

Portland State University

Peter Stott Center Renovation + Viking Pavilion

EA 15-149774 LUR SUBMISSION

woofter architecture + sink combs dethlefs

March 18, 2016

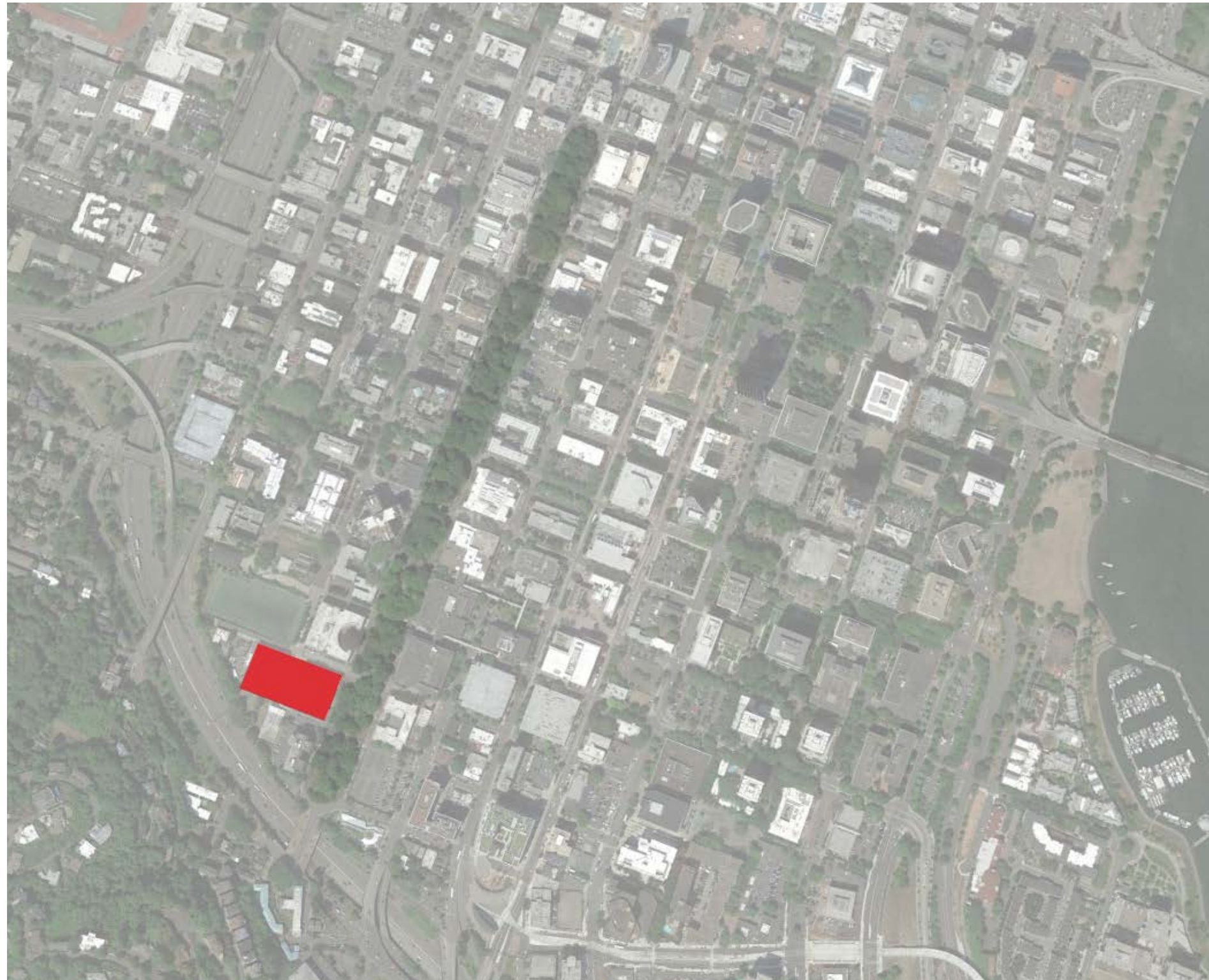


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**Land Use Reviews Requested:
Type 3 Design Review with 2 Modification reviews**

site location



aerial photo of southwest portland



figure/ground diagram of buildings facing south park blocks

site context



existing conditions



View from SW College St of Southeast corner



North - Main Entry



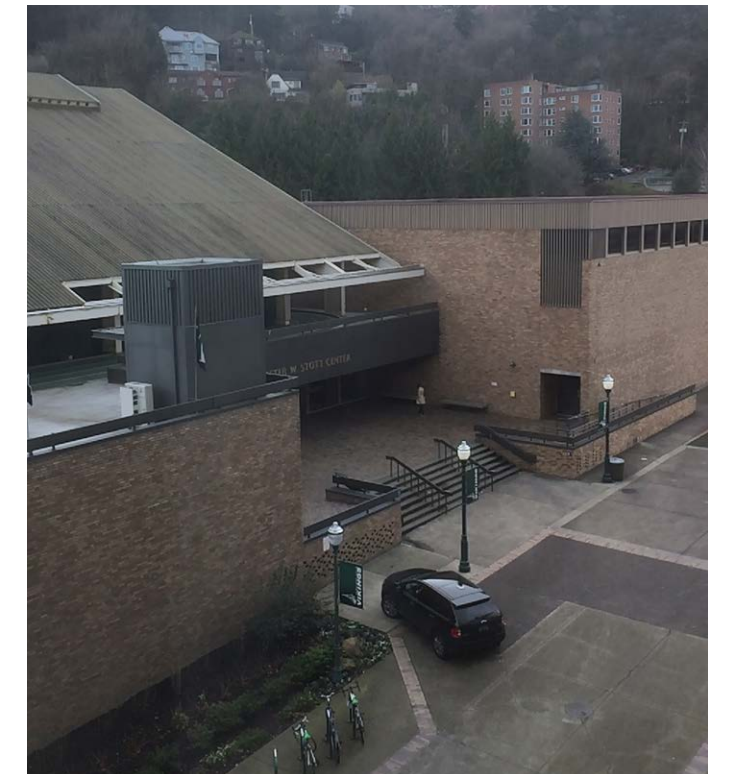
South



View from Park Blocks of Northeast corner



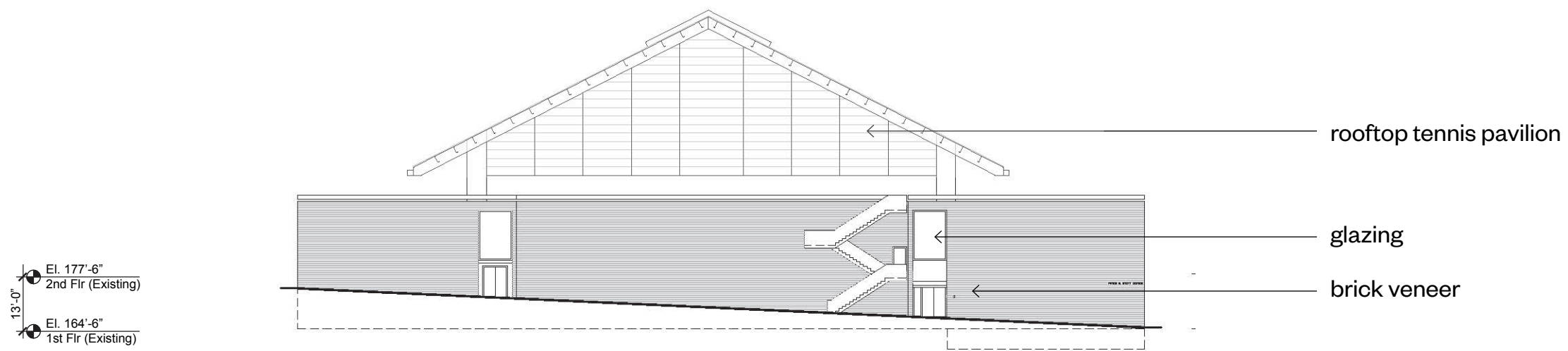
North - Exterior of Main Gym



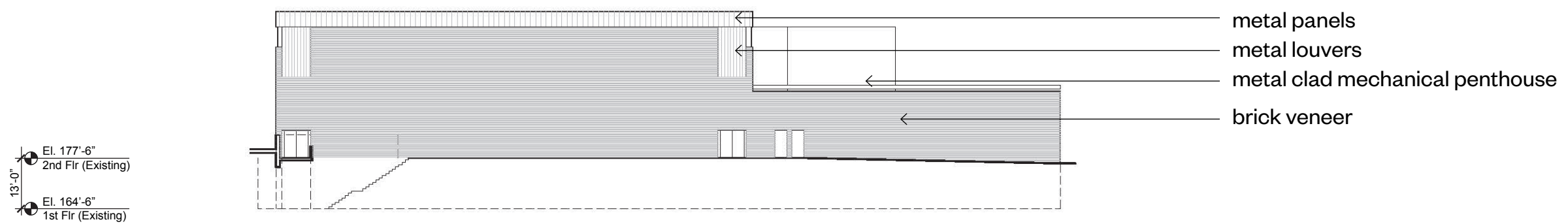
View from Library Looking SW toward Main Entry



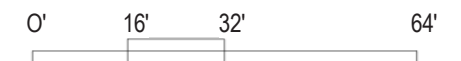
View looking SE toward Main Entry

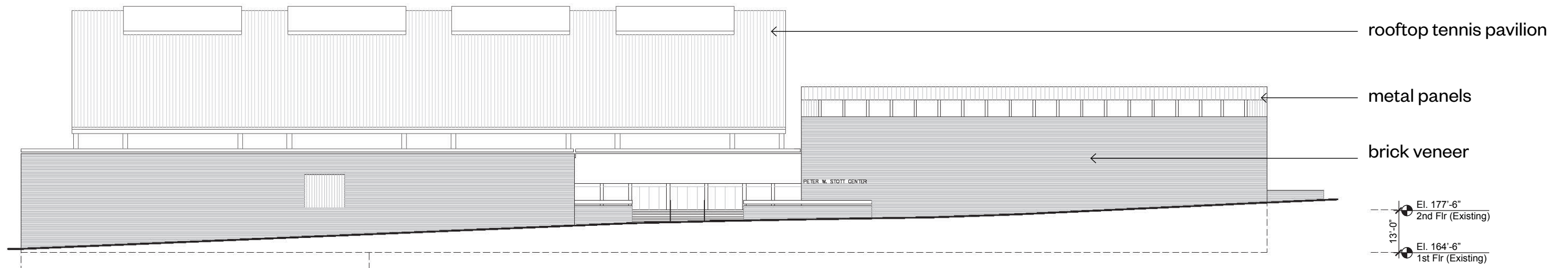


east - existing

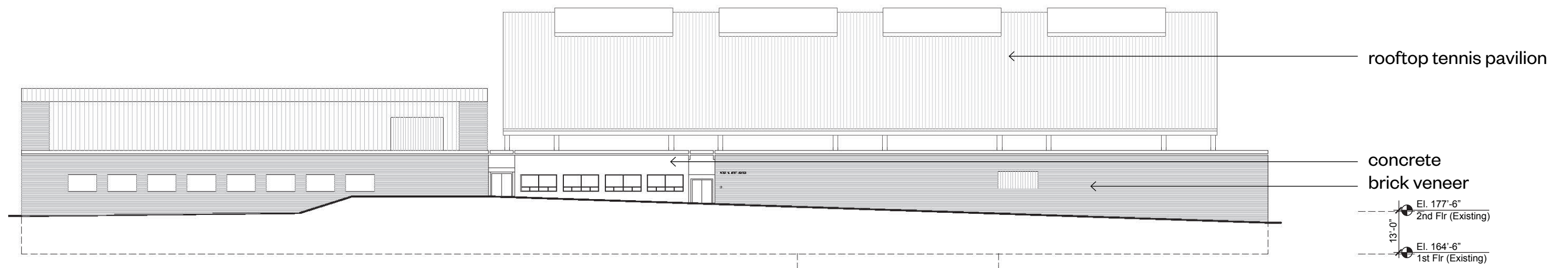


west - existing

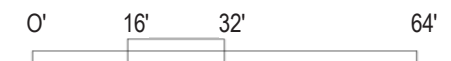




north - existing



south - existing





millar library



park plaza apartments



shattuck hall

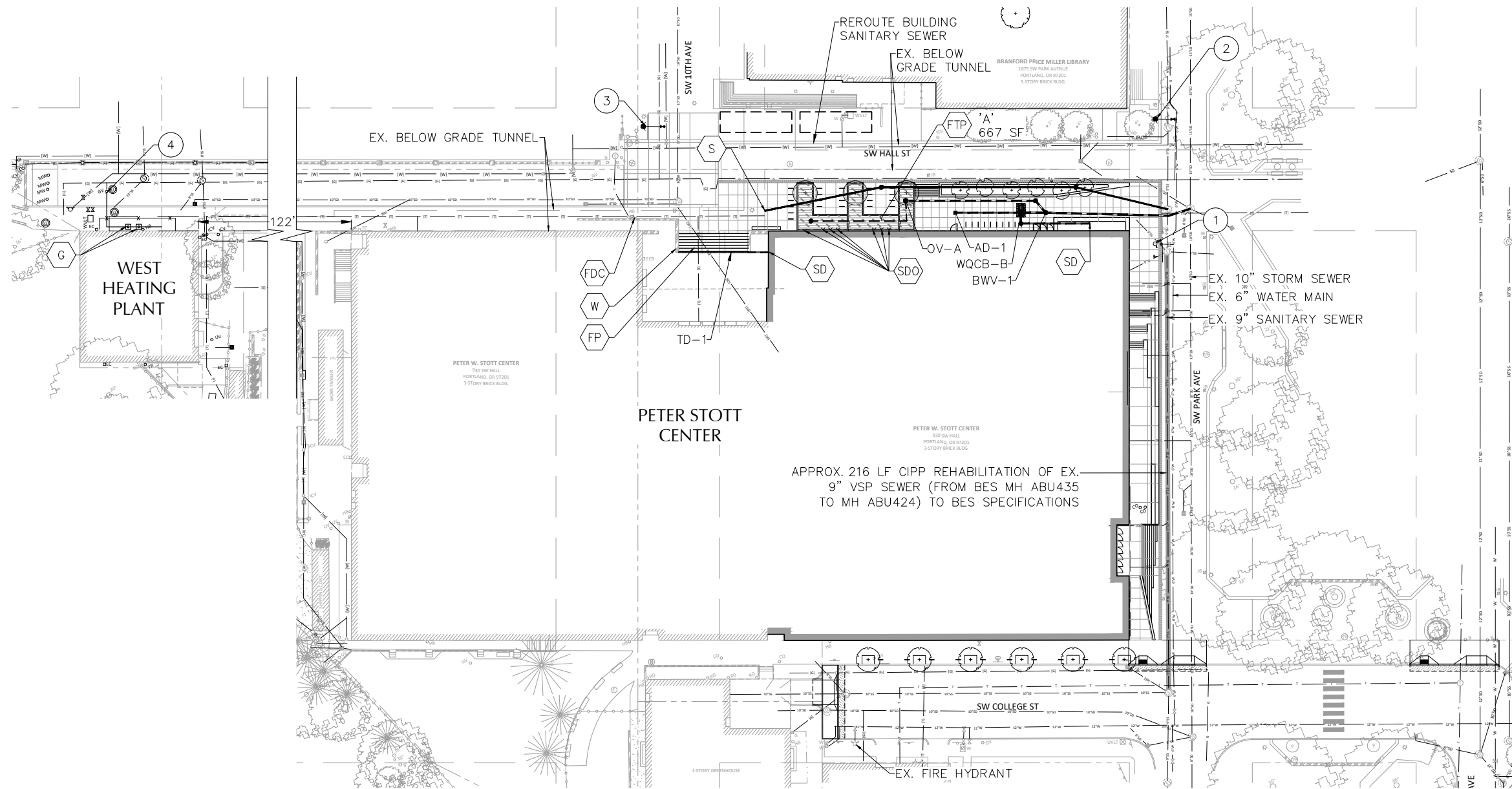


neuberger hall



- LEGEND**
- PROJECT SITE
 - PSU BUILDING
 - PRIVATE BUILDING
 - STREET
 - P PARKING STRUCTURE
 - S STREET CAR STOP
 - M MAX STOP





SHEET LEGEND

- FDC EX. FIRE DEPARTMENT CONNECTION MOUNTED TO FACE OF BUILDING.
- FP APPROX. LOCATION OF EX. CONNECT TO FIRE PROTECTION SYSTEM.
- FTP STORMWATER FLOW-THROUGH PLANTER. ID AND BOTTOM AREA AS SHOWN.
- G CONNECT TO GAS METER. CONTRACTOR TO COORDINATE WITH GAS COMPANY AND CONNECT TO PSU PRIVATE GAS SYSTEM IN TUNNEL.
- S EX. CONNECTION TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION.
- SD CONNECT TO STORM DRAIN/ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION.
- W APPROX. LOCATION OF EX. CONNECTION TO COLD WATER SYSTEM.

UTILITY LABEL LEGEND

<u>STRUCTURE LABEL</u>	
<u>CALLOUT</u>	<u>DESCRIPTION</u>
AD	AREA DRAIN
BWV	BACKWATER VALVE
CO	CLEANOUT TO GRADE
CONN	CONNECTION TO CITY STORM SEWER
OF	OUTFALL
OV	OVERFLOW INLET
TD	TRENCH DRAIN
WQCB	WATER QUALITY CATCH BASIN

(X) KEY NOTES

- 1 CONTRACTOR TO COORDINATE WITH PWB TO REMOVE EXISTING FIRE HYDRANT.
- 2 CONTRACTOR TO COORDINATE WITH PWB TO INSTALL NEW FIRE HYDRANT.
- 3 INSTALL NEW PRIVATE FIRE HYDRANT.
- 4 CONTRACTOR TO COORDINATE WITH NWN AND PSU TO CONNECT TO EXISTING GAS VALVE AND INSTALL NEW LINE TO METERS. COORDINATE EXACT METER LOCATION WITH PSU.

SHEET LEGEND

<u>PROPOSED</u>	<u>DESCRIPTION</u>	<u>EXISTING</u>
— SD — SD — SD —	STORM LINE	— SD — SD — SD —
— SS — SS — SS —	SANITARY LINE	— SS — SS — SS —
— W — W — W —	WATER LINE	— W — W — W —
— G — G — G —	GAS LINE	— G — G — G —



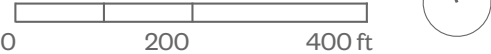
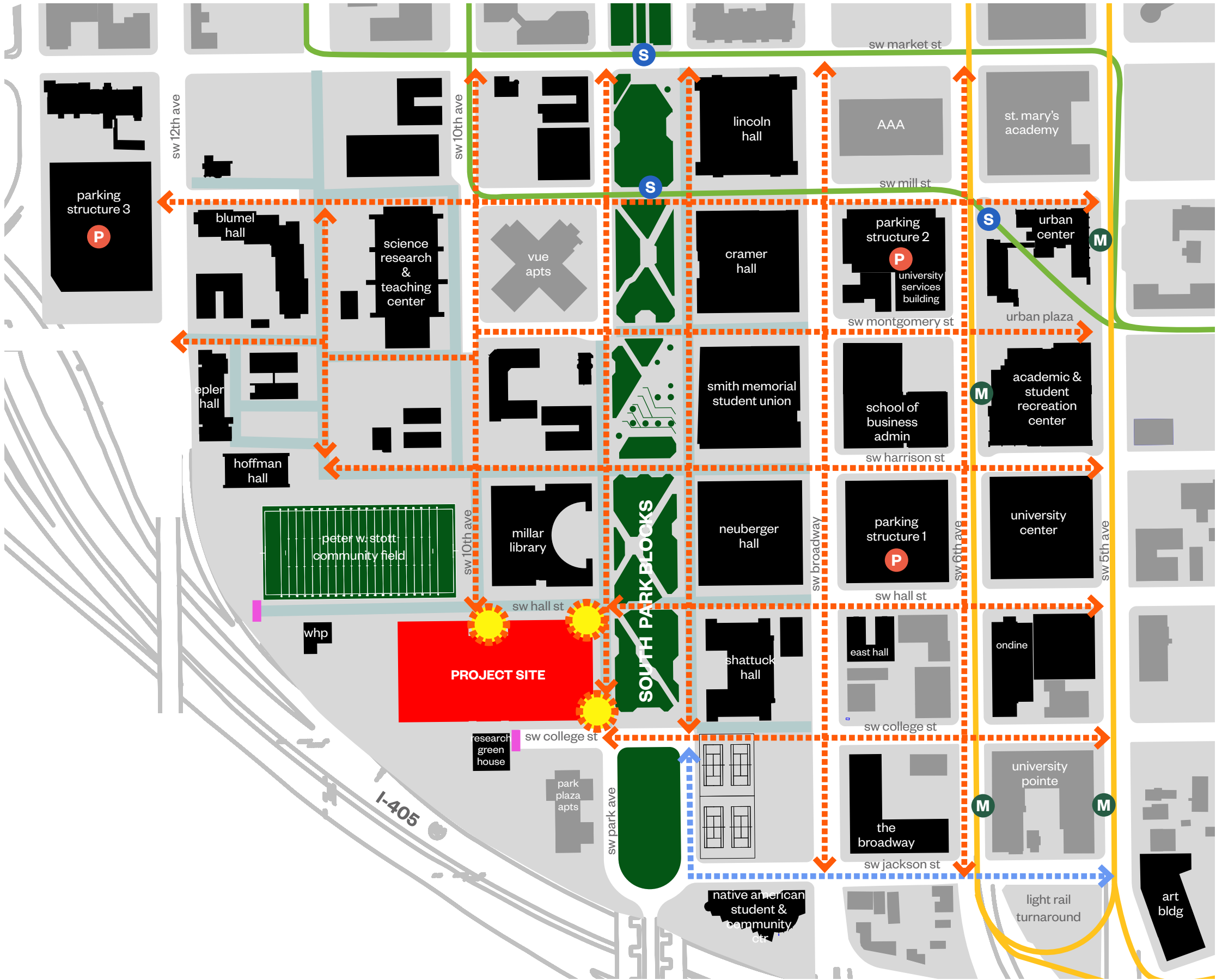
Pedestrian Connections

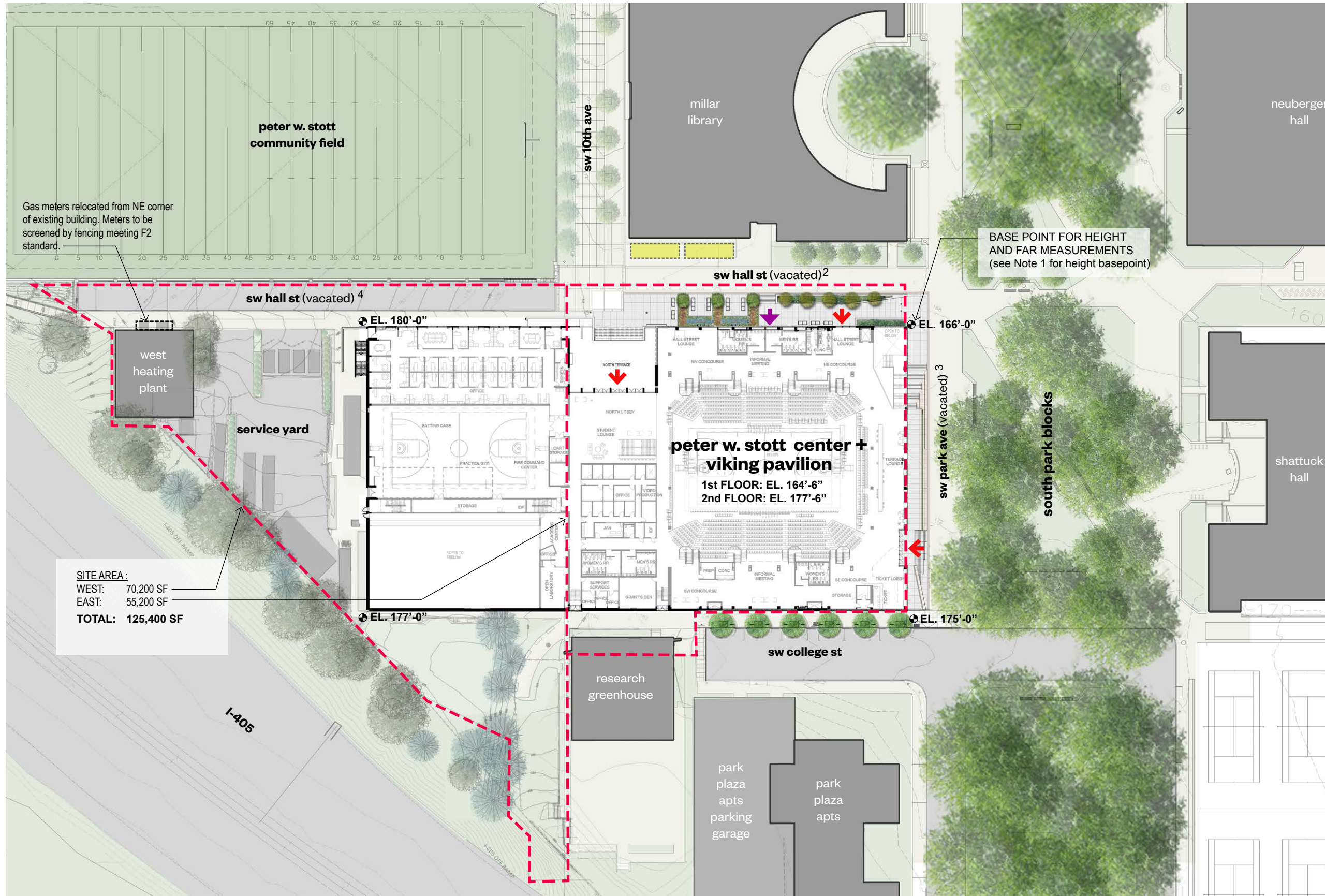
With its location at the southwest corner of Portland State University's campus, the Stott Center/Viking Pavilion site stretches from the Park Blocks to the edge of Interstate 405. Because of the barrier formed by the highway and the resulting dead-end streets, primary pedestrian access to the site is from the Park to the east and 10th Avenue to the north. These active campus pathways connect to nearby student housing, transit stops, and parking structures. In contrast, the east-west streets that directly abut the site, SW Hall Street to the north and SW College Street to the south, are both dead-ends and see relatively little pedestrian traffic.

With the opening of the TriMet Orange Line, pedestrian traffic will increase from the east, particularly from the Jackson Street station to the southeast. Additionally, the South Park Blocks are seen as a primary link within the proposed "Green Loop" project envisioned by the City of Portland Central City 2035 study, likely further increasing future pedestrian activity.

LEGEND

- PROJECT SITE
- PSU BUILDING
- PRIVATE BUILDING
- DEAD-END STREET
- MAJOR PEDESTRIAN ROUTE
- POTENTIAL MAJOR PEDESTRIAN ROUTE
- BUILDING ENTRY
- P PARKING STRUCTURE
- STREET CAR LINE
- S STREET CAR STOP
- MAX LINE
- M MAX STOP





Gas meters relocated from NE corner of existing building. Meters to be screened by fencing meeting F2 standard.

BASE POINT FOR HEIGHT AND FAR MEASUREMENTS (see Note 1 for height basepoint)

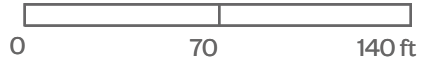
SITE AREA:
 WEST: 70,200 SF
 EAST: 55,200 SF
 TOTAL: 125,400 SF

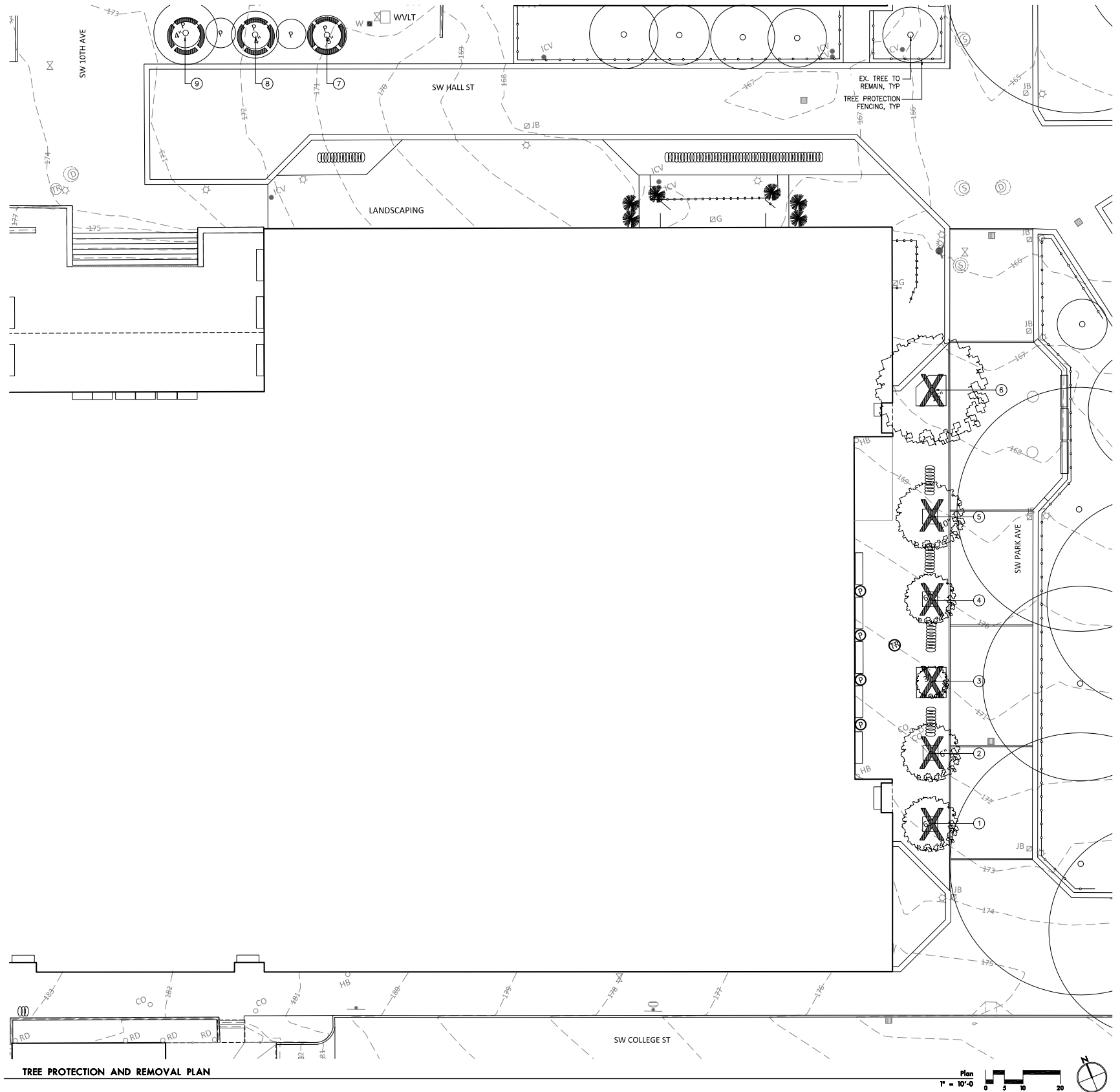
notes

1. Base Point for Building Height (33.930.050): Highest grade is more than 10 feet above lowest grade, base point is elevation 10 feet above lowest grade (166'-0" + 10'-0" = 176'-0").
2. Block of SW Hall Street vacated in 1966 per Ordinance 122290.
3. Block of SW Park Avenue vacated in 1971 per Ordinance 132640.
4. Block of SW Hall Street vacated in 1971 per Ordinance 132243.
5. Site area based on Portland Maps information.


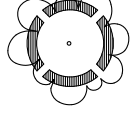

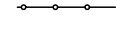
legend

- - - property line
- ➔ building entry
- ➔ loading
- 10' x 35' loading spaces





TREE PROTECTION LEGEND

-  EXISTING DECIDUOUS TREE, TO BE REMOVED
-  EXISTING DECIDUOUS TREE IN ORNAMENTAL PLANTER. TREE TO BE RELOCATED
-  EXISTING DECIDUOUS TREE, TO BE PRESERVED
-  TREE PROTECTION FENCING, SEE NOTES AND SPECS

ABBREVIATIONS

- CAL CALIPER
- DIA DIAMETER
- DBH DIAMETER AT BREAST HEIGHT
- EQ EQUAL
- HT HEIGHT
- N/A NOT APPLICABLE
- NO NUMBER
- O.C. ON CENTER
- PA PLANTING AREA
- SIM SIMILAR

NOTES

1. THIS PLAN IS BASED ON A SURVEY BY KPFF, DATED 09/18/2015. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
3. TREE PROTECTION FENCING SHALL BE CHAIN LINK, MINIMUM OF 6' HEIGHT, SECURED WITH STEEL POSTS, INSTALLED 5' BEYOND THE EDGE OF THE ROOT ZONE OR AS INDICATED ON THE TREE REMOVAL AND PROTECTION PLAN.
4. EXCAVATION WITHIN THE TREE PROTECTION ZONE WILL BE PERFORMED USING ONLY NON-MOTORIZED HANDHELD TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE FOR THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.
5. TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
6. APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING, AND VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE, NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY MANAGER.
7. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
8. THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUNOFF.
9. NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
10. NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.

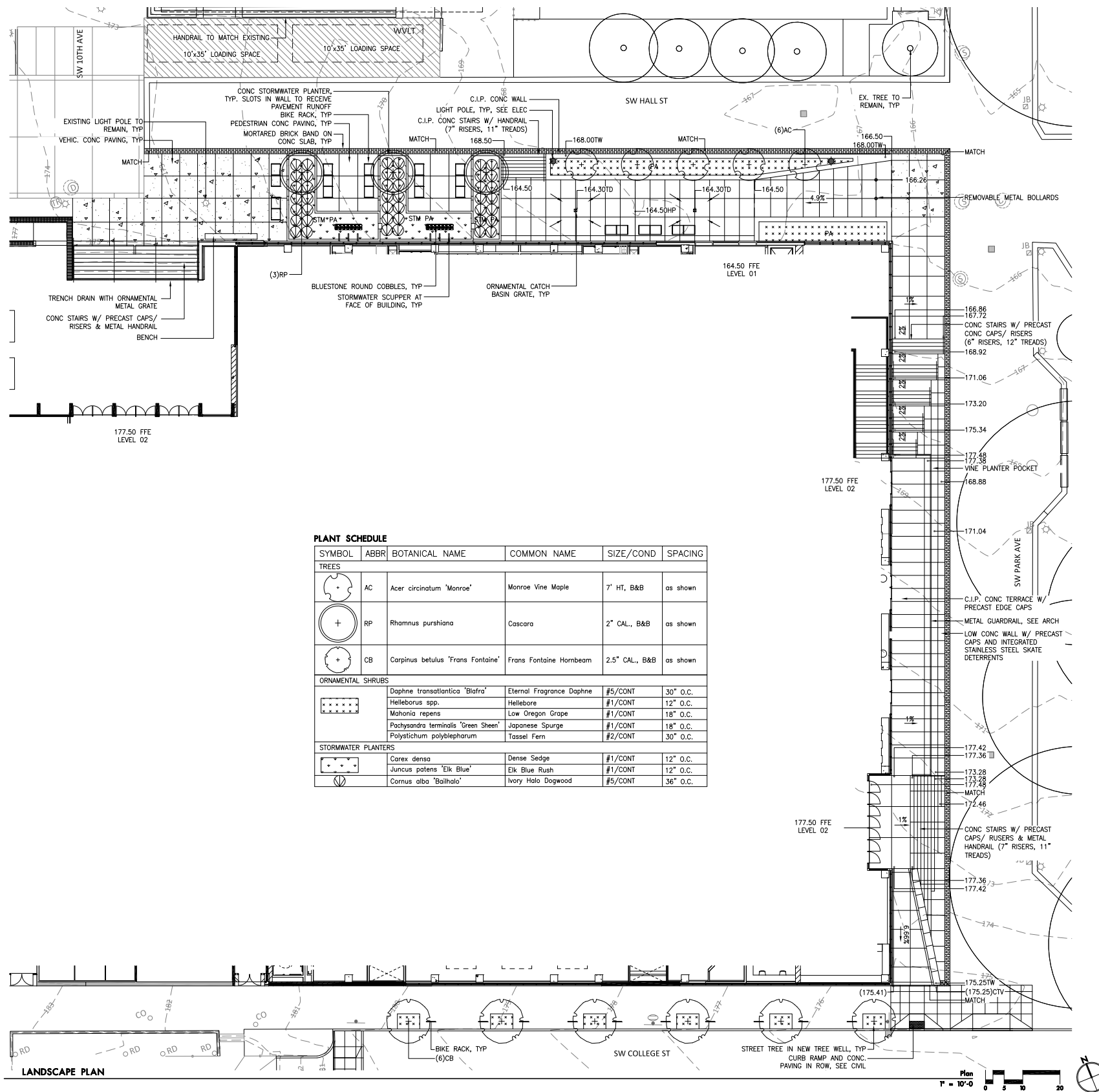
TREE INVENTORY TABLE

TREE ID	SPECIES	SIZE	STATUS
1	Prunus - Cherry	6"	TO BE REMOVED
2	Prunus - Cherry	6"	TO BE REMOVED
3	Prunus - Cherry	3"	TO BE REMOVED
4	Prunus - Cherry	6"	TO BE REMOVED
5	Prunus - Cherry	10"	TO BE REMOVED
6	Prunus - Cherry	15"	TO BE REMOVED
7	Acer palmatum - Japanese Maple	3"*	TO BE RELOCATED
8	Acer palmatum - Japanese Maple	4"*	TO BE RELOCATED
9	Acer palmatum - Japanese Maple	4"*	TO BE RELOCATED

* INDICATES TREE GROWING IN ORNAMENTAL POT

CITY OF PORTLAND TITLE 11 NOTES

1. THE SITE IS ZONED "CX" AND IS THEREFORE EXEMPT FROM TITLE 11.05.040 TREE PRESERVATION STANDARDS.
2. PER THE EARLY ASSISTANCE MEETING SUMMARY MEMO, URBAN FORESTRY NOTED THAT "ONE STREET TREE MUST BE PLANTED OR RETAINED FOR EACH FULL INCREMENT OF 25 LINEAR FEET. THERE ARE APPROXIMATELY 125 FEET OF STREET FRONTAGE AT THIS LOCATION, REQUIRING (5) TREES TO BE PLANTED". L100 INDICATES (6) STREET TREES ARE BEING PLANTED ALONG THIS FRONTAGE.



PLANT SCHEDULE

SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE/COND	SPACING
TREES					
(AC)	AC	Acer circinatum 'Monroe'	Monroe Vine Maple	7' HT, B&B	as shown
(RP)	RP	Rhamnus purshiana	Cascara	2" CAL, B&B	as shown
(CB)	CB	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	2.5" CAL, B&B	as shown
ORNAMENTAL SHRUBS					
(D)	D	Daphne transatlantica 'Blafra'	Eternal Fragrance Daphne	#5/CONT	30" O.C.
(H)	H	Helleborus spp.	Hellebore	#1/CONT	12" O.C.
(M)	M	Mahonia repens	Low Oregon Grape	#1/CONT	18" O.C.
(P)	P	Pachysandra terminalis 'Green Sheen'	Japanese Spurge	#1/CONT	18" O.C.
(F)	F	Polystichum polylophophorum	Tassel Fern	#2/CONT	30" O.C.
STORMWATER PLANTERS					
(C)	C	Carex densa	Dense Sedge	#1/CONT	12" O.C.
(J)	J	Juncus patens 'Elk Blue'	Elk Blue Rush	#1/CONT	12" O.C.
(C)	C	Cornus alba 'Ballhala'	Ivory Halo Dogwood	#5/CONT	36" O.C.

- LEGEND**
- 175— EXISTING CONTOUR
 - 175— PROPOSED CONTOUR
 - - - GRADE BREAK LINE
 - 176.25 SPOT ELEVATION
 - 2% PERCENTAGE OF SLOPE
 - DIRECTION OF SLOPE

- [Grid Pattern] PEDESTRIAN CONCRETE PAVING
- [Dotted Pattern] VEHICULAR CONCRETE PAVING
- [Brick Pattern] DECORATIVE BRICK BAND
- [Vertical Line] BIKE RACK
- [Star Symbol] LIGHT POLE, SEE ELEC

- ABBREVIATIONS**
- AD AREA DRAIN
 - ARCH ARCHITECTURAL
 - BW BOTTOM OF WALL
 - CONC CONCRETE
 - CTV CONTRACTOR TO VERIFY
 - DWG DRAWINGS
 - EL ELEVATION
 - ELEC ELECTRICAL
 - EX EXISTING
 - FFE FINISH FLOOR ELEVATION
 - HP HIGH POING
 - MATCH MATCH EXISTING GRADE
 - MECH MECHANICAL
 - NIC NOT IN CONTRACT
 - PA PLANTING AREA
 - SIM SIMILAR
 - SPECS SPECIFICATIONS
 - STM PA STORMWATER PLANTER
 - STRUC STRUCTURAL
 - TYP TYPICAL
 - TW TOP OF WALL (FINISHED)
 - W/ WITH

- MATERIALS NOTES**
- THIS PLAN IS BASED ON A SURVEY BY KPFF DATED 09/18/2015. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
 - PROTECT EXISTING VEGETATION TO REMAIN. SEE SPECIFICATION SECTION 015639 FOR FENCING AND OTHER REQUIREMENTS.
 - SEE CIVIL DRAWINGS FOR LOCATION OF UTILITIES.
 - SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION REGARDING SITE LIGHTING AND ELECTRIC UTILITIES.
 - COORDINATE WORK WITH OTHER TRADES.
 - CONTRACTOR TO SUBMIT PAVING MOCK-UP FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, DRIVEWAY APRONS, STRIPING AND SIGNAGE, AS WELL AS ANY VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.

- GRADING NOTES**
- SET STRAIGHT GRADES BETWEEN GIVEN ELEVATIONS UNLESS OTHERWISE INDICATED.
 - GRADE BREAK LINES ARE SHOWN GRAPHICALLY TO ILLUSTRATE DRAINAGE PATTERNS, AND ARE NOT INTENDED TO BE ACTUAL JOINT LINES, UNLESS THEY FALL ON EXPANSION JOINT LOCATIONS.
 - SEE CIVIL DRAWINGS FOR UNDERGROUND UTILITIES AND DRAINAGE FEATURES.
 - ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AT 1% MIN.
 - SPOT ELEVATIONS TAKE PRECEDENCE OVER LANDSCAPE CONTOURS.
 - DO NOT EXCEED 2% SLOPE AT DOOR LANDINGS.
 - ADJUSTMENTS OF SOFT SWALE AREAS ±2" MAY BE NECESSARY TO IMPROVE DRAINAGE. THESE ADJUSTMENTS SHALL BE DONE AT NO COST TO THE OWNER.
 - BOTTOM OF WALL (BW) ELEVATIONS EQUAL FINISH SURFACE OF PAVING OR FINISH GRADE, NOT TOP OF FOOTING ELEVATION.
 - CONTRACTOR TO VERIFY EXISTING GRADES AT ALL LOCATIONS WHERE NEW PAVING IS MATCHING EXISTING PAVING AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL ADA WALKWAYS TO MEET LOCAL, STATE AND FEDERAL ADA REQUIREMENTS. PRIOR TO FORMING HARD SURFACE MATERIALS, CONTRACTOR TO VERIFY GRADES FOR CURB RAMPS AND PARKING LOT SPACES MEET ADA REQUIREMENTS.

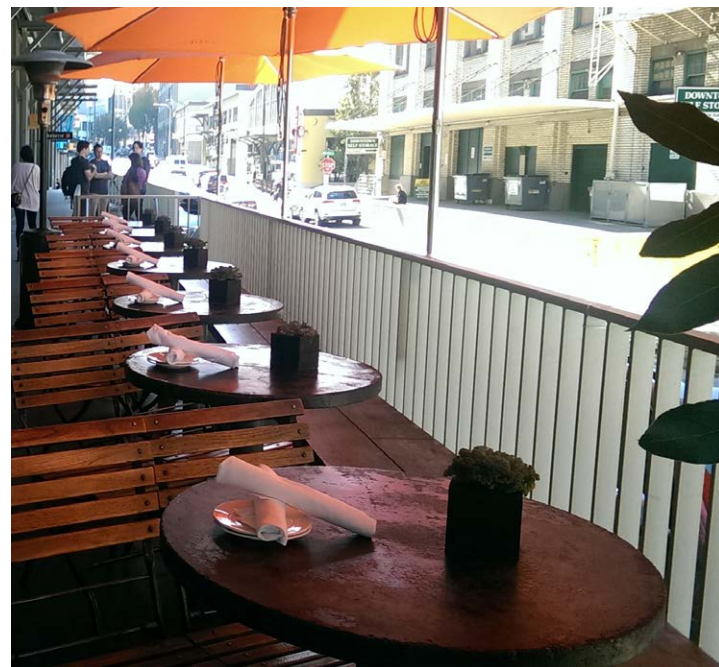
- PLANTING NOTES**
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
 - ALL PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
 - PLANT SPACING SHALL TAKE PRECEDENCE OVER VALVE BOX LOCATIONS. INSTALLED VALVE BOXES THAT CONFLICT WITH ACCEPTED PLANT LAYOUT SHALL BE MOVED TO POSITION BETWEEN PLANTS.
 - CLEAR PLANT BEDS OF ALL GRAVEL AND DEBRIS PRIOR TO SOIL PREPARATION AND PLANTING, FOR APPROVAL BY LANDSCAPE ARCHITECT.
 - ALL PLANTING AREAS ARE TO BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM.
 - STREET TREES AT COLLEGE STREET TO BE HAND WATERED WITH MANUAL WATERING BAGS.
 - ALL STREET TREES MUST HAVE 6' CLEAR HEIGHT TO LOWEST BRANCHES.

design refinements



LUR

- Repeated series of vertical metal rectangular bars



exterior guardrails



Design Revisions

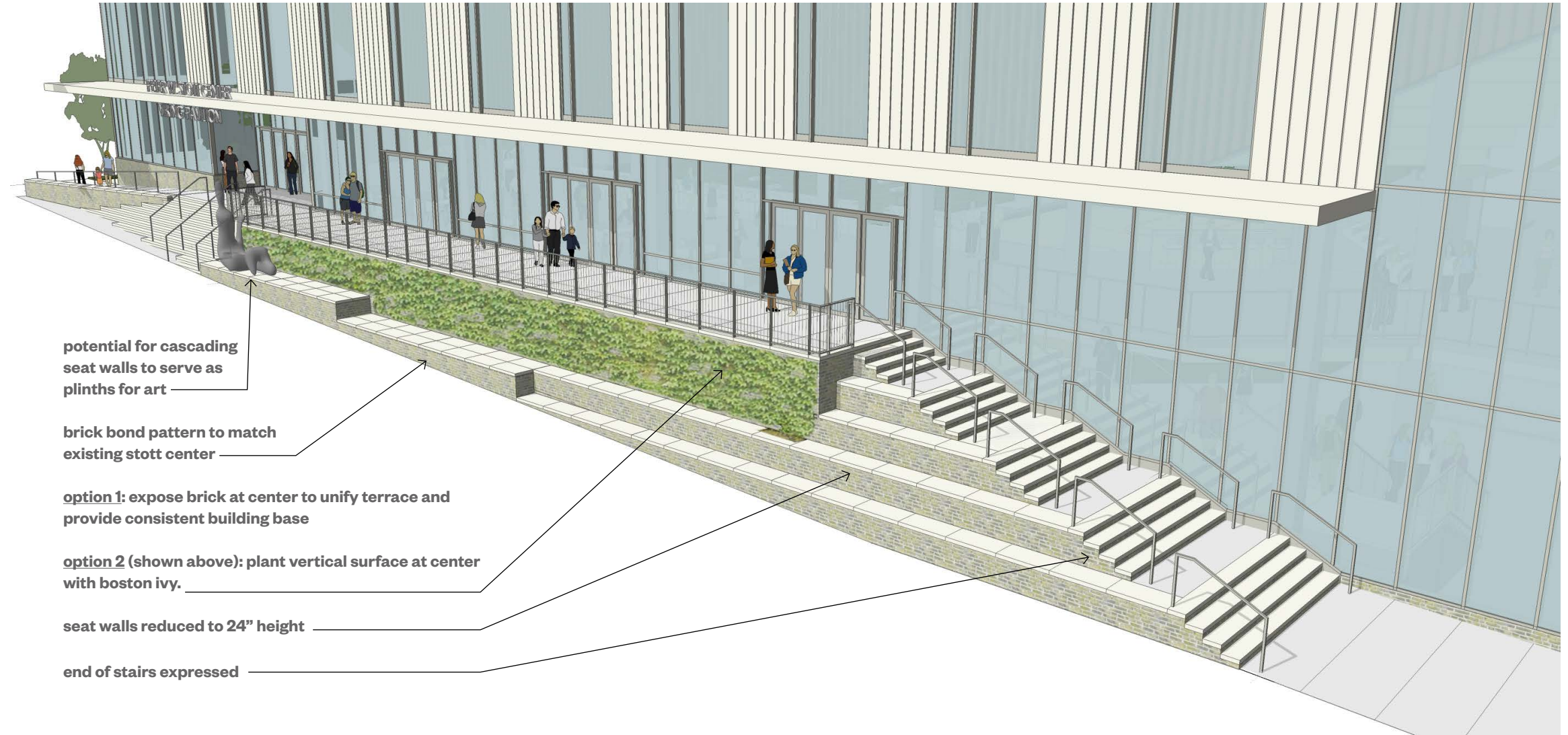
- Metal rectangular bars framing vertical thin round bars
- Metal rectangular bars spaced to align with window mullions, precast copings, to integrate with larger architectural geometry and give additional level of scale modulation
- Thinner round verticals provide much greater visual transparency (especially when viewed from an angle) and contrast the rectilinear, larger rectangular frame



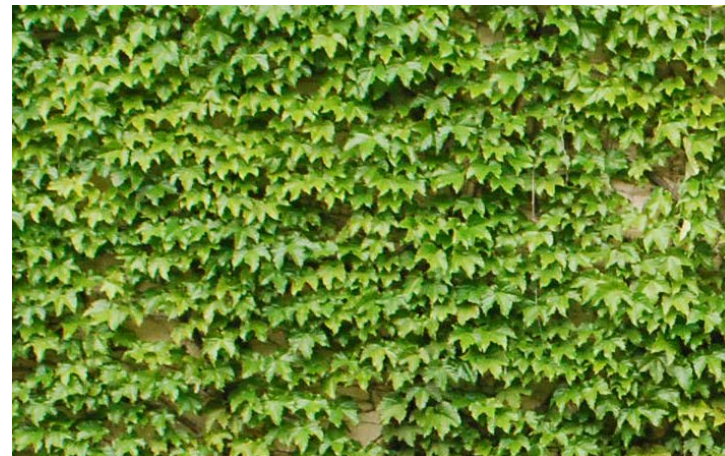
design refinements

east terrace

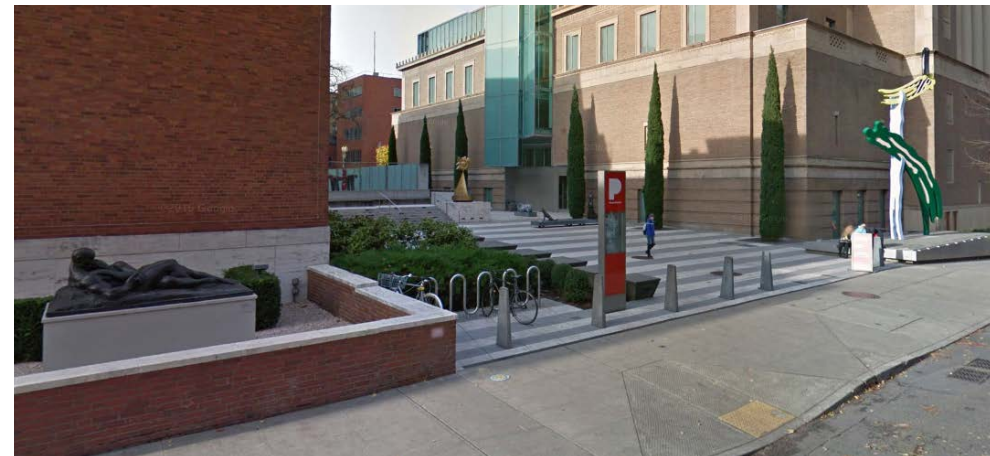
- Guardrails revised to add additional level of detail, integration with repetitive dimensional module of facade, and increase visibility
- North terrace stair risers reduced to 6" to align with height of brick coursing. This allows ends of steps to be expressed instead of concealed and height of cascading seat walls to be reduced to 24" (from 28")
- An additional set of steps/landing added, stretching stair to more gentle ascent in relation to tapering form of arena within.
- Terrace step geometry aligned with building facade geometry
- Center three bays of terrace simplified to consistent 10'-6" terrace depth
- Stepping walls in front of terrace serve as seat walls or as potential plinths to support art.
- Potential of central wall to be planted with Boston ivy which will grow horizontally along wall with variegated vine pattern.



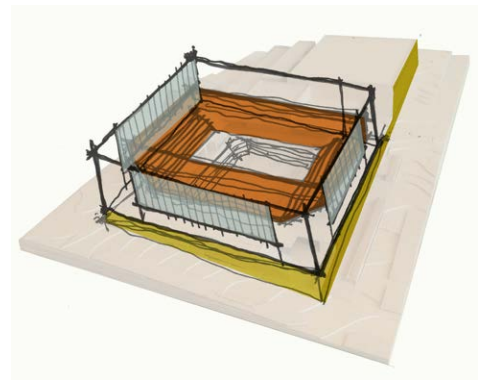
existing stott center brick bond pattern



boston ivy

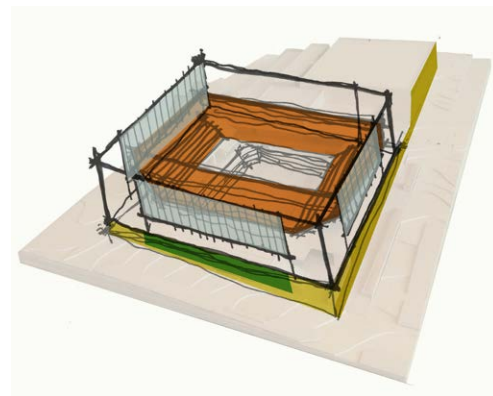


art installed along south park blocks frontage



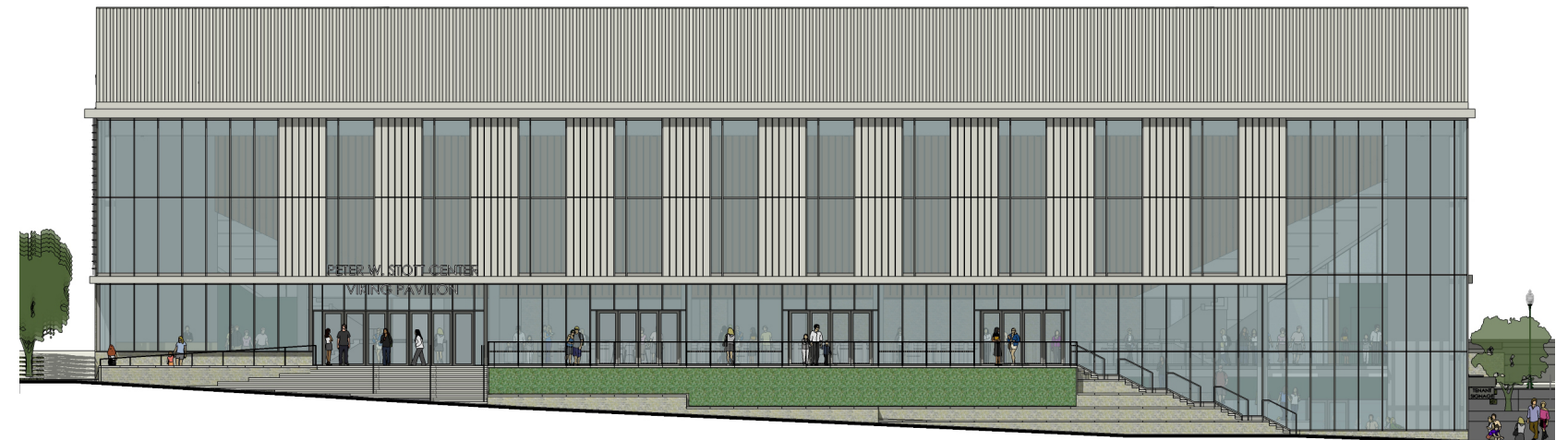
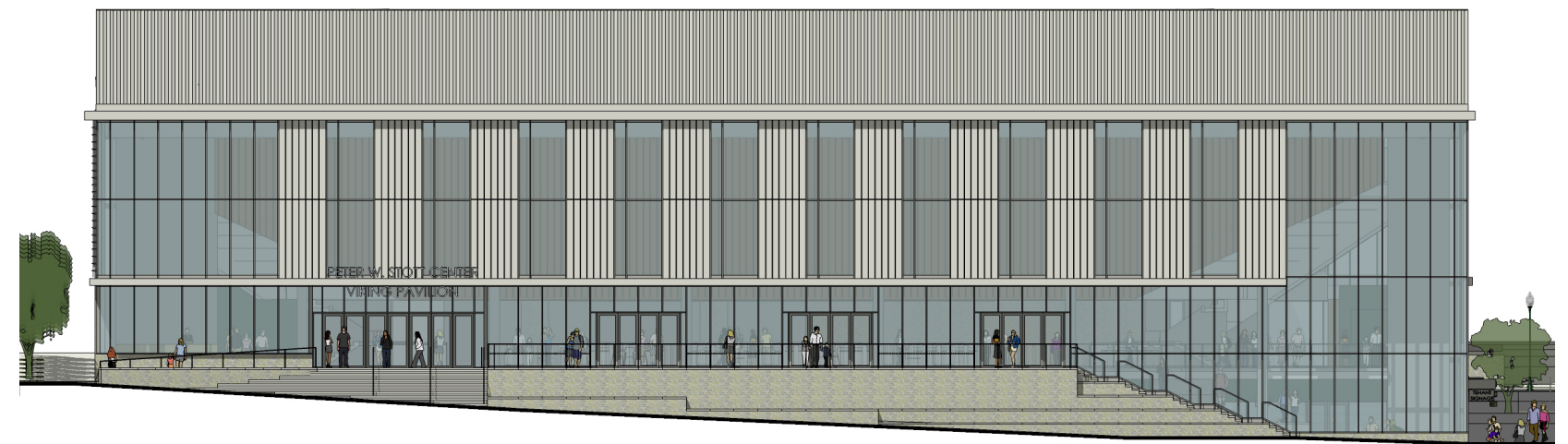
- Expressing brick at front of terrace helps to unify and define a masonry plinth/base of building as a both continuation of the existing building and in contrast to the metal panel language above.
- The existing brick masonry at the Stott Center has inherent scale and visual interest. It is a blend of multiple colors arranged in a distinctive bond pattern that incorporates a repeating series of two stretchers/one header that do not align vertically.

option 1: consistent brick base



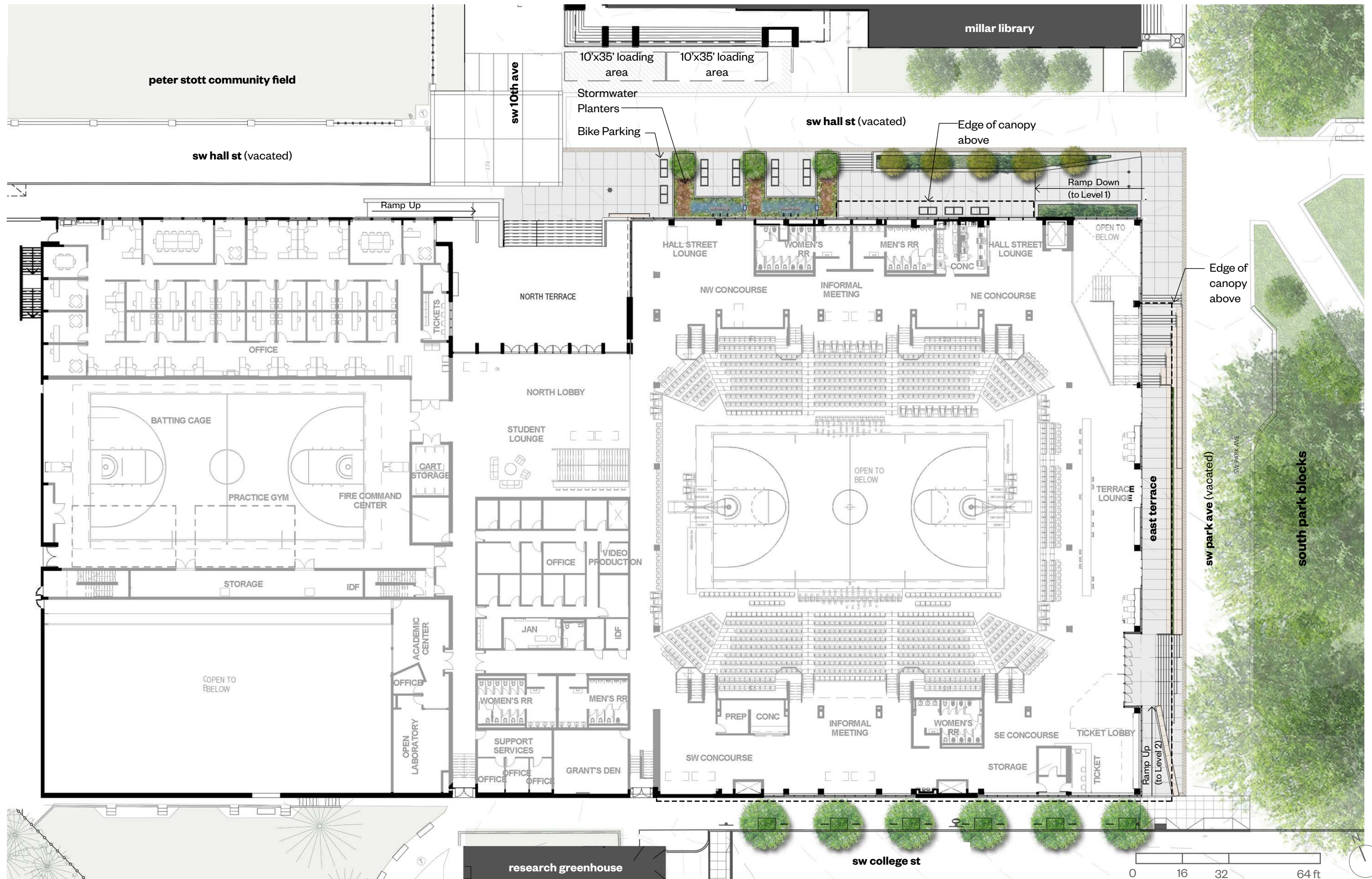
- Planting the vertical surface of the terrace provides another level of scale, seasonal color, and varying texture to the building's base and creates a central focus in relation to the centralized facade and arena within.
- Boston ivy will naturally adhere to brick (so no cabling system needed) and typically does not require irrigation. Vines will grow from one defined area of soil integrated into slot behind one precast cap.

option 2: plant brick wall at center with boston ivy

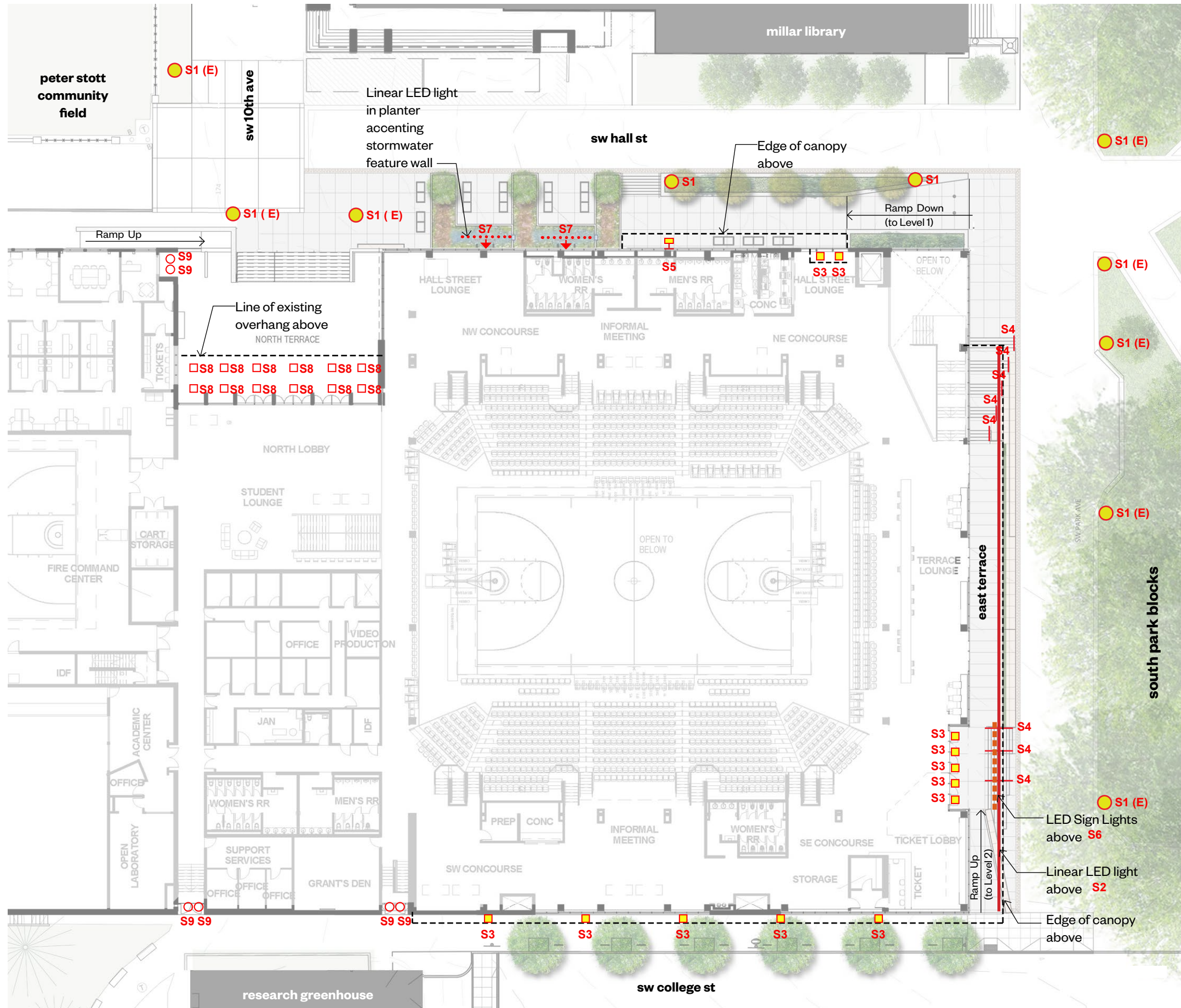






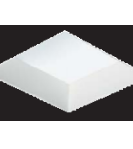








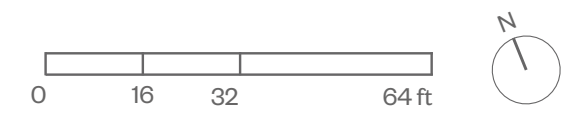


exterior lighting



LEGEND

	STANDARD DECORATIVE CAMPUS POLE VARIOUS LOCATIONS (E) = Existing to remain
	RECESSED LINEAR LED IN EXTERIOR CANOPY PERIMETER
	4-INCH ADJUSTABLE SQUARE DOWNLIGHT W/ REGRESS LENS IN ENTRY VESTIBULE / OTHER
	POST MOUNTED ILLUMINATED RAIL EXTERIOR EGRESS
	RECTAGULAR WALL-MOUNT DOWNLIGHT - IP65 AT EXIT DOORS
	LED SIGN LIGHT CHANNEL LETTER SIGN
	LED LINEAR IN GRADE BRICK FEATURE IN STORMWATER PLANTERS
	EXISTING RECESSED SQUARE DOWNLIGHTS NORTH ENTRY PLAZA
	EXISTING RECESSED ROUND DOWNLIGHTS SOUTH EXIT DOORS



landscape elevation

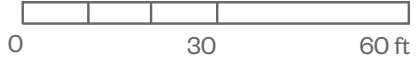


north

landscape elevation



east



landscape elevation



south





Carpinus betulus 'Frans Fontaine'
Frans Fontaine Hornbeam



Acer circinatum 'Monroe'
Monroe Vine Maple



Rhamnus purshiana
Cascara



Parthenocissus tricuspidata
Boston Ivy



Mahonia repens
Low Oregon Grape



Cornus alba 'Bailhalo'
Ivory Halo Dogwood



Carex densa
Dense Sedge



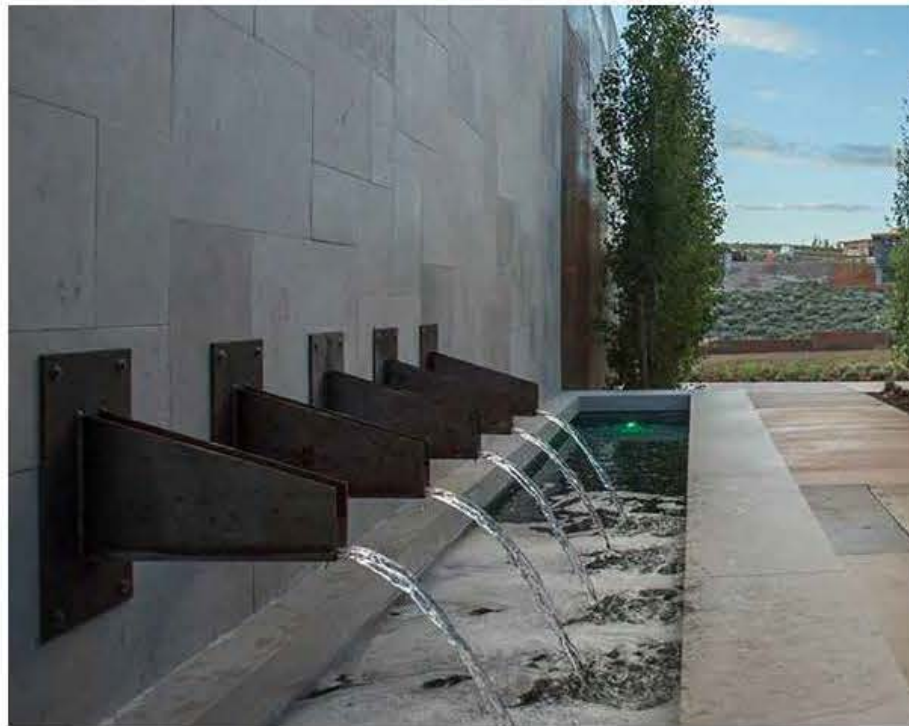
Juncus patens 'Elk Blue'
Elk Blue Sedge



Helleborus orientalis
Lenten Rose



Polystichum polyblepharum
Tassel Fern



Stormwater Scuppers



Feature Bench



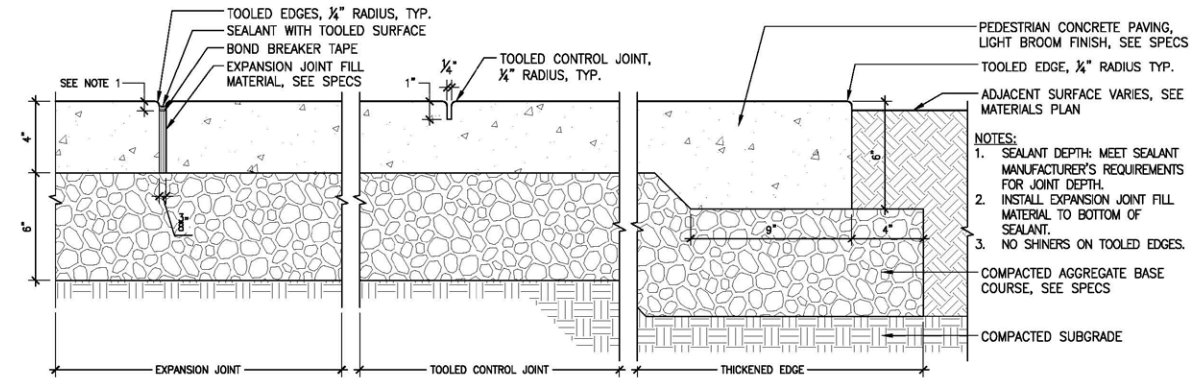
Skate Deterrents



Stainless Steel Bollard

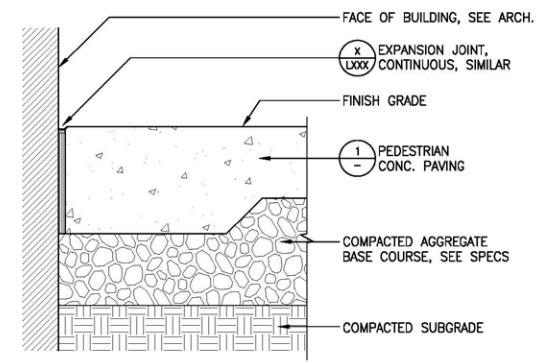


Bike Racks



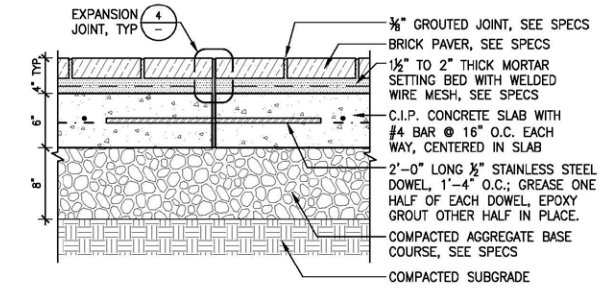
1 PEDESTRIAN CONCRETE PAVING

Section
3' = 1'-0"



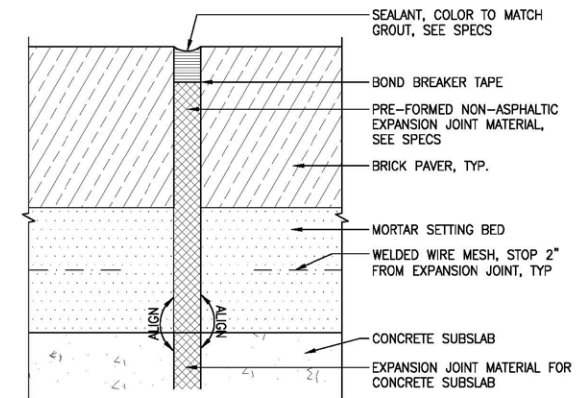
2 EXPANSION JOINT AT BUILDING

Section
3' = 1'-0"



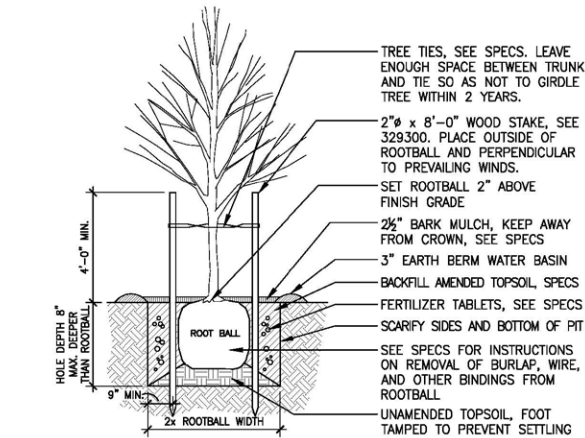
3 BRICK PAVING ON SLAB

Section
1 1/2\"/>



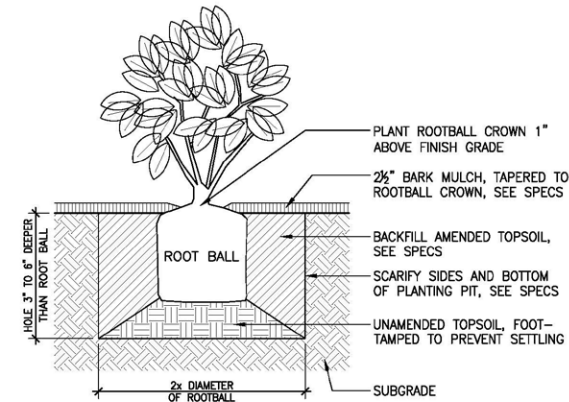
4 EXPANSION JOINT IN BRICK PAVING

Section
1\"/>



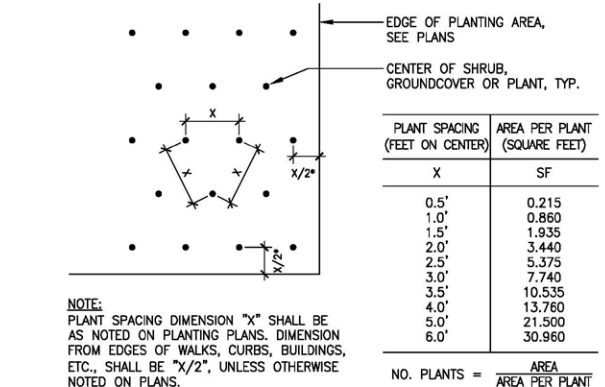
5 DECIDUOUS TREE PLANTING

Section
NTS



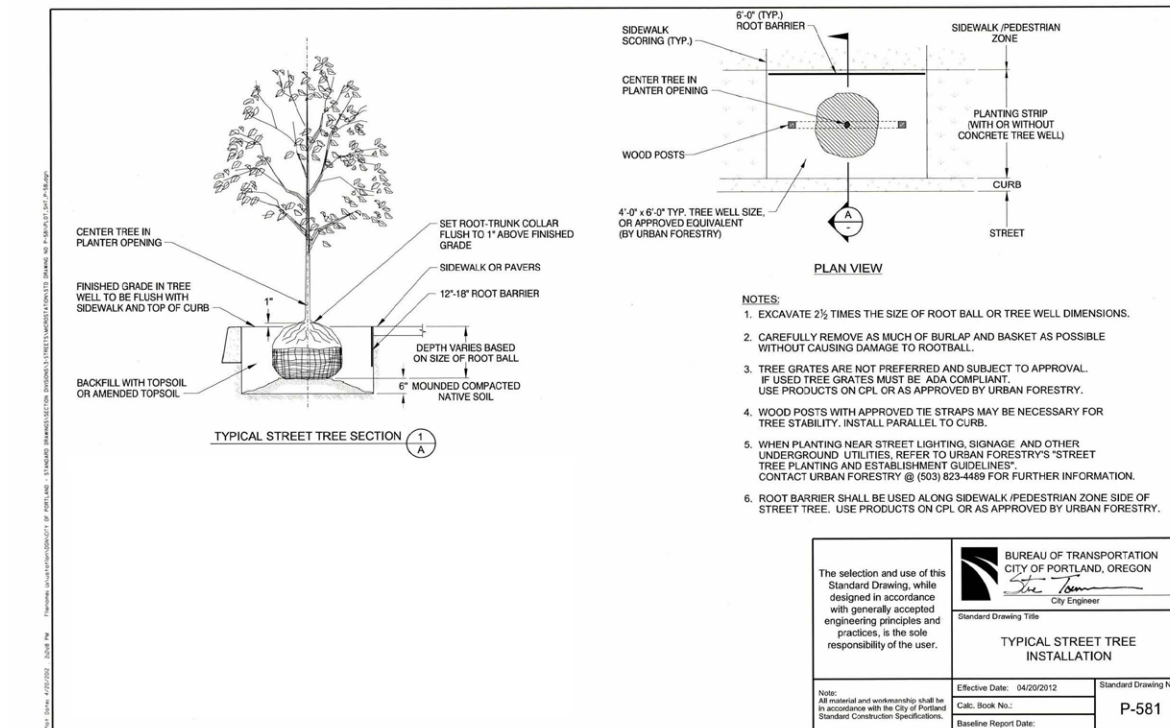
6 SHRUB PLANTING

Section
NTS



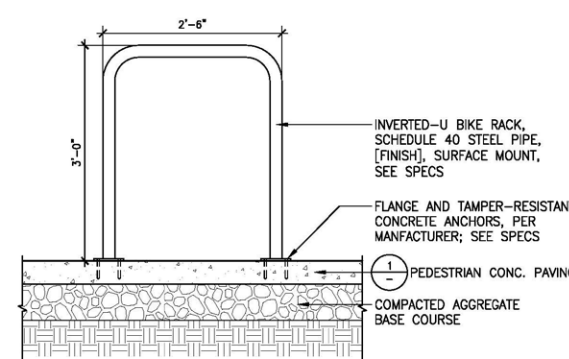
7 PLANT SPACING

Plan
NTS



8 STREET TREE PLANTING

Section
AS NOTED



6 SINGLE BIKE RACK

Section
1\"/>

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user.

**BUREAU OF TRANSPORTATION
CITY OF PORTLAND, OREGON**
City Engineer

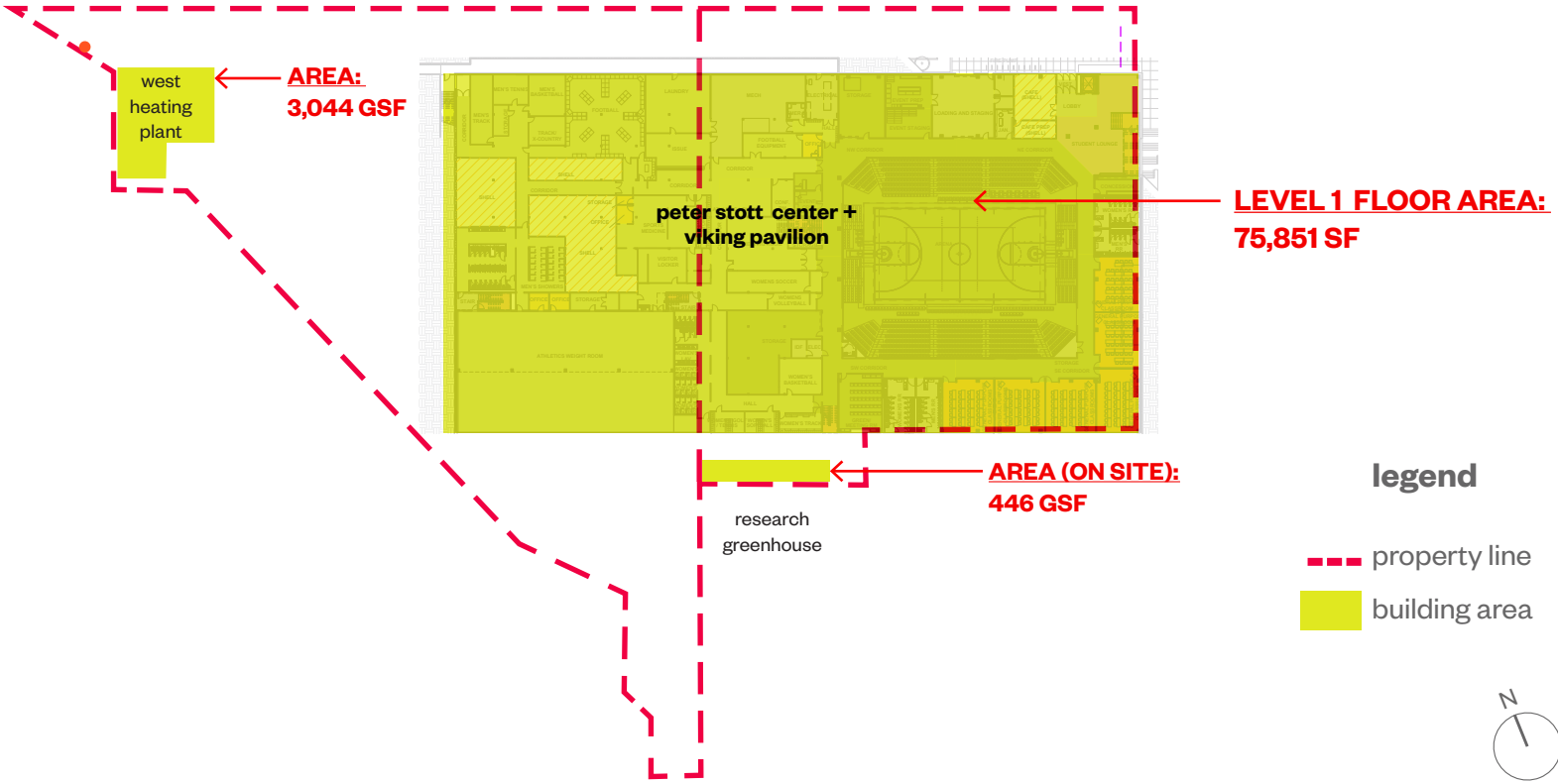
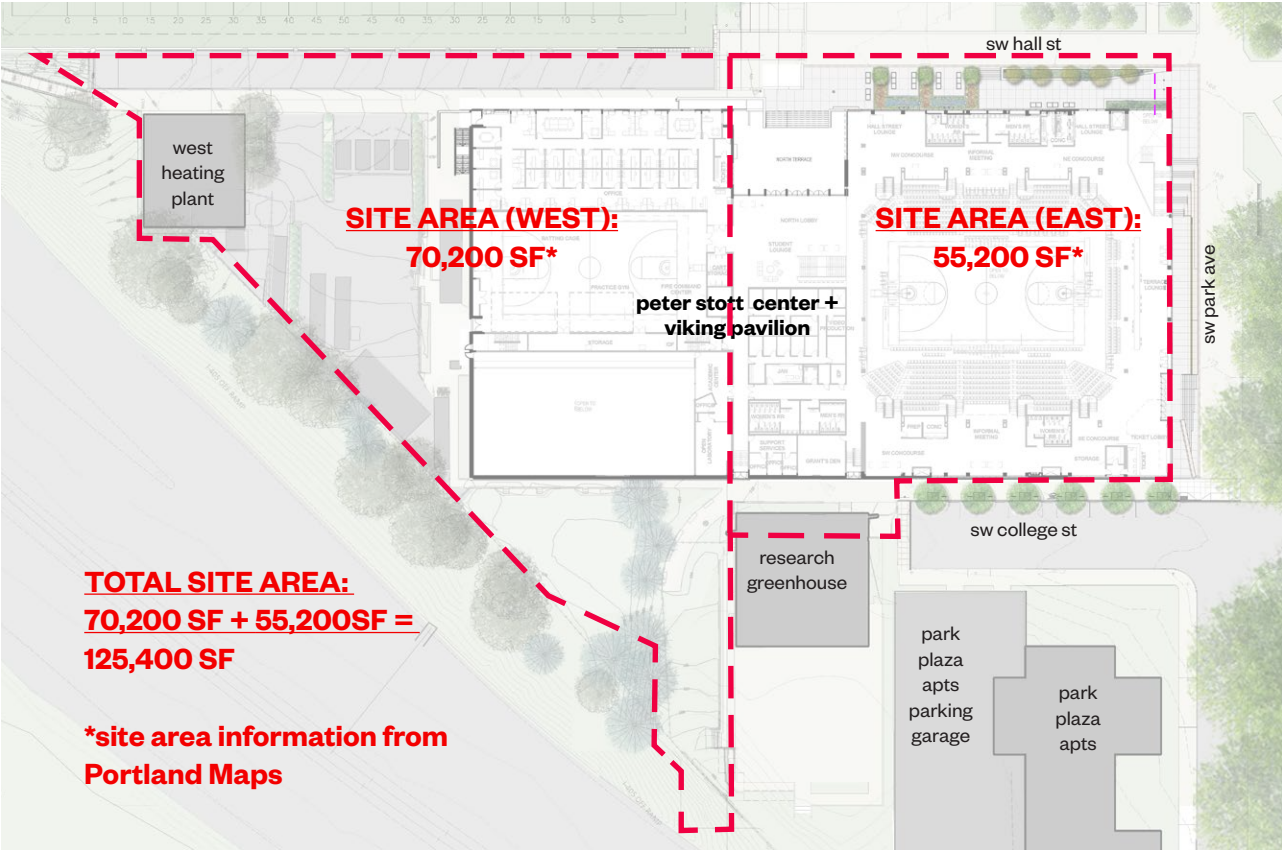
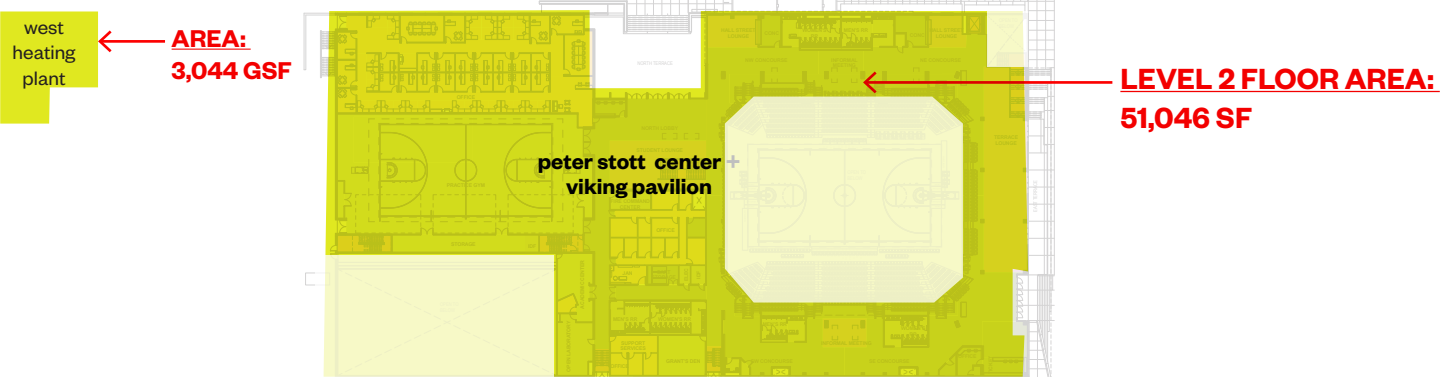
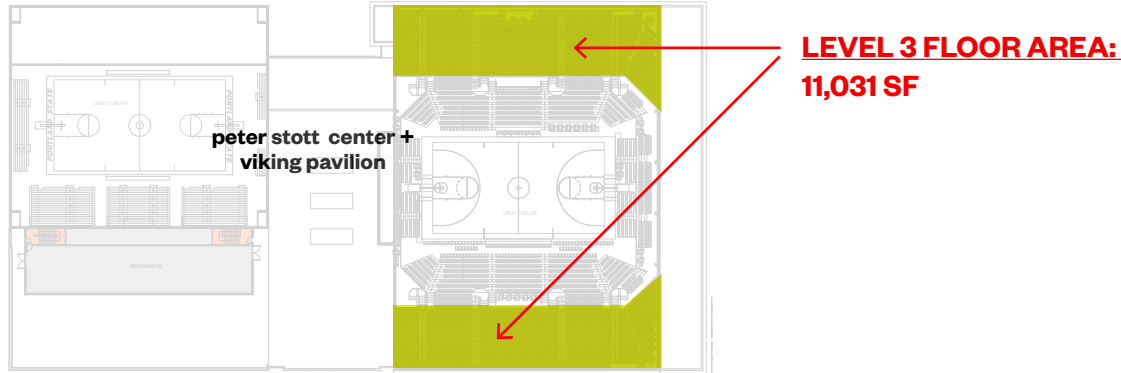
**TYPICAL STREET TREE
INSTALLATION**

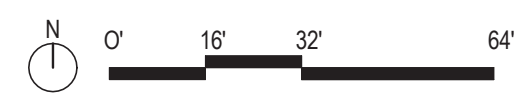
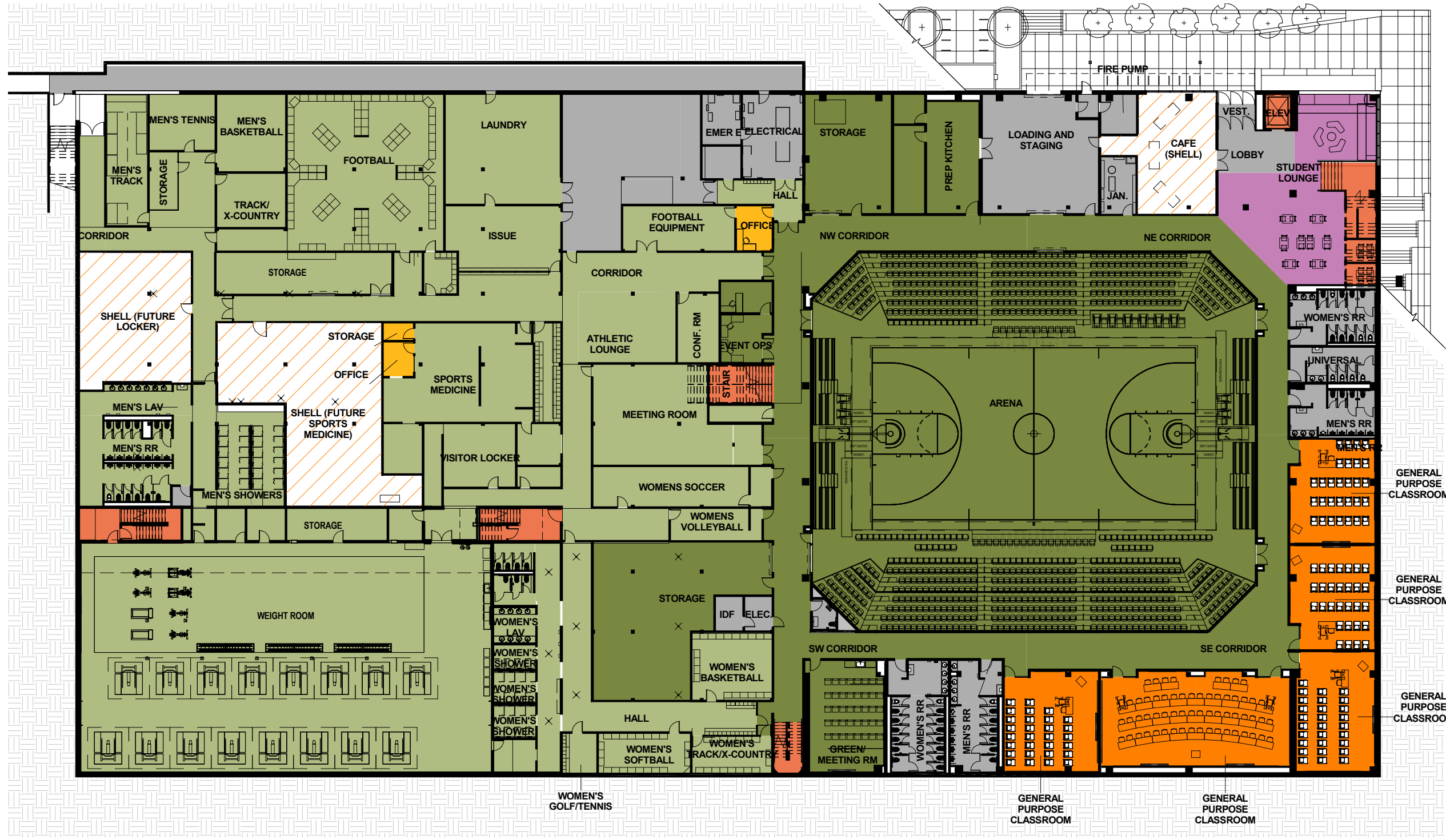
Effective Date: 04/29/2012
Call: Book No.:
Baseline Report Date: P-581

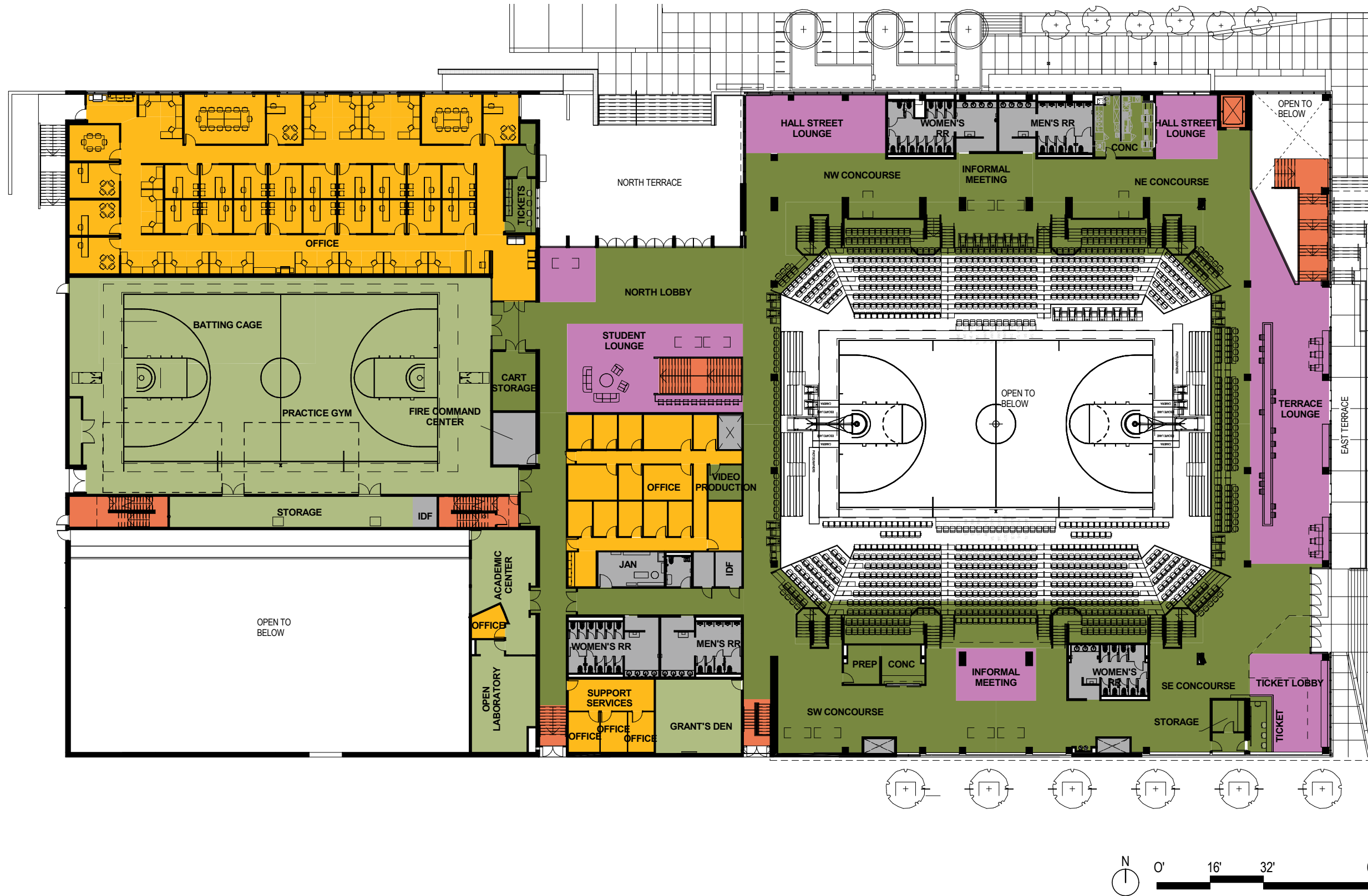
Note: All material and workmanship shall be in accordance with the City of Portland Standard Construction Specifications.

FAR diagrams

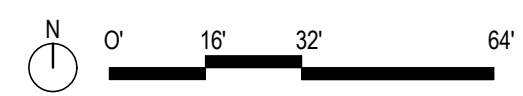
FAR:	
SITE AREA:	125,400 SF
ALLOWED FAR: 9:1 = 9(125,400) =	1,128,600 SF
EXISTING BUILDINGS ON SITE	
West Heating Plant	6,088 GSF (3,044 x 2 floors)
Research Greenhouse	446 GSF (portion on site)
	6,490 GSF
ALLOWED AREA = 1,128,600 - 6,490 =	1,122,066 SF
PROPOSED FLOOR AREA	
Level 1	75,851
Level 2	51,046
Level 3	11,031
TOTAL:	137,928 SF

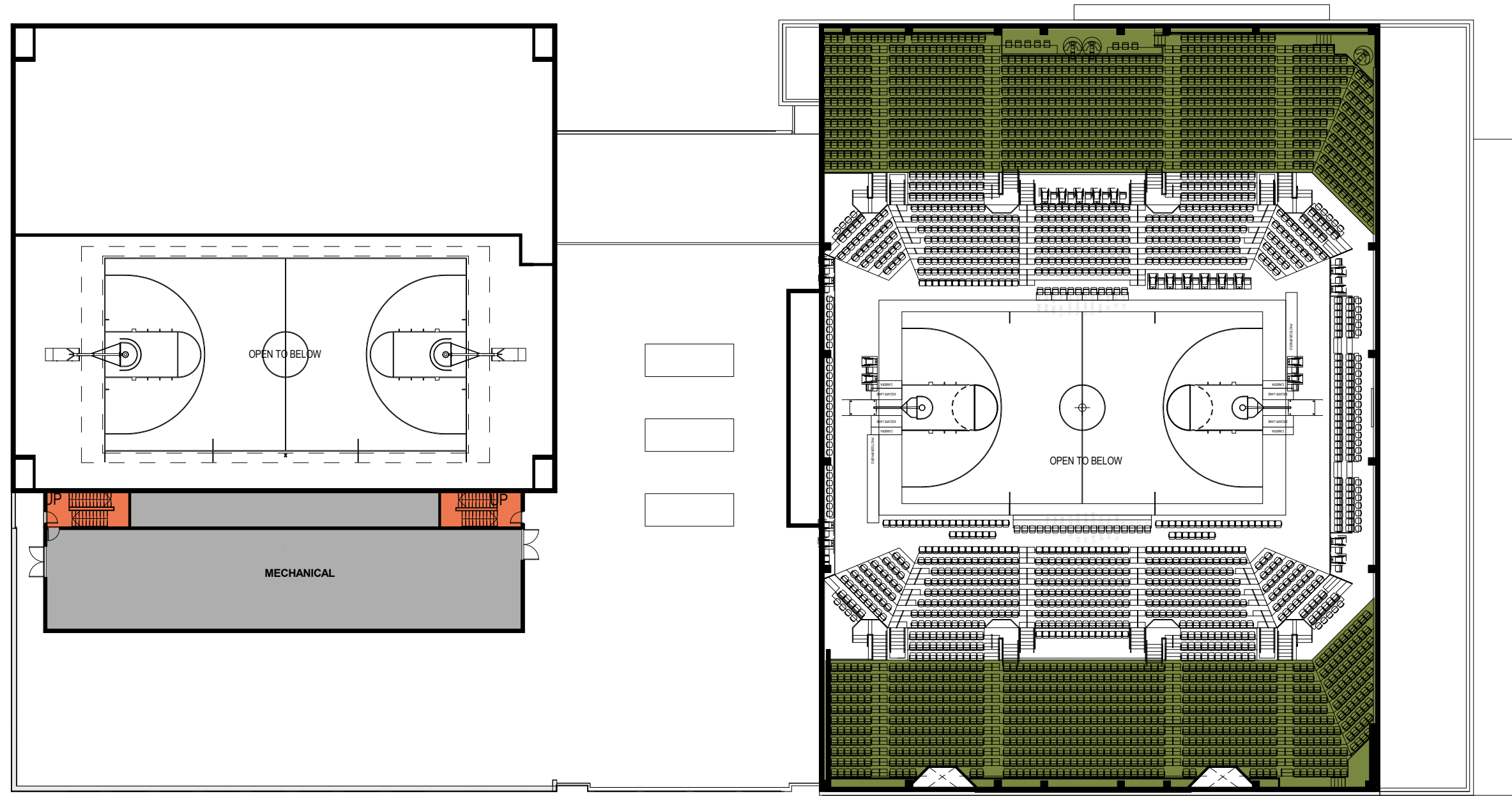






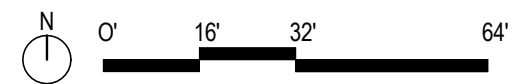
- legend**
- athletics
 - arena
 - offices/dep't meeting
 - vertical circulation
 - student
 - general use classroom
 - building support
 - shelled space



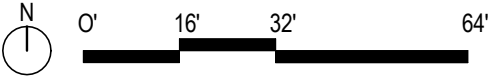
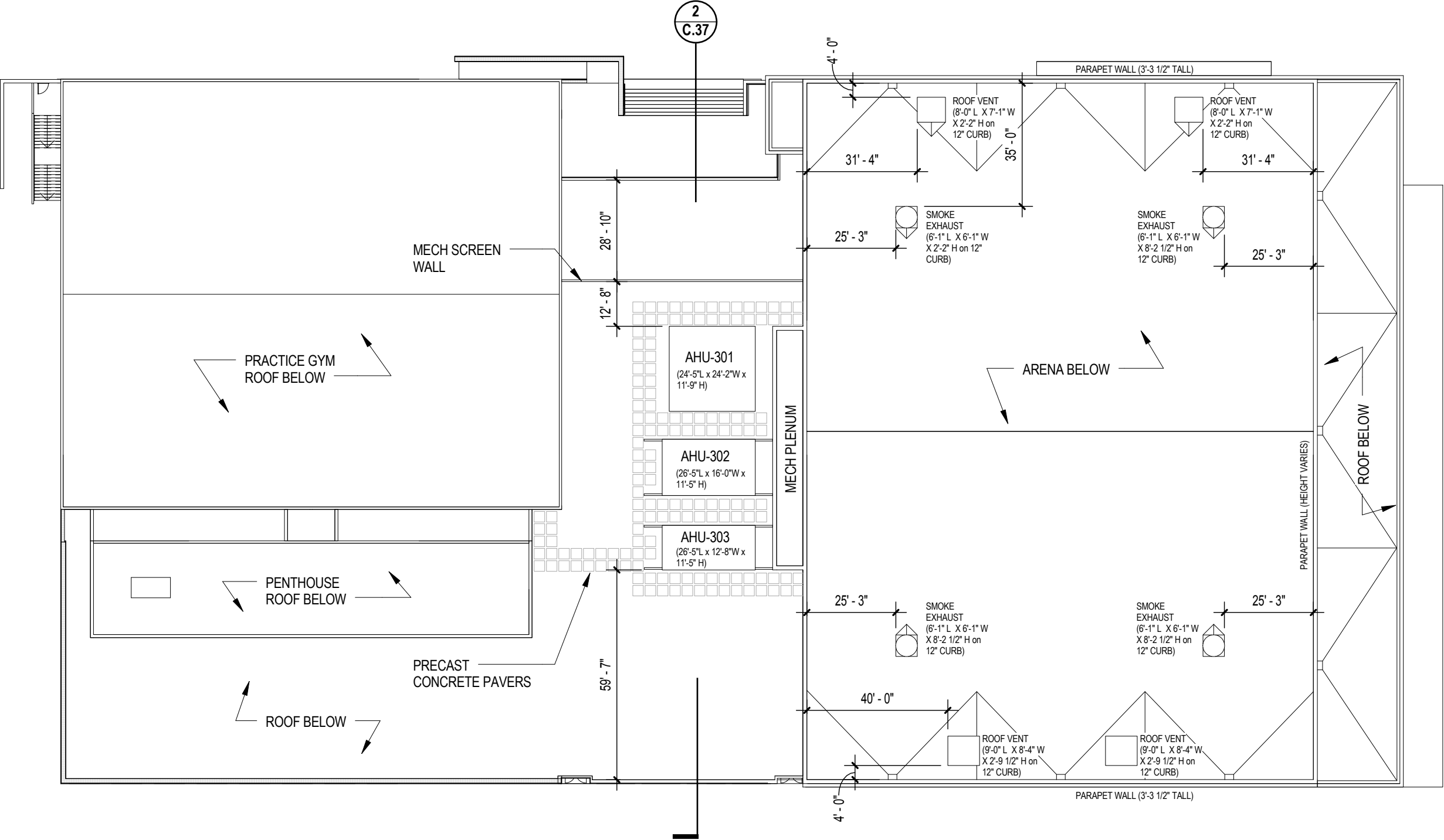


legend

- athletics
- arena
- offices/dep't meeting
- vertical circulation
- student
- general use classroom
- building support
- shelled space



roof plan



design refinements

north elevation/sw hall st frontage



north: previous



north: added clear glazing

New glazing replacing metal panel

- provides more open view to/from Hall Street Lounge
- helps mark NE entry
- further reveals underside of arena seats inside



study view

exterior materials

material schedule

CMP-1, -2	Composite Metal Panel Manufacturer: Skyline Sheet Metal Thickness: 4mm sheet aluminum directly adhered to thermoplastic core material Attachment: Concealed Fasteners Finish: Fluoropolymer paint Color: P-1, P-2, P-4 (Refer to Elevations)
FMP-1	Formed Metal Panel Type 1 (Top of building) Manufacturer: Morin Model: W-12 Thickness: 20 Gauge Aluminum-Zinc Alloy-Coated Steel Sheet Attachment: Concealed Fasteners Finish: Fluoropolymer paint Color: P-1 (Champagne Gold)
FMP-2	Formed Metal Panel Type 2 (Concourse) Manufacturer: Morin Model: AA-12, flat face Thickness: 18 Gauge Aluminum-Zinc Alloy-Coated Steel Sheet Attachment: Concealed Fasteners Finish: Fluoropolymer paint Color: P-1 (Champagne Gold)
FMP-3	Formed Metal Panel Type 3 (Mechanical Screen) Manufacturer: Morin Model: MX-1 Thickness: 20 Gauge Aluminum-Zinc Alloy-Coated Steel Sheet Attachment: Concealed Fasteners Finish: Fluoropolymer paint Color: P-3 (Custom to match existing brown metal panels above north entry)
FMP-4	Formed Metal Panel Type 4 (Exterior Soffits) Manufacturer: Morin Model: F-12 Thickness: 20 Gauge Aluminum-Zinc Alloy-Coated Steel Sheet Attachment: Concealed Fasteners Finish: Fluoropolymer paint Color: P-1 (Champagne Gold)
B-1	Veneer Brick 2-1/2" tall brick units, mortar, sanded grout: blend of colors by Mutual Materials (Tan Terra, Brown Varitone, Imperial Gray) to closely match existing Stott Center brick (existing brick no longer manufactured)
Curtainwall:	Painted aluminum, EFCO 5600, 2 1/2" profile.
Storefront:	Painted aluminum, EFCO 403.
Guardrails:	Painted steel, rectangular bar frame with 1/2" dia vertical steel rods.
	Color: P-2 (Mica Champagne)

paint color legend

- P-1 Champagne Gold**
(Primary Color)
- P-2 Mica Champagne**
(Trim Color: Mullions, Guardrails, Infill Panels)
- P-3 Brown to Match Existing Metal @ North Entry**
(Mechanical Screen above North Entry)
- P-4 Bronze to Match Existing Metal @ West Gym**
(New Windows and Metal Panels @ West Gym)



- Formed Metal Panels Type 1 (FMP-1)
 - 20 gauge
 - concealed fasteners
 - (P-1)



- Formed Metal Panels Type 2 (FMP-2)
 - 18 gauge
 - concealed fasteners
 - (P-1)



- Extended Vertical Curtainwall Snapcap
 - (P-2)



- Aluminum Canopy Fascia
 - (P-1)

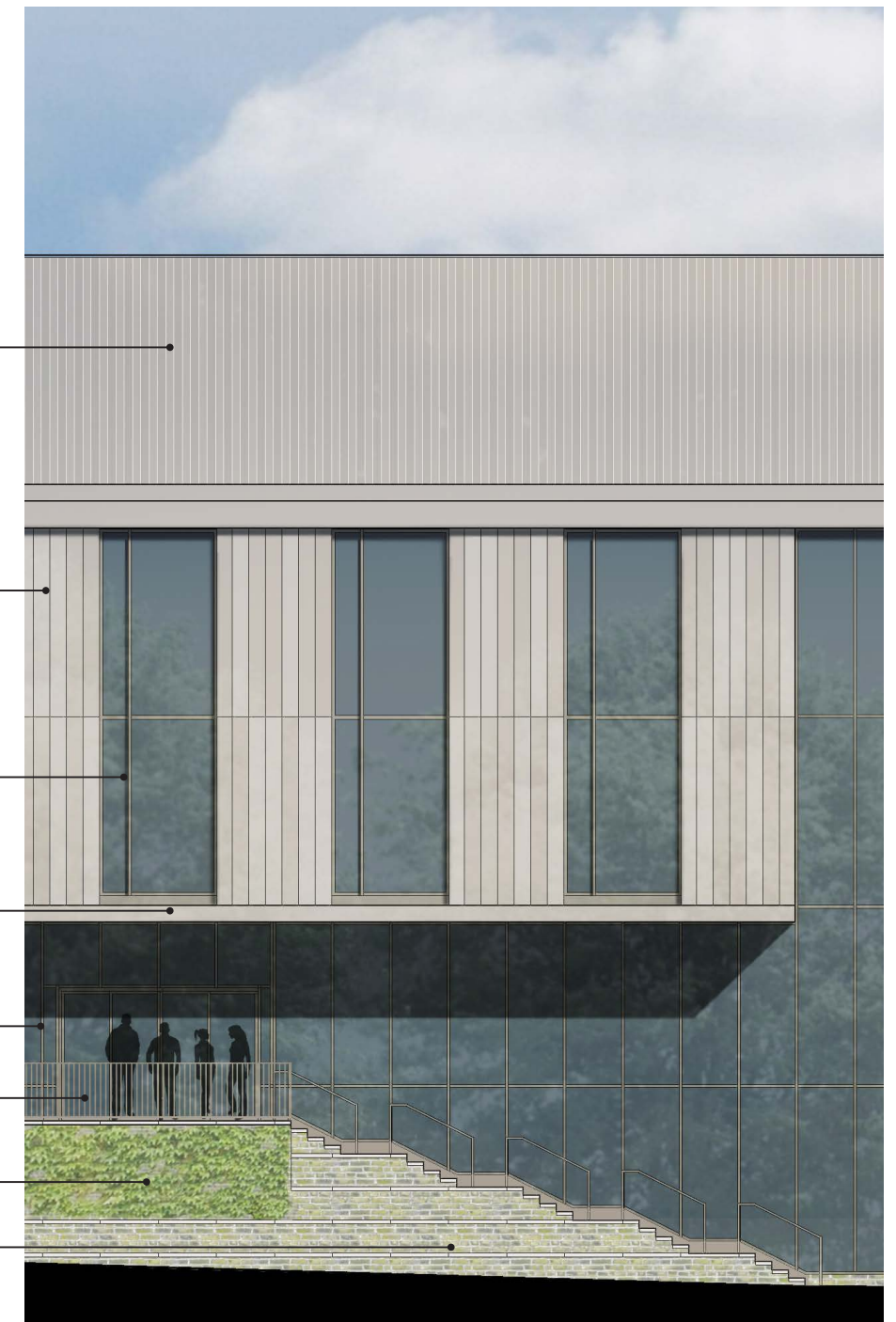


- Storefront + Curtainwall Glazing Systems
 - (P-2)

- Painted Metal Guardrail
 - (P-2)

- Planting on Brick Wall (Boston Ivy)
 - (Optional)

- Building Base/Terrace/Seat Walls:
 - Brick Veneer (color and bond pattern to closely match existing Stott Center)
 - Precast planter wall caps and steps (color to closely match Millar Library base)



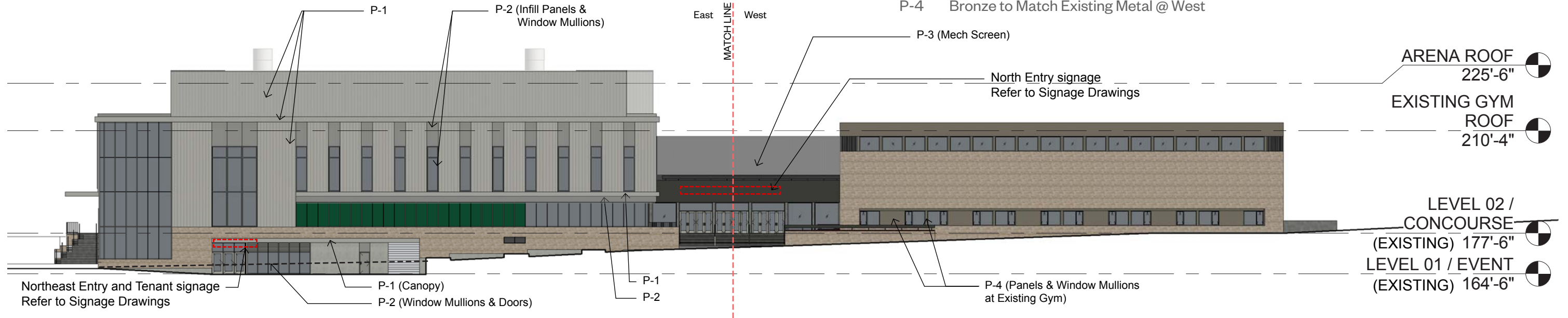
east elevation detail

paint color legend

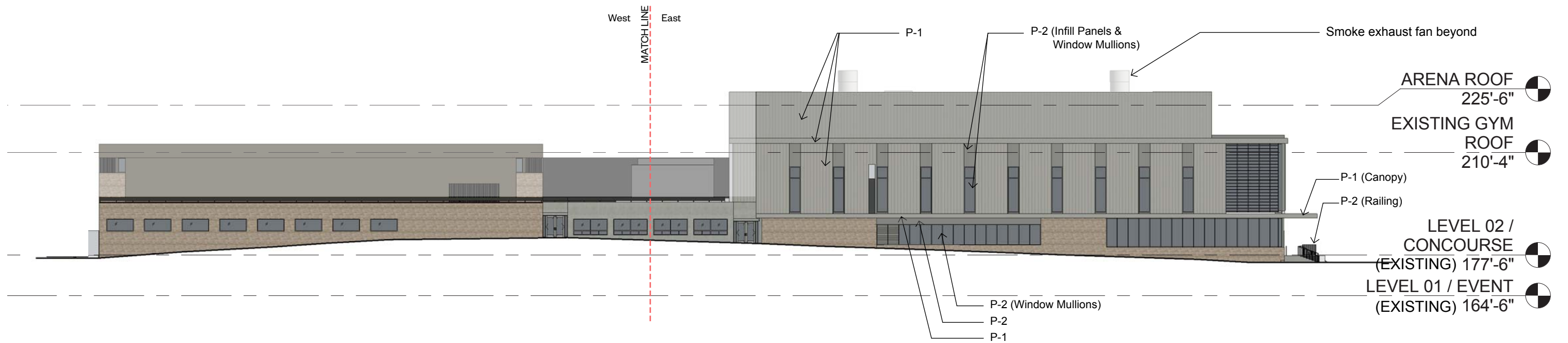
- P-1 (Primary Color) - Champagne Gold
- P-2 (Trim Color) - Mica Champagne
- P-3 Brown to Match Existing Metal @ North Entry
- P-4 Bronze to Match Existing Metal @ West

note

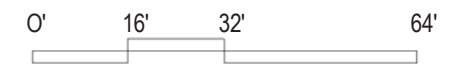
Refer to enlarged elevations & wall sections for additional information



north



south

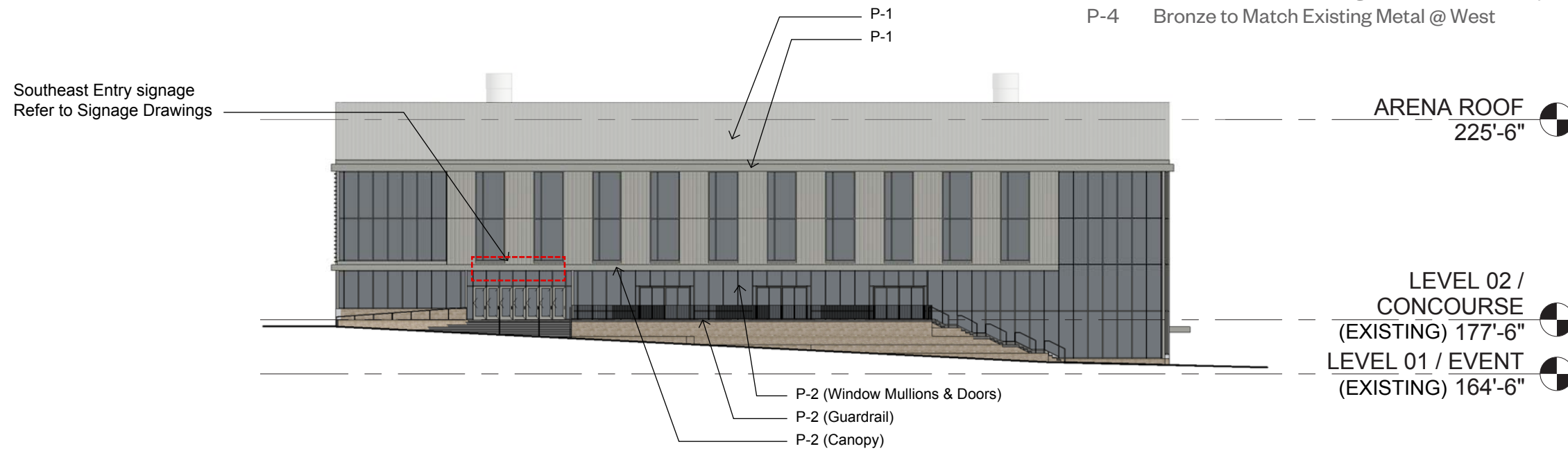


paint color legend

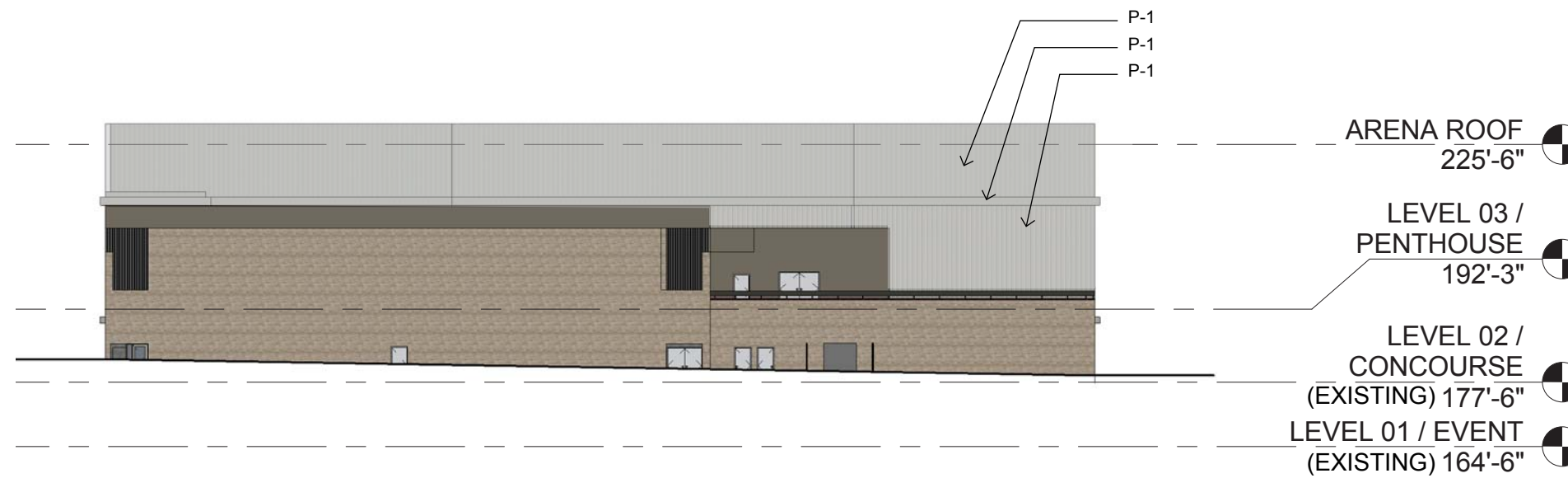
- P-1 (Primary Color) - Champagne Gold
- P-2 (Trim Color) - Mica Champagne
- P-3 Brown to Match Existing Metal @ North Entry
- P-4 Bronze to Match Existing Metal @ West

note

Refer to enlarged elevations & wall sections for additional information

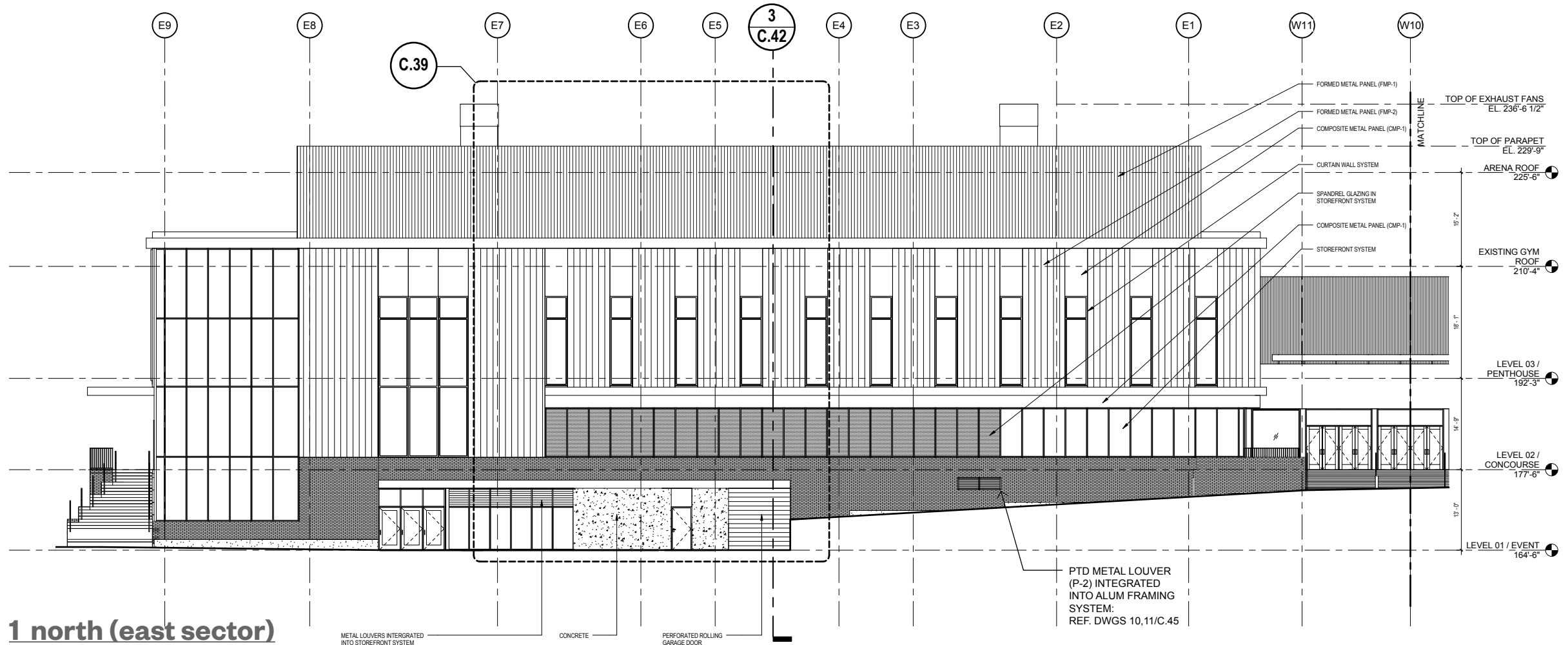


east

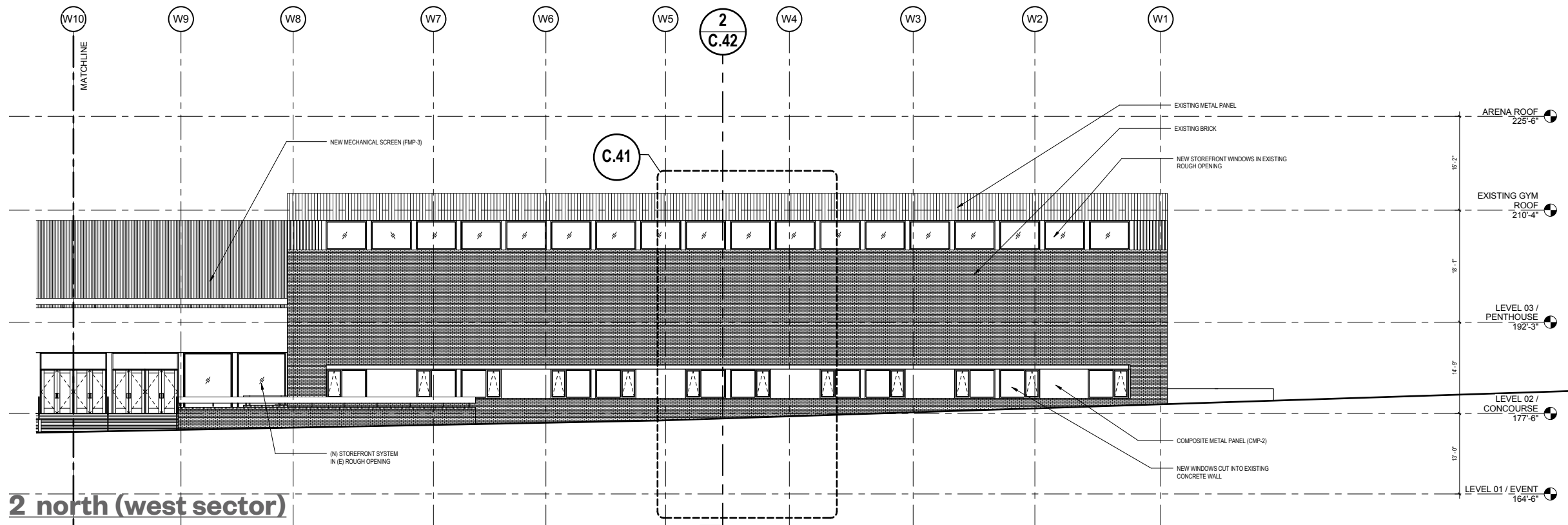


west














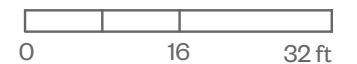
1 north (east sector)

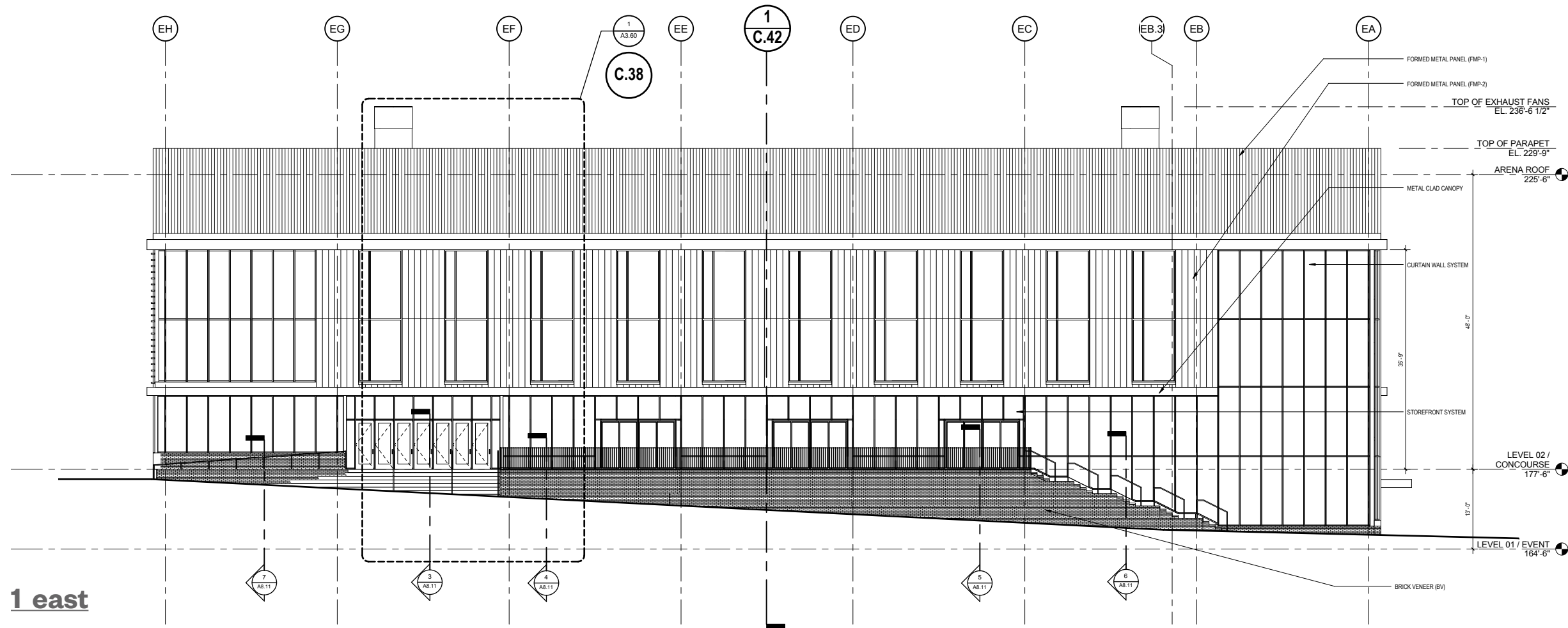


2 north (west sector)

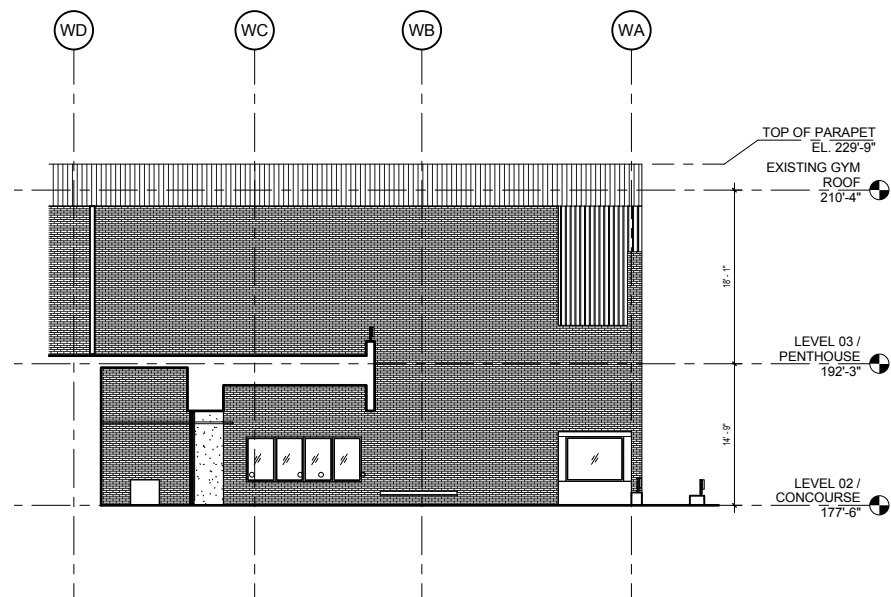
MATERIAL LEGEND

-  CMP-1
COMPOSITE METAL PANEL 1
-  CMP-2
COMPOSITE METAL PANEL 2
-  FMP-1
FORMED METAL PANEL
-  FMP-2
FORMED METAL PANEL
-  FMP-3
FORMED METAL PANEL AT SCREENWALL
-  GLASS
-  SPANDREL GLASS
-  BV
BRICK VENEER
-  CAST IN PLACE CONCRETE














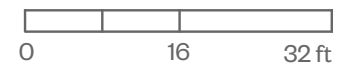
1 east

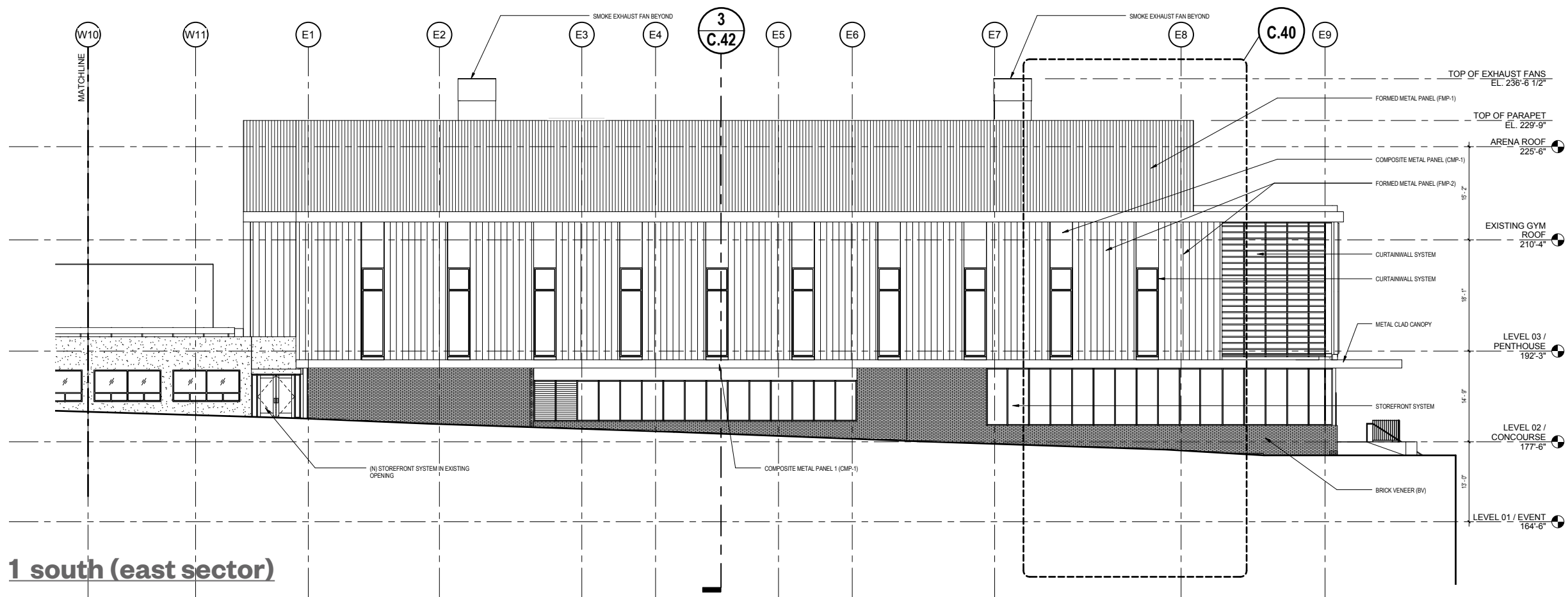


2 east (existing gym facing north terrace)

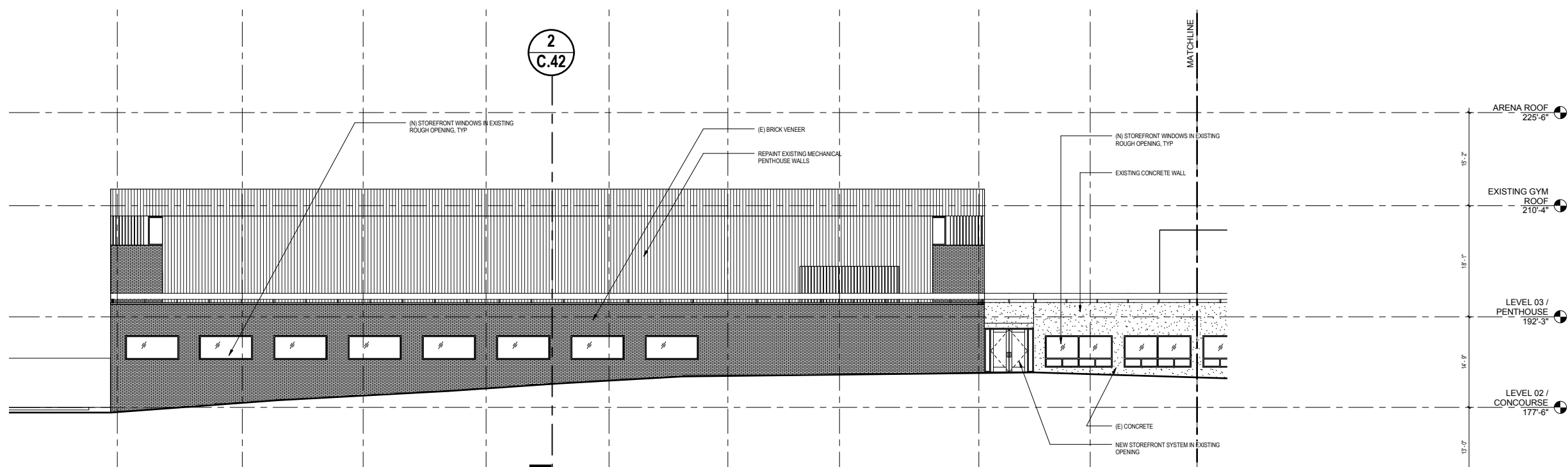
MATERIAL LEGEND

-  CMP-1
COMPOSITE METAL PANEL 1
-  CMP-2
COMPOSITE METAL PANEL 2
-  FMP-1
FORMED METAL PANEL
-  FMP-2
FORMED METAL PANEL
-  FMP-3
FORMED METAL PANEL AT SCREENWALL
-  GLASS
-  SPANDREL GLASS
-  BV
BRICK VENEER
-  CAST IN PLACE CONCRETE





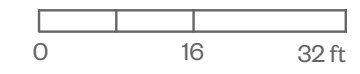
1 south (east sector)

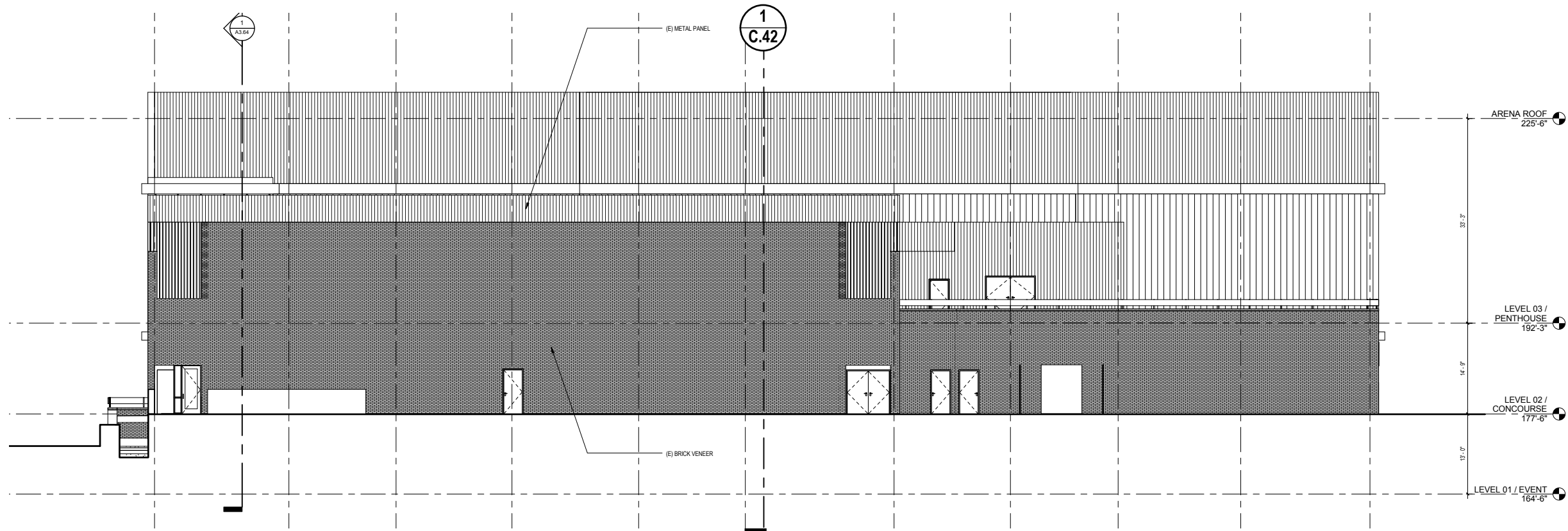


2 south (west sector)

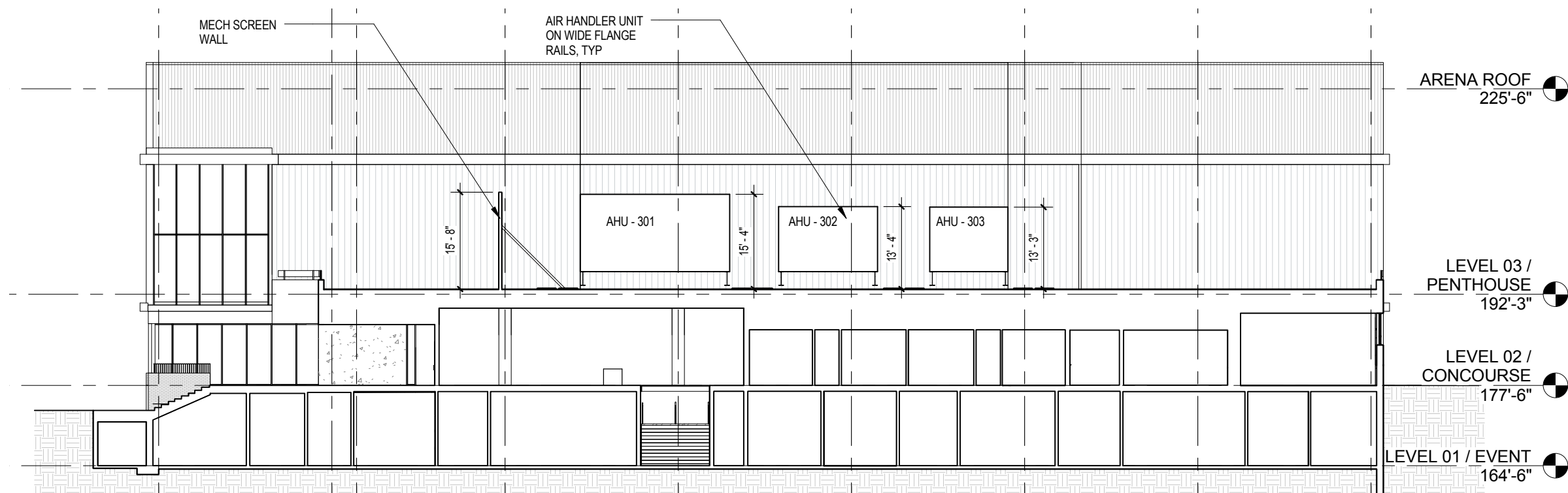
MATERIAL LEGEND

- CMP-1
COMPOSITE METAL PANEL 1
- CMP-2
COMPOSITE METAL PANEL 2
- FMP-1
FORMED METAL PANEL
- FMP-2
FORMED METAL PANEL
- FMP-3
FORMED METAL PANEL AT SCREENWALL
- GLASS
- SPANDREL GLASS
- BV
BRICK VENEER
- CAST IN PLACE CONCRETE














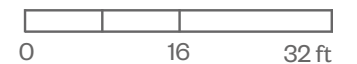
1 west

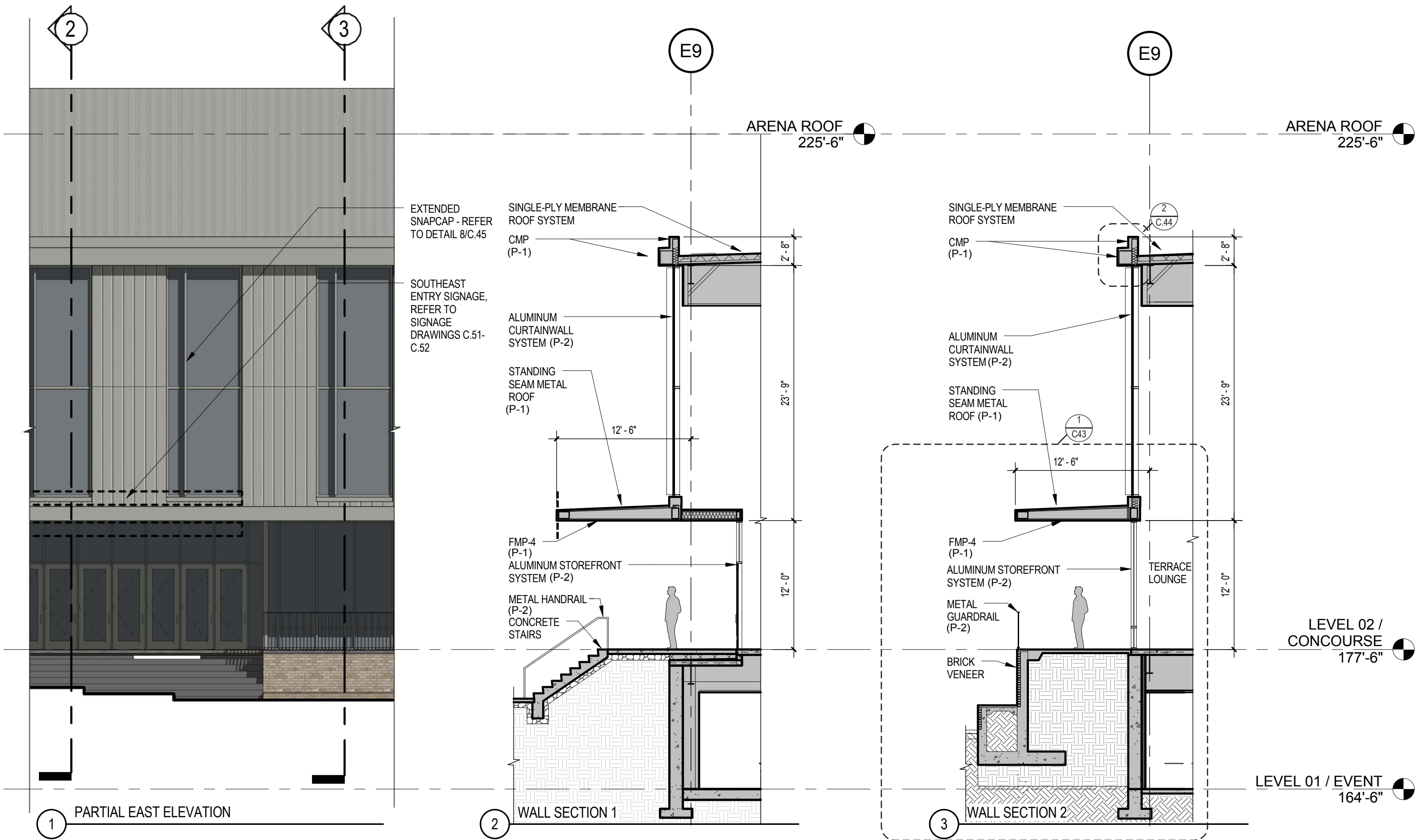


2 west (elevation/section at north terrace)

MATERIAL LEGEND

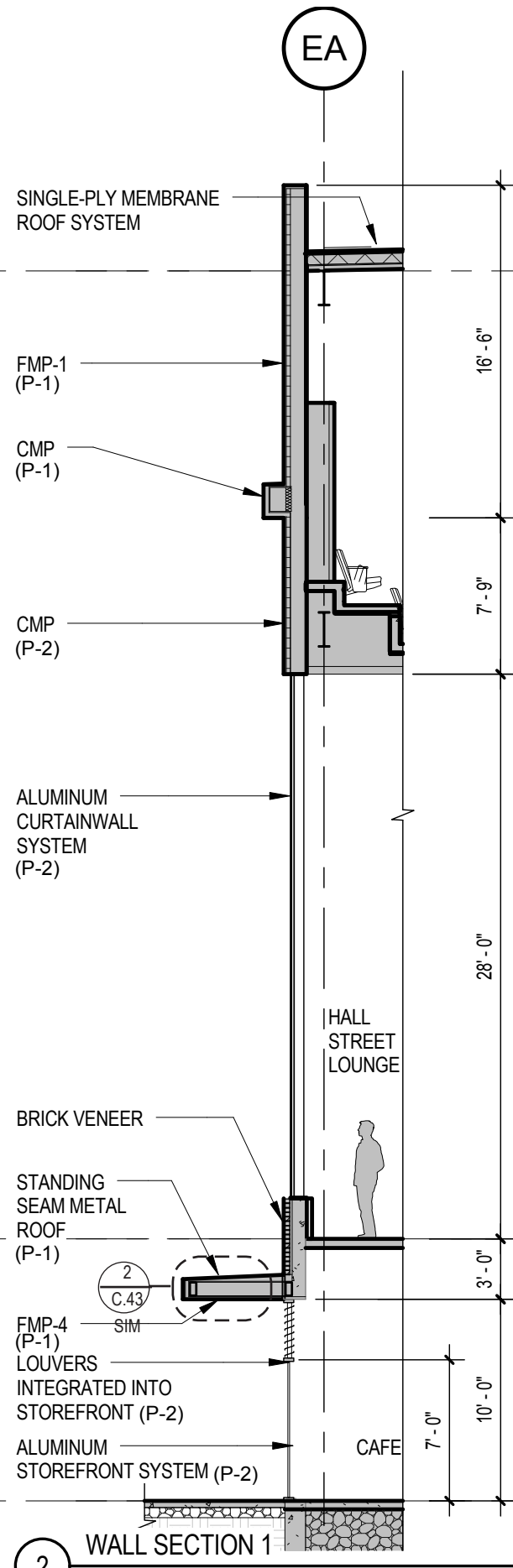
-  CMP-1
COMPOSITE METAL PANEL 1
-  CMP-2
COMPOSITE METAL PANEL 2
-  FMP-1
FORMED METAL PANEL
-  FMP-2
FORMED METAL PANEL
-  FMP-3
FORMED METAL PANEL AT SCREENWALL
-  GLASS
-  SPANDREL GLASS
-  BV
BRICK VENEER
-  CAST IN PLACE CONCRETE



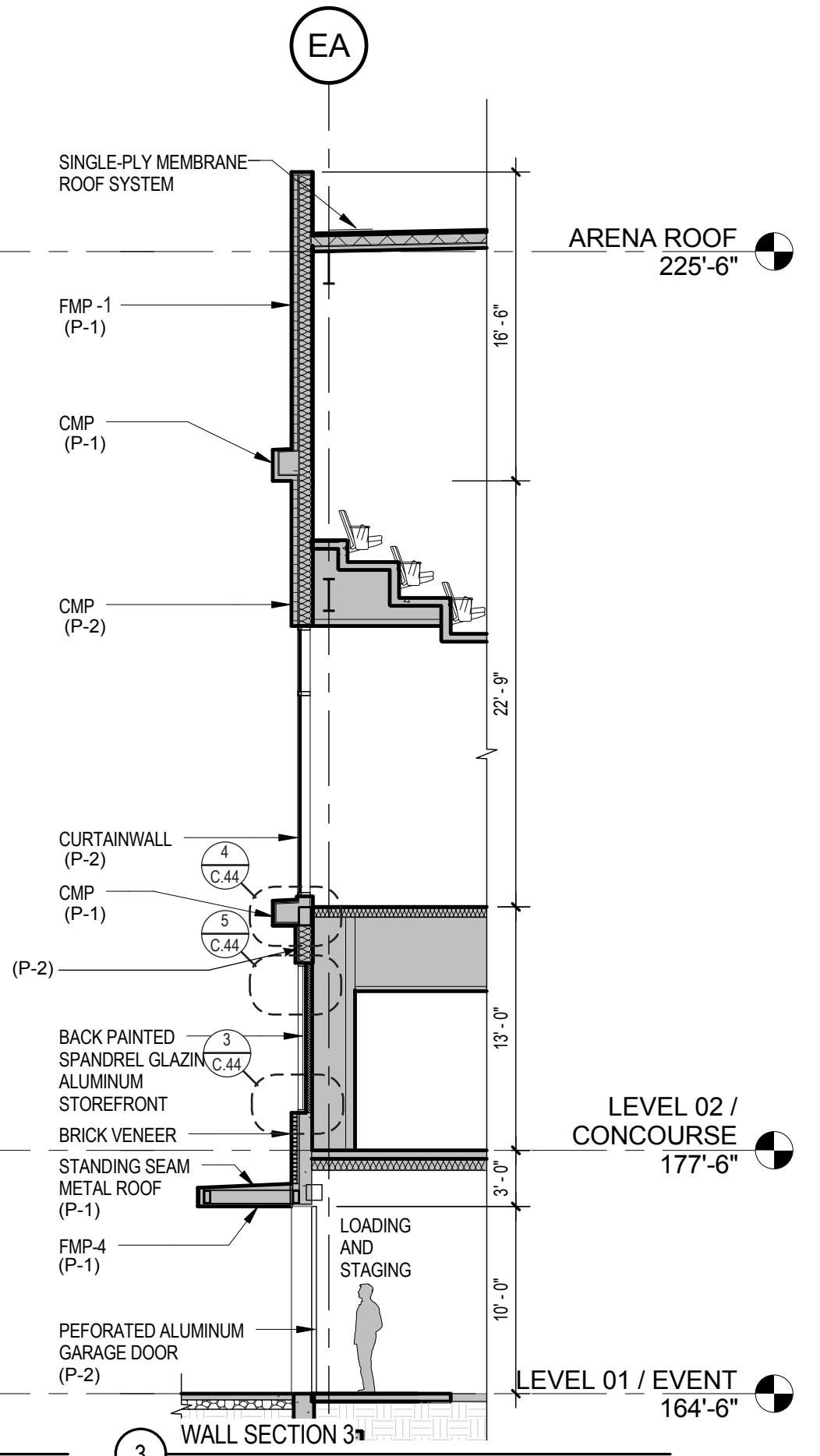




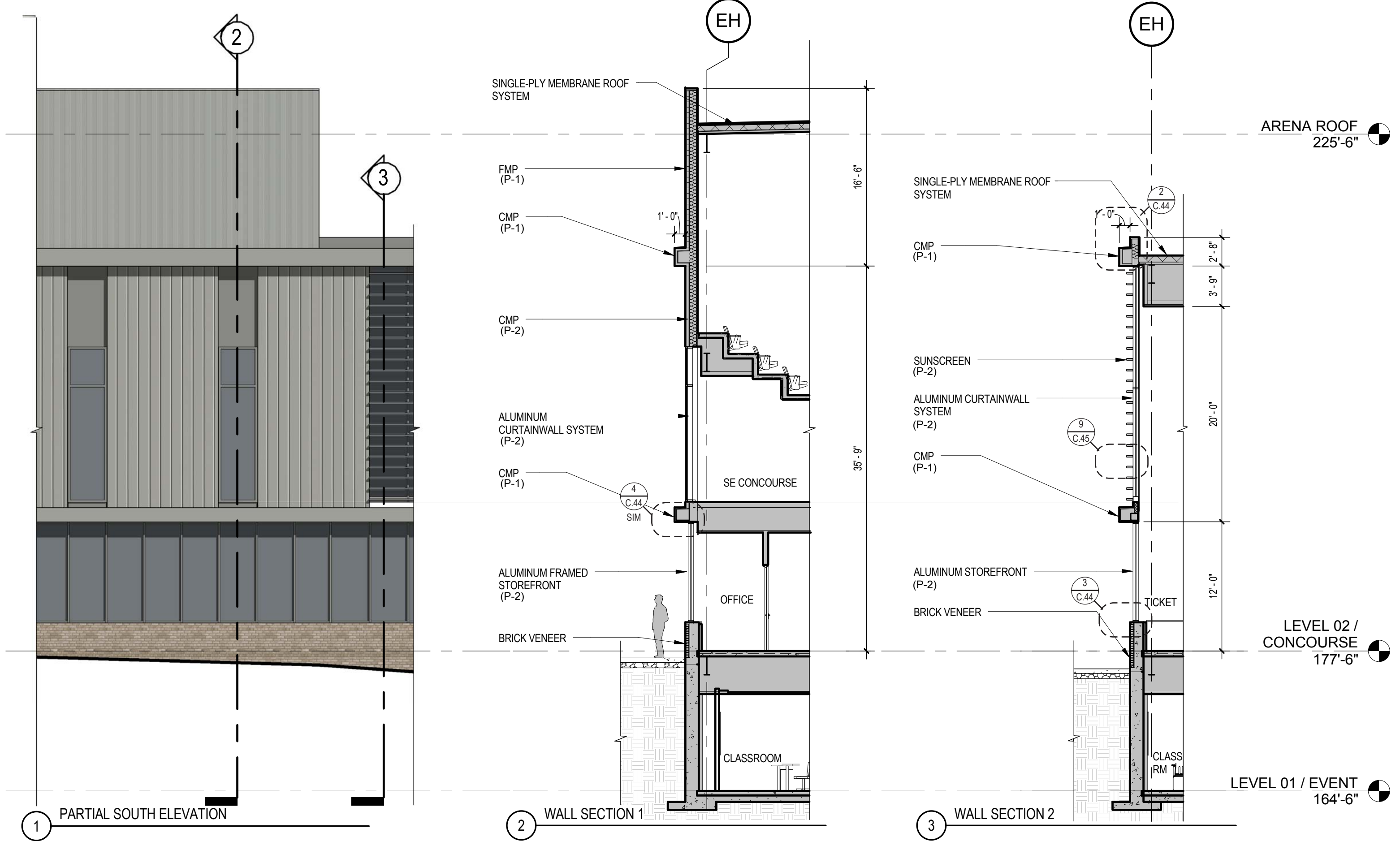
1 PARTIAL NORTH ELEVATION

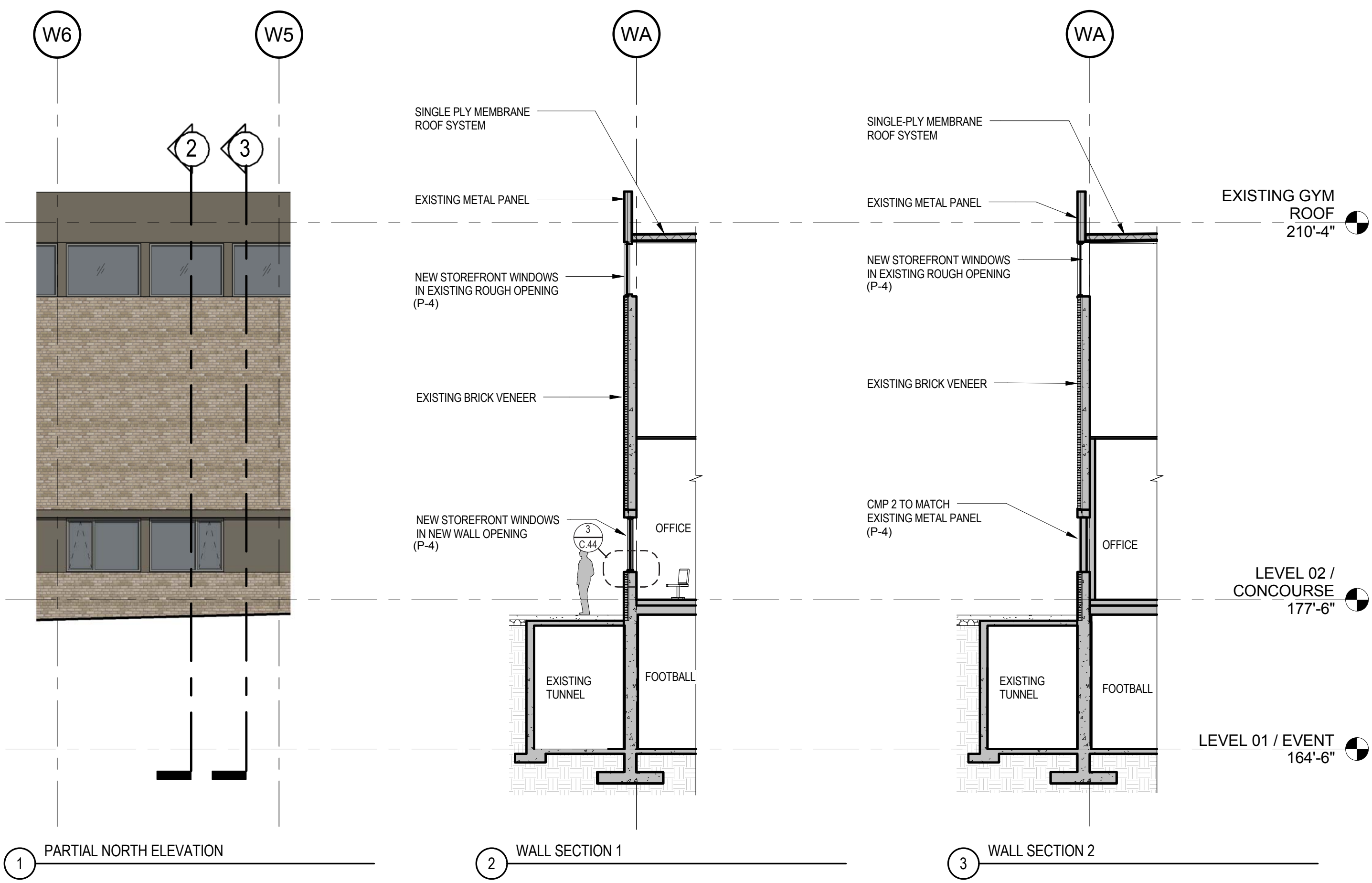


2 WALL SECTION 1

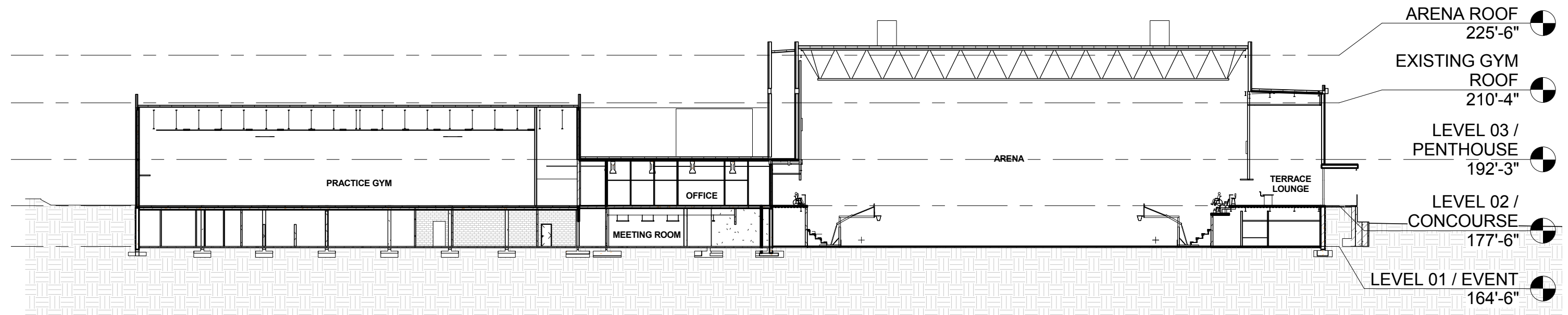


3 WALL SECTION 3

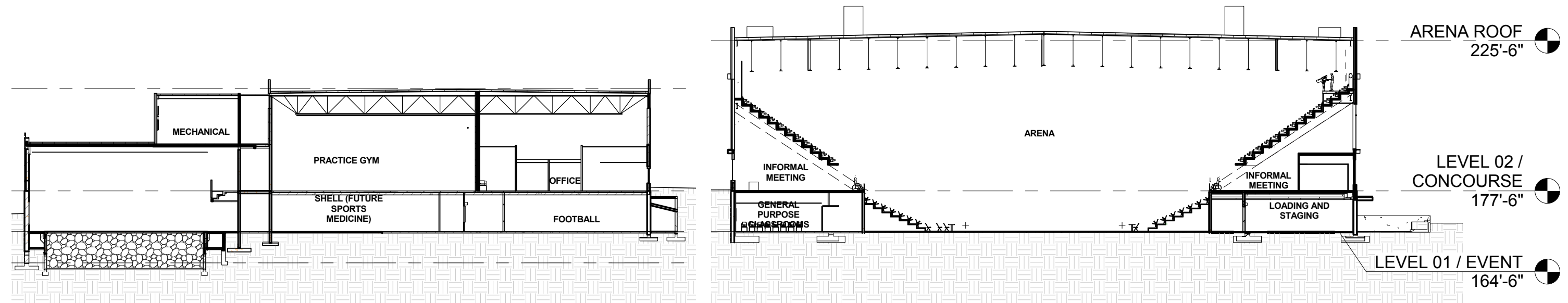




building sections

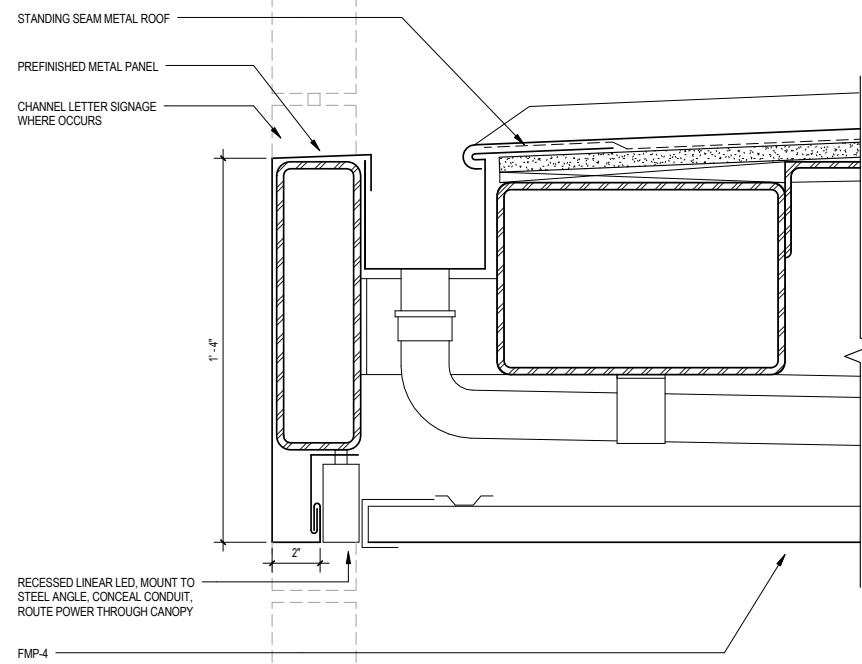


1: longitudinal section

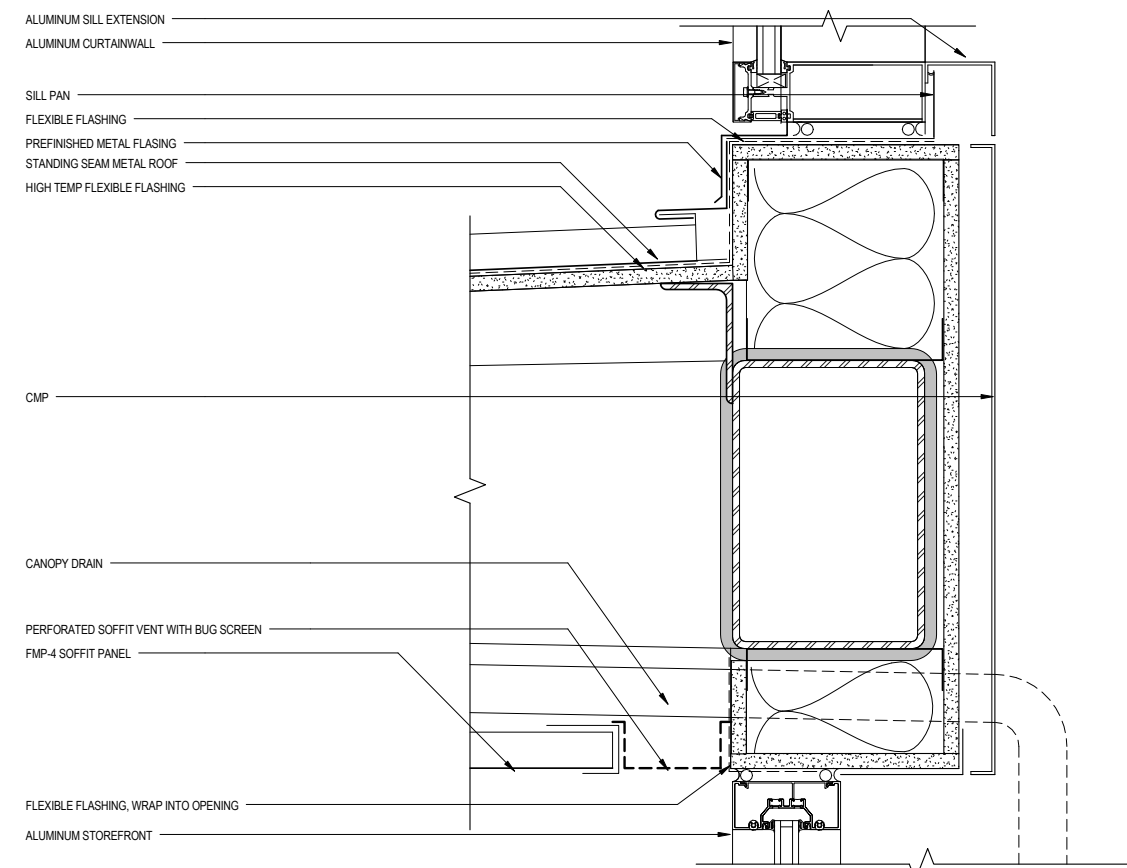


2: transverse section @ west

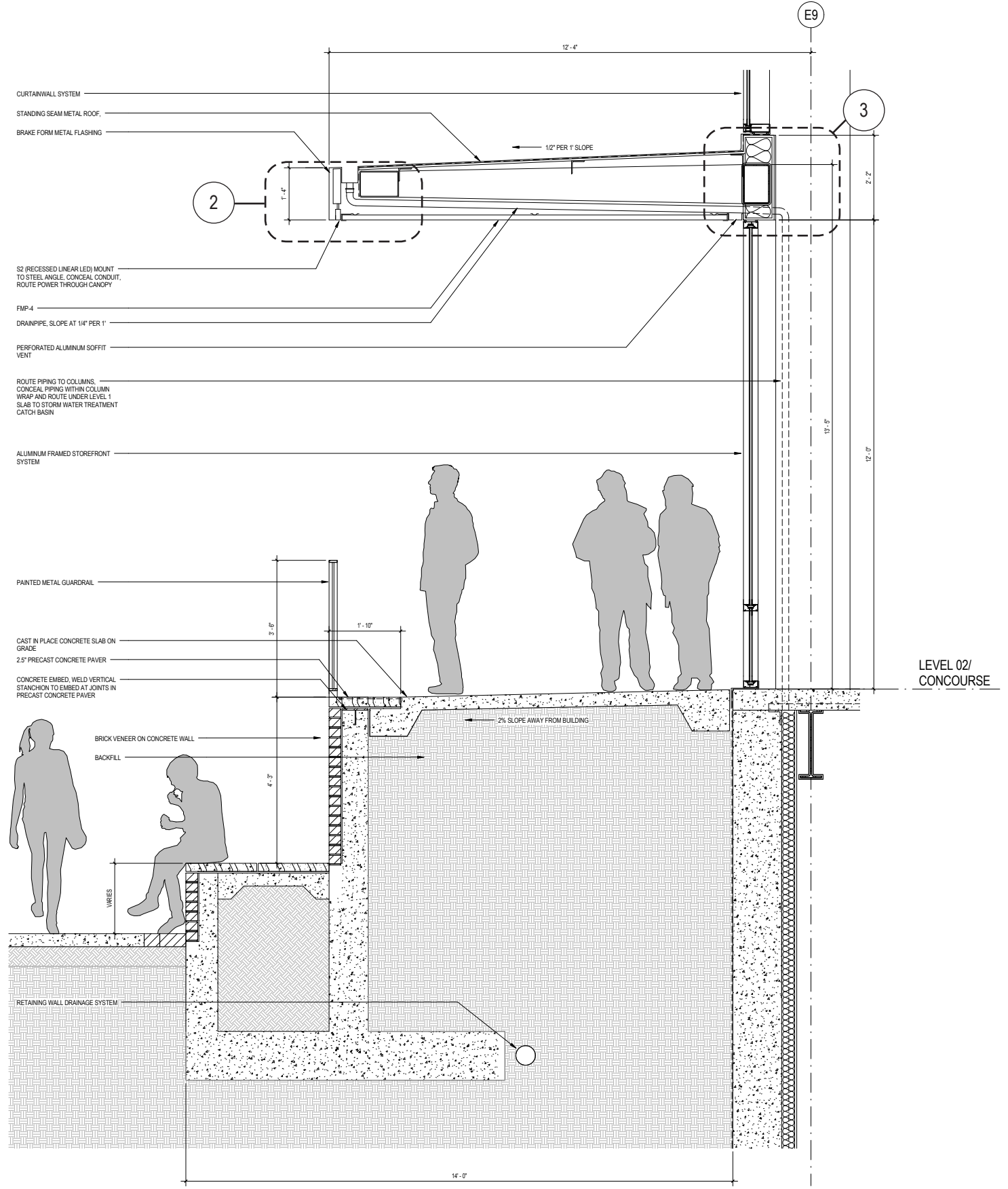
3: transverse section @ east



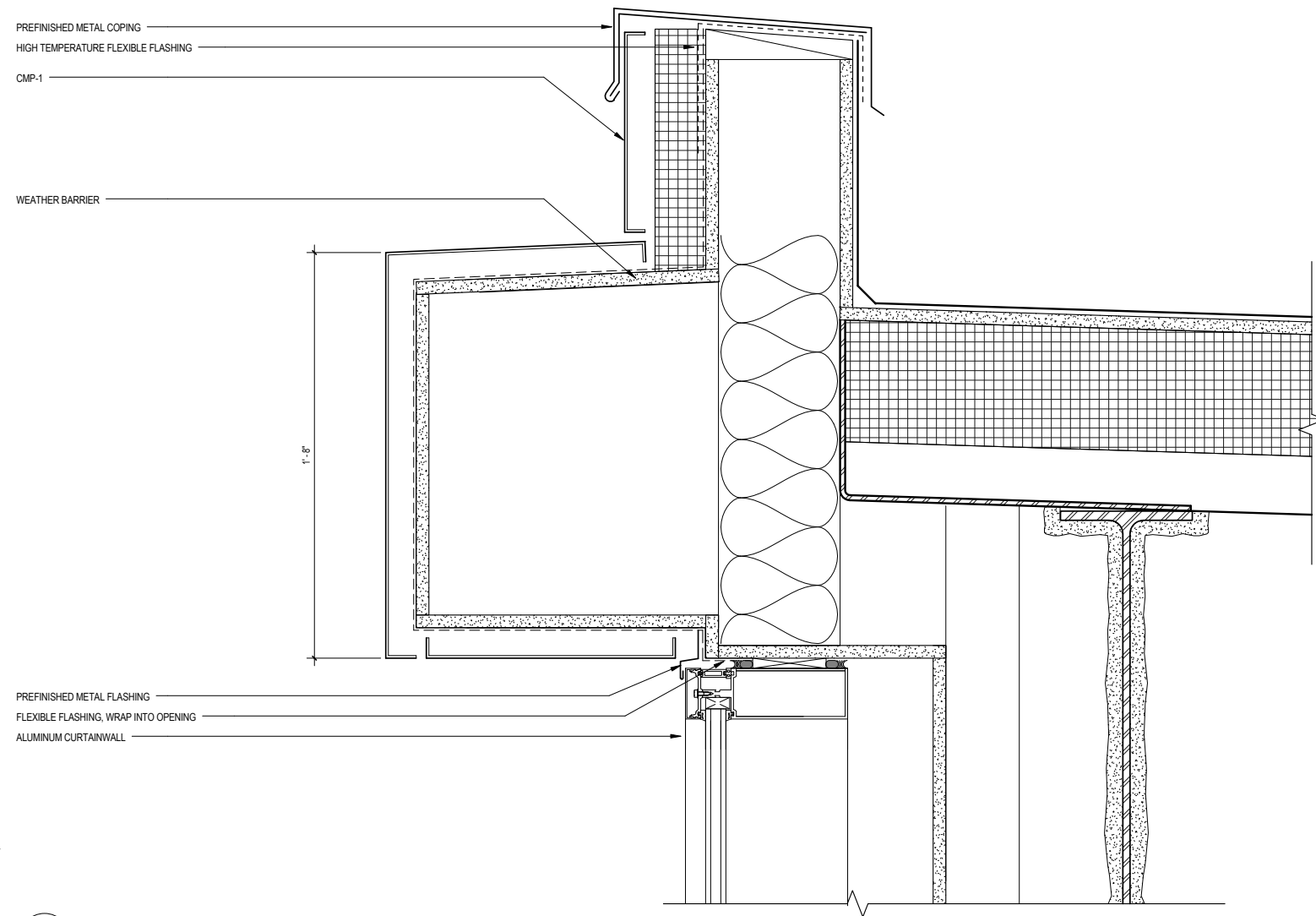
2 EXTERIOR WALL - CANOPY AT EDGE
3" = 1'-0"



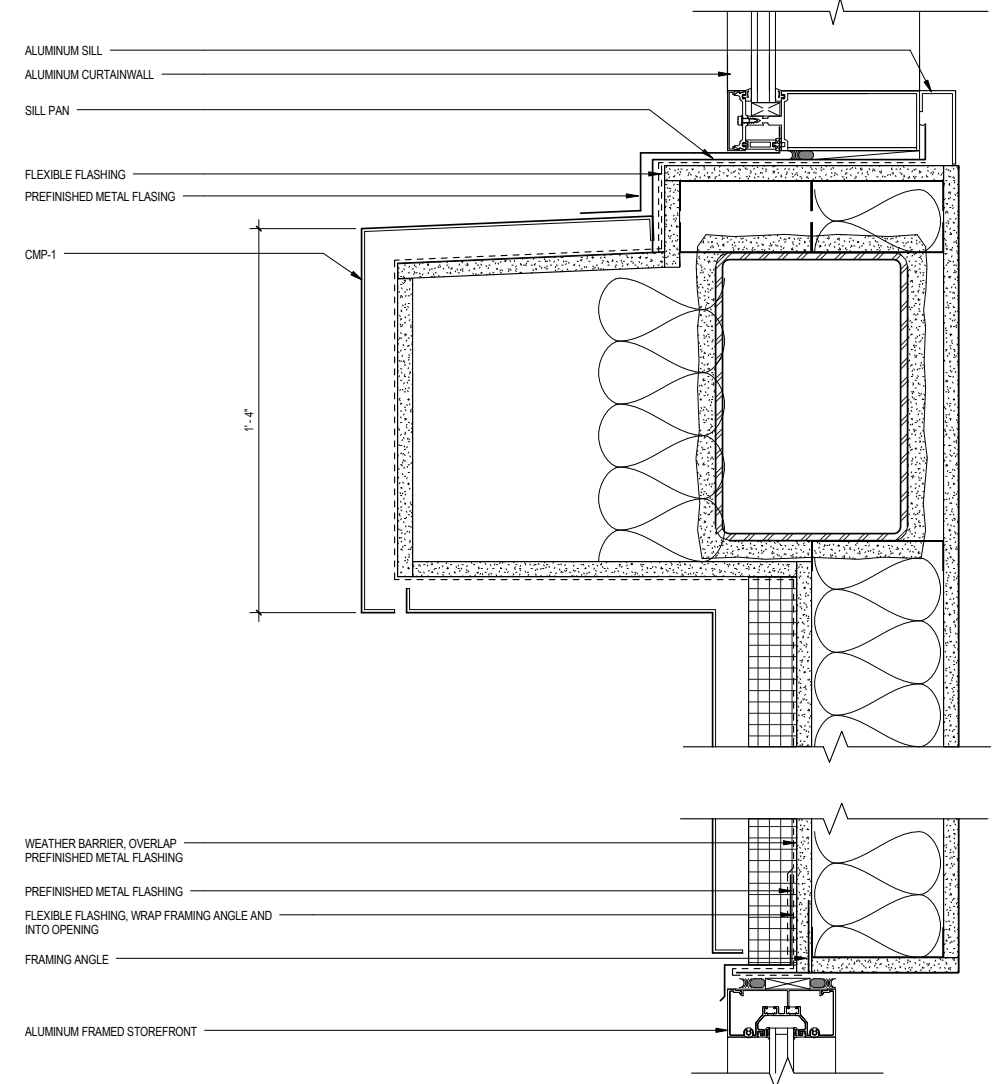
3 EXTERIOR WALL - CANOPY AT WINDOW
3" = 1'-0"



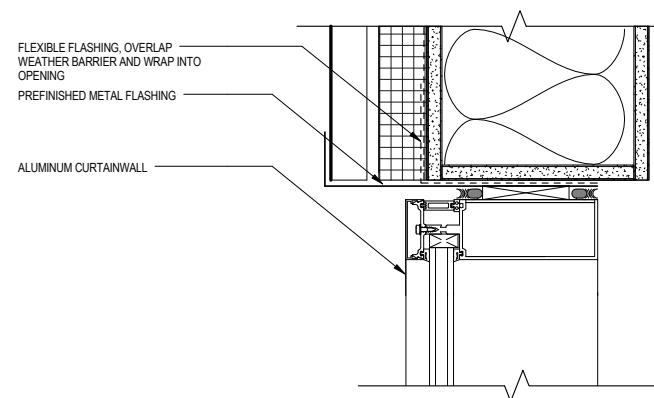
1 EXTERIOR WALL - EAST TERRACE
3/4" = 1'-0"



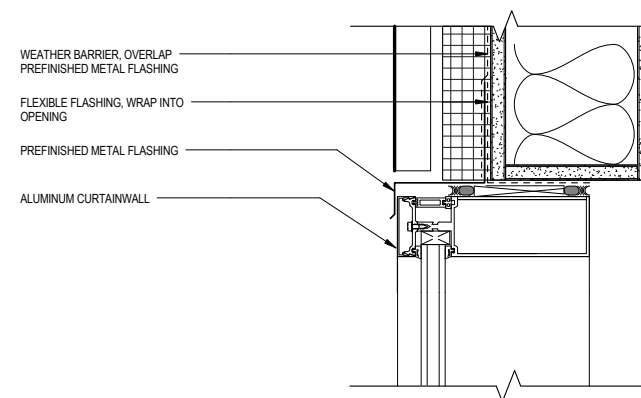
2 EXTERIOR WALL - CURTAINWALL AT ROOF
3" = 1'-0"



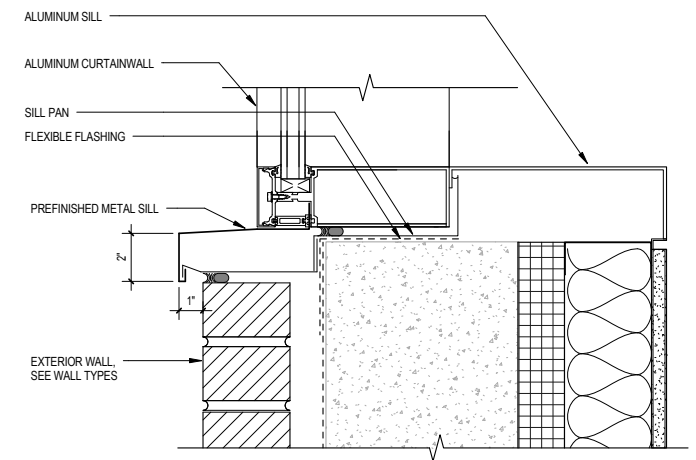
4 EXTERIOR WALL - CURTAINWALL AT HORIZONTAL BAND
3" = 1'-0"



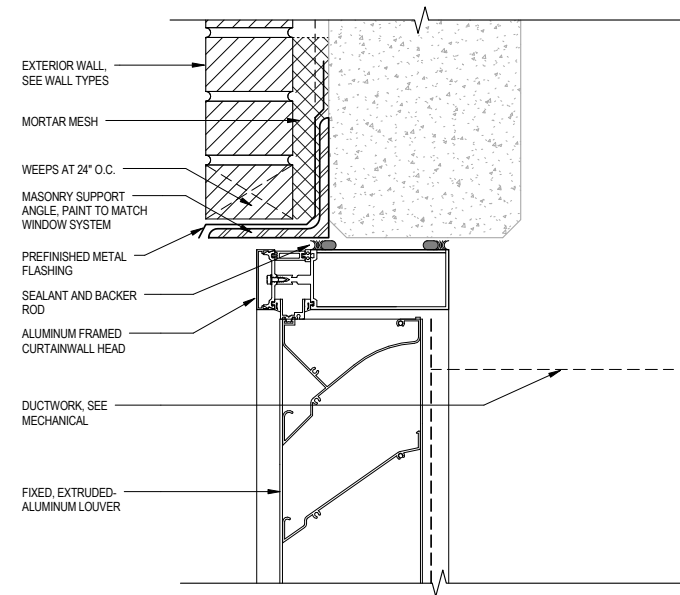
6 EXTERIOR WALL - CURTAINWALL JAMB AT METAL PANEL
3" = 1'-0"



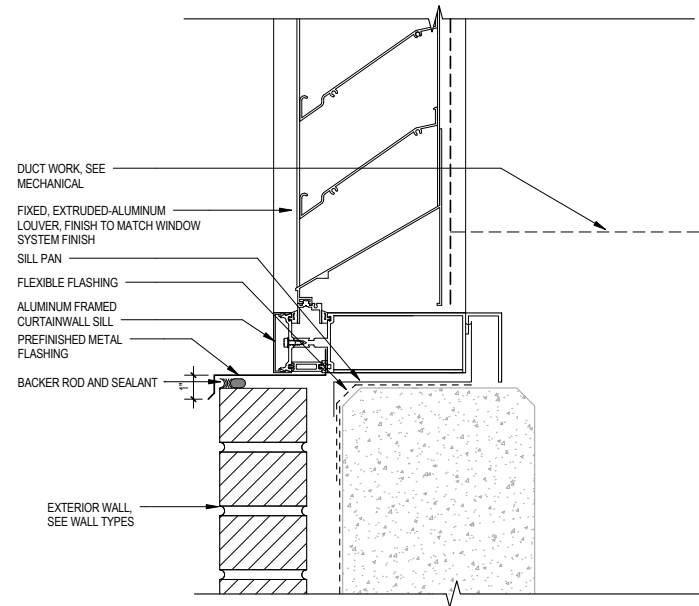
5 EXTERIOR WALL - CURTAINWALL HEAD AT METAL PANEL
3" = 1'-0"



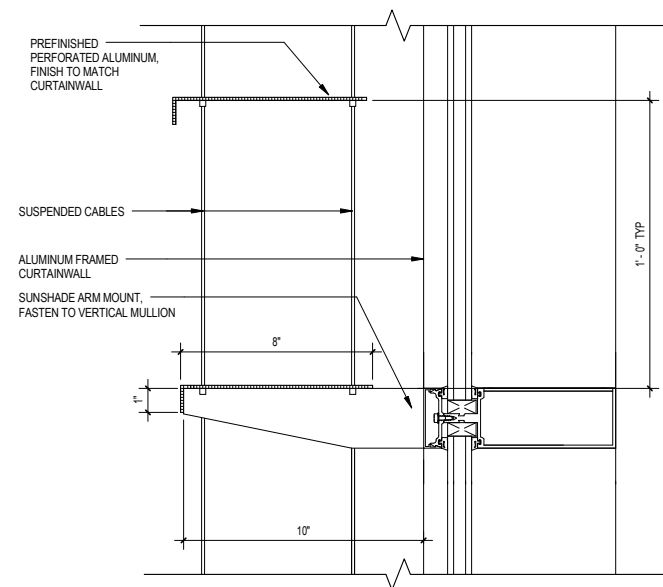
3 EXTERIOR WALL - CURTAINWALL SILL AT BRICK
3" = 1'-0"



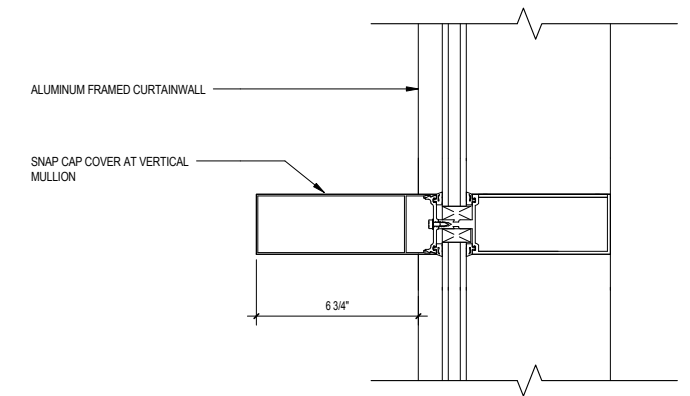
11 EXTERIOR WALL - FIXED LOUVER HEAD
3" = 1'-0"



10 EXTERIOR WALL - FIXED LOUVER SILL
3" = 1'-0"



9 EXTERIOR WALL - CURTAINWALL WITH SUNSHADE
3" = 1'-0"



8 EXTERIOR WALL - CURTAINWALL WITH SNAP CAP
3" = 1'-0"

view from SE



view from NE



view from N



night view from SE



night view from NE

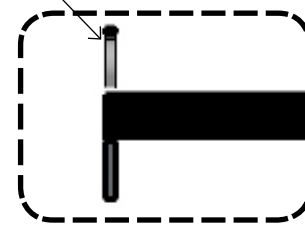
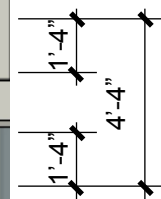




partial east elevation

Note: Diagram shows size of signage proposed (<100sf) and assumed building name; final content of sign TBD

Channel letter signage mounted to top and suspended from bottom of canopy - refer to following page for additional information

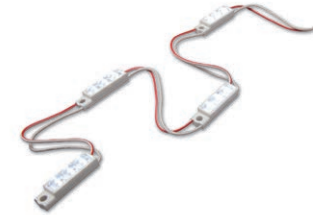


section

GE Lighting

Tetra® miniMAX MS

Huge performance in small channel letters.



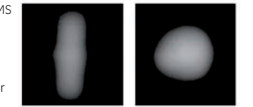
23% smaller than miniMAX



New Tetra® miniMAX MS (Micro System) was created for channel letters as shallow as 1.5 inch (38mm) deep and as narrow as 1/4-inch (13mm) wide. Now even the smallest letters benefit from tremendous efficiency advancements in GE LED technology.

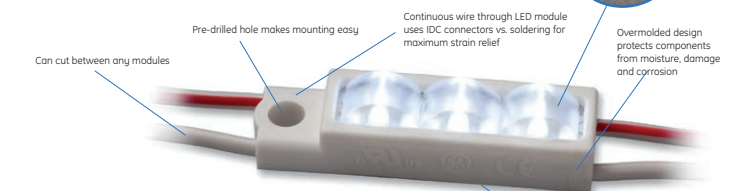
Even narrower light placement than regular miniMAX

Compared to regular miniMAX, new miniMAX MS has a more narrowly focused optic performance that's perfect for narrow channel letters. Precise engineering virtually eliminates wasted light inside the letter—directing it efficiently to the sign face—for superior results.

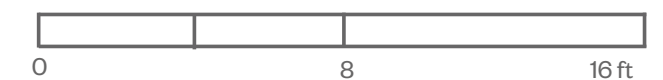


miniMAX MS GEM571-1 vs. miniMAX GEMM71-1

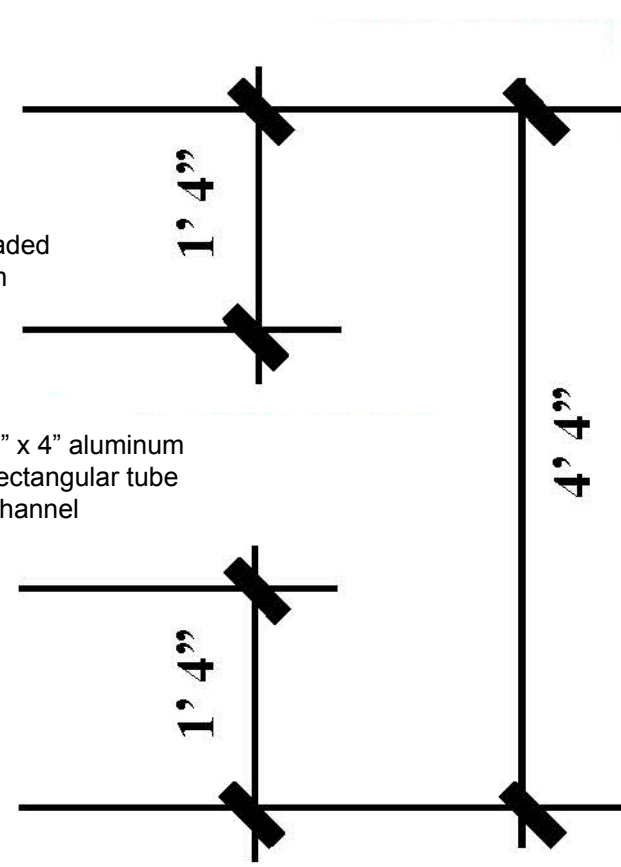
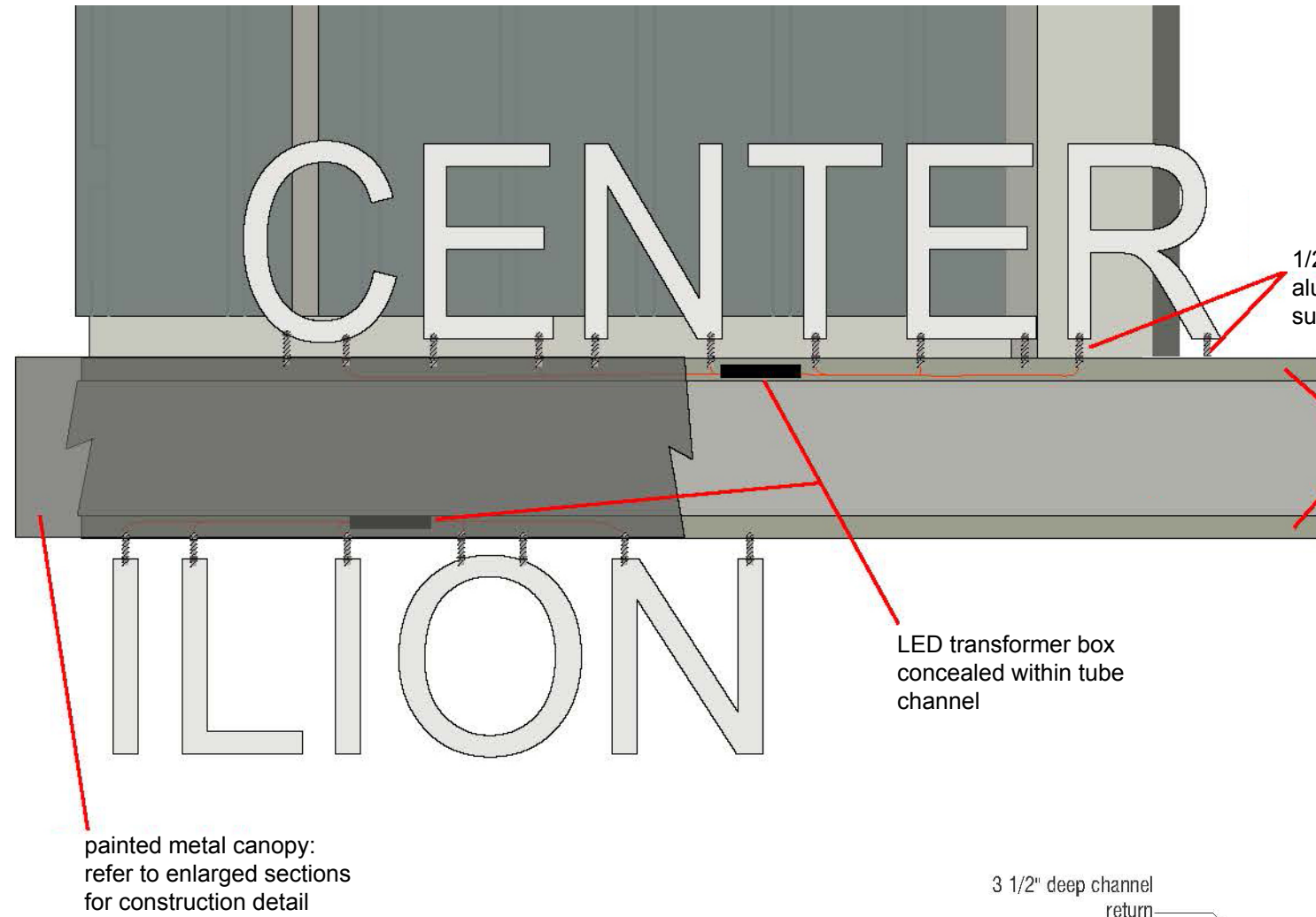
Incredible OptiLens™ maximizes LED performance by capturing otherwise wasted light and redirecting it towards the illuminated surface to create an exceptionally uniform channel letter. It optimizes each LED to allow for narrow stroke spacing, which helps reduce the amount of material needed per letter. OptiLens also helps protect the LED against moisture, humidity, damage and corrosion—for reliable performance that enhances brand image via better looking signs.



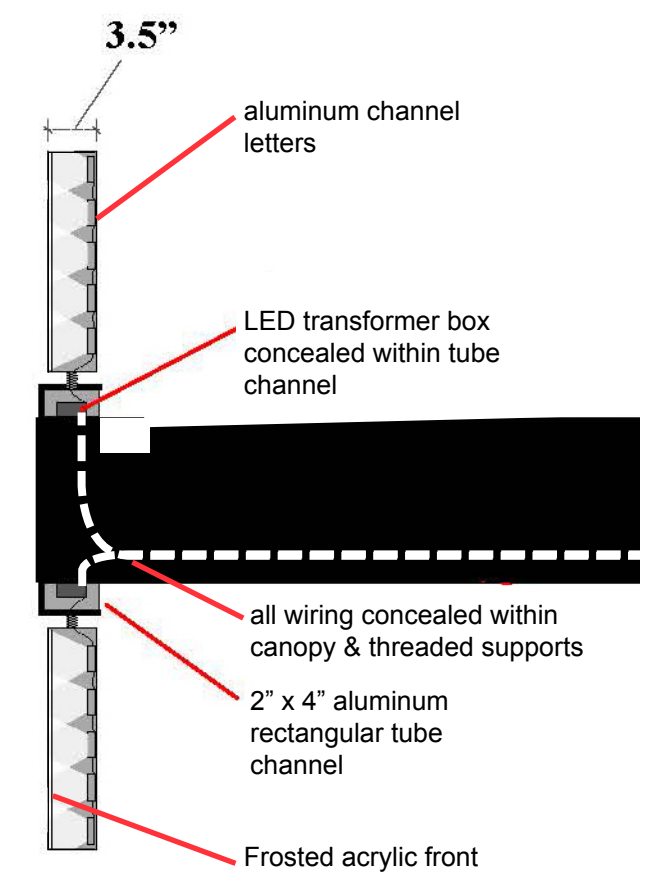
channel letter light fixture (concealed within letters)



sign plans



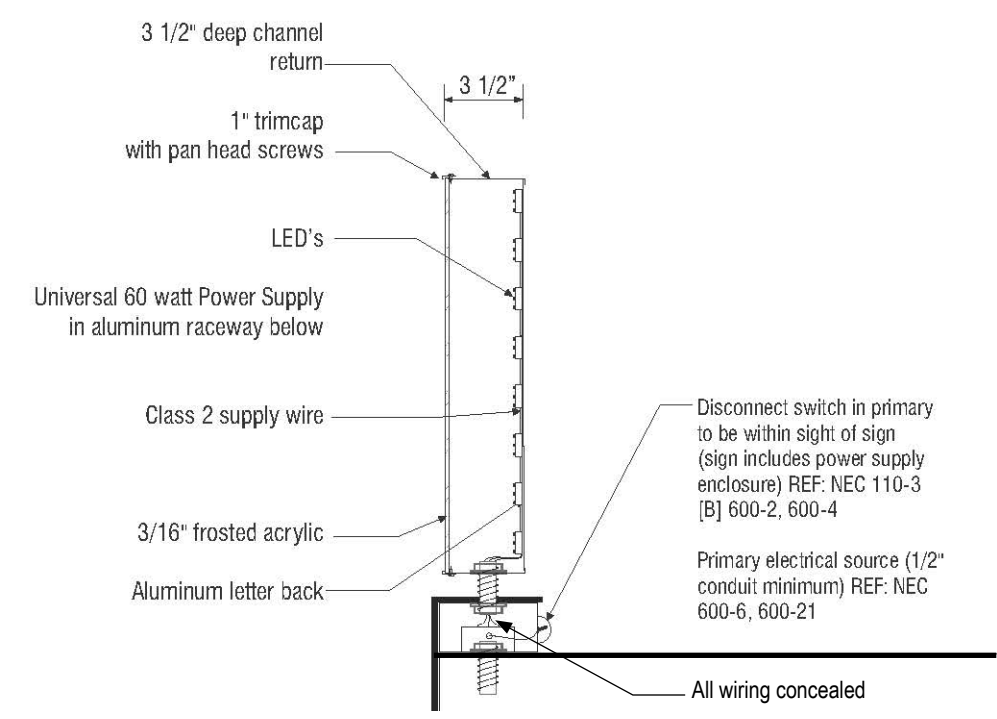
southeast entry



section detail

note:
refer to C.43 for
additional information

east elevation detail



enlarged section detail

sign plans

northeast entry

Extruded metal letters mounted to face of canopy:
Type style and color to match existing at north entry

Two-sided metal blade sign suspended from canopy above



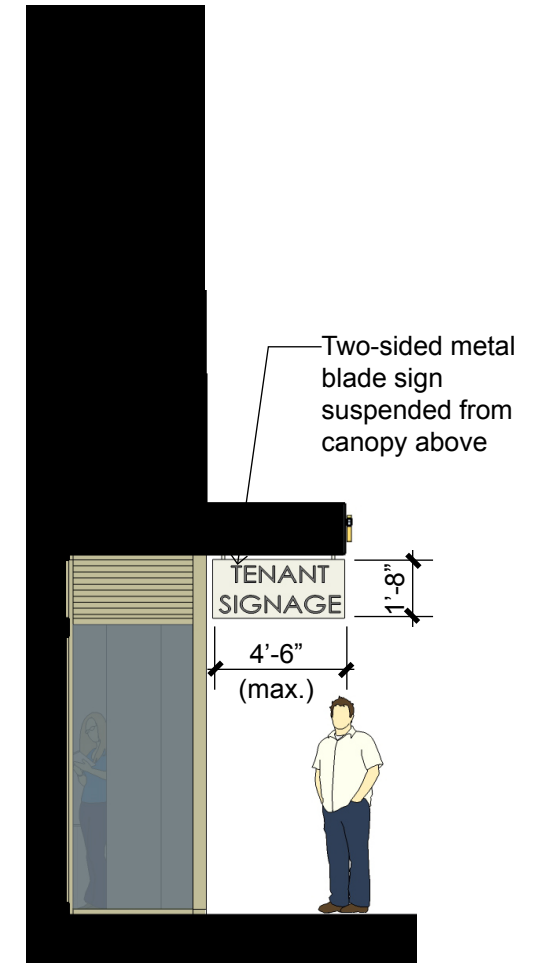
view of northeast entry

Extruded metal letters mounted to face of canopy:
Type style and color to match existing at north entry

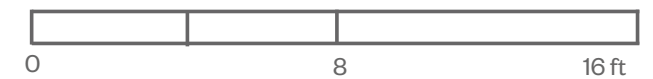


partial north elevation at northeast entry

Two-sided metal blade sign suspended from canopy above

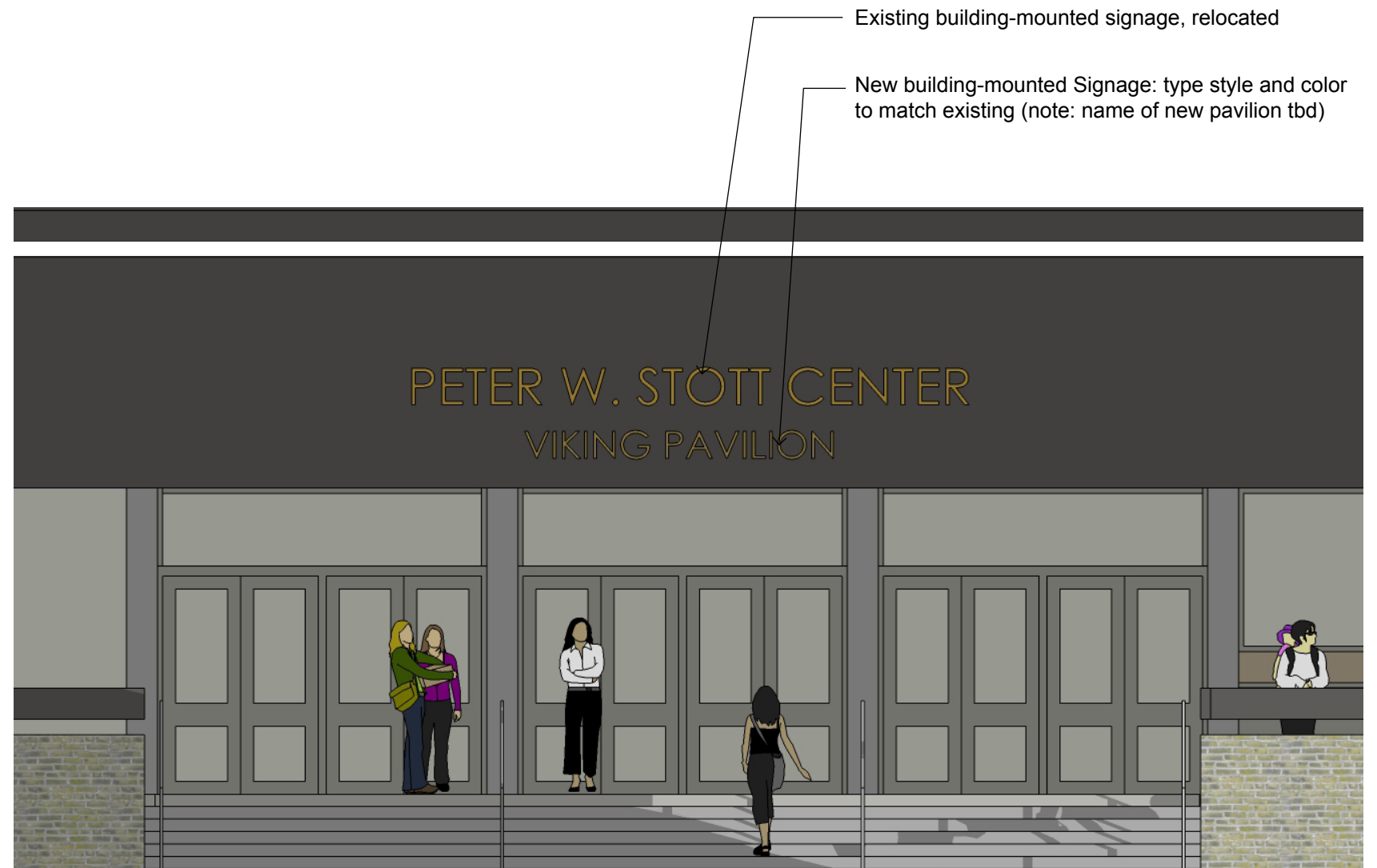


section at tenant signage





existing north entry signage



partial north elevation



central city plan district development standards diagrams

ground floor windows 33.130.230.3 & 33.510.220

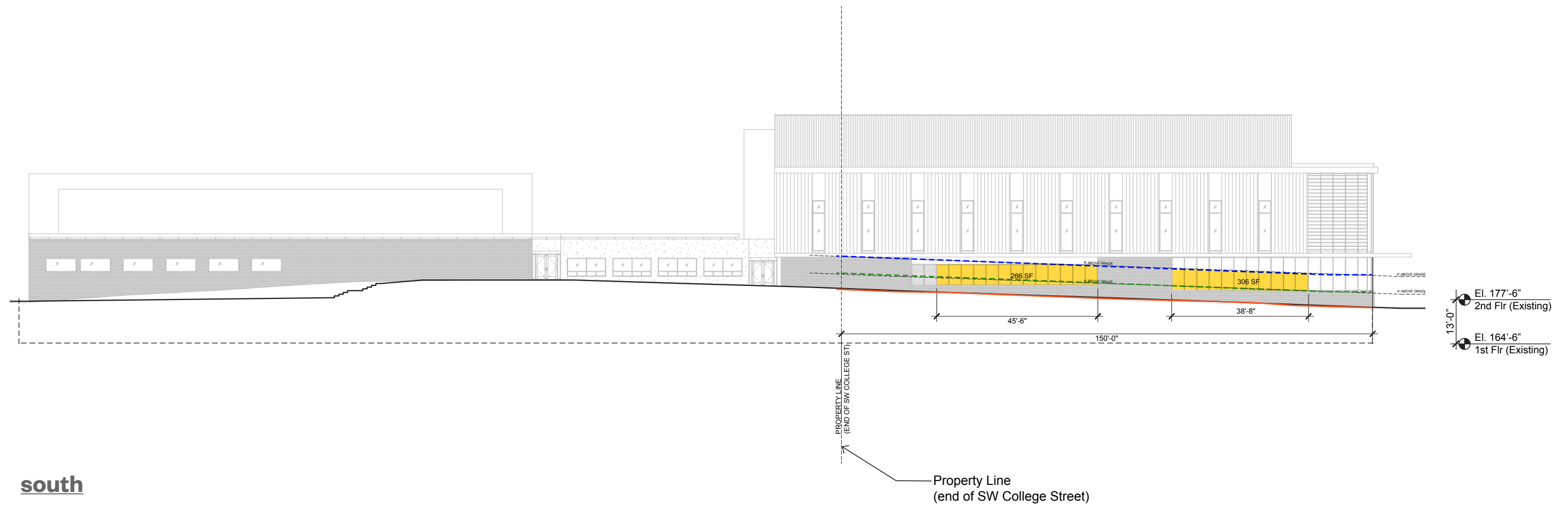
GROUND FLOOR WINDOW REQUIREMENTS (33.130.230.3 & 33.510.220):

- REQUIRED: MINIMUM **50 PERCENT** OF LENGTH OF STREET-FACING FACADE
 LENGTH OF STREET-FACING FACADE: 150'-0"
- PROVIDED: LENGTH OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE*): = 84'-2" = **56 PERCENT**
- REQUIRED: MINIMUM **25 PERCENT** OF GROUND LEVEL WALL AREA (UP TO 9' ABOVE FIN. GRADE)
 GROUND LEVEL WALL AREA: 1,350 SF
- PROVIDED: AREA OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE*): 572 SF = **42 PERCENT**

legend

- top of exterior grade
- - - 4' above grade
- - - 9' above grade
- area of windows/glass doors meeting the standard

*33.910 Grade: The lowest point of elevation of the finished surface of the ground, paving, or sidewalk within the area between the building and the property line or, when the property line is more than 5 feet from the building, between the building and a line 5 feet from the building.



south

central city plan district development standards diagrams

ground floor windows 33.130.230.3 & 33.510.220

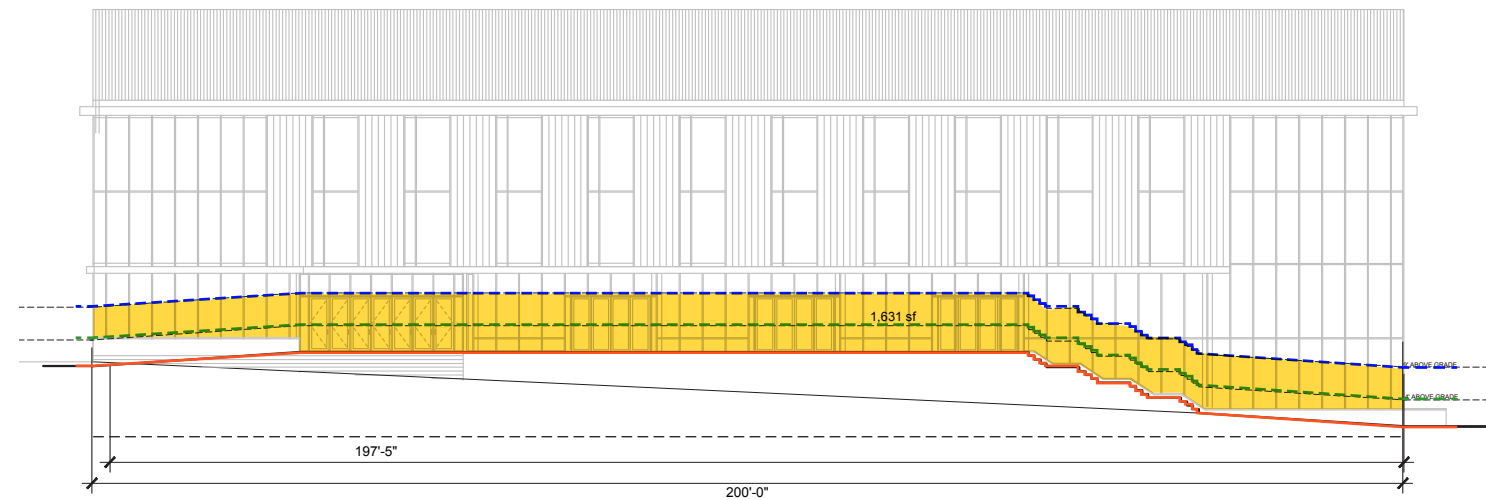
GROUND FLOOR WINDOW REQUIREMENTS (33.130.230.3 & 33.510.220):

- REQUIRED: MINIMUM **50 PERCENT** OF LENGTH OF STREET-FACING FACADE
 LENGTH OF STREET-FACING FACADE: 200'-0"
- PROVIDED: LENGTH OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE*): = 197'-5" = **99 PERCENT**
- REQUIRED: MINIMUM **25 PERCENT** OF GROUND LEVEL WALL AREA (UP TO 9' ABOVE FIN. GRADE)
 GROUND LEVEL WALL AREA: 1,800 SF
- PROVIDED: AREA OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE*): 1,631 SF = **91 PERCENT**

*33.910 Grade: The lowest point of elevation of the finished surface of the ground, paving, or sidewalk within the area between the building and the property line or, when the property line is more than 5 feet from the building, between the building and a line 5 feet from the building.

legend

- top of exterior grade
- - - 4' above grade
- - - 9' above grade
- area of windows/glass doors meeting the standard



El. 177'-6"
2nd Flr (Existing)

El. 164'-6"
1st Flr (Existing)

east



central city plan district development standards diagrams

ground floor windows 33.130.230.3 & 33.510.220

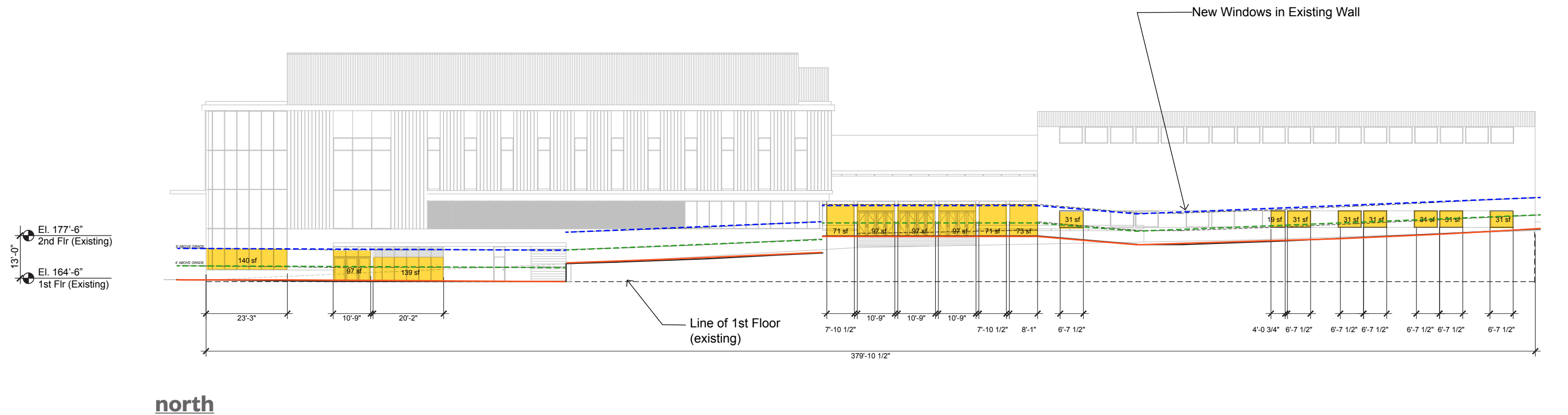
GROUND FLOOR WINDOW REQUIREMENTS (33.130.230.3 & 33.510.220):

- REQUIRED: MINIMUM **50 PERCENT** OF LENGTH OF STREET-FACING FACADE
 LENGTH OF STREET-FACING FACADE: 379' -10 1/2"
- PROVIDED: LENGTH OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE*): = 160' -8" = **42 PERCENT (does not meet requirement)**
- REQUIRED: MINIMUM **25 PERCENT** OF GROUND LEVEL WALL AREA (UP TO 9' ABOVE FIN. GRADE)
 GROUND LEVEL WALL AREA: 3,419 SF
- PROVIDED: AREA OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE*): 1,118 SF = **33 PERCENT**

*33.910 Grade: The lowest point of elevation of the finished surface of the ground, paving, or sidewalk within the area between the building and the property line or, when the property line is more than 5 feet from the building, between the building and a line 5 feet from the building.

legend

- top of exterior grade
- - - 4' above grade
- - - 9' above grade
- area of windows/glass doors meeting the standard



modification request 1

ground floor windows 33.130.230.3 & 33.510.220



Corner glazing at Level 2 Lounge facing north entry and north terrace. Glazing facing terrace does not qualify for Ground Floor Windows (does not face property line) but provides direct, diagonal visual connection to intersection of SW Hall St and SW College as well as to Stott Community Field beyond.

Length of Qualifying Glazing on North Facade does not Meet Requirement:

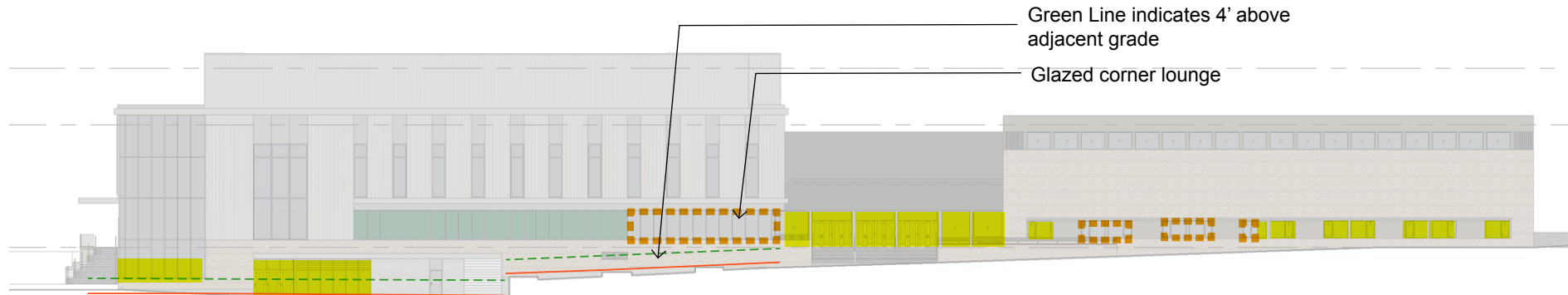
In the CX zone, all exterior walls on the ground level which face a street lot line, sidewalk, plaza, or other open public space or right-of-way must meet the general window standard:

On the North Facade facing SW Hall Street, the length of required glazing does not meet the standard (50% required, 42% provided.) This is due primarily to existing site topography and areas of glazing not meeting the maximum sill height of 4 feet above adjacent grade. A modification for this condition is requested. To better meet the applicable design guidelines and be consistent with the purpose of the standard the design does the following:

- The area of qualifying glazing provided on the north facade exceeds the requirements (25% required, 33% provided). Additionally ground floor glazing on the most public facade, (facing east toward the Park Blocks) considerably exceeds the requirements, (99 percent of length and 91 percent of area meets the standard).

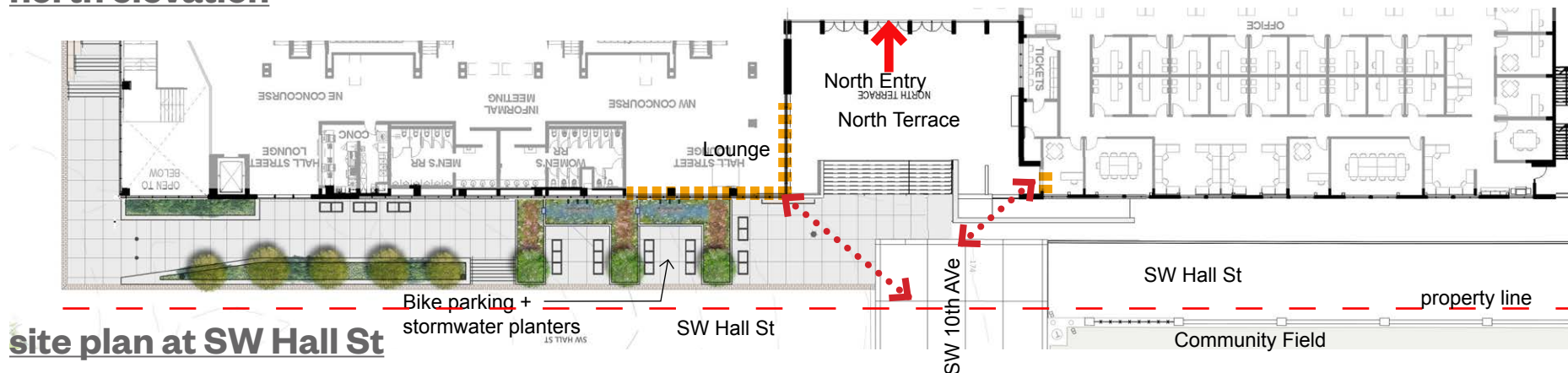
•Based on the relationship of existing floor heights and exterior grade along SW Hall Street, no area of windows at the eastern portion of level 2 meet the Ground Floor Window Standard (the floor is greater than 4' above adjacent grade). With the slope of SW Hall Street, Level 2 is closest to exterior grade at the North Entry. The continuous glazing wrapping the corner at the NW corner of the concourse replaces the existing blank brick walls with an open corner that provides direct visual connections between the arena concourse and NW lounge with the north entry, north terrace, and intersection of SW Hall Street and SW 10th Avenue. This glazed corner also provides diagonal views out to the Stott Community Field.

•Additionally, new windows are created in the west face of the existing gym facing toward the North Terrace: a ticket window and a corner window replacing the existing blank emergency exit doors. The new openings in the currently blank brick wall will be visible from SW Hall Street. In addition to further activating the North Terrace, the new corner window will have views down the street, visually connecting the new Athletics office area with the activity on the street.

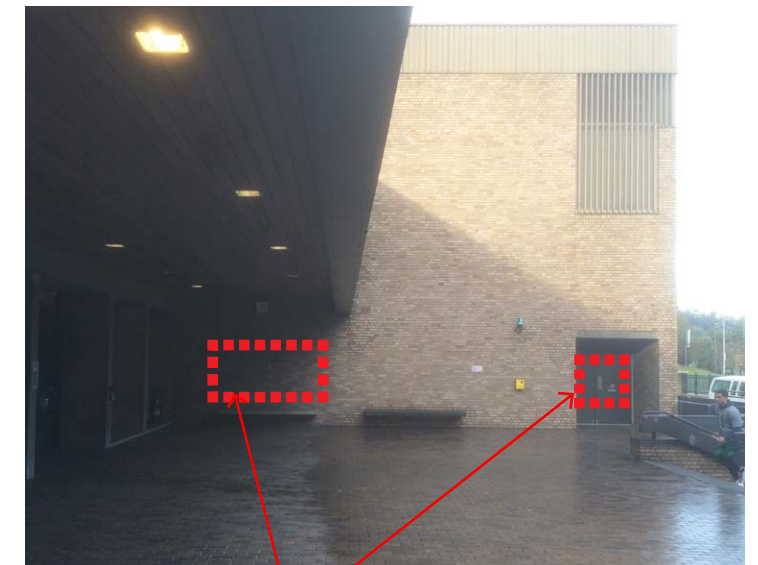


- Ground Floor windows with sill > 4 feet above existing adjacent grade
- Ground Floor windows that meet standard

north elevation

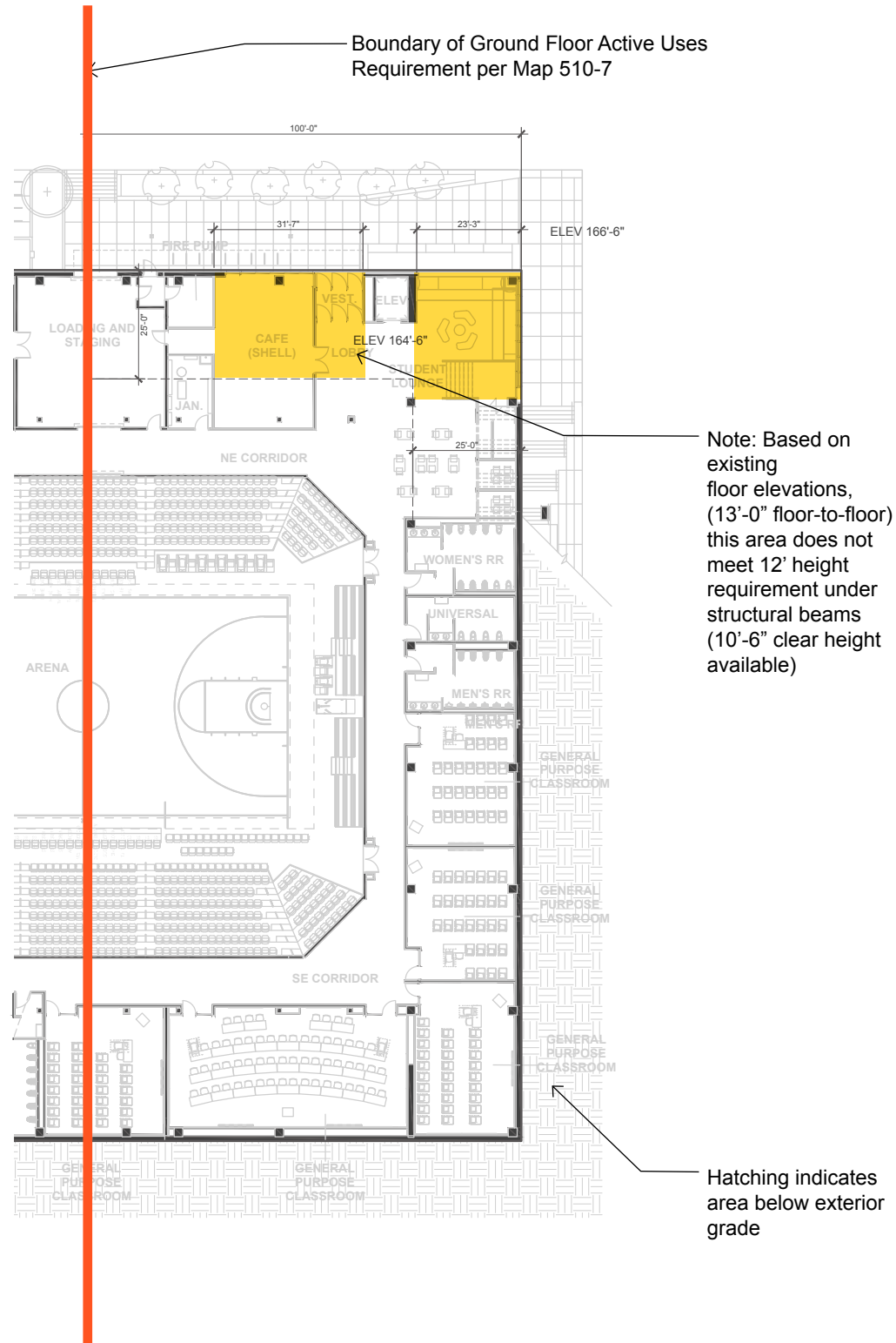


site plan at SW Hall St

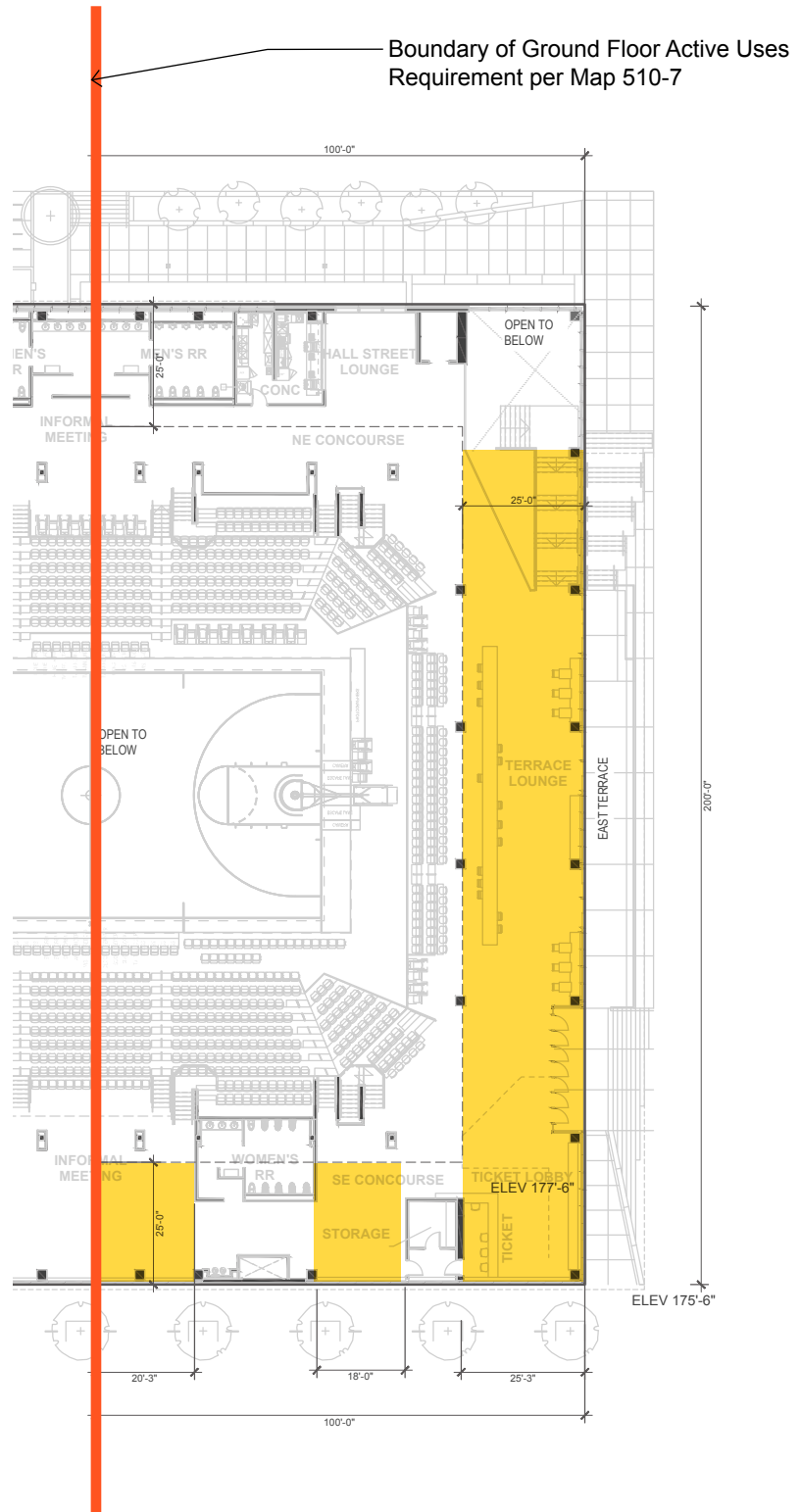


- NEW WINDOW INTO NEW OFFICE AREA (IN EXISTING DOOR OPENING)
- NEW TICKET WINDOWS

existing north terrace looking west



part. plan at level 1 (elev. 164'-6")



part plan at level 2 (elev. 177'-6")

GROUND FLOOR ACTIVE USES (33.510.225):

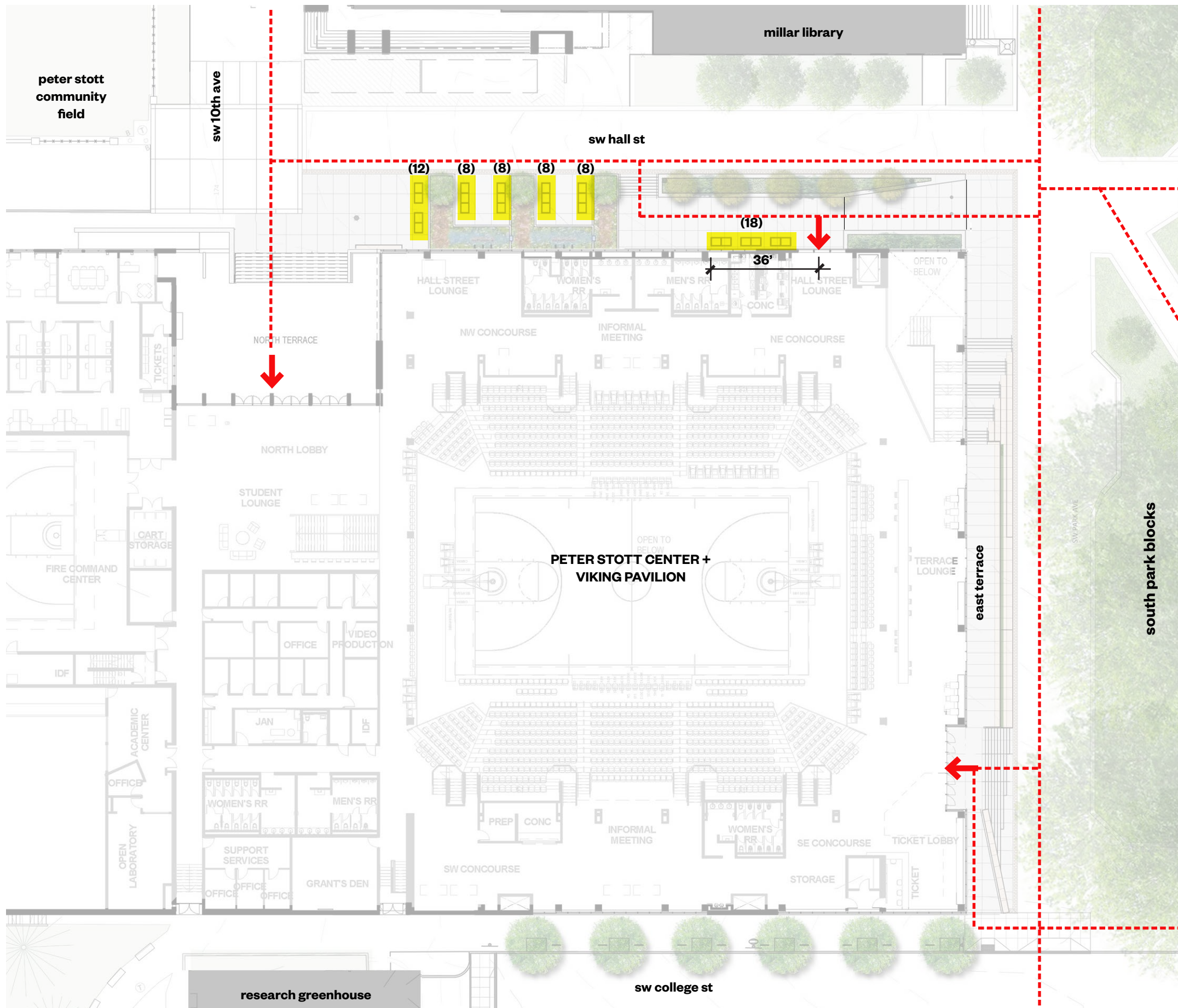
- REQUIREMENTS:
- IN AREAS IDENTIFIED IN MAP 510-7, STANDARD MUST BE MET ALONG AT LEAST **50 PERCENT** OF GROUND FLOOR OF WALLS THAT FRONT ONTO A SIDEWALK, PLAZA, OR OTHER PUBLIC OPEN SPACE.
 - ACTIVE USES INCLUDE, BUT ARE NOT LIMITED TO: LOBBIES, RETAIL, RESIDENTIAL, COMMERCIAL, AND OFFICE
- AREAS DESIGNED TO ACCOMMODATE ACTIVE USES MUST MEET THE FOLLOWING STANDARDS:
1. DISTANCE FROM FINISHED FLOOR TO BOTTOM OF THE STRUCTURE ABOVE MUST BE AT LEAST 12 FEET. THE BOTTOM OF THE STRUCTURE ABOVE INCLUDES SUPPORTING BEAMS.
 2. THE AREA MUST BE AT LEAST 25 FEET DEEP, MEASURED FROM THE STREET-FACING FACADE
 3. THE AREA MUST BE DESIGNED TO ACCOMMODATE A SINGLE TENANT OR MULTIPLE TENANTS. IN EITHER CASE, THE AREA MUST MEET THE STANDARDS OF THE ACCESSIBILITY CHAPTER OF THE STATE OF OREGON STRUCTURAL SPECIALTY CODE.
 4. THE STREET-FACING FACADE MUST INCLUDE WINDOWS AND DOORS, OR BE STRUCTURALLY DESIGNED SO DOORS AND WINDOWS CAN BE ADDED WHEN THE SPACE IS CONVERTED TO ACTIVE BUILDING USES.

- PROVIDED:
- SOUTH: **63.5 PERCENT**
 - EAST: **94 PERCENT**
 - NORTH: **55 PERCENT***
*(32 PERCENT DOES NOT MEET 12' MIN. CLEAR HEIGHT REQUIREMENT BASED ON EXISTING CONDITION OF 10'-6" CLEAR HEIGHT AVAILABLE UNDER EXISTING BEAMS)

Legend

area of active uses at least 25 feet deep





bike parking
33.266.200

Minimum Requirements (Table 266-6):

Use Category: Institutional/College

Long-term bicycle parking

Required: **0***
2, or 1 per 20,000 sq ft. of net building area, or per CU or IMP review*
Provided: **0**

*per 33.258.070 2b(3) Nonconforming Development: Sites that ... are inside the Central City Core Area ... as shown on Map 510-8, are not required to meet this standard for long-term bicycle parking, but are required to meet this standard for short-term bicycle parking;




Short-term bicycle parking

Required: **14** (per 140,000 net sq feet)
(2, or 1 per 10,000 sq ft. of net building area, or per CU or IMP review)
Provided: **62**

33.266.220 Bicycle Parking Standards

A.2b(3). Short-term:
Institutional Campus. On an institutional campus with more than one building or main entrance, the bicycle parking must be either:
-Within 50 feet of a main entrance as measured along the most direct pedestrian access route; or
-If the short-term bicycle parking is more than 50 feet from a main entrance, it must be in a common bicycle parking location along a pedestrian access route

legend

-  bike rack
(psu standard "staple" rack each accommodating 2 bikes)
(#) = bikes accommodated in each group
-  building entry
-  pedestrian access route



spandrel glazing

north elevation



option 1: "viking" green

- Dark green color is both accent color on facade and wraps into interior as 1-story "box" within tall volume of concourse
- Depending on lighting conditions, darker colors both reflect more context and blend in more with adjacent glazing



option 2 light gray/blue/green

- Light gray/blue/green to be more in tonal range of adjacent clear glass, especially when reflecting sky
- Appears more as a more neutral, frosted surface vs specific color

