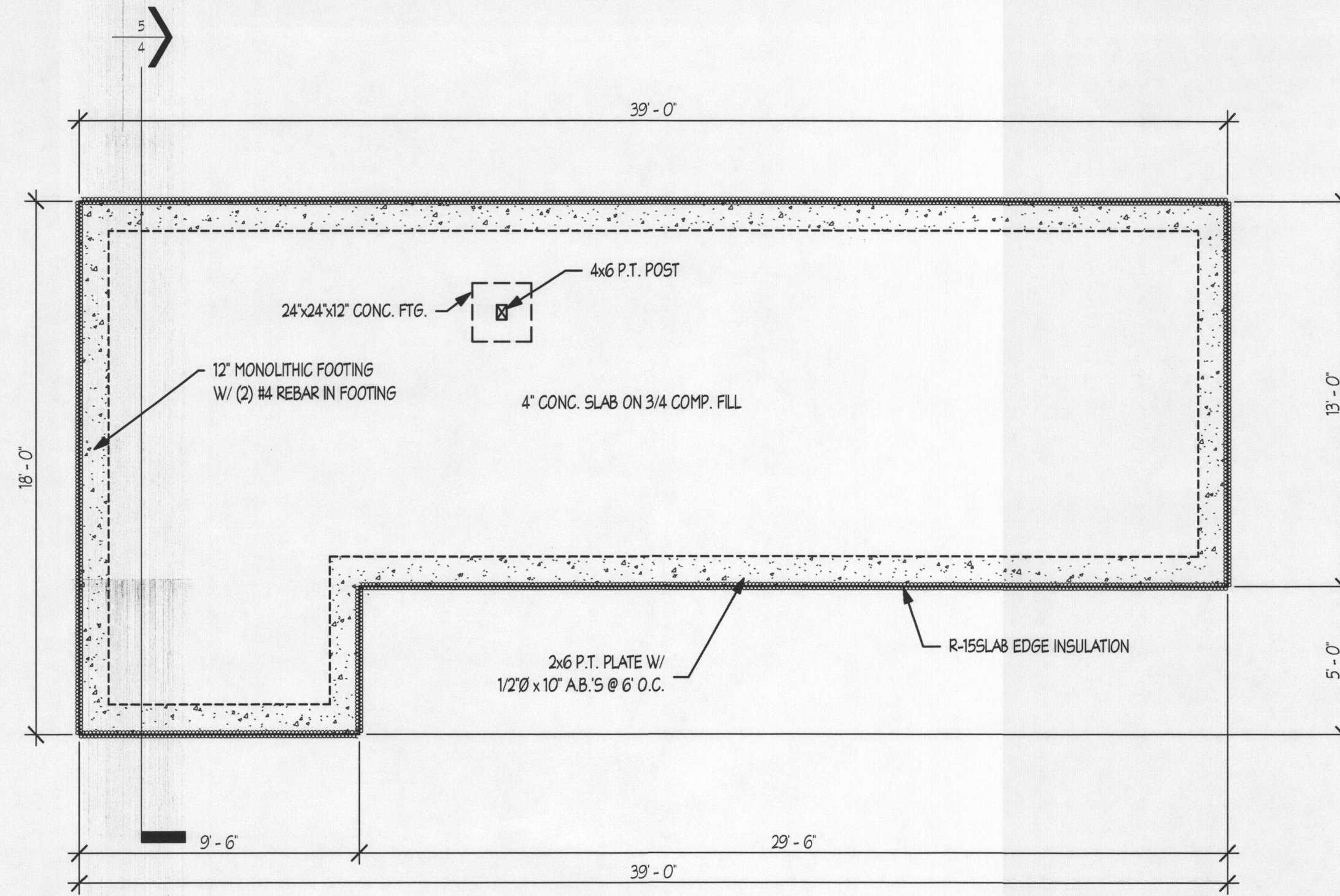
|                 |                      |
|-----------------|----------------------|
| Project number: | 10393                |
| Date:           | 2/13/2017 2:14:11 PM |
| Drawn by:       | BSY                  |
| Area:           | 1,059.35             |
| Scale           | 1/4" = 1'-0"         |

2

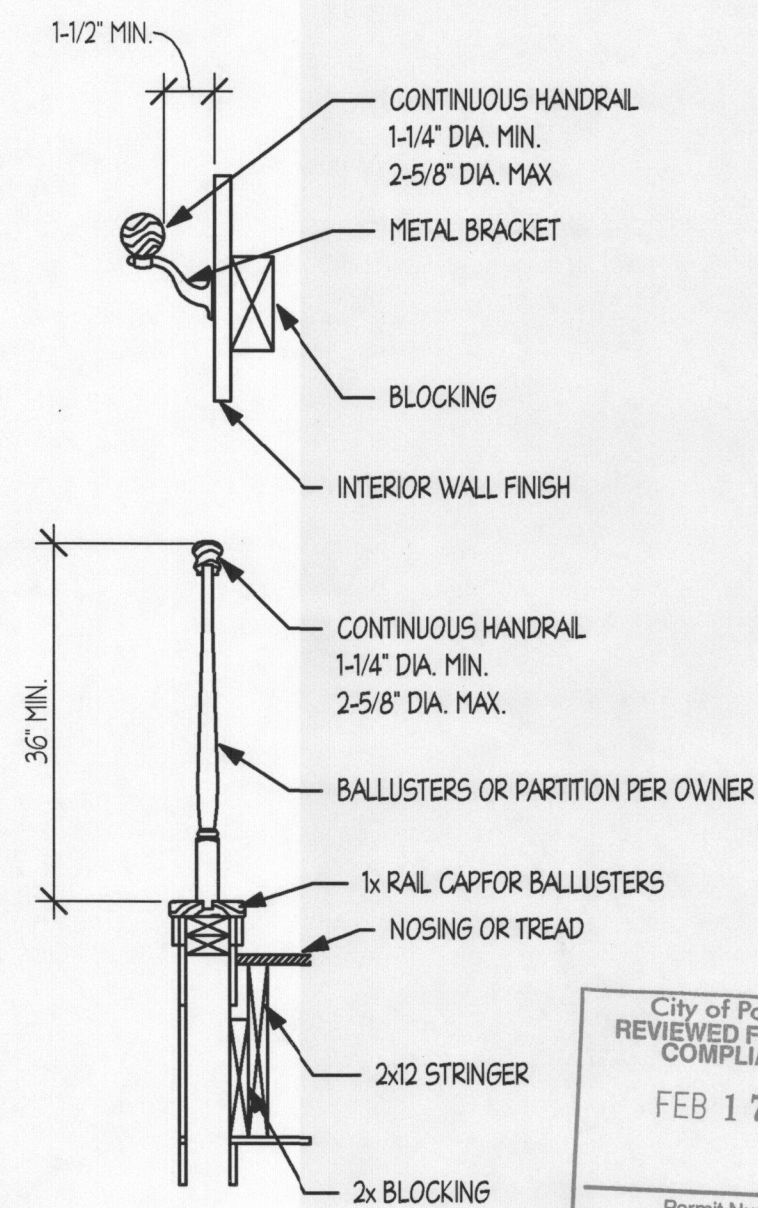
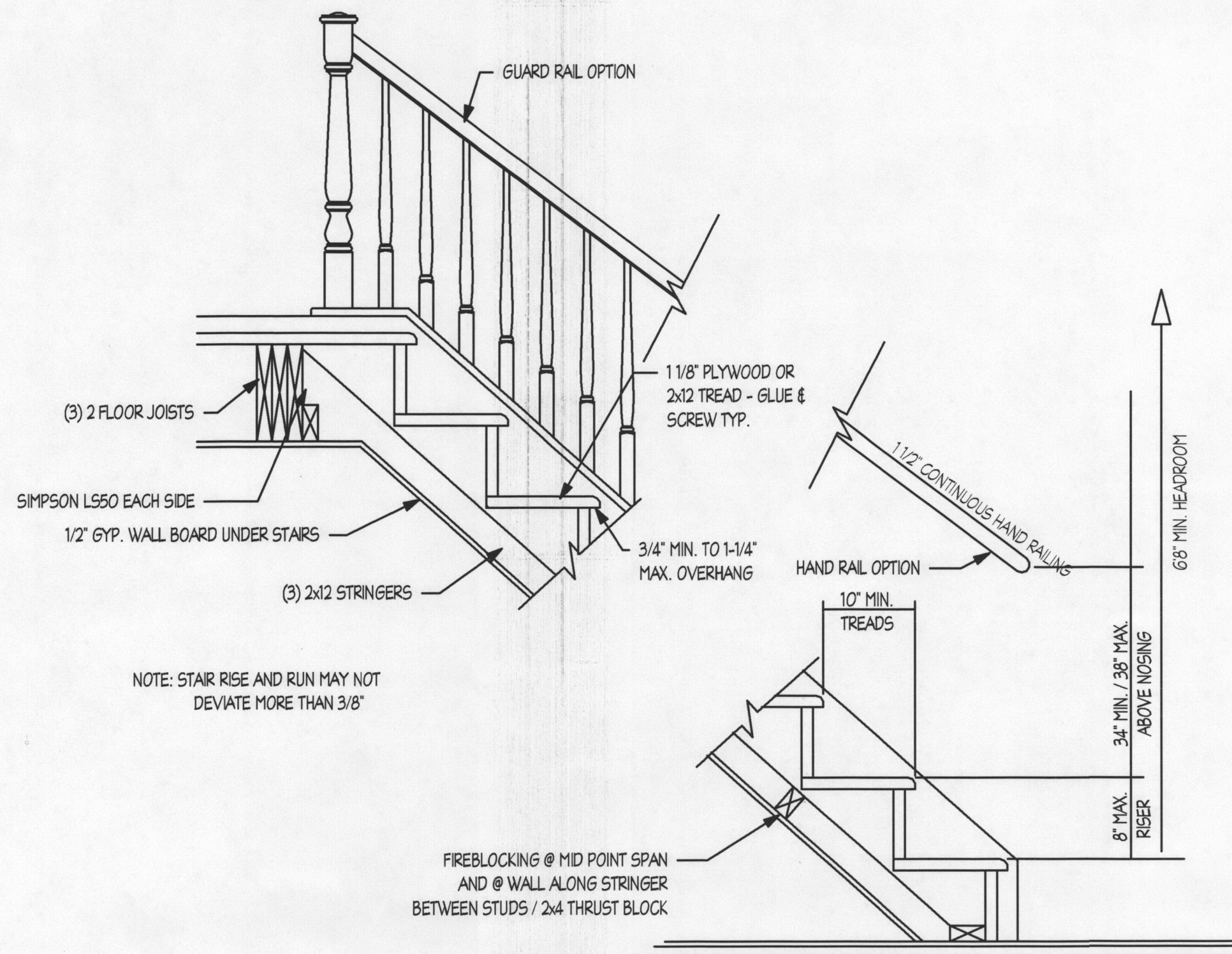




FRAMING PLAN  
1/4" = 1'-0"



FOUNDATION PLAN  
1/4" = 1'-0"



City of Portland  
REVIEWED FOR CODE COMPLIANCE  
FEB 17 2017  
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STAIR DETAIL  
1/4" = 1'-0"

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1727 SE MADISON ST.  
FOUNDATION & FRAMING PLAN

Project number: 10393  
Date: 2/13/2017 2:14:12 PM  
Drawn by: BSY  
Area: 568  
Scale: 1/4" = 1'-0"

3

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PHONE: (503) 252-3453 - FAX: (503) 252-3454  
EMAIL: BUILDERSDESIGN@GMAIL.COM



GENERAL CONDITIONS

1. ALL WORK SHALL CONFORM WITH THE LATEST ADOPTED ISSUE OF THE OREGON 2014 RESIDENTIAL SPECIALTY CODE.
2. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE PLANS AND SITE CONDITIONS AND TO NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS

SITE WORK

1. REMOVE TOP SOIL AND ORGANIC MATERIAL FROM THE BUILDING SITE, STOCKPILING ON SITE FOR FINAL GRADING IF POSSIBLE.
2. FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL, STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW FINISH GRADE.
3. ANY FILL UNDER GRADE SUPPORTED CONCRETE SLABS TO BE 4" THICK (MIN.) SAND COMPACTED TO 95%.
4. CONCRETE SLABS TO BE 4" THICK, 3000 P.S.I. AT 28 DAYS WITH CONTROL JOINTS AT 25' O.C. (MAX.) EACH WAY
5. FINISH GRADES ARE TO REMAIN AT LEAST 6" BELOW FINISH SIDING.

FOUNDATIONS

1. CONCRETE - MIX AND 28 DAY STRENGTH OF CONCRETE

- BASEMENT WALLS & FOUNDATION NOT EXPOSED TO WEATHER 2500 PSI
- BASEMENT & INTERIOR SLABS ON GRADE: 2500 PSI
- BASEMENT WALLS & FOUNDATIONS EXPOSED TO WEATHER AND GARAGE SLABS: 3000 PSI
- PORCHES, STEPS & CARPORT SLABS EXPOSED TO WEATHER: 3000 PSI

2. ALL REINFORCING STEEL TO BE A-615 GRADE 60, WELDED WIRE MESH TO BE A-185.

3. LAP ALL CONTINUOUS BARS 30 x DIA. (MIN.) PLACE ALL REINFORCING AS PER A.C.I. CODES & STANDARDS.

4. PROVIDE A MINIMUM CLEARANCE OF 18" UNDER GIRDERS, BEAMS, OR JOISTS.
5. COVER ENTIRE CRAWL SPACE WITH 6 MIL. BLACK "VISQUEEN" AND EXTEND UP FOUNDATION WALLS AND FASTEN TO MUD SILL.

6. PROVIDE A MINIMUM OF 1 S.F. OF NET VENTILATION AREA FOR EACH 1500 S.F. OF CRAWL SPACE AREA. VENTS ARE TO BE CLOSABLE AND HAVE 1/4" OPENINGS IN CORROSIVE RESISTANT SCREEN. POST NOTICE ABOUT OPENING VENTS NEAR ELECTRICAL PANEL.

7. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

8. BEAM POCKETS IN CONCRETE WALLS TO HAVE 1/2" AIR SPACE AT SIDES AND ENDS AND 3" OF BEARING (MIN.)

9. MUD SILLS TO BE 2x6 PRESSURE TREATED WOOD WITH 1/2" DIA. x 10" ANCHOR BOLTS SPACED 6'-0" O.C. OR PER SHEAR WALL SCHEDULE AND WITHIN 12" OF CORNERS. LAYOUT FOR 14' LONG 2x6 P.T. SILL PLATE, PROVIDE AB, EACH SIDE OF SILL SPLICES.

10. PROVIDE 4" DIA. PERFORATED DRAIN TILE BELOW THE TOP OF FOOTINGS.

NAILING SCHEDULE:

JOIST TO SILL OF GIRDER:  
BRIDGE TO JOIST  
BOTTOM PLATE TO JOIST  
PLYWOOD SUBFLOOR

(3) 8d  
(2) 8d  
16d@16" O.C.  
8d@6"

TOE NAIL  
TOE NAIL  
FACE NAIL  
EDGE NAIL  
INTERIOR  
END NAIL  
TOE OR END NAIL

TOP PLATE TO JOIST  
STUD TO BOTTOM PLATE

(2) 16d  
(4) 8d

DOUBLE STUDS  
DOUBLE TOP PLATE

16d@16" O.C.  
16d@16" O.C.

CONTINUOUS HEADER (2 PC)  
CEILING JOIST TO PLATE

16d@16" O.C.  
(3) 8d

CEILING JOIST LAP OVER PLATE  
CEILING JOIST TO RAFTER

(3) 16d  
(3) 16d

RAFTER TO TOP PLATE  
COLLAR TIES (EACH END)

(3) 8d  
(6) 10d (U.N.O.)

BUILD UP CORNER STUDS  
TOP PLATE AT INTERSECTIONS

16d @ 24" O.C.  
(2) 16d

MULTIPLE LVL'S (2 PLIES)  
MULTIPLE LVL'S (3 PLIES)

2 ROWS - 16d @ 12" O.C.  
2 ROWS - 16d @ 12" O.C.

MULTIPLE JOISTS (UP TO 3)  
1x6 SPACED SHEATHING

2 ROWS - 16d @ 12" O.C.  
(2) 8d

RAFTERS TO HIPS, VALLEY OR RIDGE

(4) 16d

HEALTH AND SAFETY:

All new smoke and CO alarms shall be hardwired with battery backup and interconnected within the dwelling unit only

Smoke alarms shall be located within each sleeping room, immediately outside of each sleeping room, and on each level of the dwelling.

CO alarms shall be located within 15' outside of each bedroom door.

All alarms shall be cross listed for interconnection.

All Smoke Alarms shall be listed in accordance with UL 217.

Combination Smoke / Carbon monoxide alarms shall be listed as complying with UL 2034 and UL 217.

Combination Smoke / Carbon monoxide alarms shall be listed as complying with ANS/VUL 2075 and ANS/VUL 268.

FANS AND SMOKE DETECTORS

FANS IN BATHING AREAS SHALL BE CONTROLLED BY TIMER.

SMOKE DETECTORS SHALL BE 110V BATTERY BACKUP.

RADON CONTROL NOTES:

GAS PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS INCLUDING:

1. A UNIFORM OF CLEAN AGGREGATE, A MINIMUM OF 4" THICK.
2. A UNIFORM LAYER OF SAND/ A MINIMUM OF 4" THICK.
3. OTHER MATERIALS, SYSTEMS, OR FLOOR DESIGNS WITH DEMONSTRATED CAPABILITY TO PERMIT DEPRESSURIZATION ACROSS THE ENTIRE SUB-FLOOR AREA.

SOL GAS RETARDER:

A MINIMUM 6 MIL. POLY OR EQUIV. FLEXIBLE SHEETING MATERIAL SHALL BE PLACED ON TOP OF THE GAS-PERMEABLE LAYER PRIOR TO CASTING THE SLAB. THE SHEETING SHALL COVER THE ENTIRE FLOOR AREA WITH SEPARATE SHEETING LAPPED AT LEAST 12". THE SHEETING SHALL FIT CLOSELY AROUND ANY PENETRATION OF THE MAT. ALL PUNCTURES AND TEARS SHALL BE SEALED OR COVERED WITH ADDITIONAL SHEETING.

FOUNDATIONS

1. WOOD FRAMING MEMBER GRADES ARE AS FOLLOWS UNLESS, OTHERWISE NOTED ON THE DRAWINGS:

- A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - NO. 1 DOUG FIR OR LVL'S - 2650 FB & 1.8E
- B. PLATES, BLOCKING AND BRIDGING - NO. 3 DOUG FIR
- C. STUDS - STUD GRADE DOUG FIR
- D. T&G DECKING - STUD & BETTER GRADE DOUG FIR
- E. PLY. SHEATHING - CD DOUG FIR PLY. (32/16)
- F. GLU-LAM - 24-F V-4

2. UNLESS OTHERWISE NOTED ON DRAWINGS, ALL EXTERIOR WINDOW AND DOOR HEADERS ARE TO BE 4x12 DOUG FIR No. 1

3. PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARTITIONS.

4. DESIGN LOADS

- ROOF - 25 P.S.F. (LL)
- FLOOR - 40 P.S.F. (LL)
- STAIRS - 100 P.S.F. (LL)
- GARAGE FLOOR - 50 P.S.F. (LL)
- DECKS - 40 P.S.F. (LL)

5. SOIL BEARING PRESSURE IS ASSUMED TO BE 1500 P.S.F.

6. NAILING SCHEDULE AS PER TABLE 25-Q, U.B.C., TYPICAL PLYWOOD NAILING WITH 8d NAILS @ 6" O/C AT EDGES AND 12" O.C. FIELD.

7. DECK AND BALCONY GUARDRAILS TO BE 36" HIGH WITH MAXIMUM OPENING SPACES SO THAT A 4" SPHERE CAN NOT PASS THROUGH.

8. PROVIDE METAL TRUSS AND RAFTER TIE DOWNS SUCH AS A "SIMPSON" H2.5 TO EACH RAFTER AT TOP PLATE.

9. ALL EXTERIOR FASTENERS, EXPOSED TO THE ELEMENTS TO BE STAINLESS STEEL OR GALVANIZED, INCLUDING NAIL, STAPLES, CLIPS, ETC.

GYPSUM BOARD FINISH

1. ERECT SINGLE LAYER 1/2" STANDARD, 5/8" F.R. AND 1/2" MOISTURE RESISTANT GYPSUM BOARD IN MOST ECONOMICAL DIRECTIONS, WITH ENDS OCCURRING OVER FIRM BACKING.

ROOF COVERINGS

ROOF COVERINGS

ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OR 2/12 OR GREATER. FOR ROOF SLOPES FROM 2/12 TO 4/12, DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED.

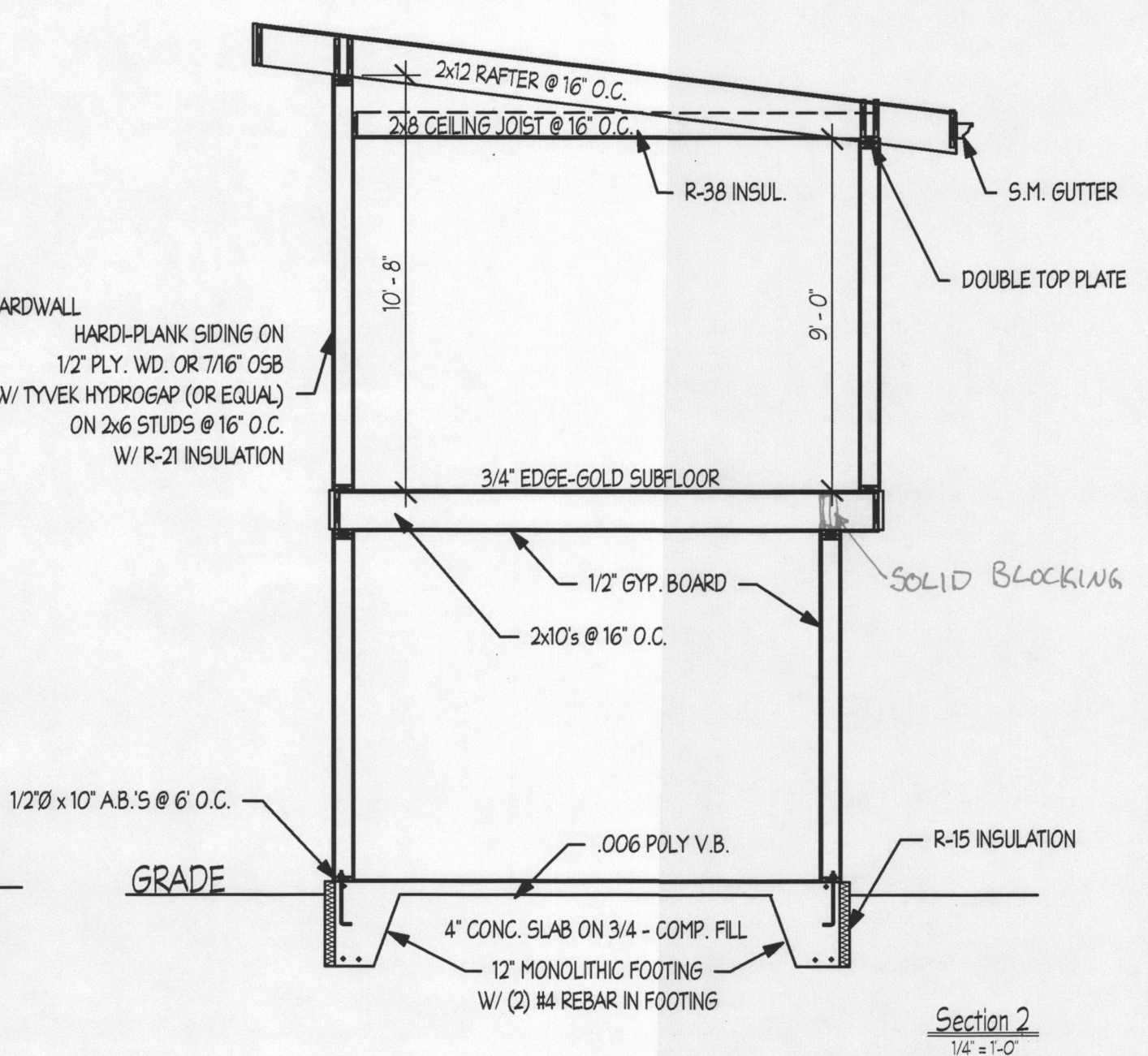
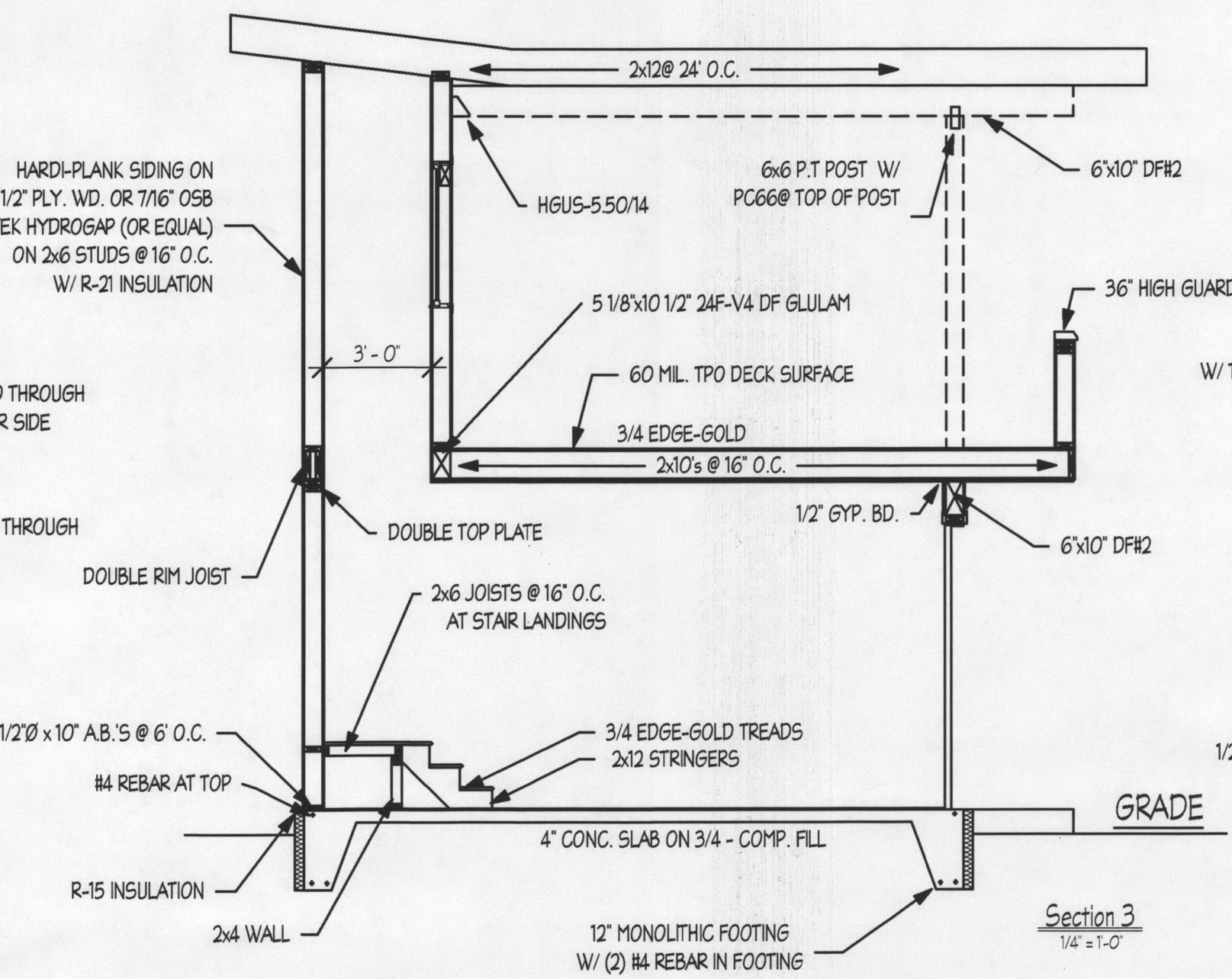
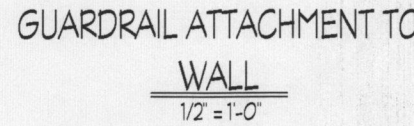
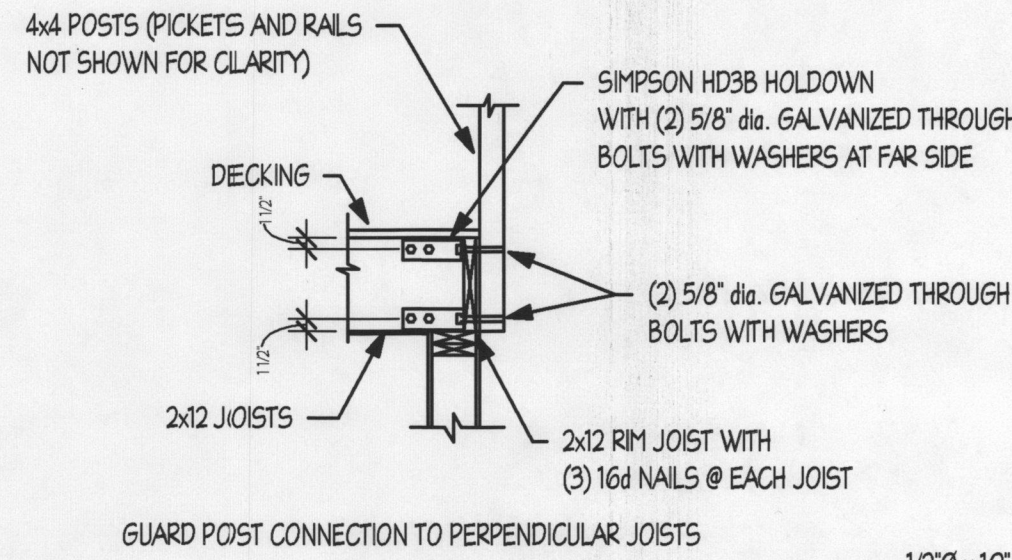
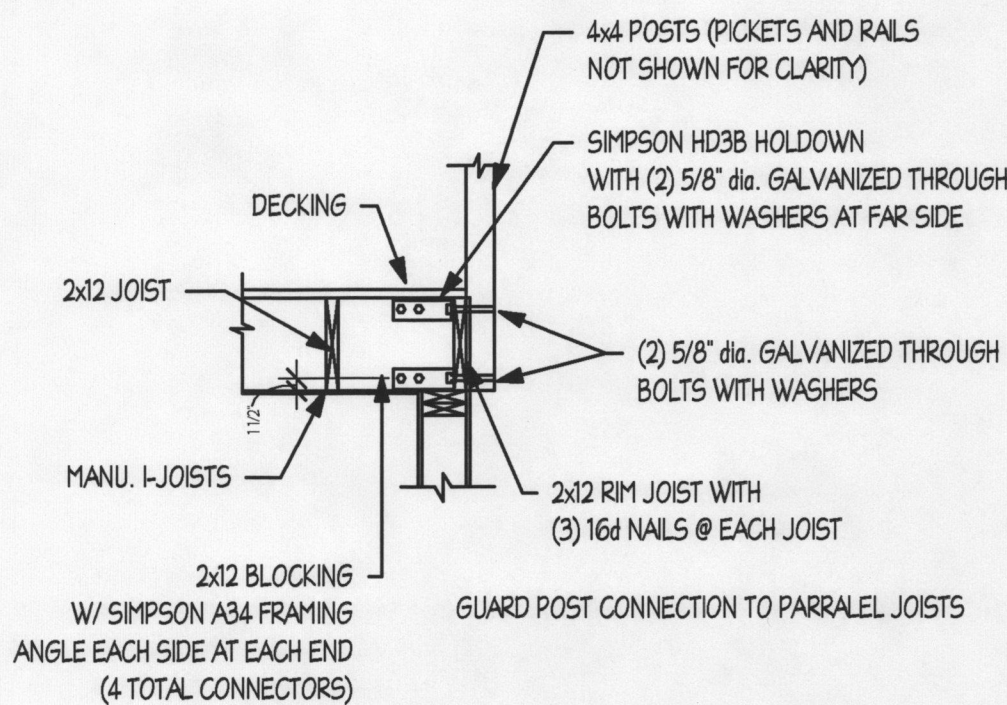
ENTRY ROUTES:

FLOOR OPENINGS:

POTENTIAL RADON ENTRY ROUTES (BATHTUBS, SHOWERS, PIPES, WIRES, OR OTHER OBJECTS THAT PENETRATE CONC. SLABS) SHALL BE SEALED WITH POLYURETHANE CAULK APPLIED ACCORDING TO MANU. SPECS. ALL JOINTS IN CONCRETE OR BETWEEN SLAB AND FOUNDATION WALL SHALL BE SEALED WITH CAULK OR SEALANT. GAPS AND JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED ACCORDING TO MANU. SPECS. CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT SUMP PITS OPEN TO SOIL OR SERVING AS TERMINATION POINT FOR SUB-SLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH TRAPPED INLET

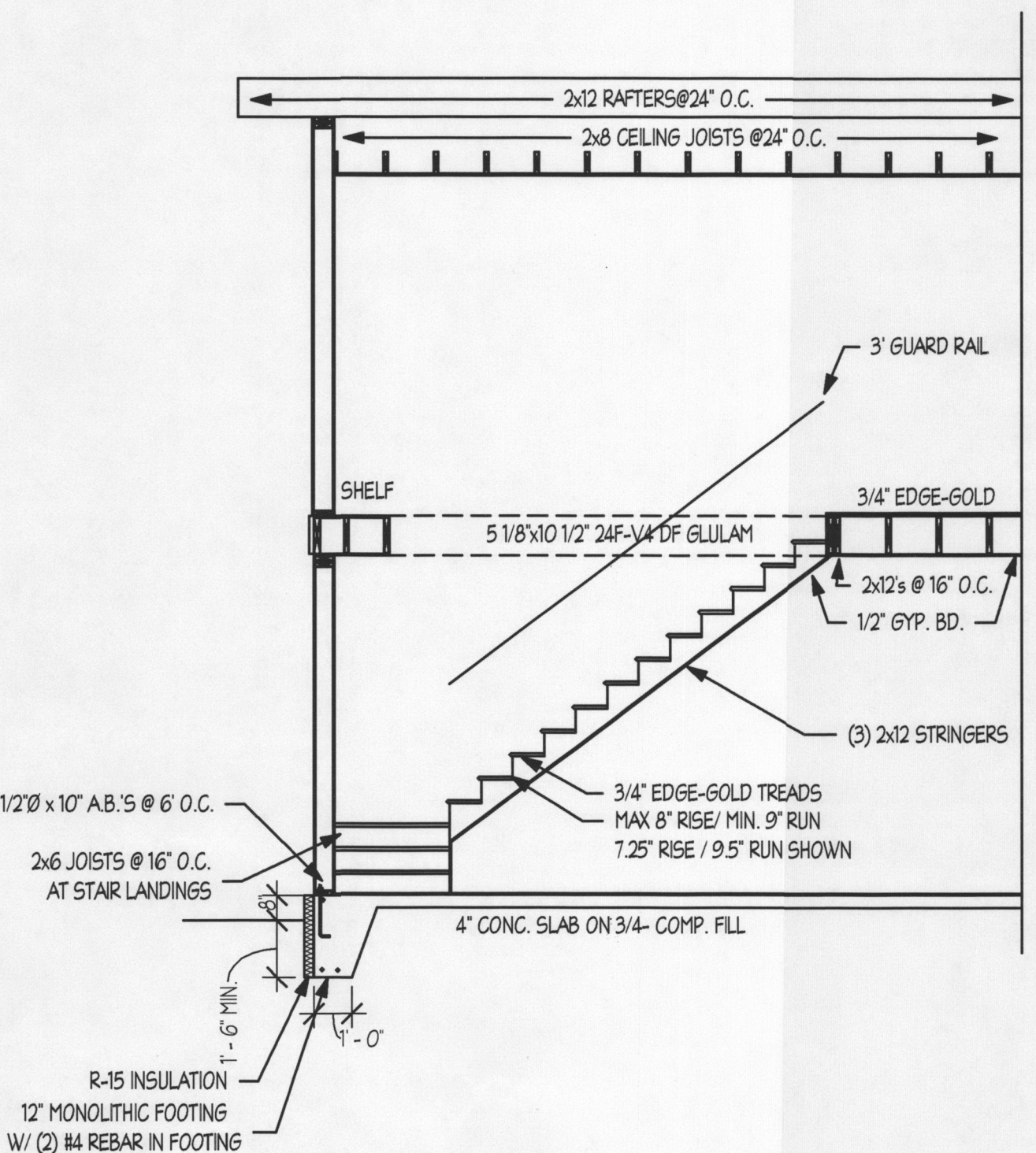
CONCRETE JOINTS:

CONDENSATE DRAINS:  
SUMPS:



Section 3  
1/4" = 1'-0"

Section 2  
1/4" = 1'-0"



Section 1  
1/4" = 1'-0"

City of Portland  
REVIEWED FOR CODE  
COMPLIANCE  
FEB 17 2017  
Permit Number

**BUILDERS  
DESIGN INC.**  
COMMERCIAL - RESIDENTIAL - REMODELING  
1125 NE WEIDLER ST. - PORTLAND, OR 97220  
PHONE: (503) 253-4343 FAX: (503) 252-5454  
EMAIL: BUILDERSDESIGN@GMAIL.COM

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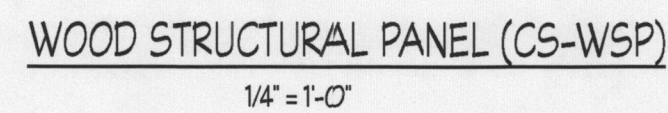
1727 SE MADISON ST.

GENERAL NOTES,  
SECTIONS AND DETAILS

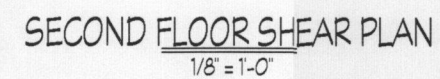
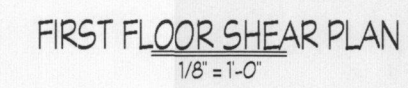
Project number: 10393  
Date: 2/13/2017 2:14:12 PM  
Drawn by: BSY  
Area:  
Scale: As indicated

4





Refer to Table 3 (page 2) in conjunction with Table B (page 5) for straps required due to pony walls constructed on headers.



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|                 |                      |
|-----------------|----------------------|
| Project number: | 10393                |
| Date:           | 2/13/2017 2:14:12 PM |
| Drawn by:       | Author               |
| Area:           | Checker              |
| Scale           | As indicated         |

5

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