

4th & Harrison Portland, OR

Type III Design Review Submittal

HARTSHORNE PLUNKARD ARCHITECTURE

MYHRE GROUP ARCHITECTS

LANGO HANSEN

CORE SPACES

02-18-16

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(see separate word doc)

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Portland, OR 97209

Jane Hansen, ASLA, Principal

Civil:

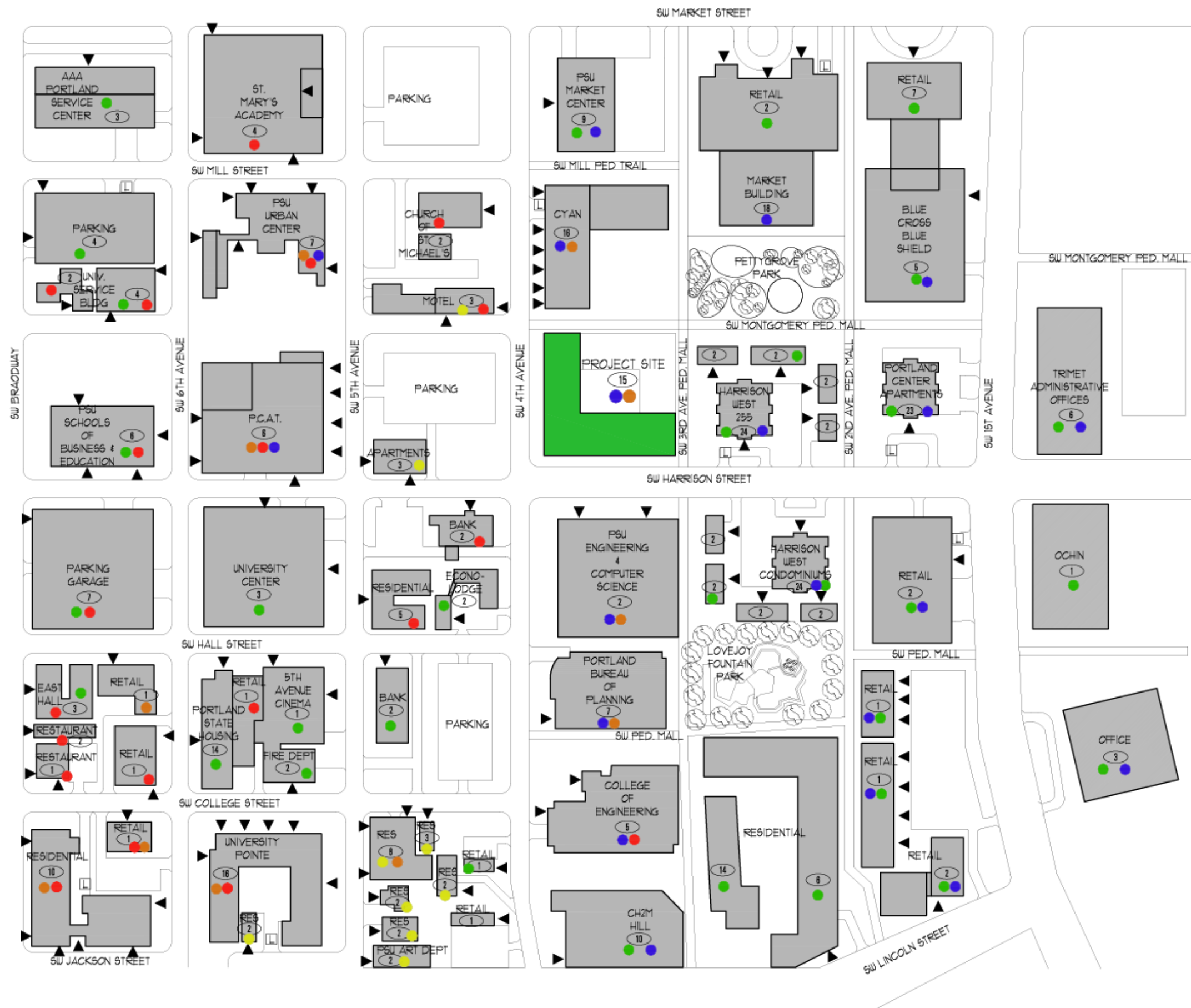
KPFF Eugene Civil
1201 Oak Street, Suite 100
Eugene, OR 97401

Matt Keenan, PE, Associate

Updates/ improvements:

- Revised 3rd & Montgomery elevations – revised programming behind the façade, additional articulation to the massing at the corner and landscaping integrated with the façade
- Metal panel grid/ glass offset remains at 4.5” – see mockup. The 4.5” offset provides a clear definition of planes as opposed to providing a flat façade.
- Roof top equipment screen (same material and color as the mockup) – a perf panel sample will be provided as well as shown in the mock up.

Existing Context 6-Block Vicinity Map



LEGEND	
●	CONCRETE
●	METAL PANEL
●	GLASS
●	MASONRY
●	SIDING
▼	ENTRANCE
□	LOADING
ⓧ	NUMBER OF STORIES
—	CAR ENTRANCE

Section I: Existing Conditions

Existing Context South Auditorium District Vicinity Map



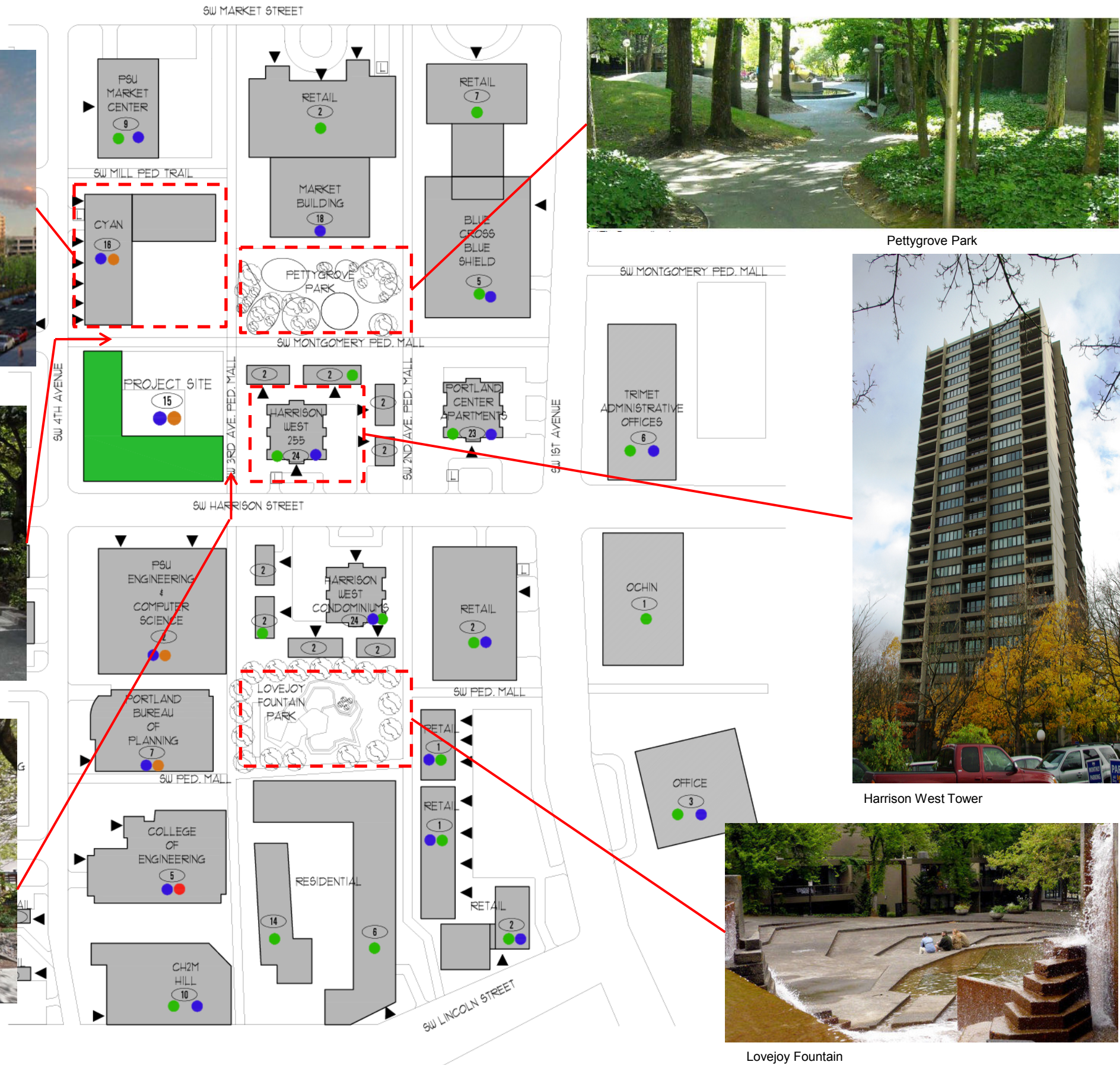
Cyan/PDX



Montgomery Ped Trail, SE view



3rd Ave Ped Trail, NE view



Pettygrove Park



Harrison West Tower



Lovejoy Fountain

LEGEND	
●	CONCRETE
●	METAL PANEL
●	GLASS
●	MASONRY
●	SIDING
▼	ENTRANCE
⊞	LOADING
ⓧ	NUMBER OF STORIES
—	CAR ENTRANCE

Section I: Existing Conditions

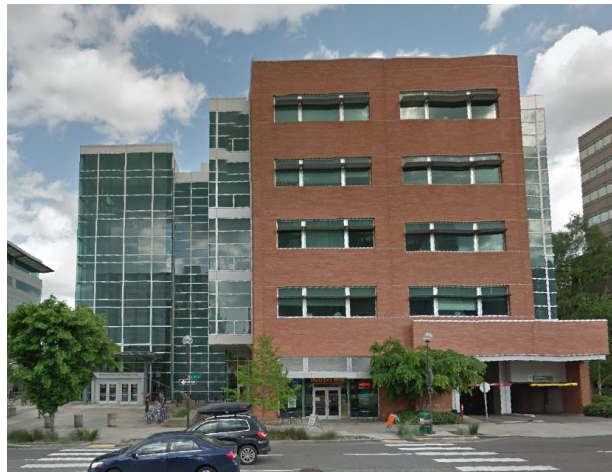
Existing Context South Auditorium District Vicinity Map



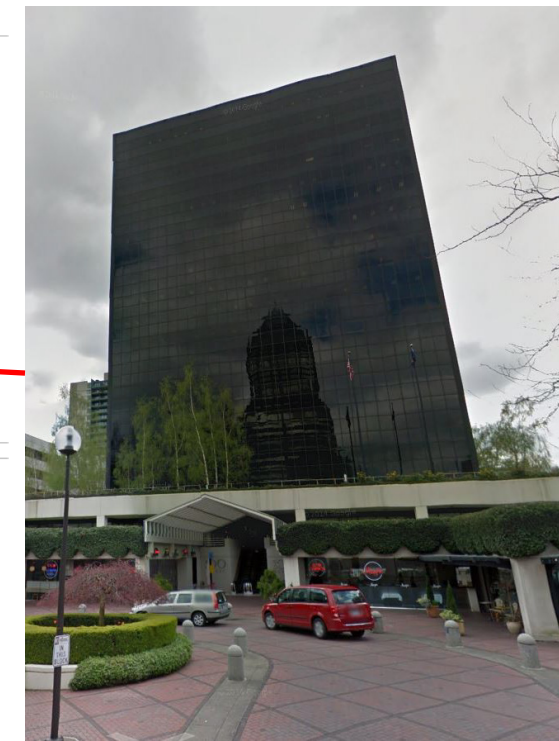
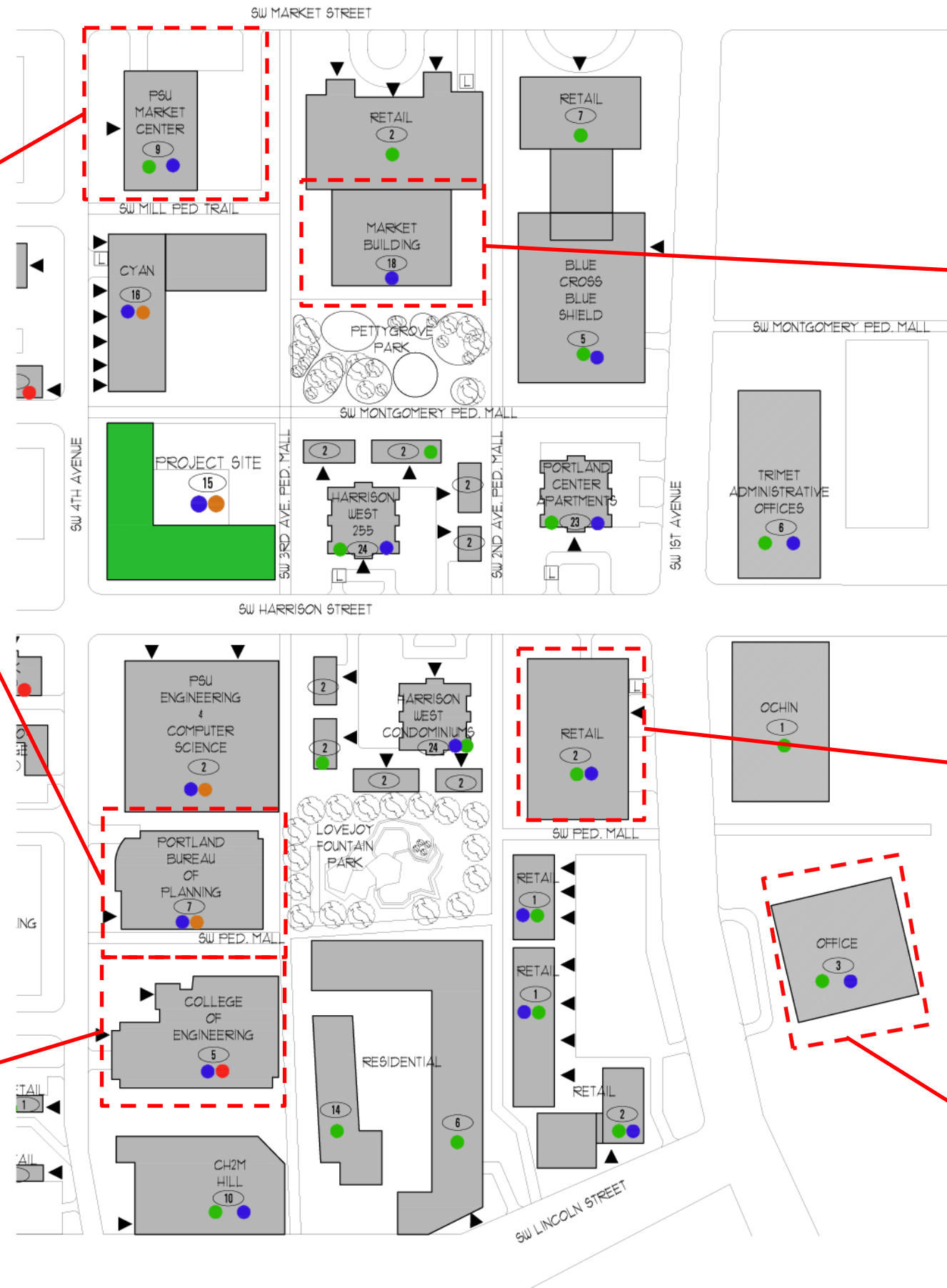
Portland State University, Market Center Building, 4th & Market



City of Portland, Planning Department & Bureau of Development Services, 4th & Hall



Maseeh College of Engineering and Computer Science, 4th & College



Black Box, 200 Market



1st & Harrison, Harrison Towers beyond

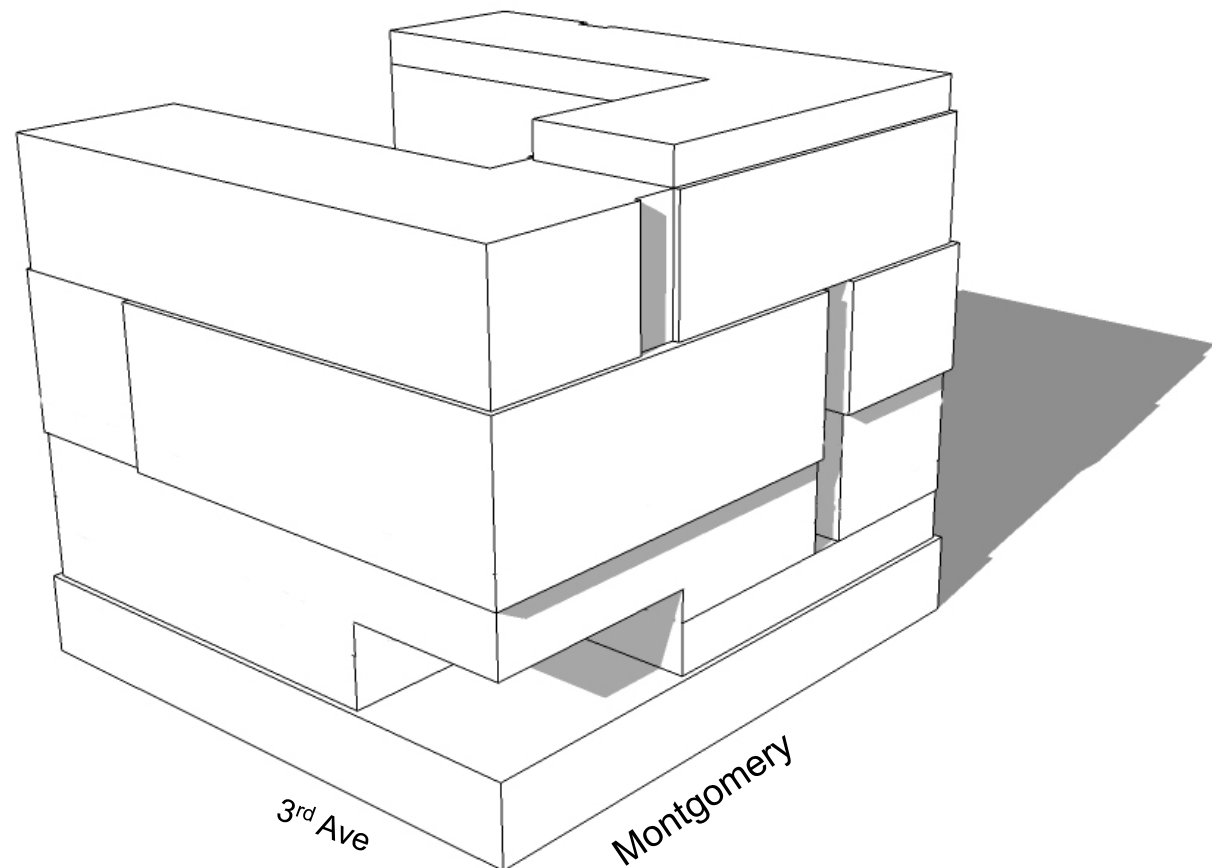


Make a Wish Foundation, 1st & Lincoln

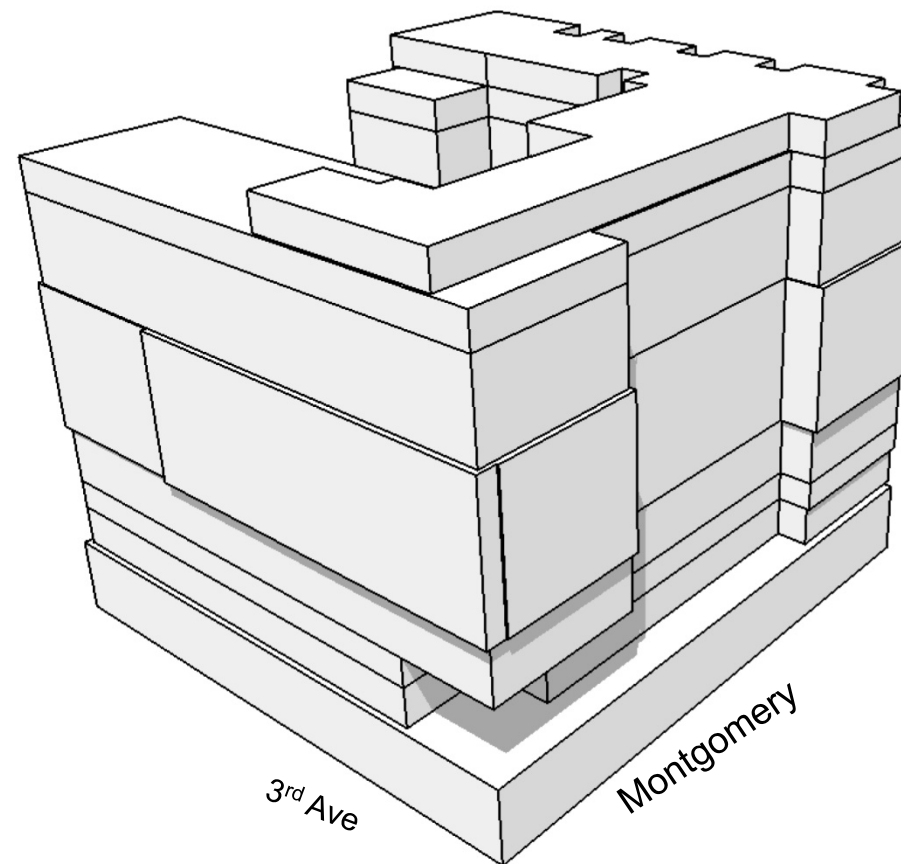
LEGEND	
●	CONCRETE
●	METAL PANEL
●	GLASS
●	MASONRY
●	SIDING
▼	ENTRANCE
□	LOADING
⊗	NUMBER OF STORIES
—	CAR ENTRANCE

Section I: Existing Conditions

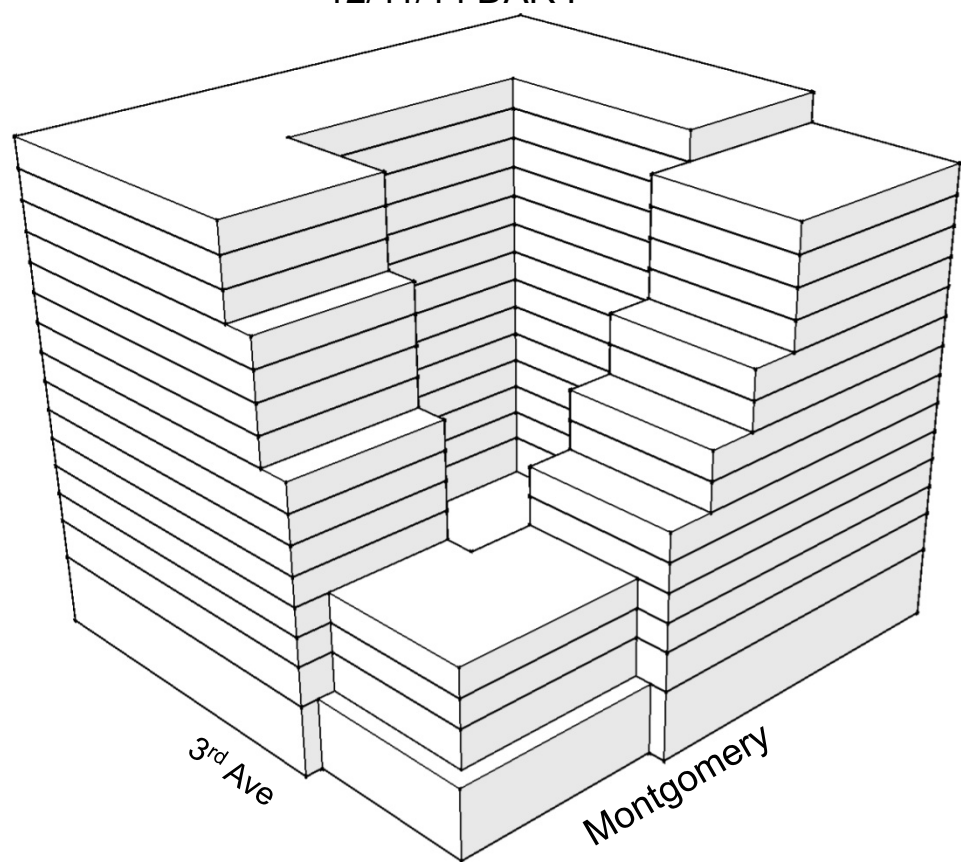
Massing Progression



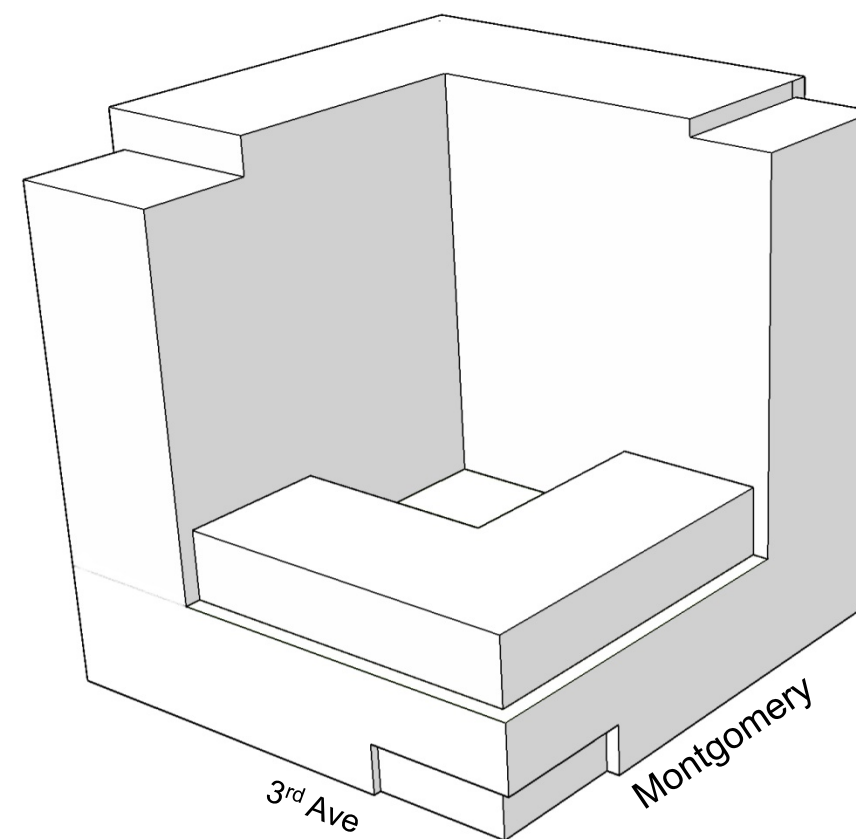
12/11/14 DAR I



2/19/15 DAR II



03/12/15 DAR III

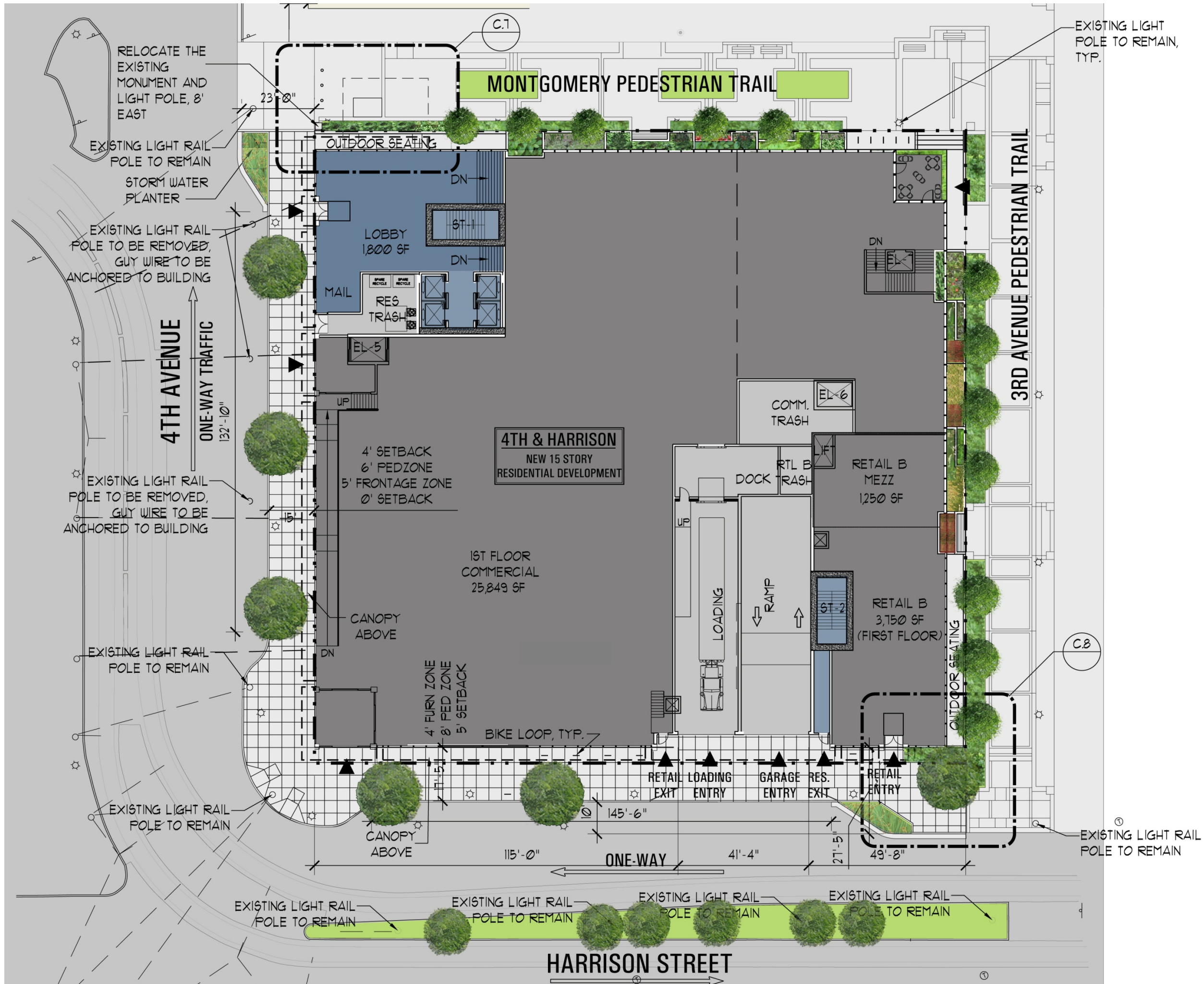


06/18/15 DAR IV

- DAR I: C-shaped building with a courtyard facing Harrison and a 2nd floor active terrace facing Pettygrove Park
- DAR II: H-shaped building with a courtyard facing Harrison and a deeper 2nd floor active terrace facing Pettygrove Park and along Montgomery
- DAR II: A disintegrated C-shaped building with an active terrace Pettygrove Park
- DAR IV: An L-shaped building with the mass located along 4th and Harrison, with a deep 2nd floor terrace along 3rd and Montgomery and an active 4th floor terrace overlooking Pettygrove Park



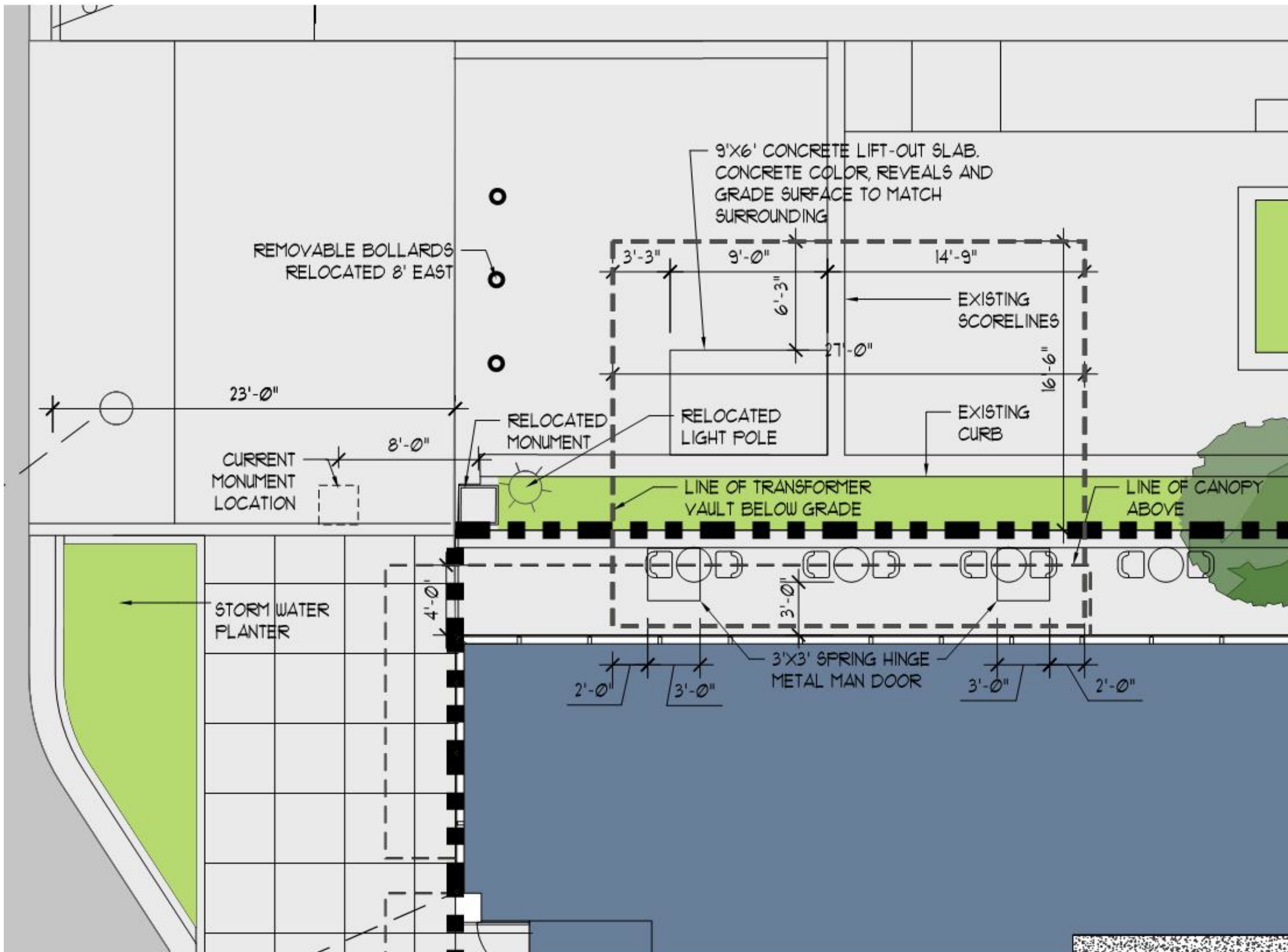
Proposed Site Plan/Ground Level Plan



- Historic Monument at 4th & Montgomery moved 8' East.
- Transformer vault location finalized and approved
- Additional trees added to 3rd and Montgomery
- Stormwater planter shape updated
- Additional planting added adjacent to Retail B to incorporate the street tree and encourage pedestrians to avoid walking into the existing historic monument

4th & Montgomery enlarged plan

- Historic Monument at 4th & Montgomery, the bollards and the light pole - moved 8' East.
- Transformer vault location finalized and approved by Pacific Power. Vault lid and lift out slab to match surrounding concrete mix design & aggregate noted below and at time of construction a sample will be used to match color.



Mix ID Number: 221-6KPG8F00

Concrete Mix Design

MIX DESIGN QUANTITIES						
Material	Product/Source	SG	Weight	Volume	Mass	Volume
Cement	Ashgrove, Type I-II	3.15	400 lb	2.04 ft ³	237 kg	0.075 m ³
Fly Ash	None	2.68	0 lb	0.00 ft ³	0 kg	0.000 m ³
Slag	Ashgrove, Dura Slag	2.90	170 lb	0.94 ft ³	101 kg	0.035 m ³
Water(Total)	Well/Linton R-Mix Plant 1	1.00	270 lb	4.33 ft ³	160 kg	0.160 m ³
1"-#4 R/C	Reichhold S&G	2.67	800 lb*	4.80 ft ³	474 kg*	0.178 m ³
3/8" - #8 Rd	Cemex Canby	2.55	800 lb*	5.03 ft ³	474 kg*	0.186 m ³
Man/Nat/Dredge Sanc	Reichhold S&G	2.62	1369 lb*	8.38 ft ³	812 kg*	0.310 m ³
Admixtures	Grace	1.00	2 lb	0.03 ft ³	0.98 kg	0.001 m ³
Total Mix Weight (Mass):			3811 lb		2260 kg	
Air(Entrap/Entrain)		5.5 %		1.49 ft ³		0.055 m ³
Total Mix Volume:				27.00 ft ³		1.000 m ³

ADMIXTURES					
Product	ProductName/Type	SG	Dosage Rate	Dosage (English)	Dosage (Metric)
Air Entrainment	Grace Daravair 1000	1.00	0.44 oz/cwt**	2.5 oz/cy**	97.0 mL/m ³ **
Water Reducer	Grace WRDA-64	1.00	4.00 oz/cwt**	22.8 oz/cy**	881.7 mL/m ³ **
Addl Fibers			lb/cy**	0.0lb/cy**	0.0 kg/m ³ **

MIX DESIGN PROPERTIES					
Aggregate Properties	Product	ODOT#*	SG	Abs FM	Unit Weight
1"-#4 R/C	2021-1.000-000#4-001	05-040-1	2.67	2.0	105.0 pcf 1682 kg/m ³ Dry Rodded
3/8" - #8 Rd	2236-0.375-000#8-001	03-108-1	2.55	4.5	
Man/Nat/Dredge Sanc	2021-00000-0SAND-004	05-040-1	2.62	3.5 2.90	
Plastic Properties:			Slump:	4.0 ± 1.0 inch	100 ± 25 mm
			Air Content:	5.5 ± 1.5 %	
			Unit Weight (Wet):	141.1 pcf	2260 kg/m ³
Design Properties:			Required Strength (fc):	3000 psi @ 28 days	21 MPa @ 28 days
			Total Cementitious:	570 lb 6.06 Sack	338 kg
			Fly Ash %:	0.0 %	Slag %: 29.8 %
			w/c Ratio***:	0.48 (incl Admix)	

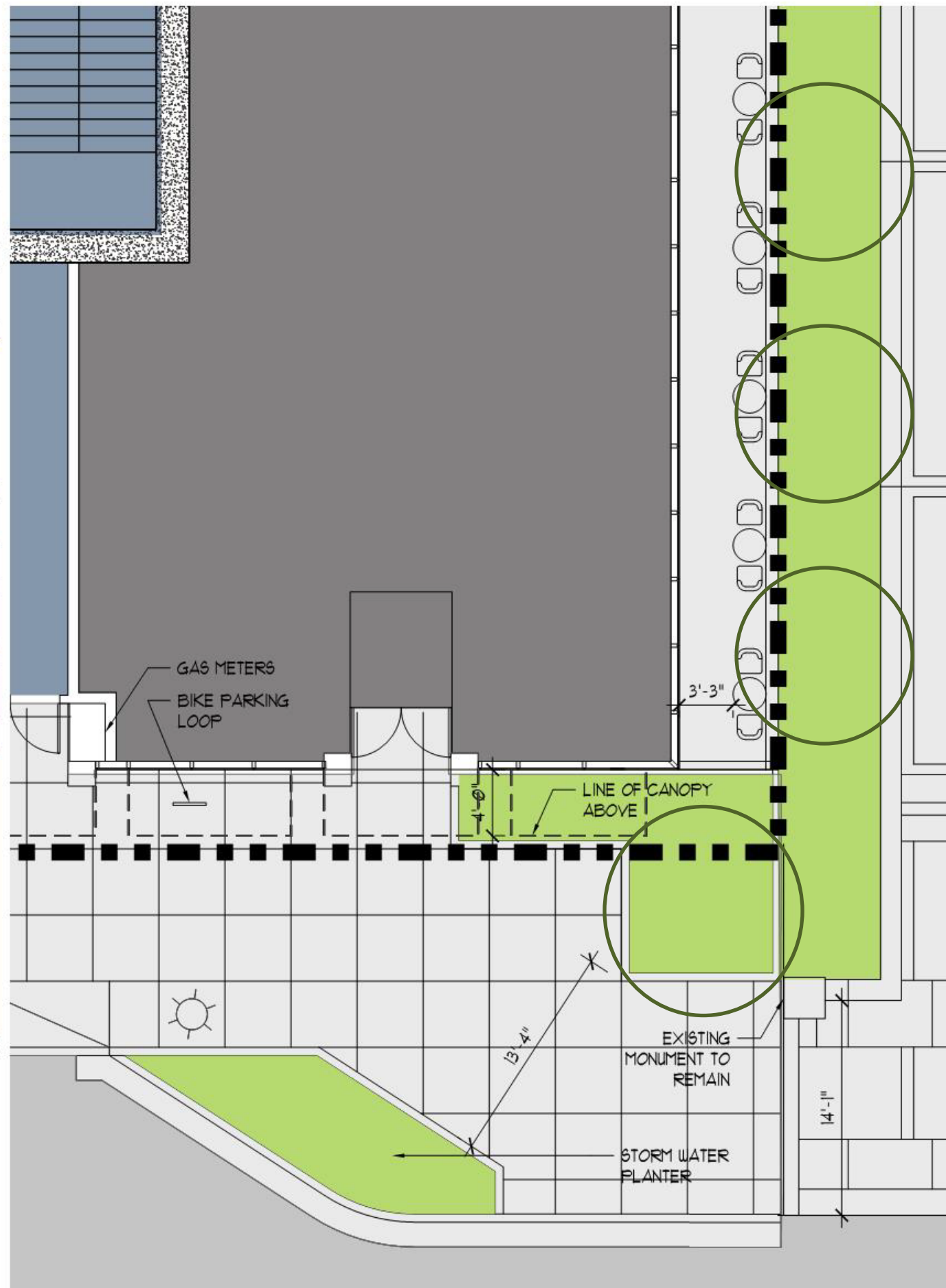
Project: CITY OF PORTLAND
 Contractor: JOHN HYLAND CONSTRUCTION
 Comments: FOR USE AS COMMERCIAL 3000 PSI

Footnotes: *SSD Weights and SG. ** Admixture dosage rate will be adjusted according to manufacturer's recommendations to accommodate varying field conditions. *** This is a design w/c ratio and production w/c ratio may vary as recognized by industry standards such as ASTM C 94. *ODOT Source #.

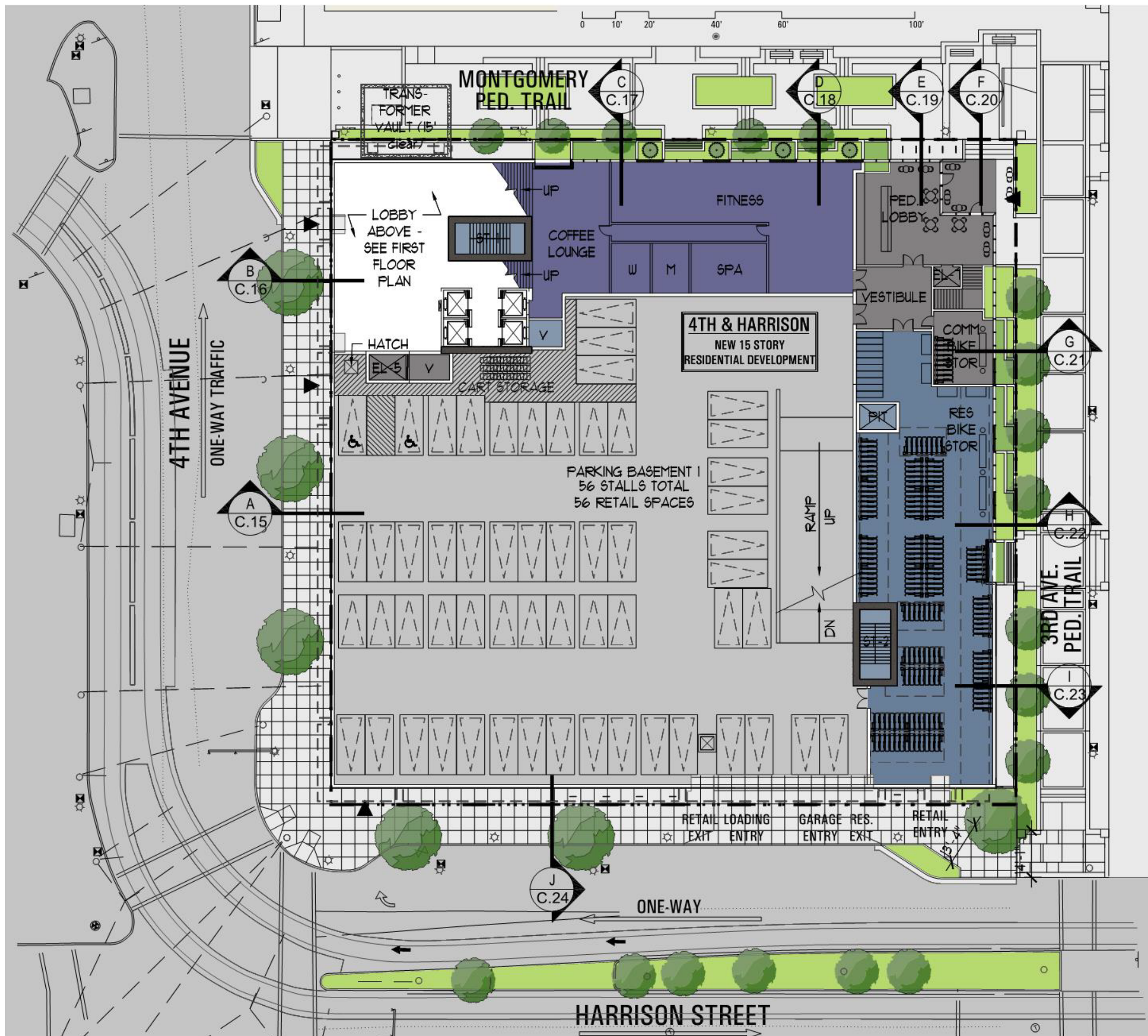
Submitted By: KELLY ALEXANDER Date Submitted: 1/8/2016
 Designed By: BRICE OLSEN CCT #44161

3rd & Harrison enlarged plan

- Historic Monument to remain. Planters and trees added to keep pedestrians from tripping.
- Canopies shown graphically
- Furniture added for clarity
- Dimensions shown – 12' walk way requested by PBOT. Narrowest dimension is 13'-4".



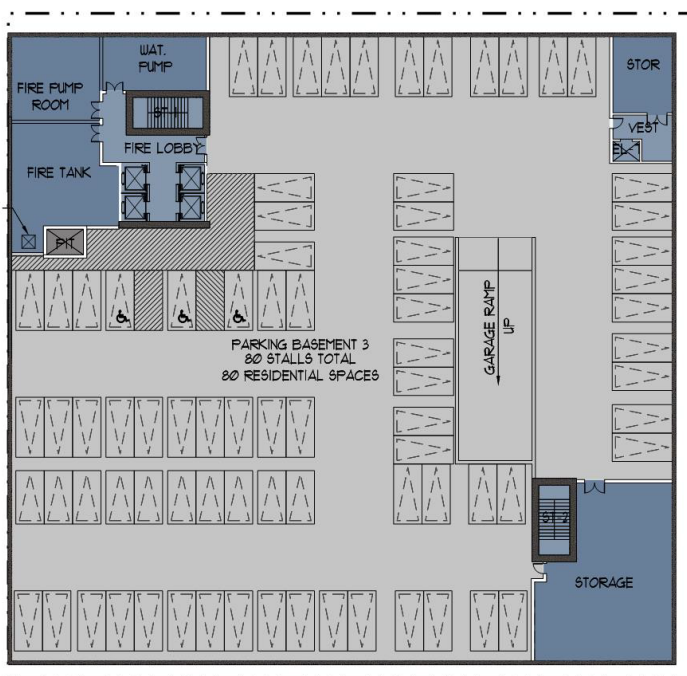
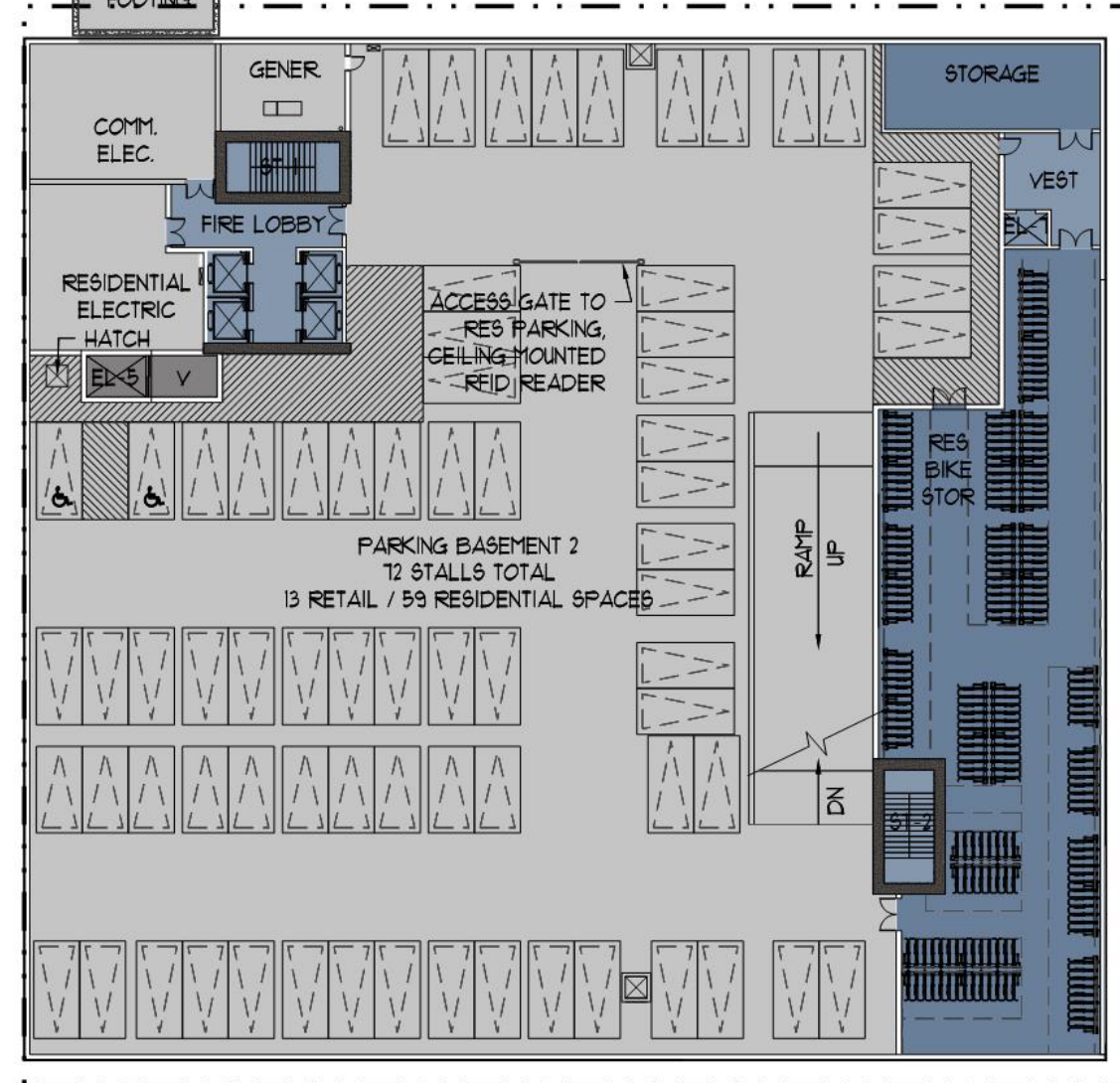
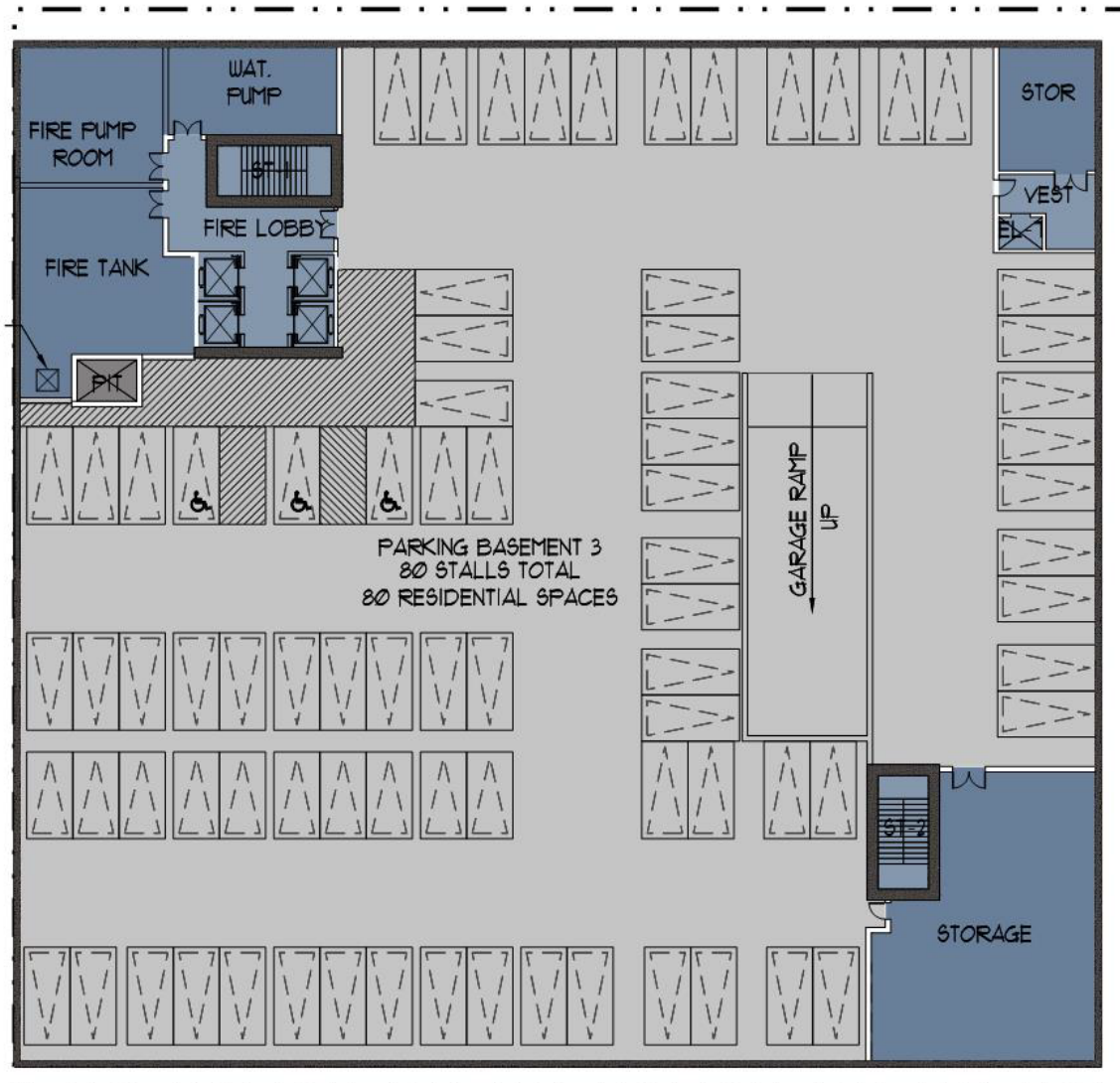
Section II: Design Proposal



Proposed Lower Level Plan 1

- A residential fitness and coffee lounge amenity space was added to basement 1 – adjacent to the Montgomery Pedestrian Trail. Active space will be visible for pedestrians.
- Residential bike storage has been updated to show a bench and bike repair area adjacent to the pedestrian trail on 3rd.
- The Pedestrian Entrance from 3rd & Montgomery has been enlarged to contain seating and a sales area for the grocer
- The transformer vault is located on Montgomery Ave Pedestrian Trail – it is partially on our property, but not engaging the building. The location has been approved by Pacific Power. It will be entirely underground and the top of the vault will be concrete to match color and texture of the surrounding surface

Proposed Lower Level Plans



Lower Level 3

Lower Level 2



- A gate was added at the 2nd lower level to separate the retail parking from the residential spaces.
- A 3rd lower level is proposed to accommodate the lost parking in basement 1.
- 208 Below Grade parking stalls:
Grocer = 66 spaces
(33,000 SF/1,000) x 2
Retail B = 5 spaces
Residential = 137 spaces
- Ample bike parking for residents and retail
- Optional Lower Level 4 – would add an additional 80 residential parking spaces

Optional Lower Level 4

Section II: Design Proposal

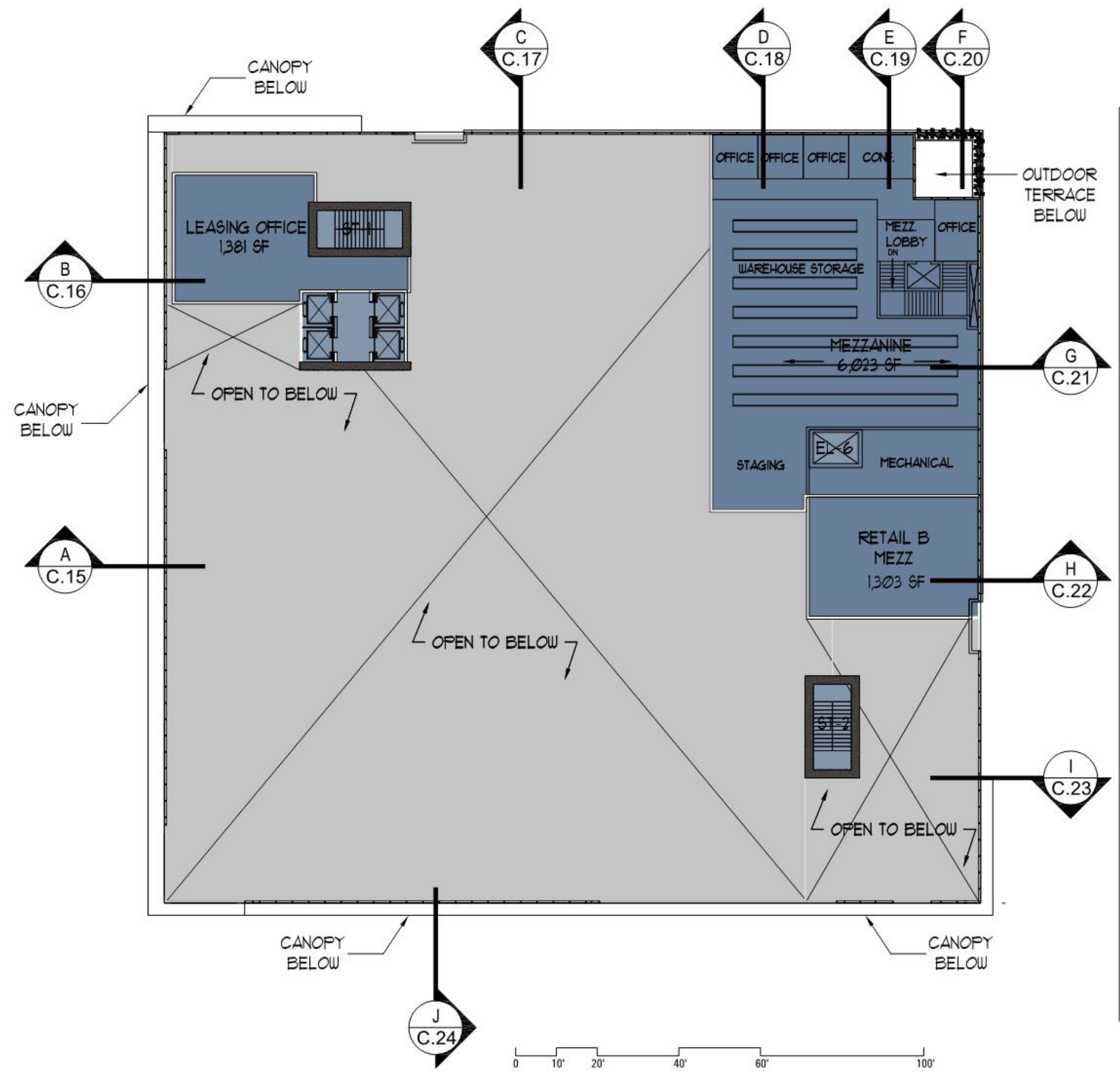


Proposed 1st Floor Plan



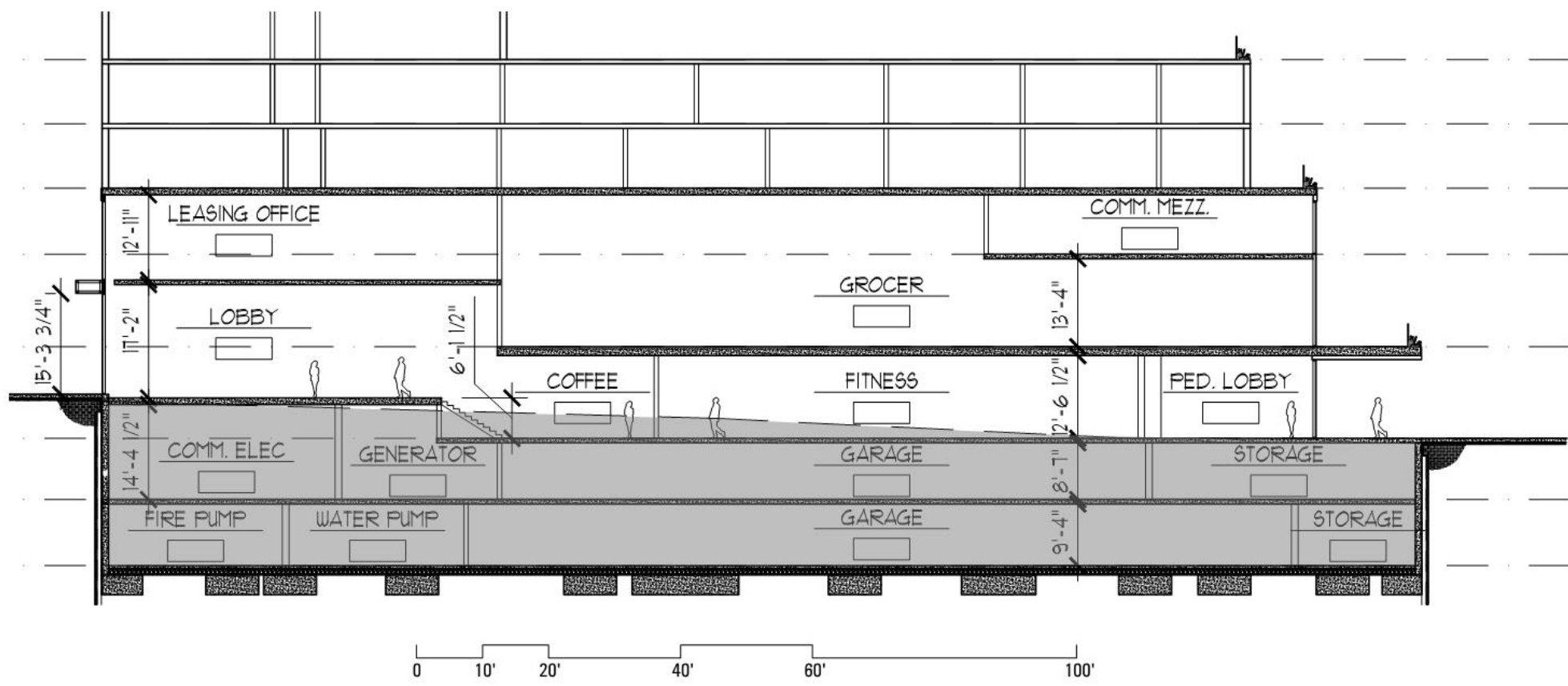
Section II: Design Proposal

Proposed Mezzanine Plan



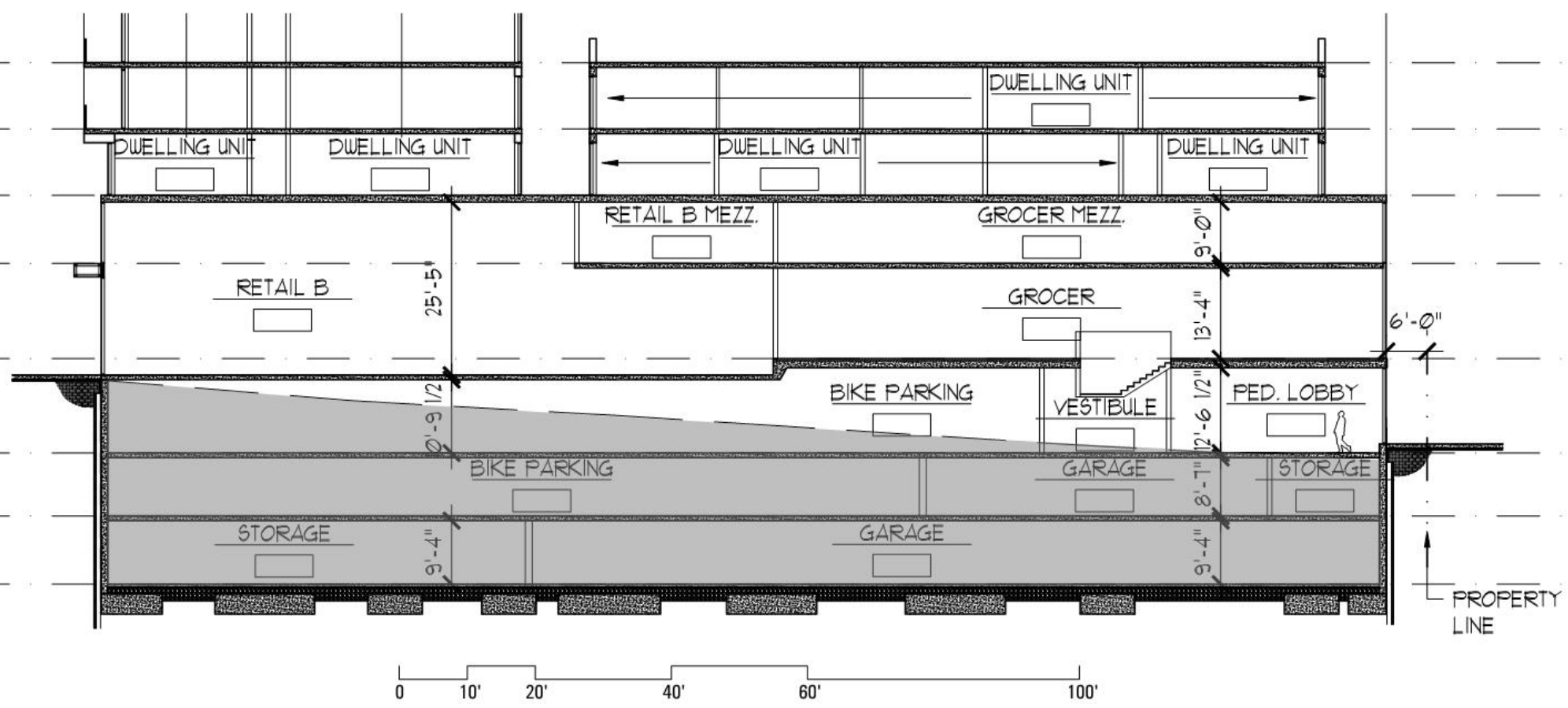
Section II: Design Proposal

Building & Site Sections

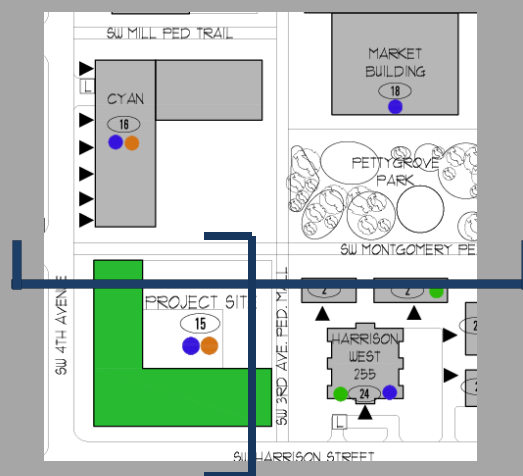


T/ 4TH FLOOR SLAB	EL: +43'-6"
T/ 3RD FLOOR SLAB	EL: +33'-9"
T/ 2ND FLOOR SLAB	EL: +24'-0"
T/ MEZZANINE FLOOR SLAB	EL: +14'-0"
T/ 1ST FLOOR SLAB	EL: +0'-0"
T/ BASEMENT 01	EL: -13'-10 1/2"
T/ BASEMENT 02	EL: -23'-1 1/2"
T/ BASEMENT 03	EL: -33'-1 1/2"

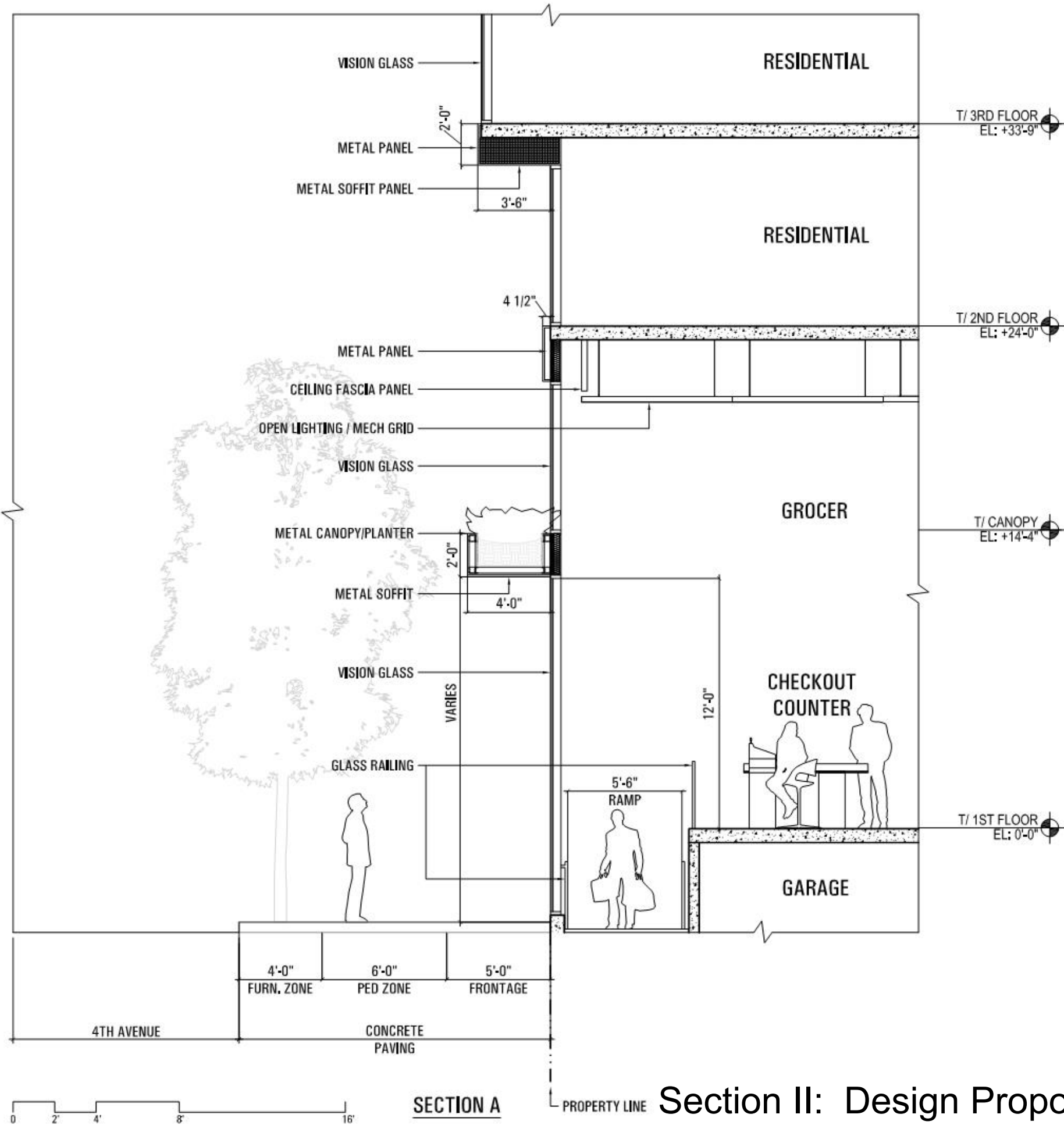
ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



T/ 4TH FLOOR SLAB	EL: +43'-6"
T/ 3RD FLOOR SLAB	EL: +33'-9"
T/ 2ND FLOOR SLAB	EL: +24'-0"
T/ MEZZANINE FLOOR SLAB	EL: +14'-0"
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T/ BASEMENT 03	EL: -33'-1 1/2"



Building/ Site Sections

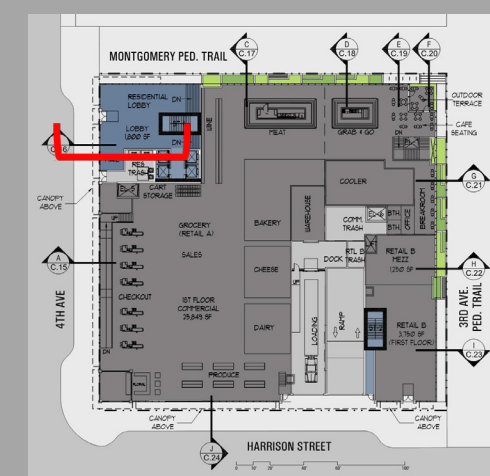
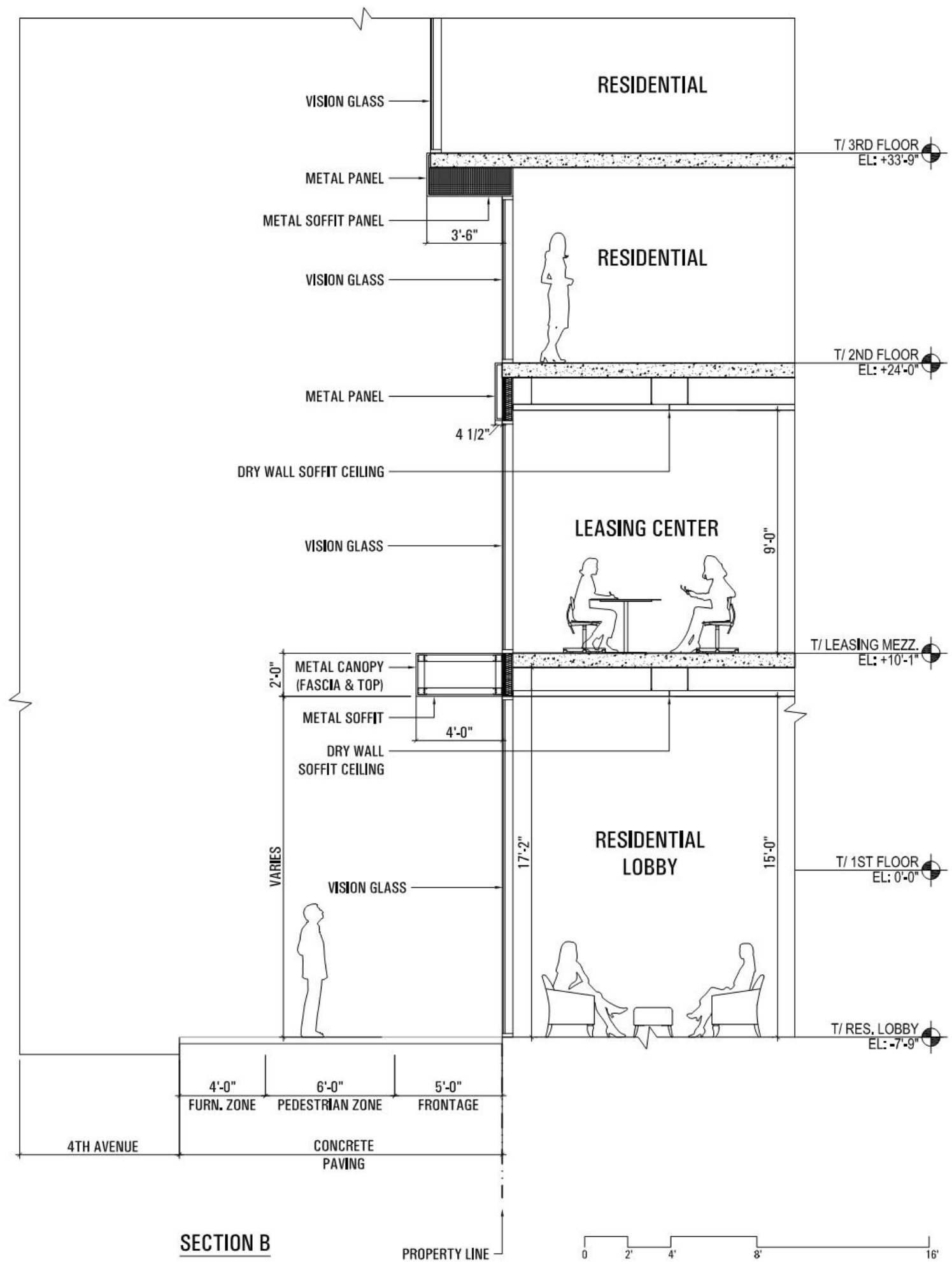


Section II: Design Proposal



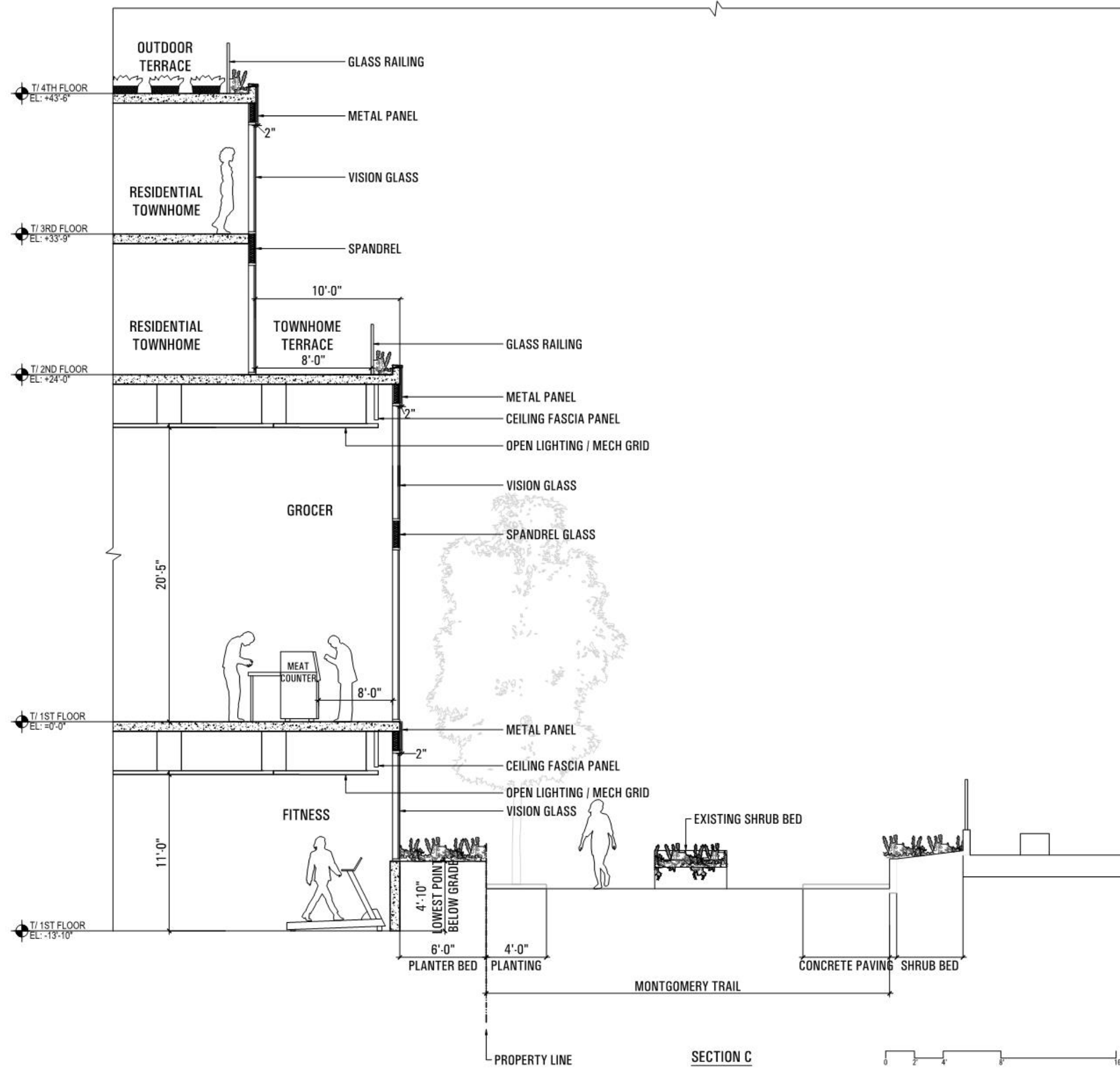
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Building/ Site Sections



SECTION B

Building/ Site Sections

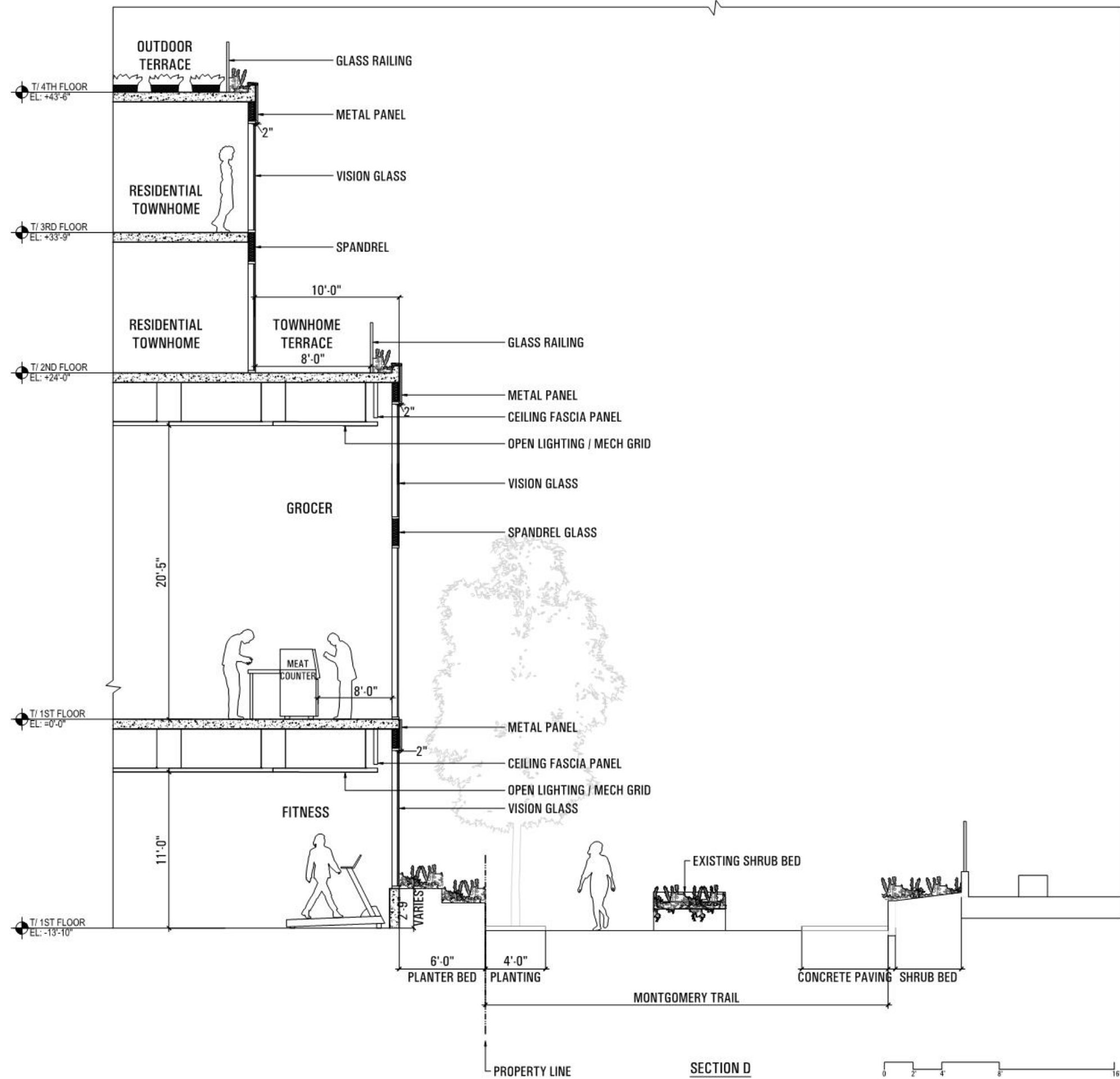


CYAN PDX

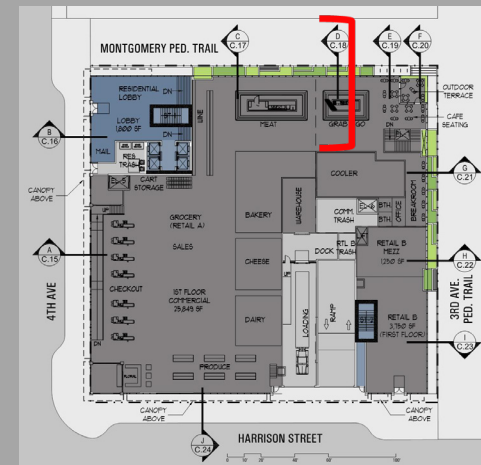


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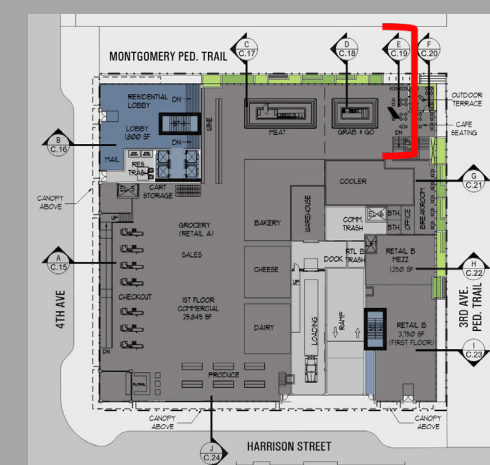
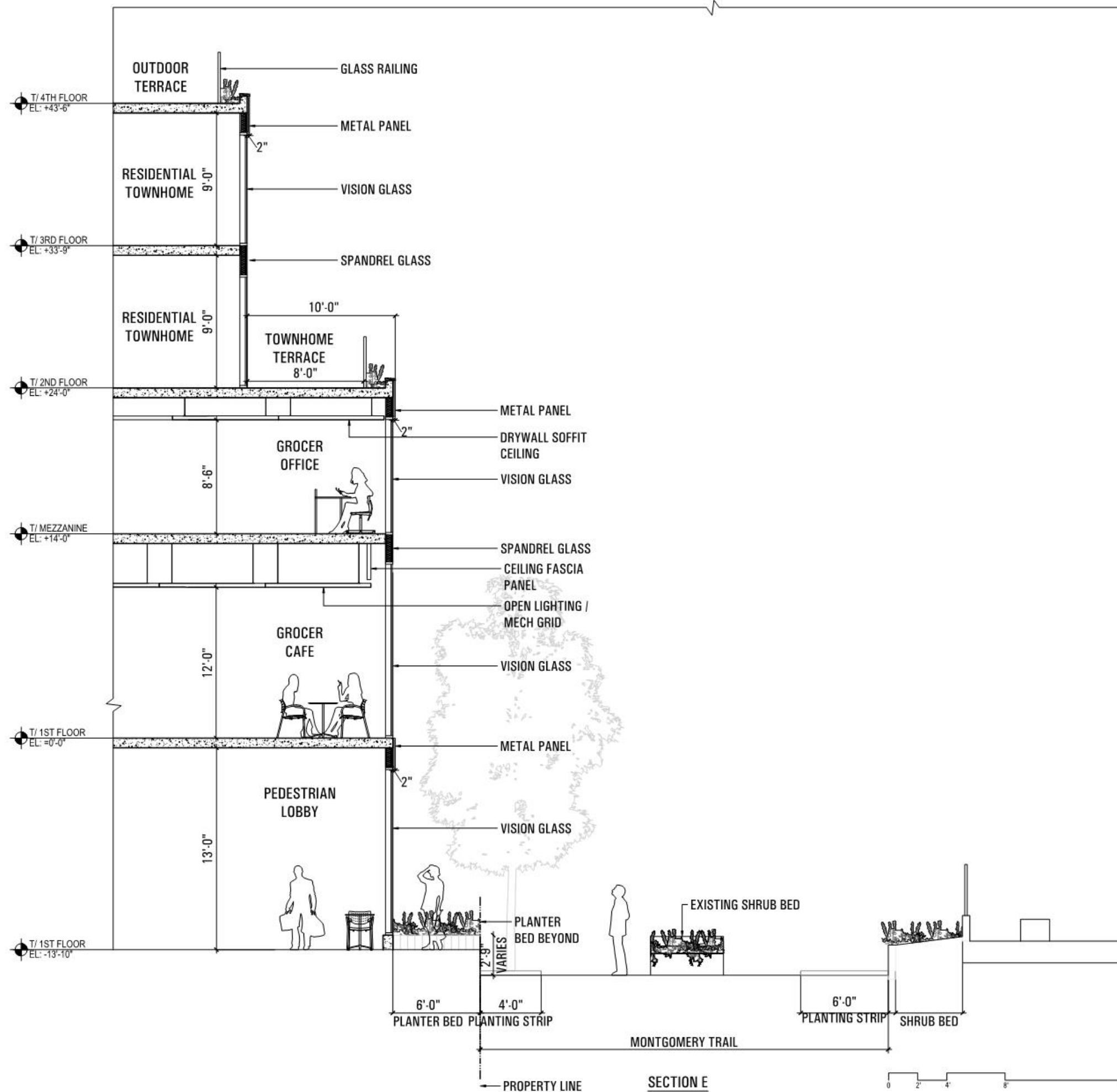
Building/ Site Sections



CYAN PDX

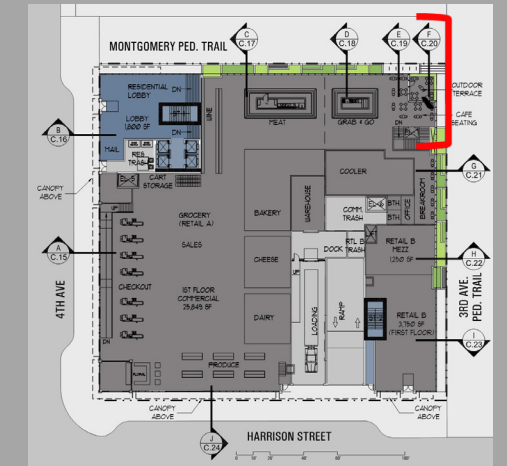
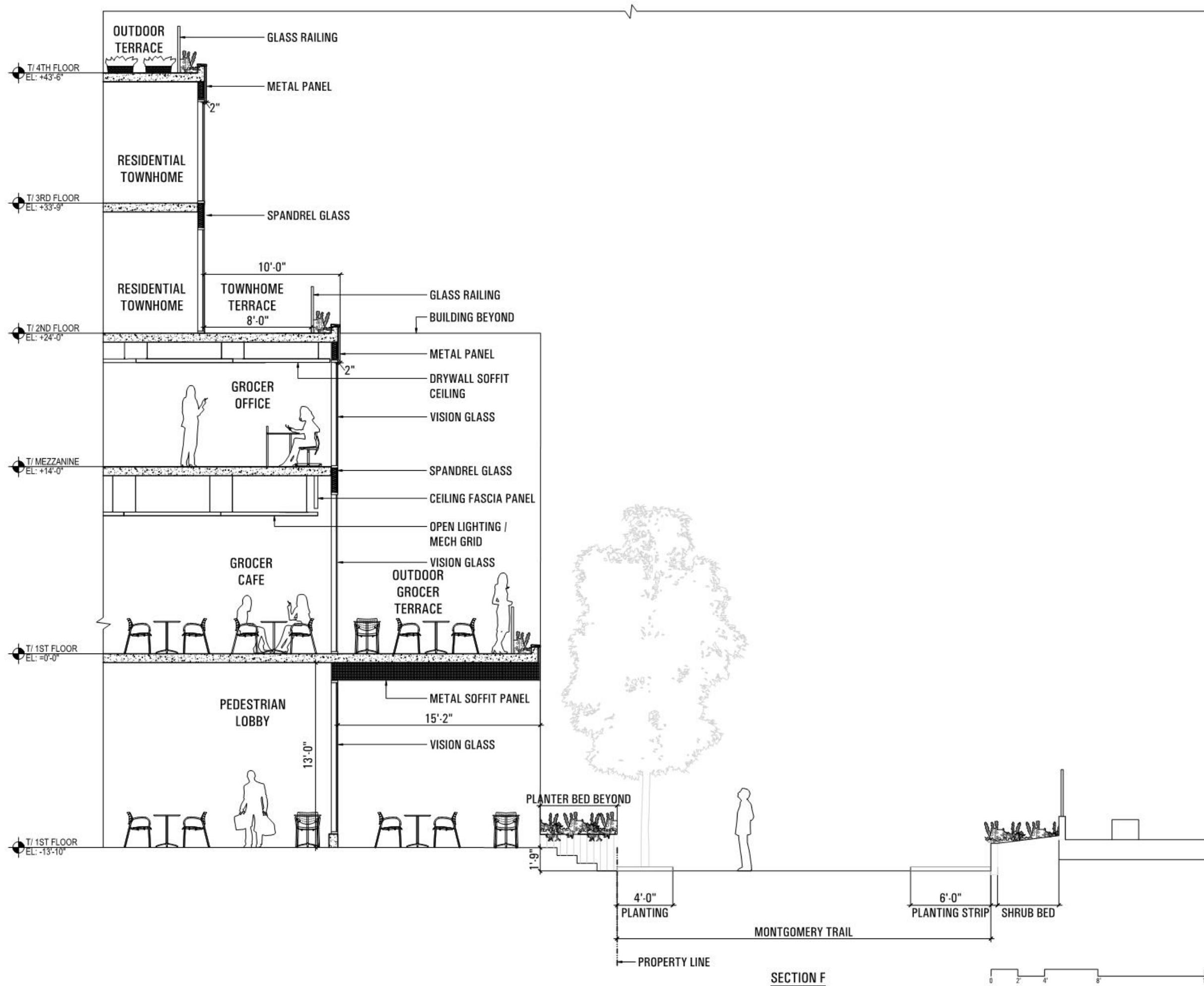


Building/ Site Sections

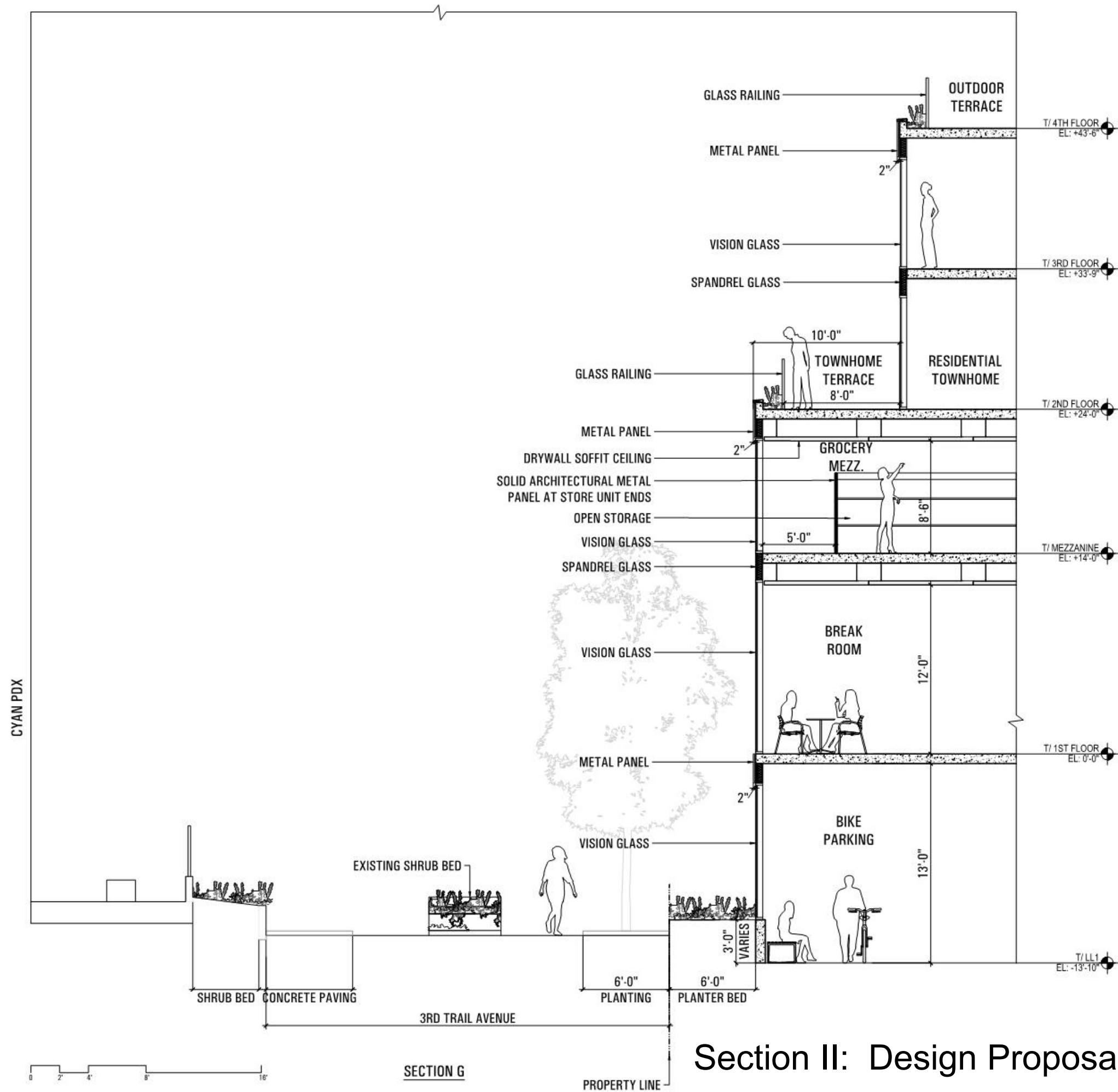


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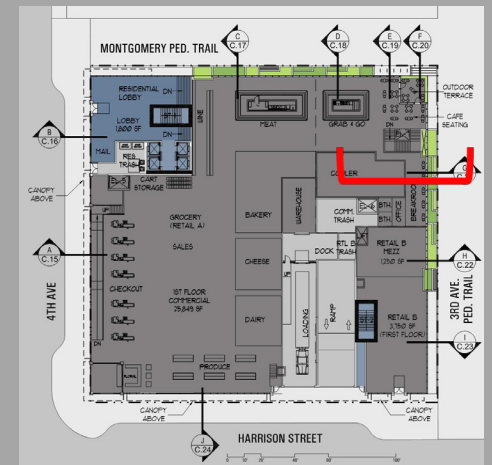
Building/ Site Sections



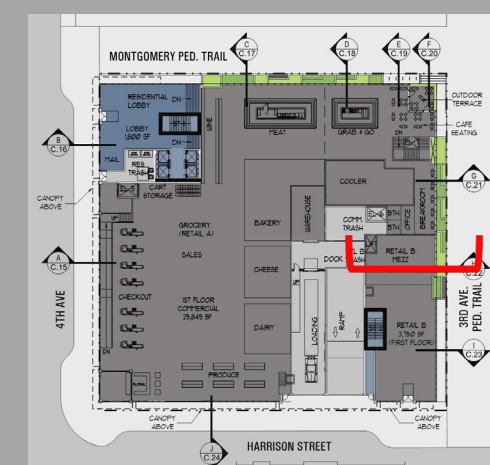
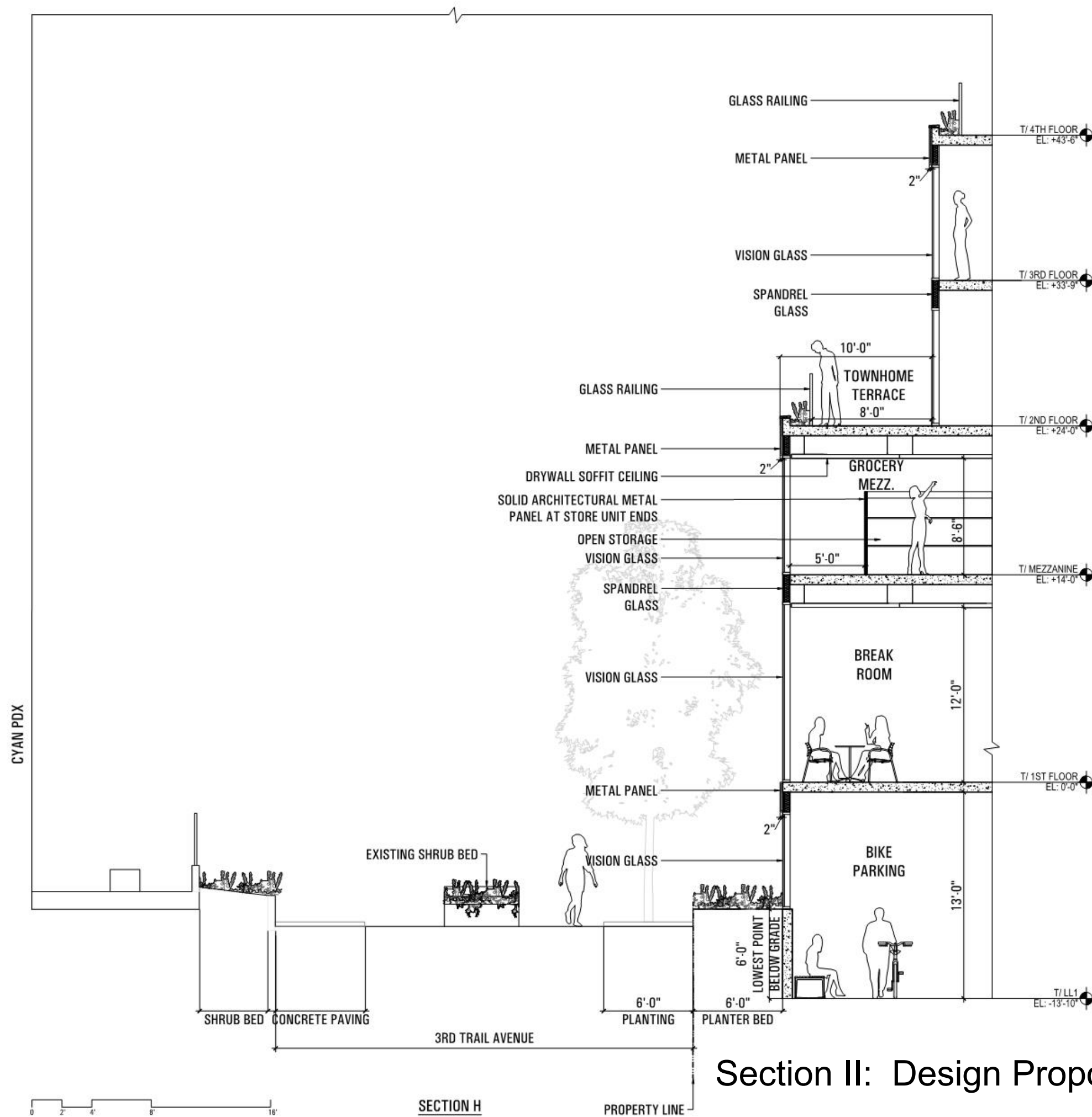
LU 15-209034 DZM, AD C.19



Section II: Design Proposal



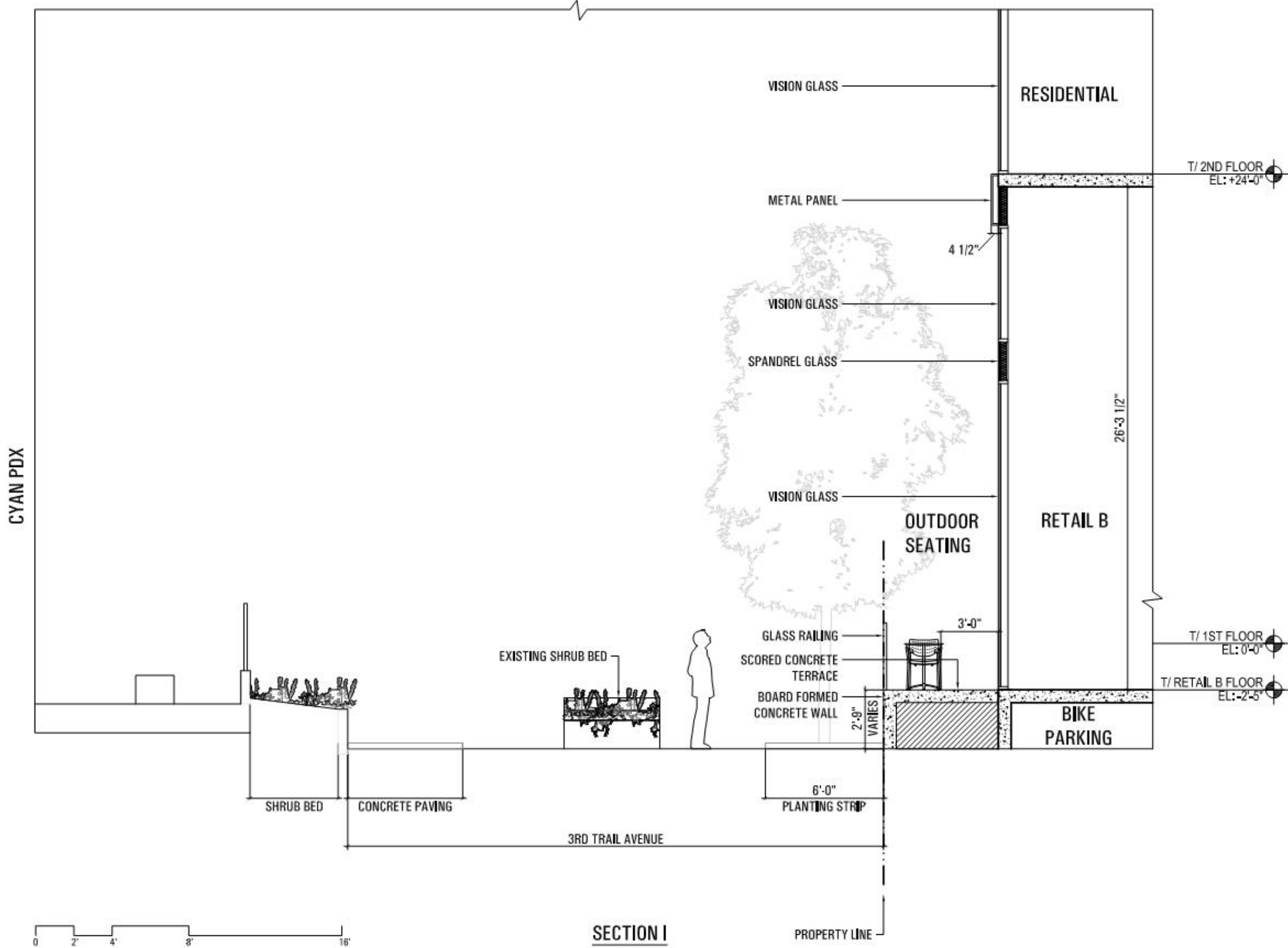
Building/ Site Sections



Section II: Design Proposal

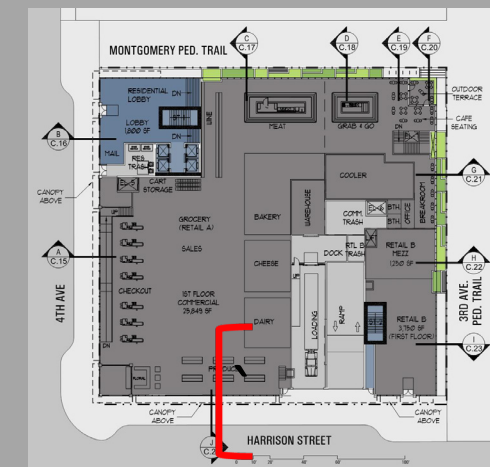
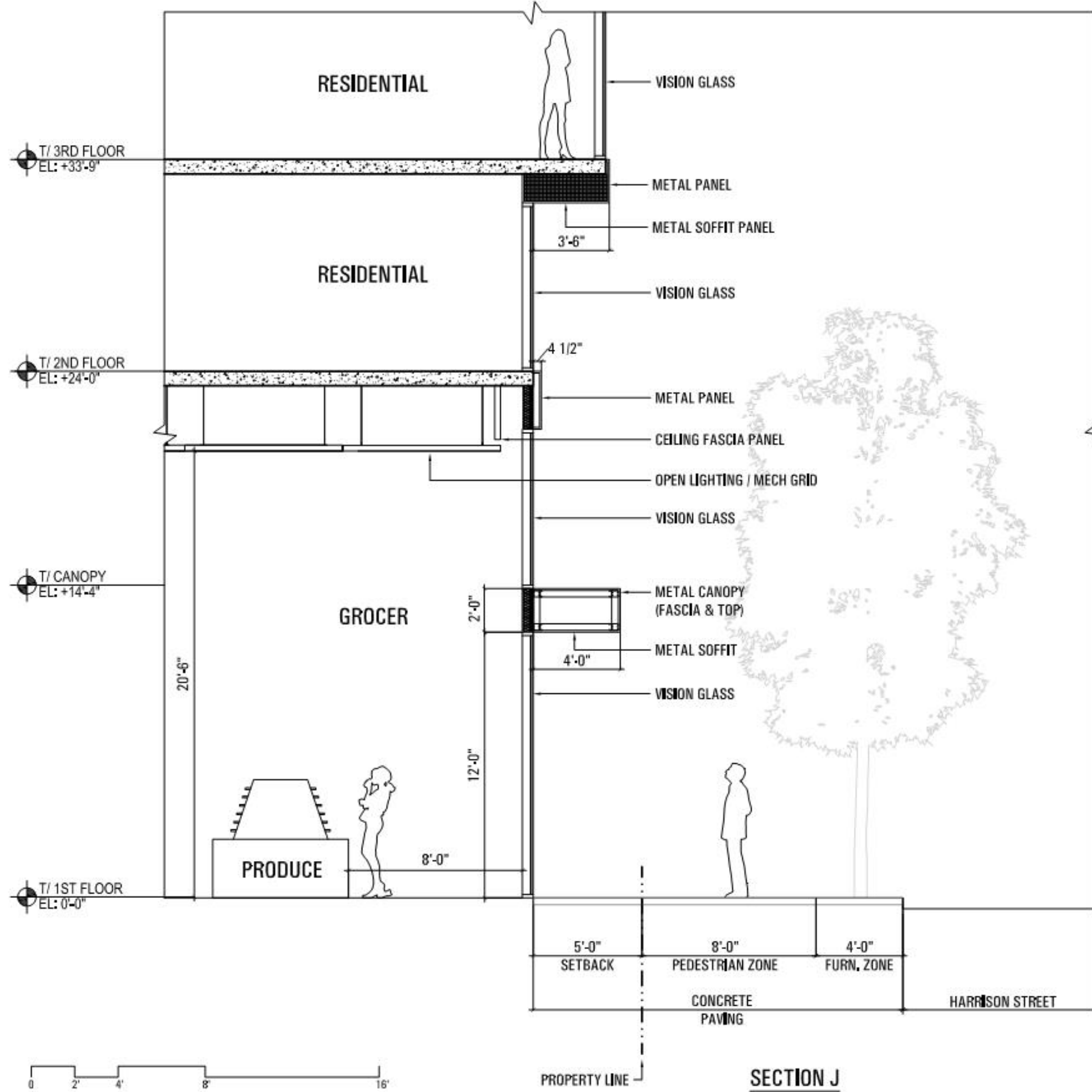
LU 15-209034 DZM, AD C.21

Building/ Site Sections



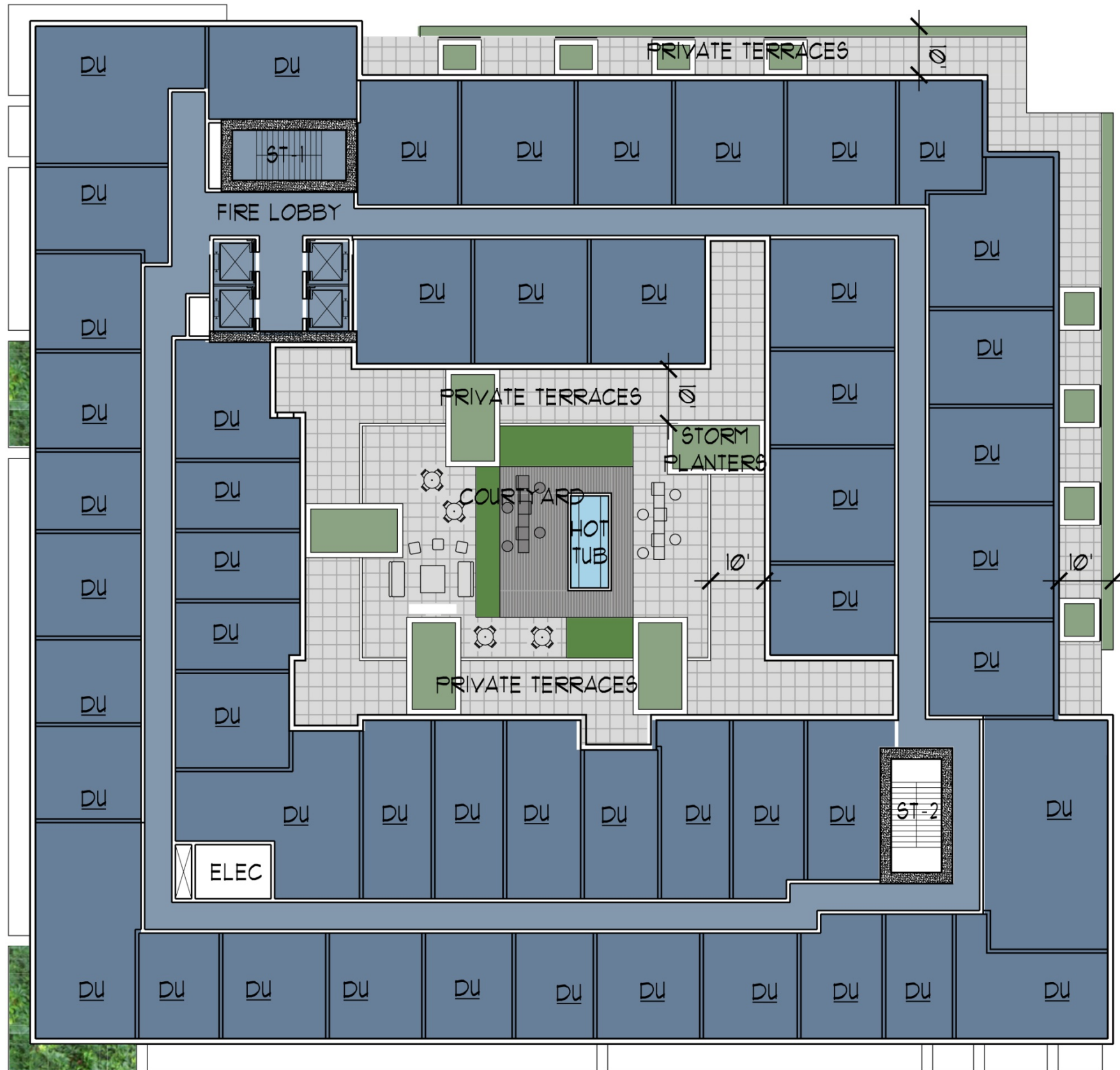
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Building/ Site Sections

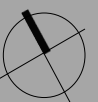


Proposed 2nd Floor Plan

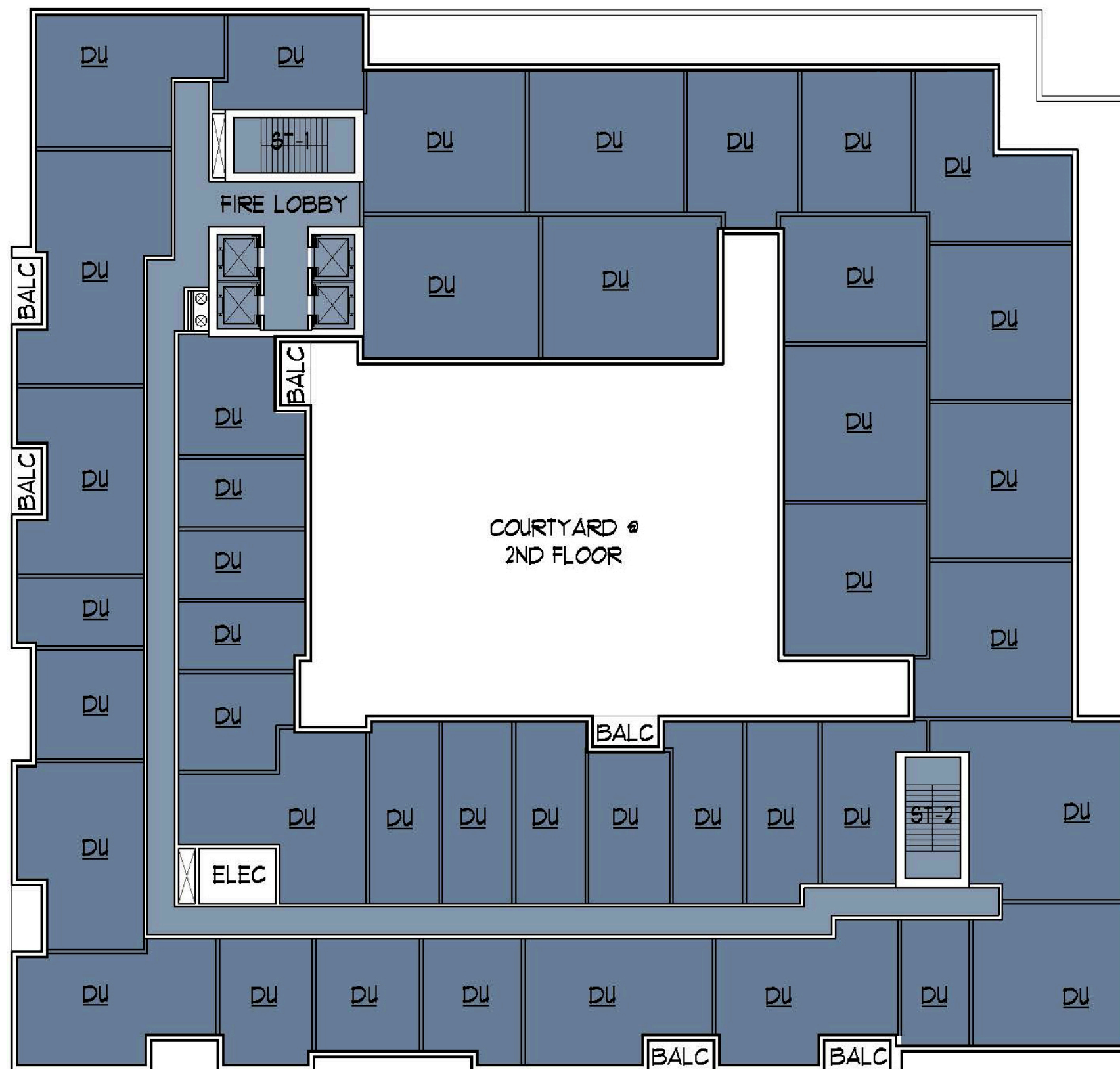
- Graphically shown green canopies
- 16'x16' notch in the NE corner of the building
- "Townhomes" on floors 2 & 3 along the pedestrian trails are setback 10' from the base to create a 'plinth'
- A series of private outdoor terraces along 3rd and Montgomery help connect the building to the park



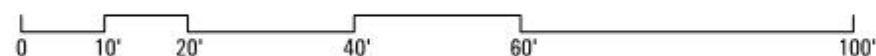
Section II: Design Proposal



Proposed 3rd Floor Plan



- “Townhomes” on floors 2 & 3 along the pedestrian trails are setback 10’ from the base to create a ‘plinth’
- A series of private outdoor terraces along 3rd and Montgomery help connect the building to the park

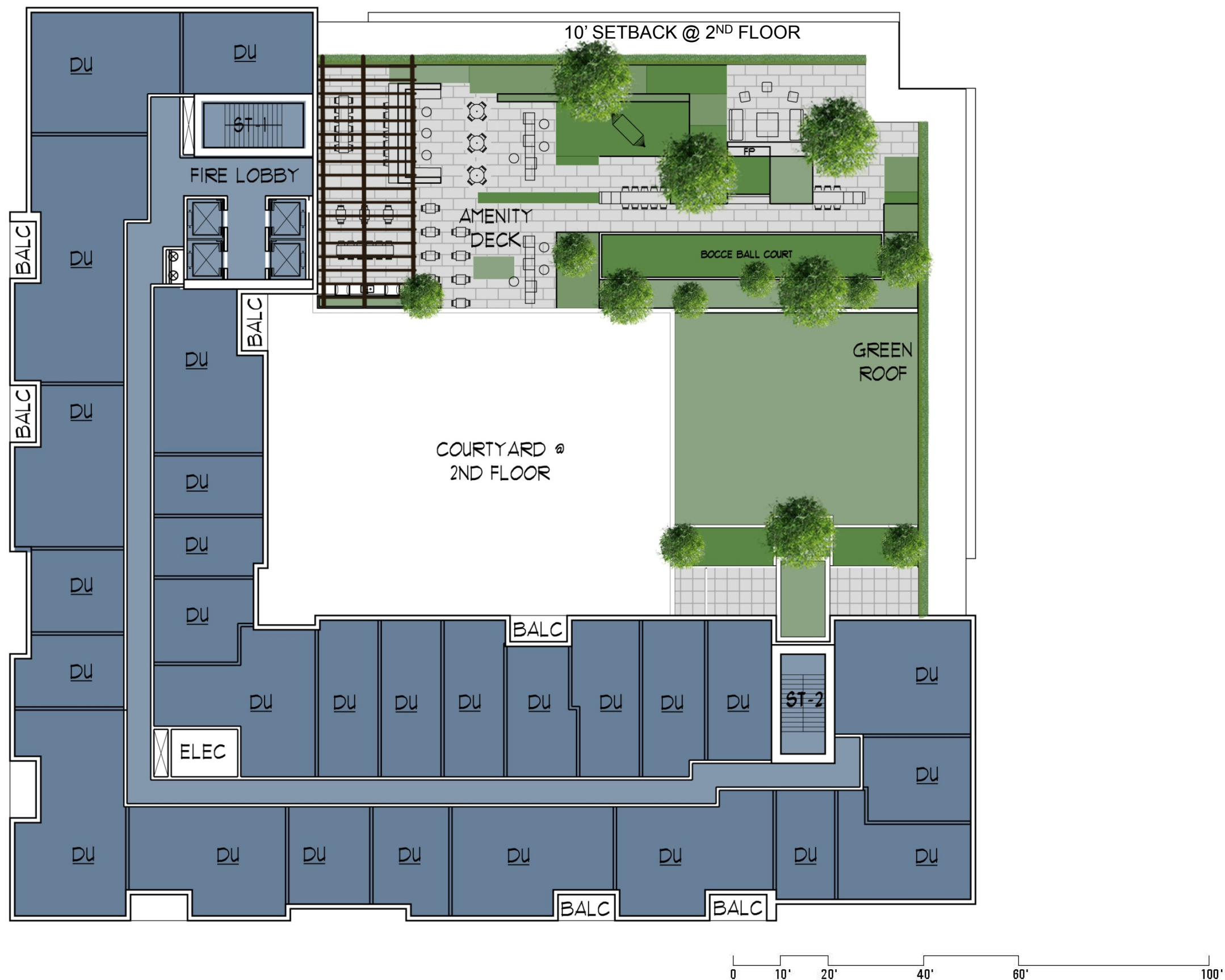


Section II: Design Proposal



Proposed 4th Floor Plan

- 29,000 SF of outdoor space – providing “eyes on the park”
- Active outdoor landscaped amenity space overlooking Pettygrove Park on the 4th floor



Section II: Design Proposal

Proposed Typical Floor Plan

- 424 Units ranging in size from studios apartments through 3-bedroom duplex 'townhomes'

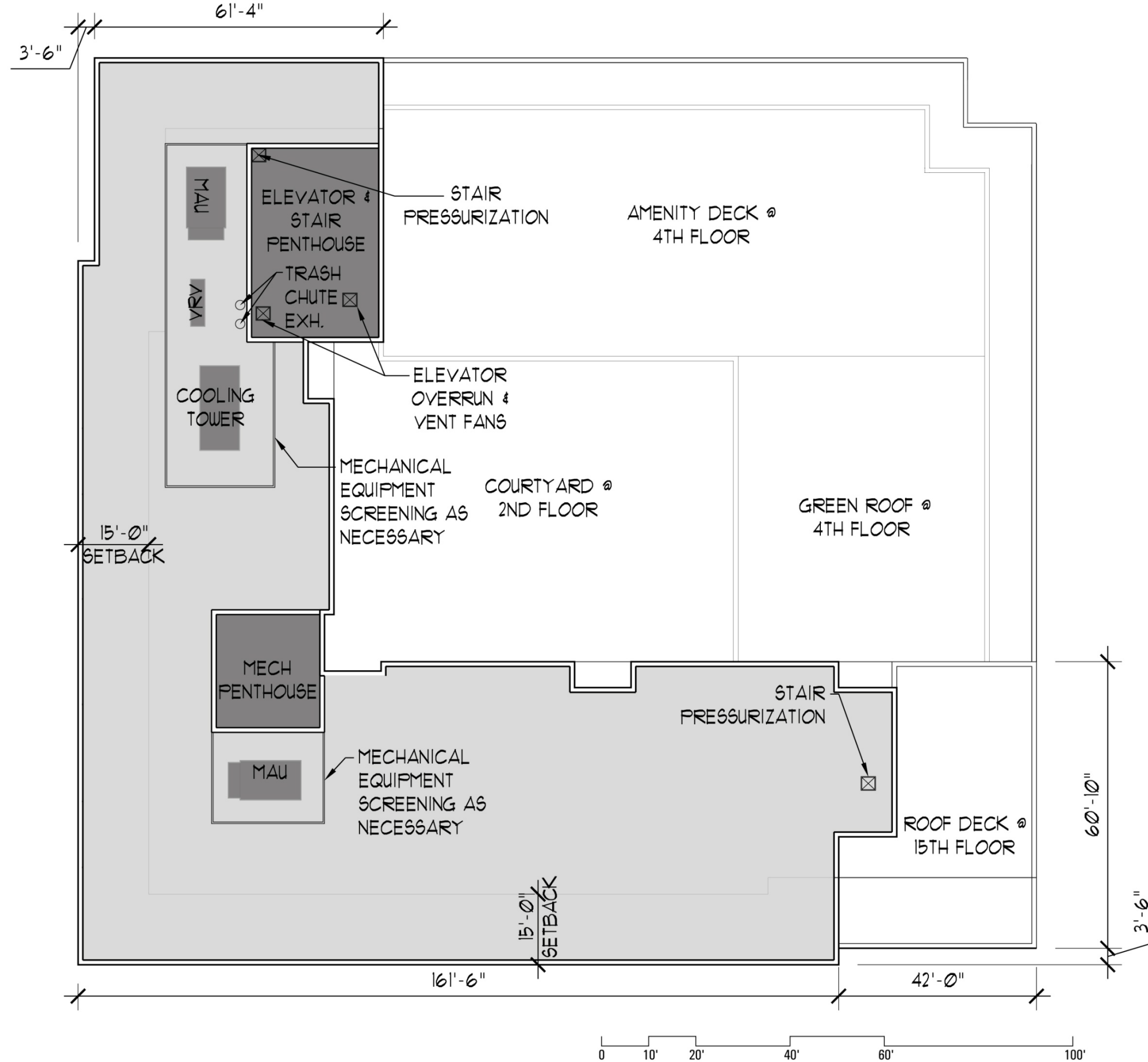


Section II: Design Proposal

Proposed 15th Floor Plan



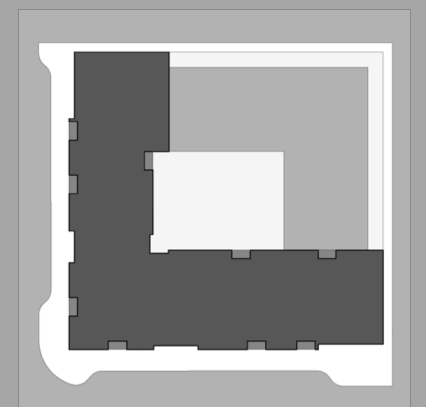
Section II: Design Proposal



Proposed Roof Plan

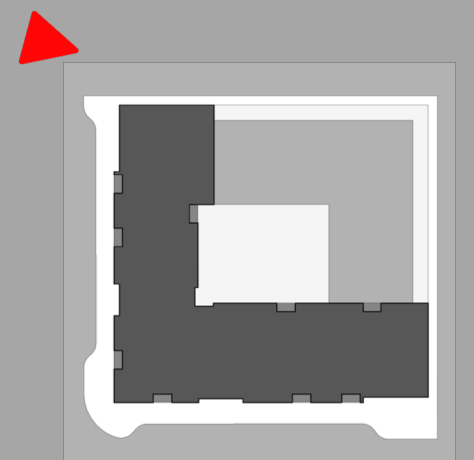
- Roof Area:
 - Upper Roof: 20,350 SF
 - Lower Roof: 18,525 SF
 - Total: 38,875 SF
- Mechanical Area: 2,225 SF
- **10.9% of Upper Roof**
- 5.7% of Total Roof

View from 4th &
Harrison



LU 15-209034 DZM, AD
C.30

View to
Pettygrove Park
down
Montgomery
Street

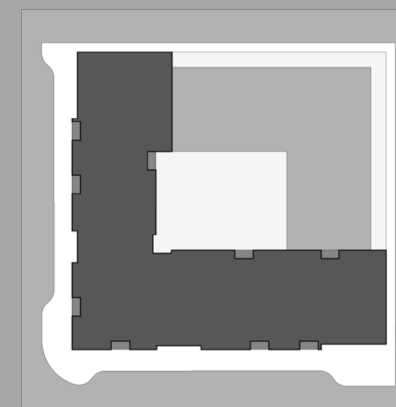


Section II: Design Proposal

LU 15-209034 DZM, AD
C.31

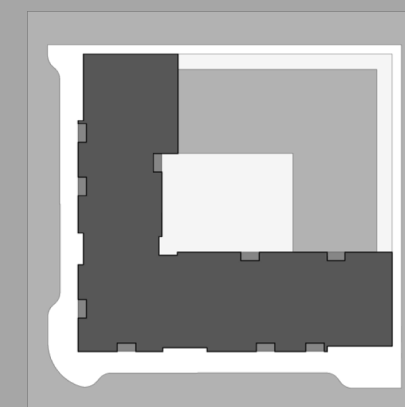


View from above
Pettygrove Park



LU 15-209034 DZM, AD
C.32

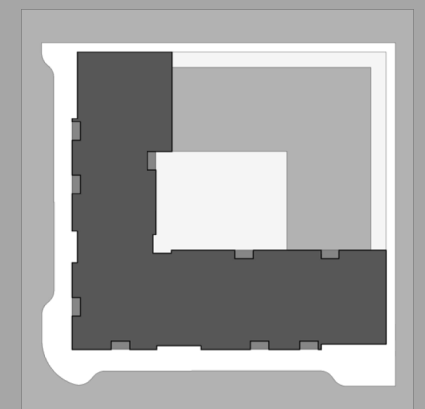
View from
Harrison at 3rd



Section II: Design Proposal

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C.33

View from
Pettygrove Park
(eye level)



Section II: Design Proposal

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C.34

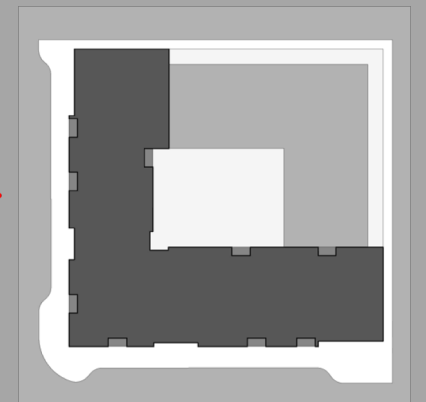
SW 4th Avenue Elevation



Materials:

1. Glass – window wall
2. Glass – punched window
3. Glass – storefront
- 4a. Flat metal panel, color a
- 4b. Flat metal panel, color b
5. Perforated metal panel, color b
6. Metal Canopy, color b
7. Glass & aluminum overhead garage door
8. Ipe wood cladding
9. Concrete, vertical board form
10. Spandrel glass
11. Steel metal panel, color b

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



Section II: Design Proposal

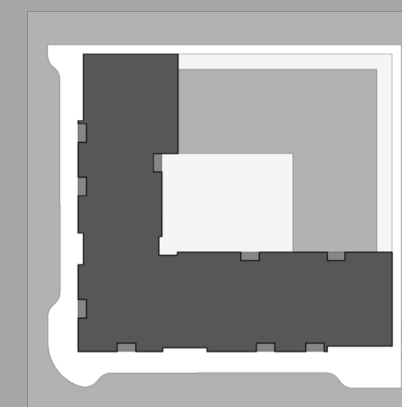
LU 15-209034 DZM, AD
C.35

Harrison St. Elevation

Materials:

1. Glass – window wall
2. Glass – punched window
3. Glass – storefront
- 4a. Flat metal panel, color a
- 4b. Flat metal panel, color b
5. Perforated metal panel, color b
6. Metal Canopy, color b
7. Glass & aluminum overhead garage door
8. Ipe wood cladding
9. Concrete, vertical board form
10. Spandrel glass
11. Steel metal panel, color b

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



LU 15-209034 DZM, AD
C.36

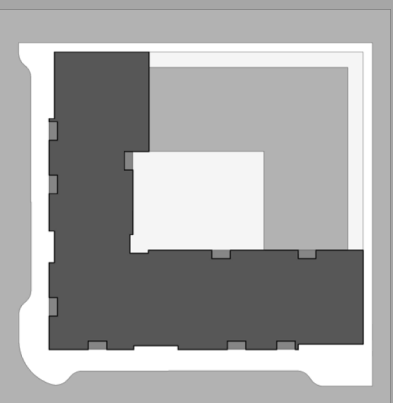


Section II: Design Proposal

3rd Avenue Elevation

- Materials:
1. Glass – window wall
 2. Glass – punched window
 3. Glass – storefront
 - 4a. Flat metal panel, color a
 - 4b. Flat metal panel, color b
 5. Perforated metal panel, color b
 6. Metal Canopy, color b
 7. Glass & aluminum overhead garage door
 8. Ipe wood cladding
 9. Concrete, vertical board form
 10. Spandrel glass
 11. Steel metal panel, color b

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'

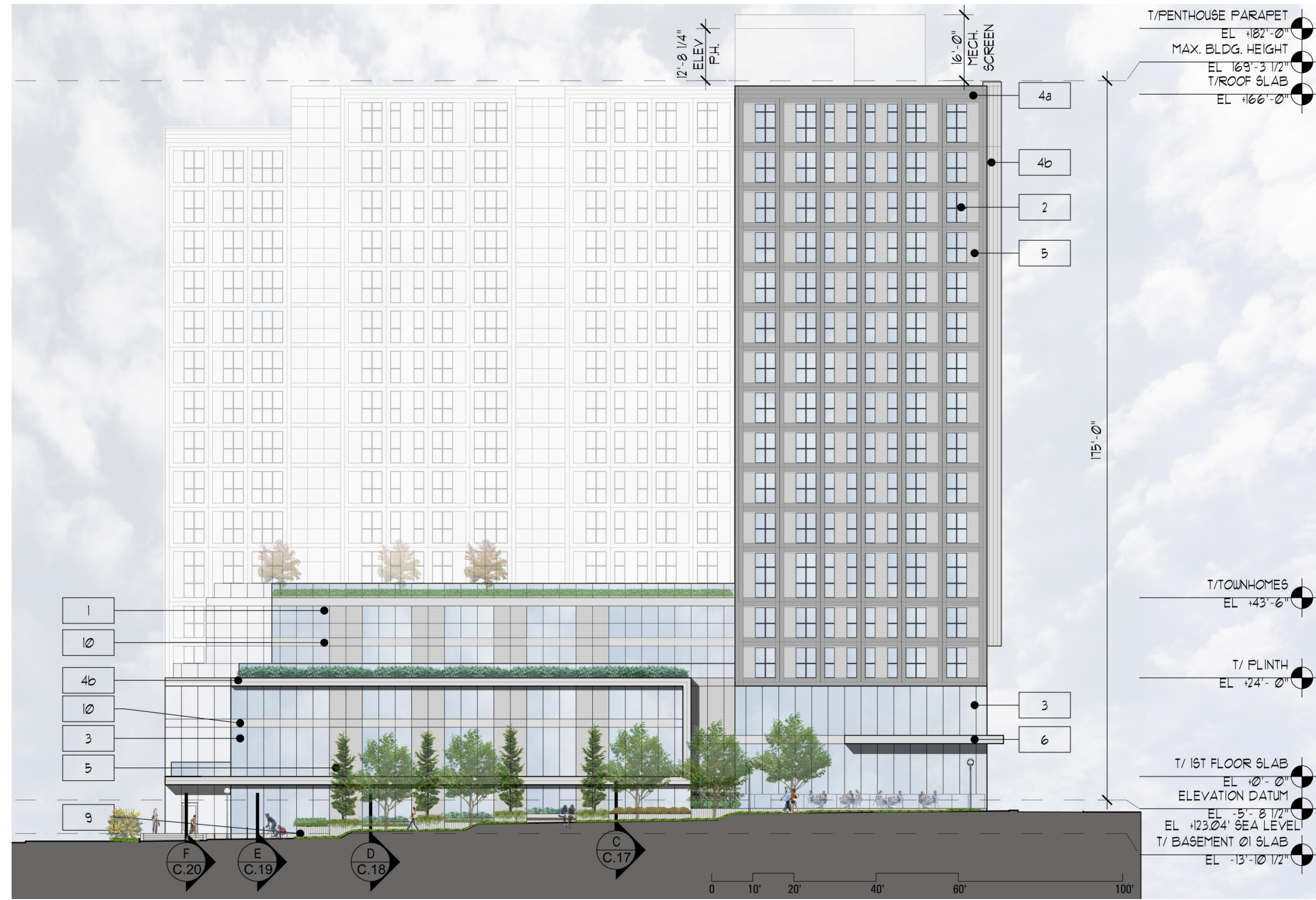
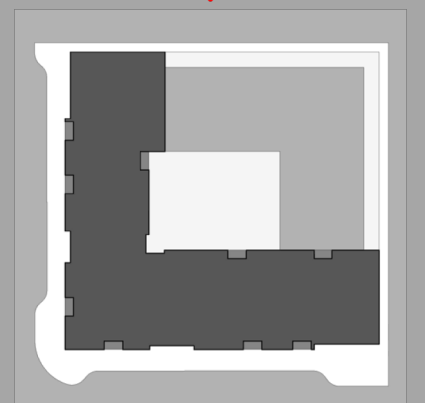


Montgomery St. Elevation

Materials:

1. Glass – window wall
2. Glass – punched window
3. Glass – storefront
- 4a. Flat metal panel, color a
- 4b. Flat metal panel, color b
5. Perforated metal panel, color b
6. Metal Canopy, color b
7. Glass & aluminum overhead garage door
8. Ipe wood cladding
9. Concrete, vertical board form
10. Spandrel glass
11. Steel metal panel, color b

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



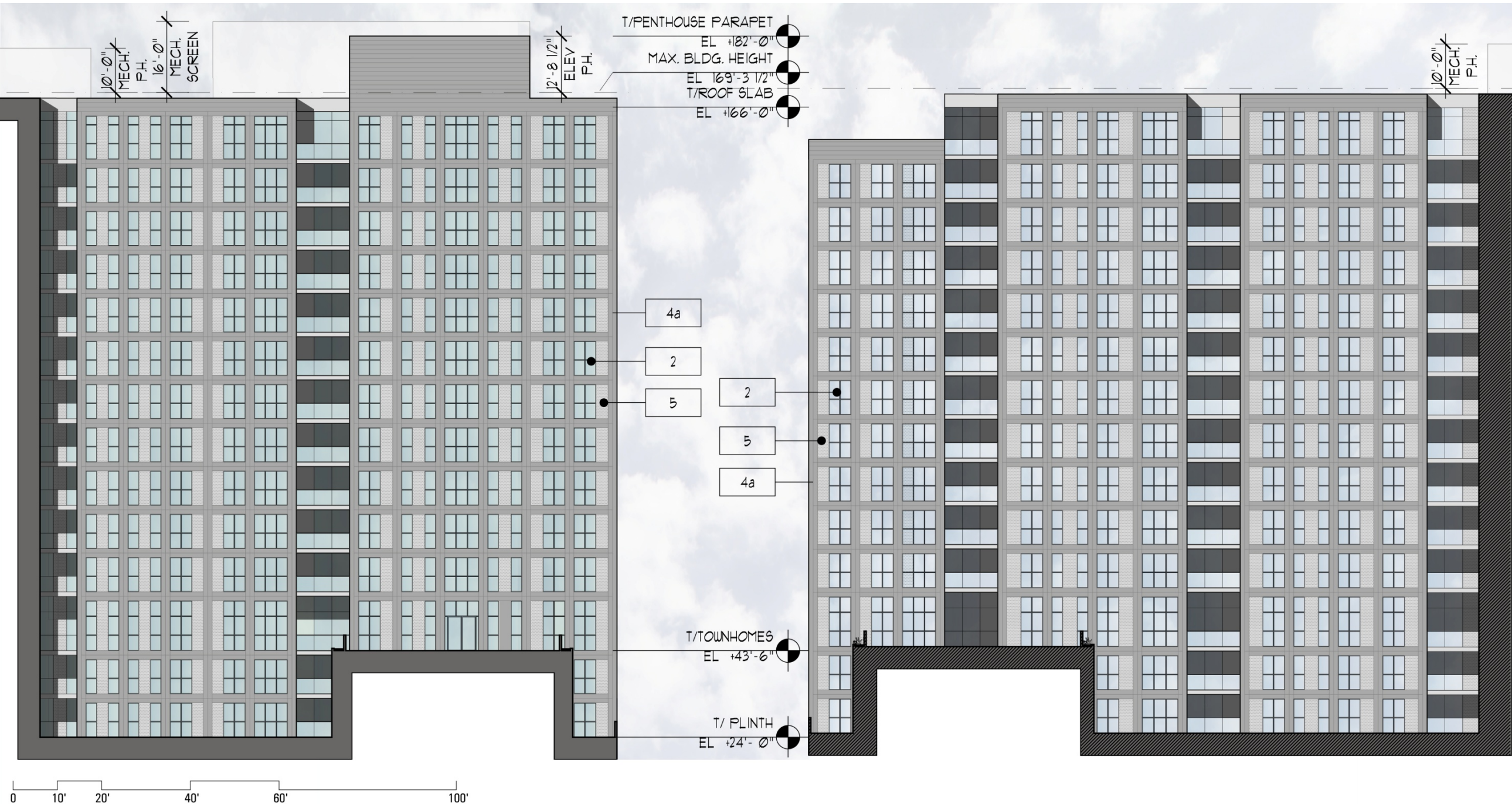
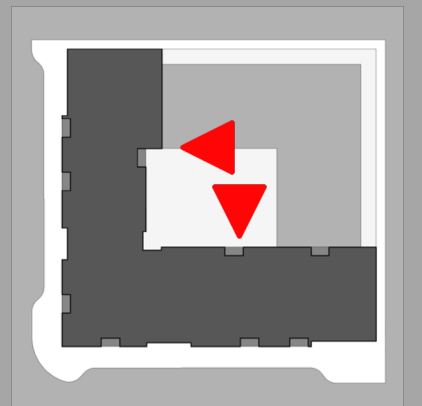
Section II: Design Proposal

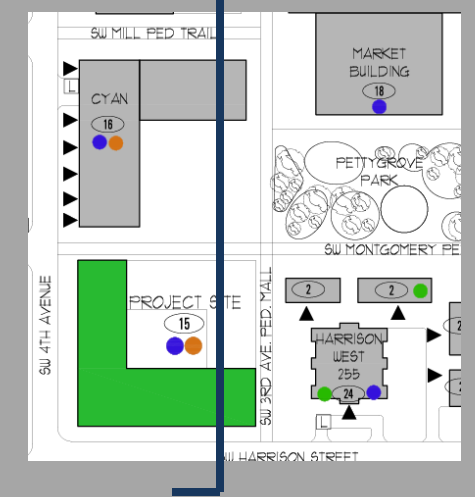
Courtyard Elevations

Materials:

1. Glass – window wall
2. Glass – punched window
3. Glass – storefront
- 4a. Flat metal panel, color a
- 4b. Flat metal panel, color b
5. Perforated metal panel, color b
6. Metal Canopy, color b
7. Glass & aluminum overhead garage door
8. Ipe wood cladding
9. Concrete, vertical board form
10. Spandrel glass
11. Steel metal panel, color b

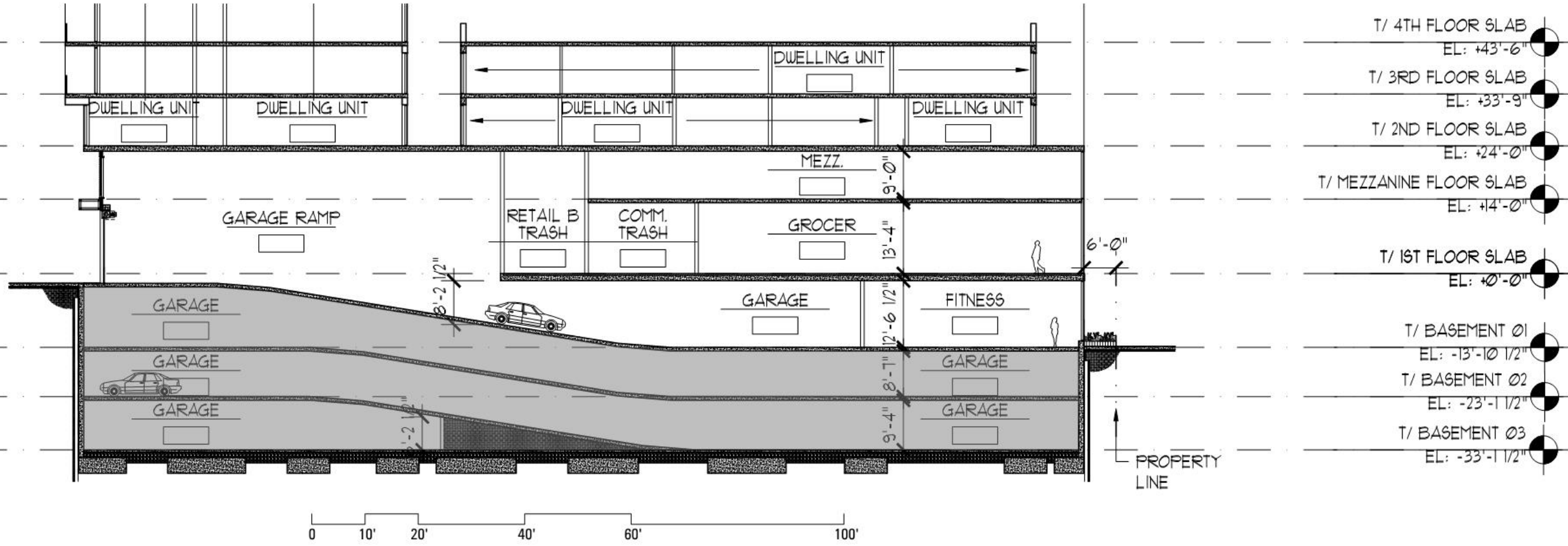
ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



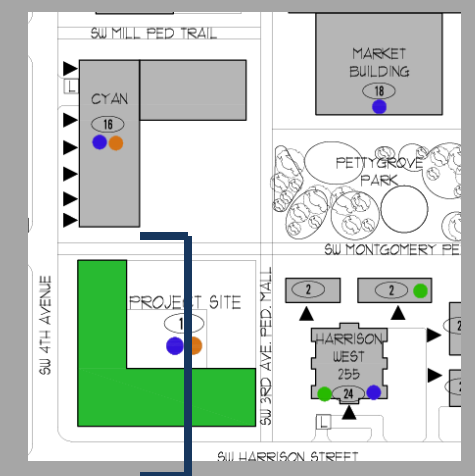


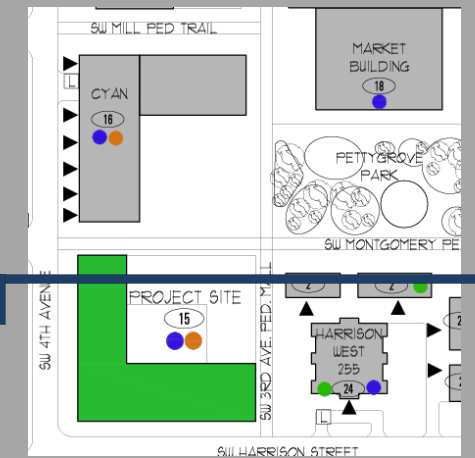
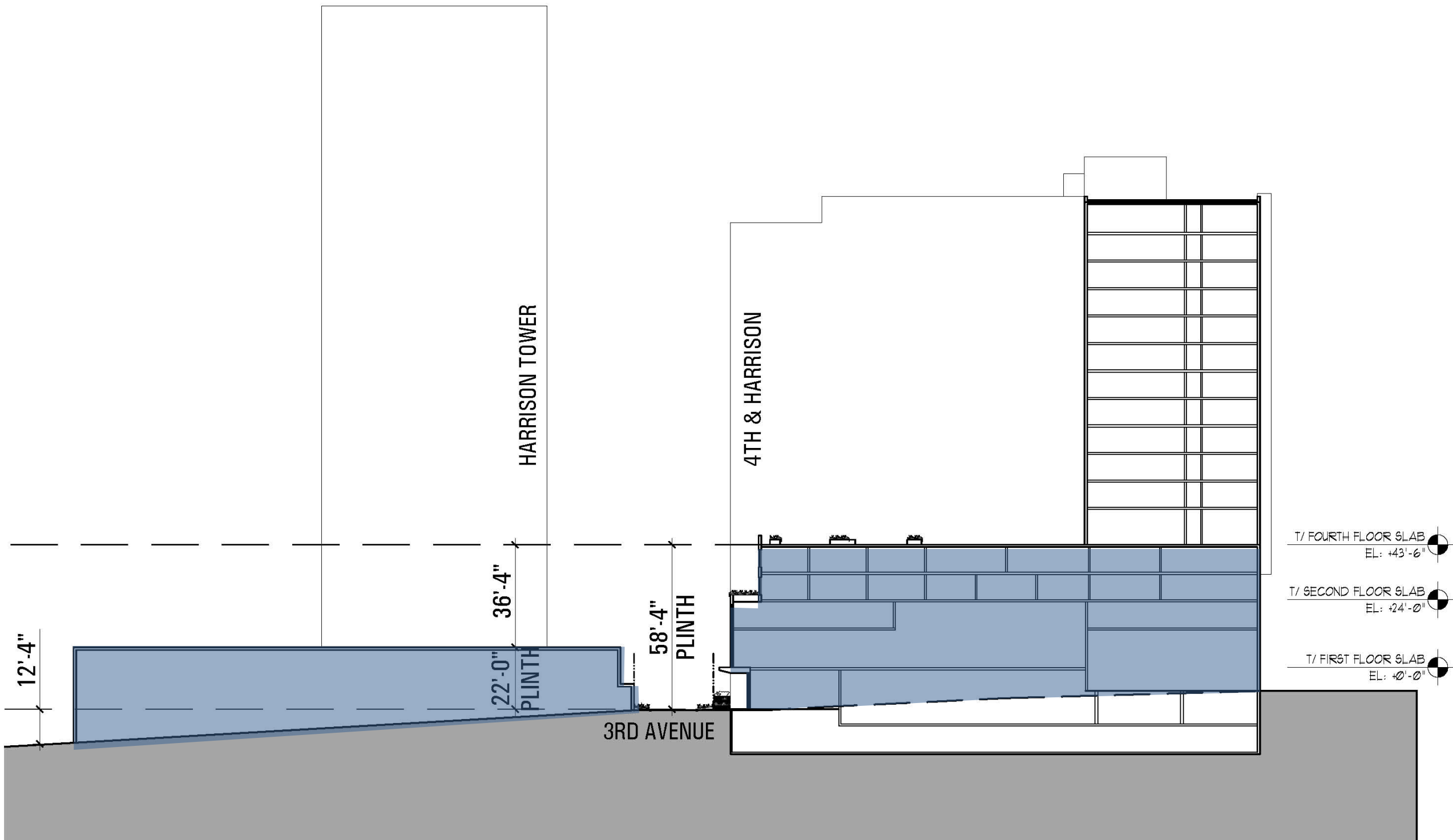
Building & Site Sections

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



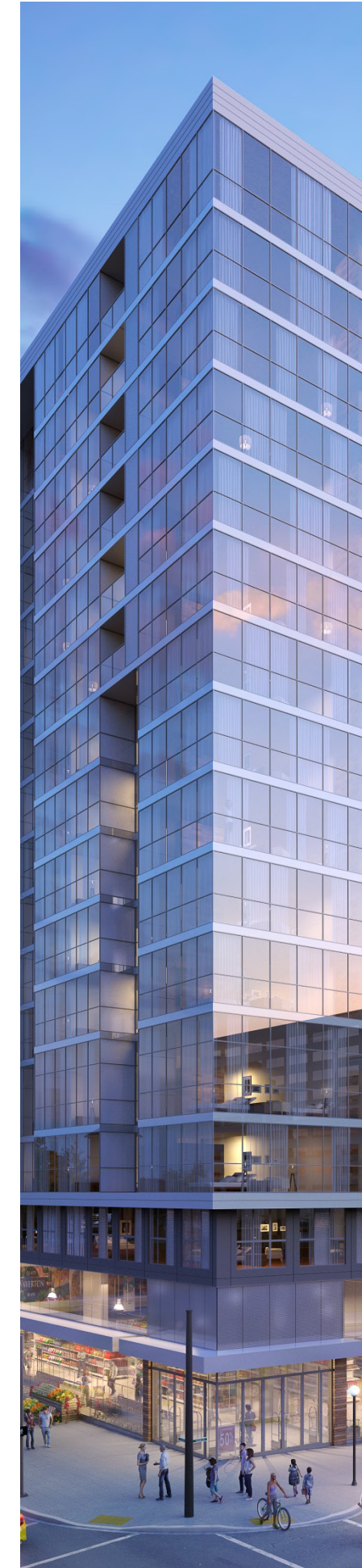
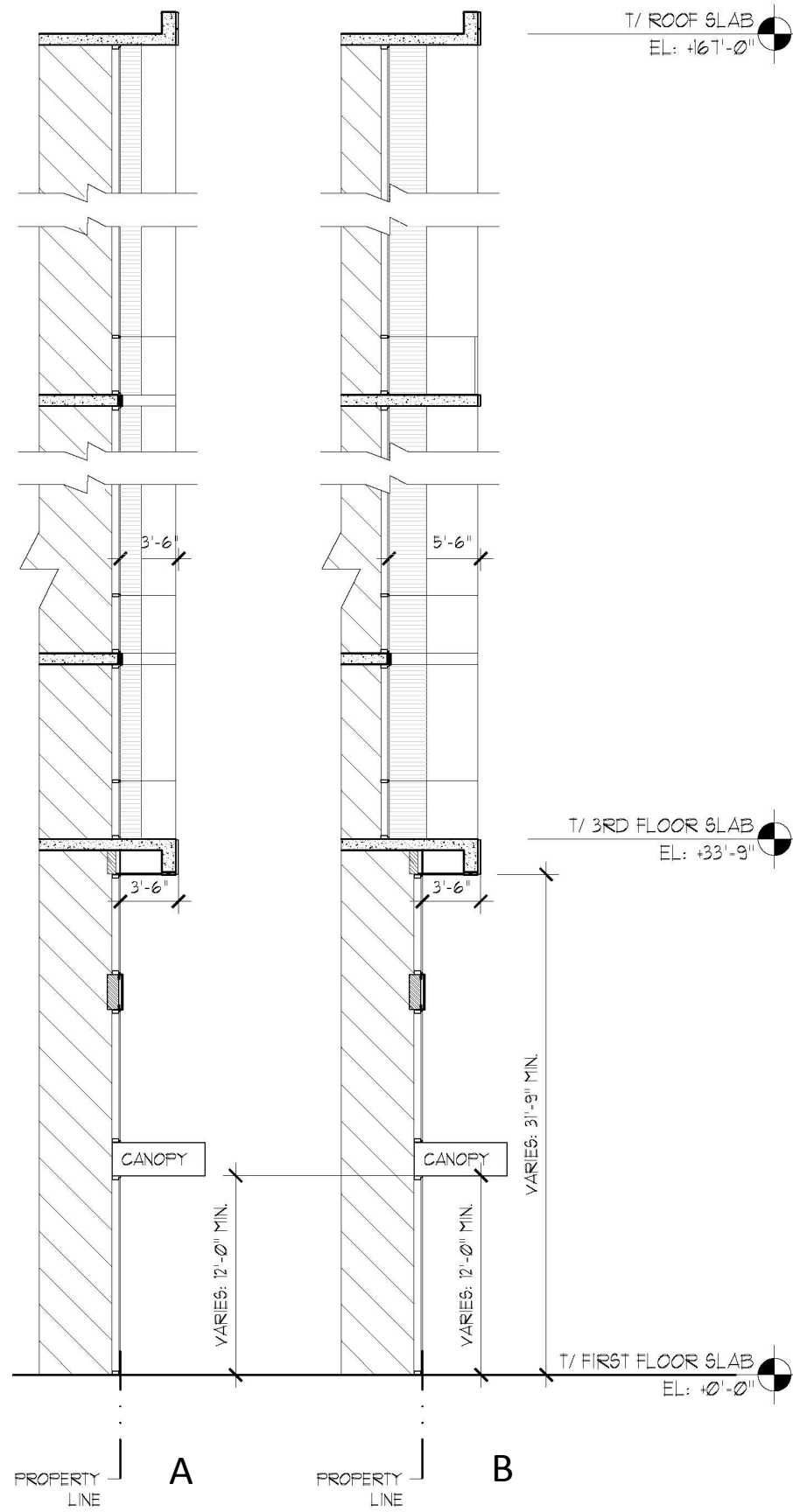
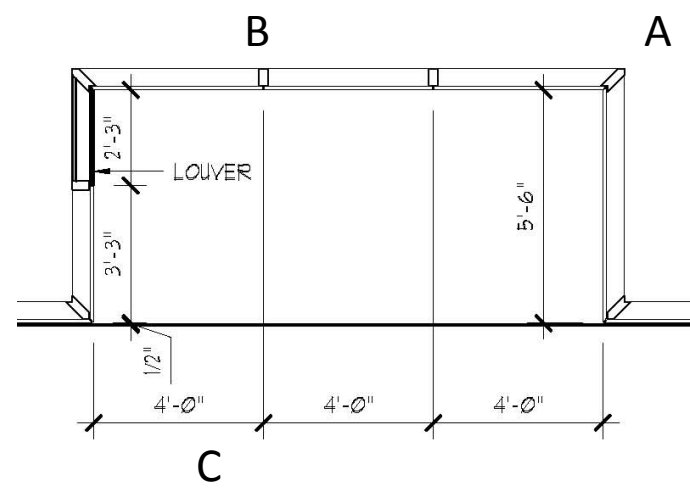
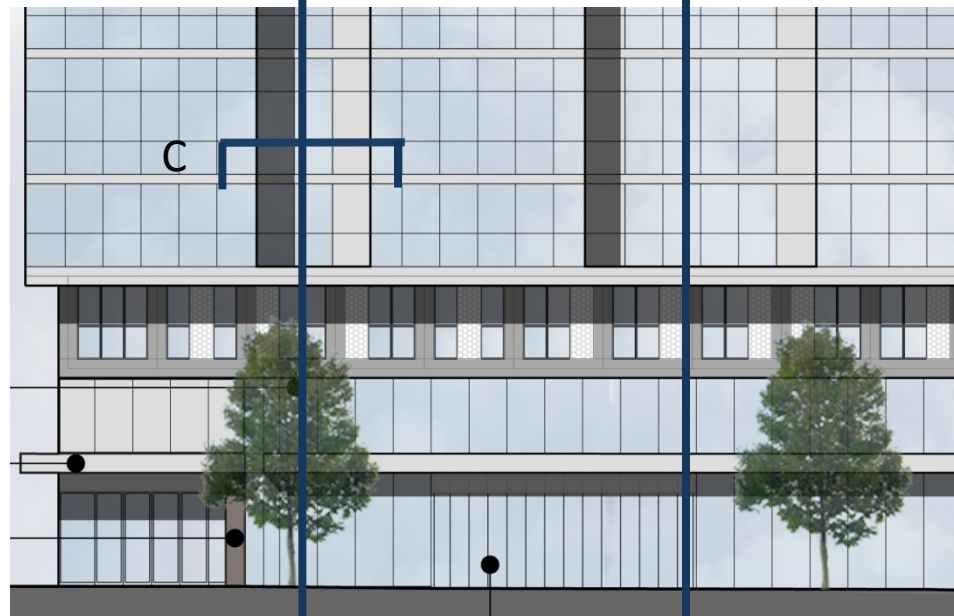
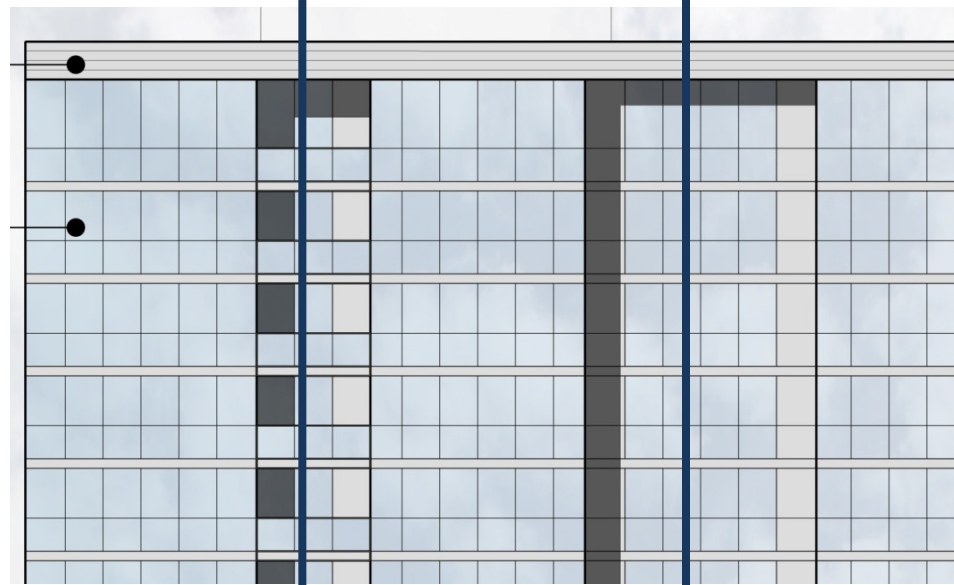
- T/ 4TH FLOOR SLAB
EL: +43'-6"
- T/ 3RD FLOOR SLAB
EL: +33'-9"
- T/ 2ND FLOOR SLAB
EL: +24'-0"
- T/ MEZZANINE FLOOR SLAB
EL: +14'-0"
- T/ 1ST FLOOR SLAB
EL: +0'-0"
- T/ BASEMENT 01
EL: -13'-10 1/2"
- T/ BASEMENT 02
EL: -23'-1 1/2"
- T/ BASEMENT 03
EL: -33'-1 1/2"





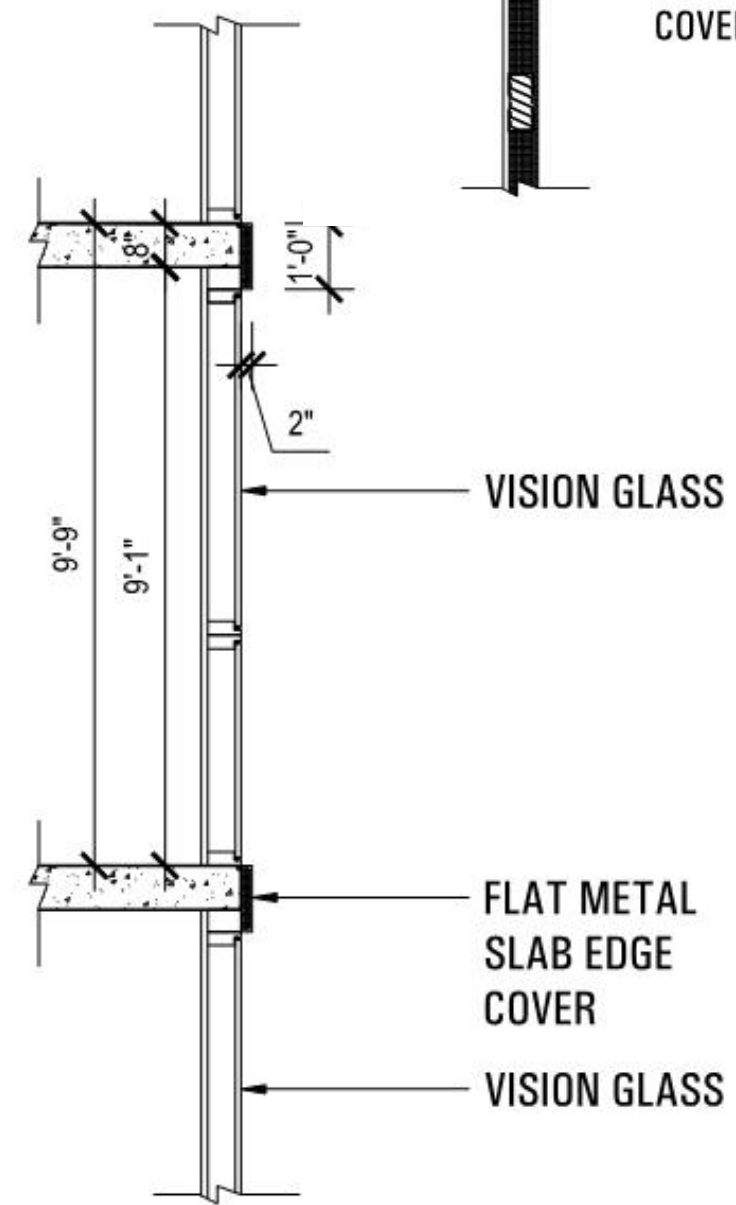
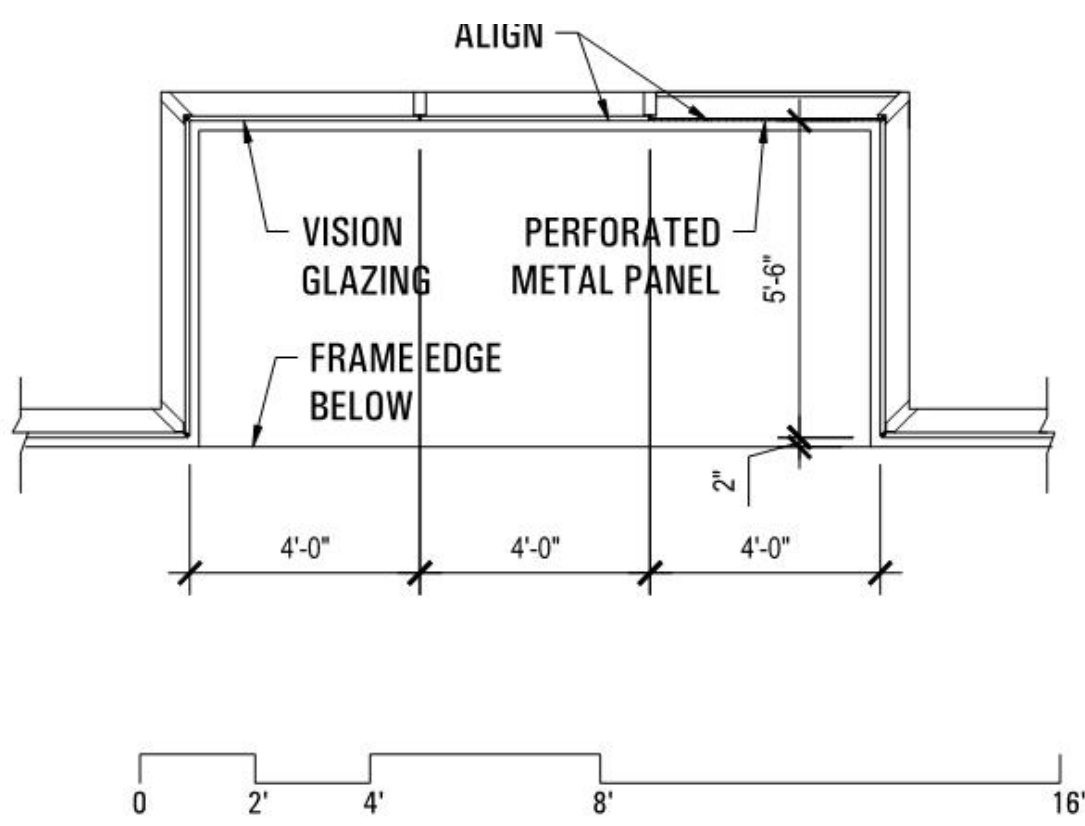
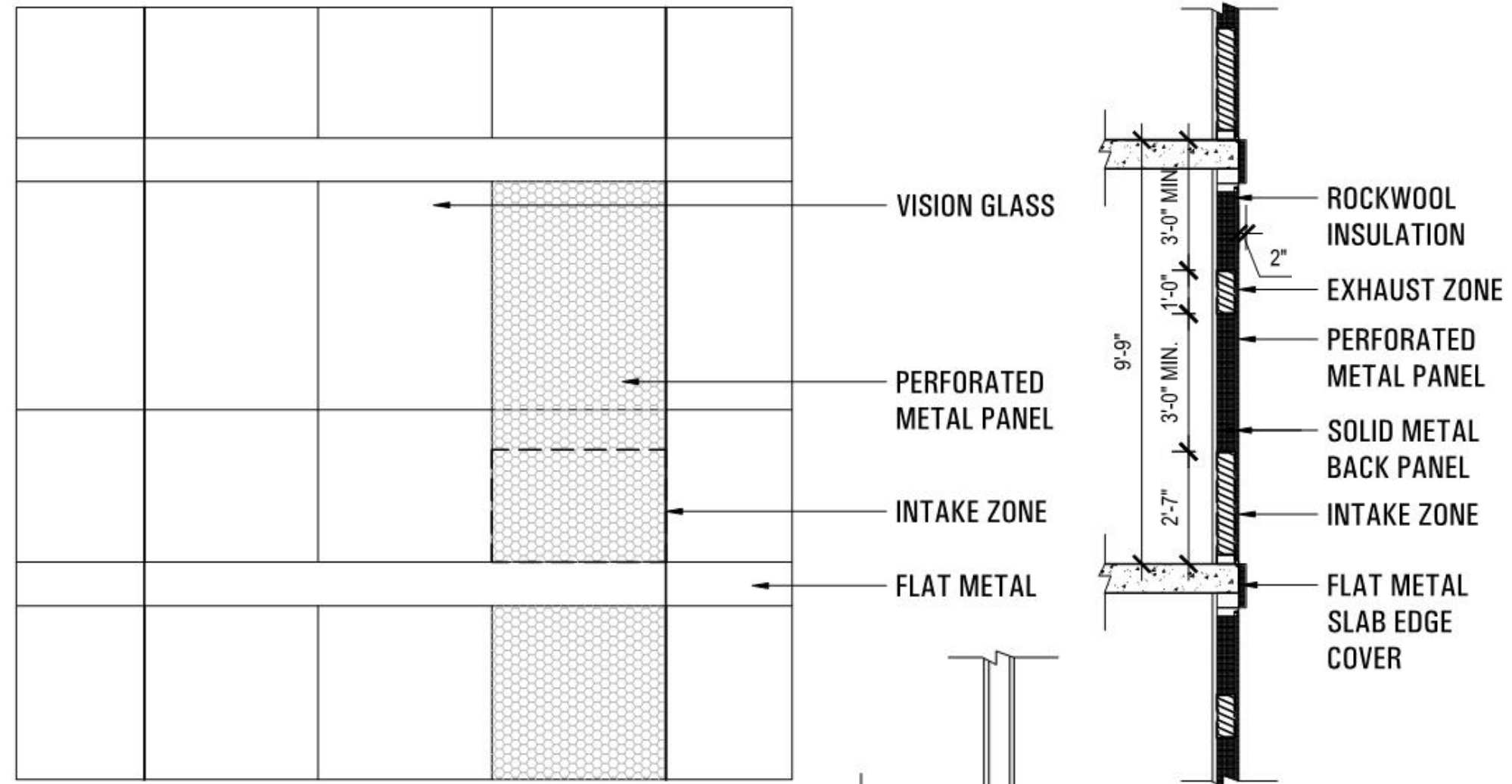
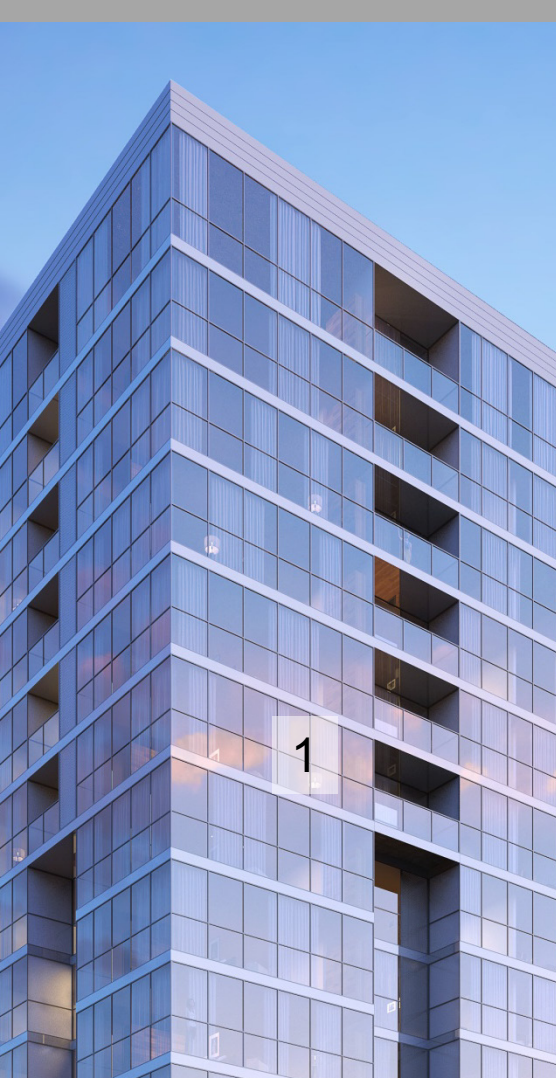
Section II: Design Proposal

Building Sections at Glass box



Section II: Design Proposal

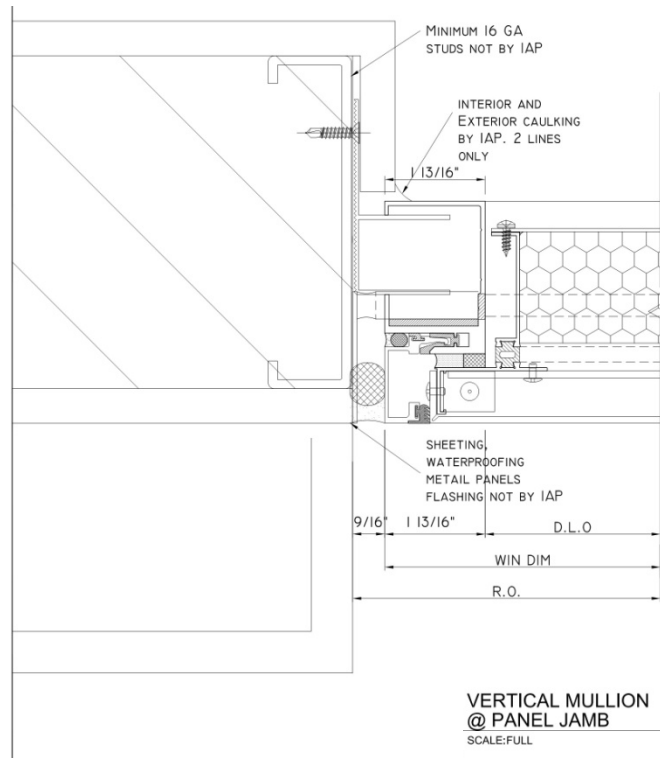
Proposed Exterior Materials: Window Wall



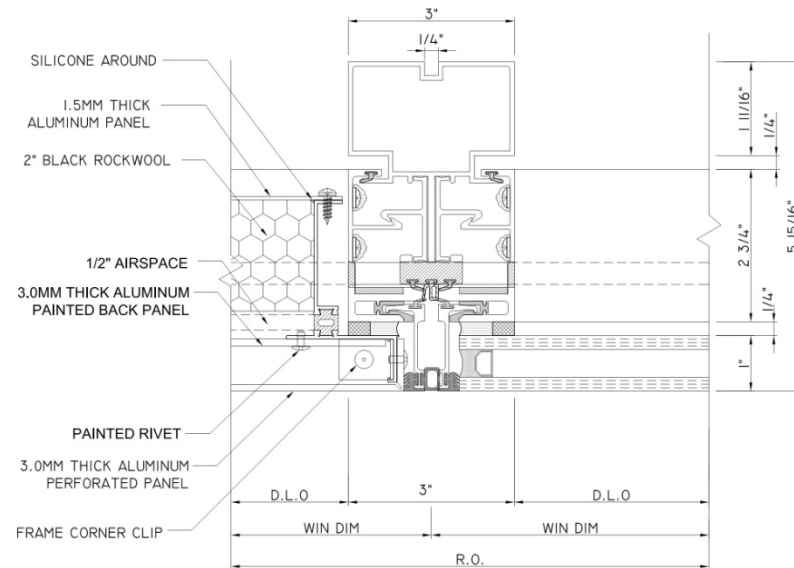
Proposed Exterior Materials: Window Wall

Materials:

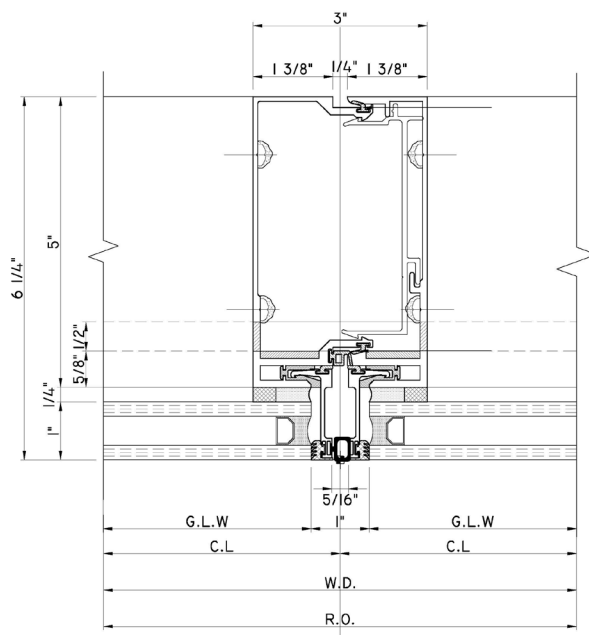
Perforated panel to metal panel, glass to perforated panel, glass to glass, glass corner & slab edge details



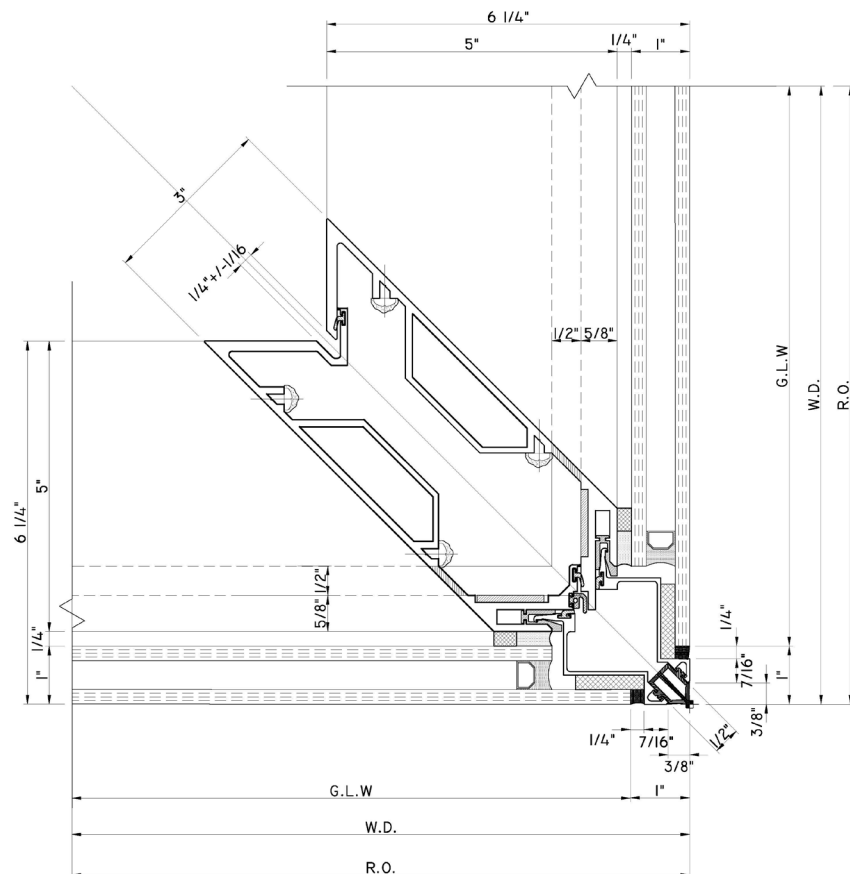
VERTICAL MULLION @ PANEL JAMB
SCALE:FULL



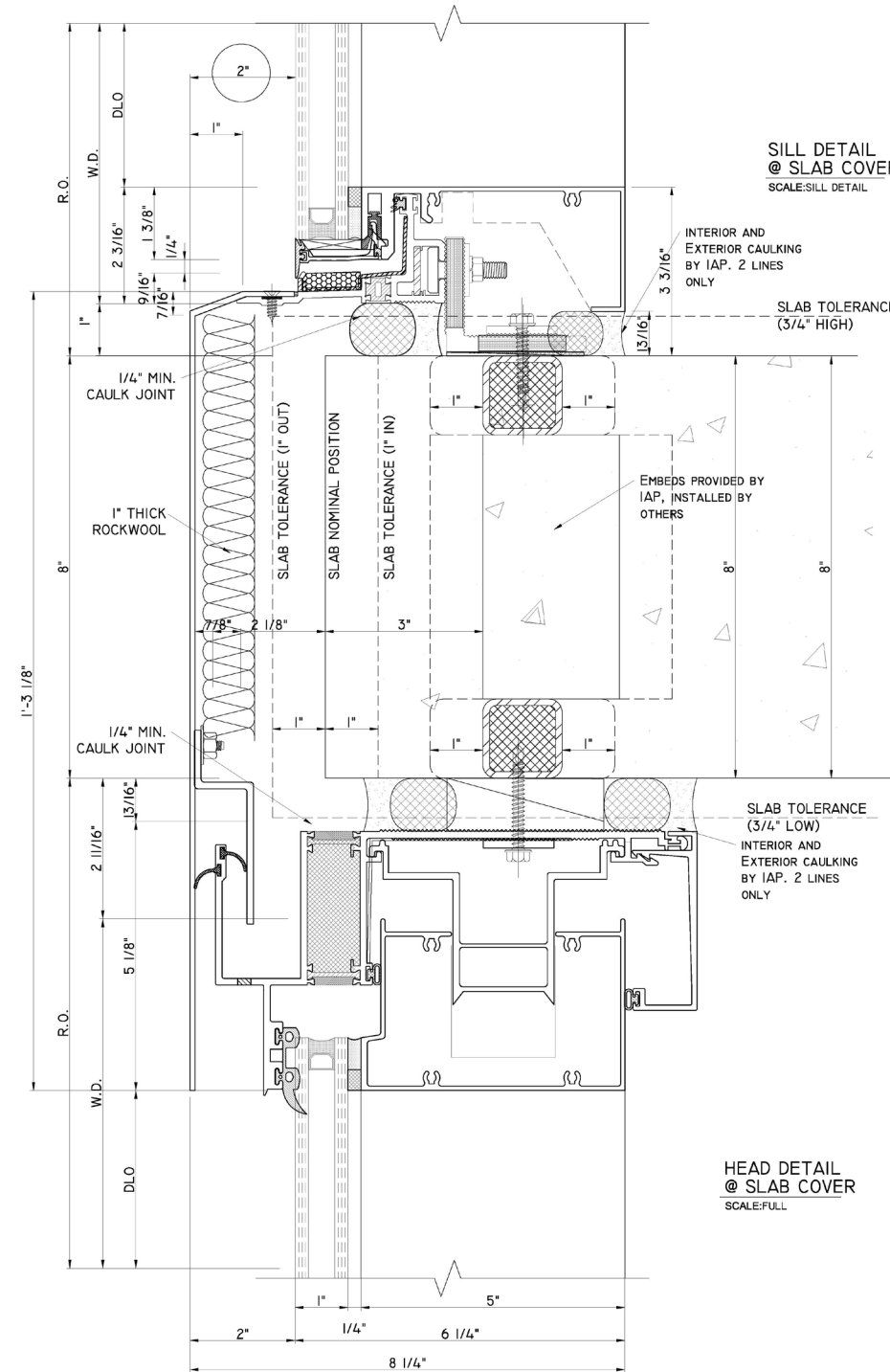
VERTICAL MULLION @ PANEL TO FIX
SCALE:FULL



TYPICAL MULLION
SCALE:FULL



90° CORNER MULLION
SCALE:FULL

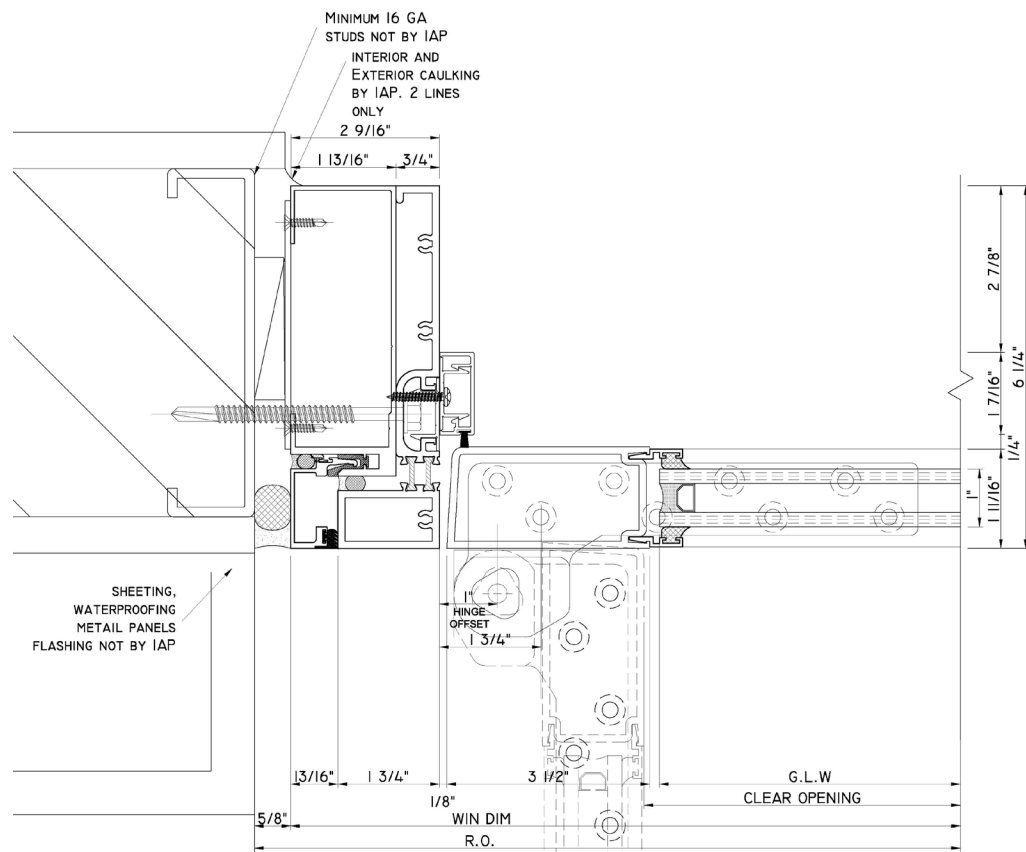


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Chicago, Illinois 60607

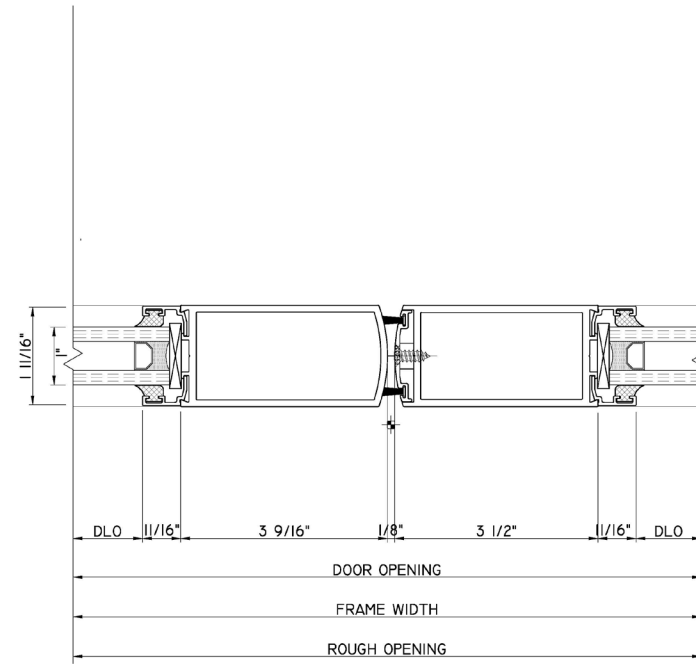
Proposed Exterior Materials: Window Wall

Materials:

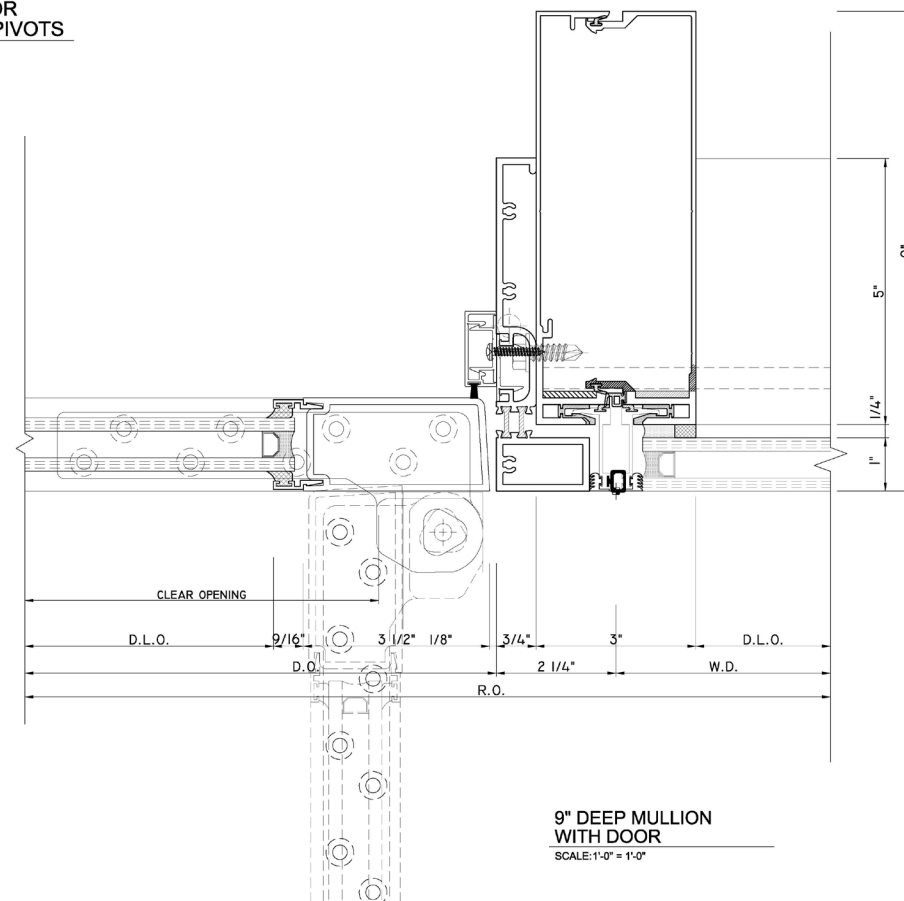
Door details, typical



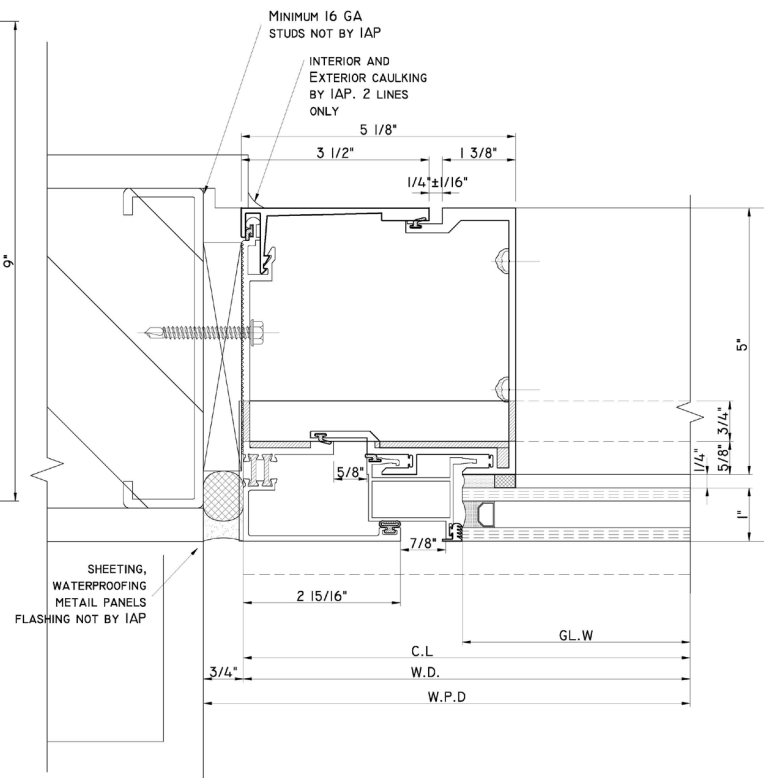
OUT SWING DOOR WITH OFFSEET PIVOTS
SCALE:FULL



MEETING STILES
SCALE:FULL



9\"/>



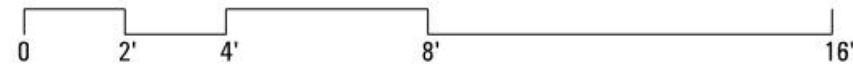
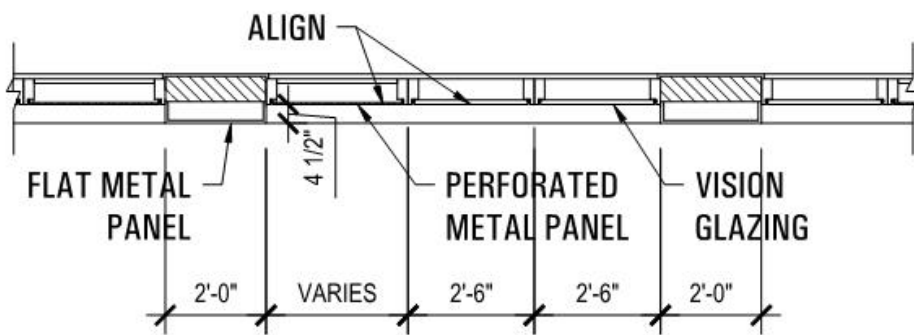
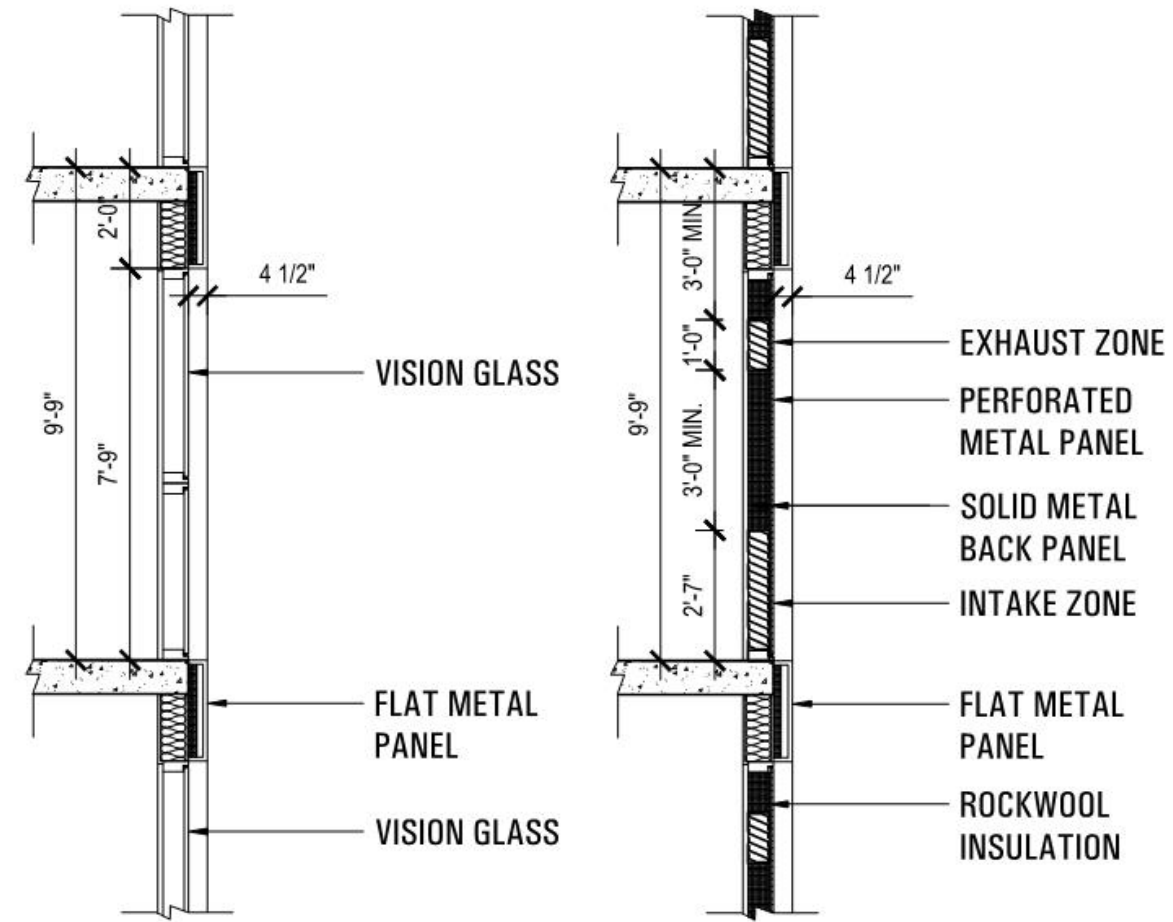
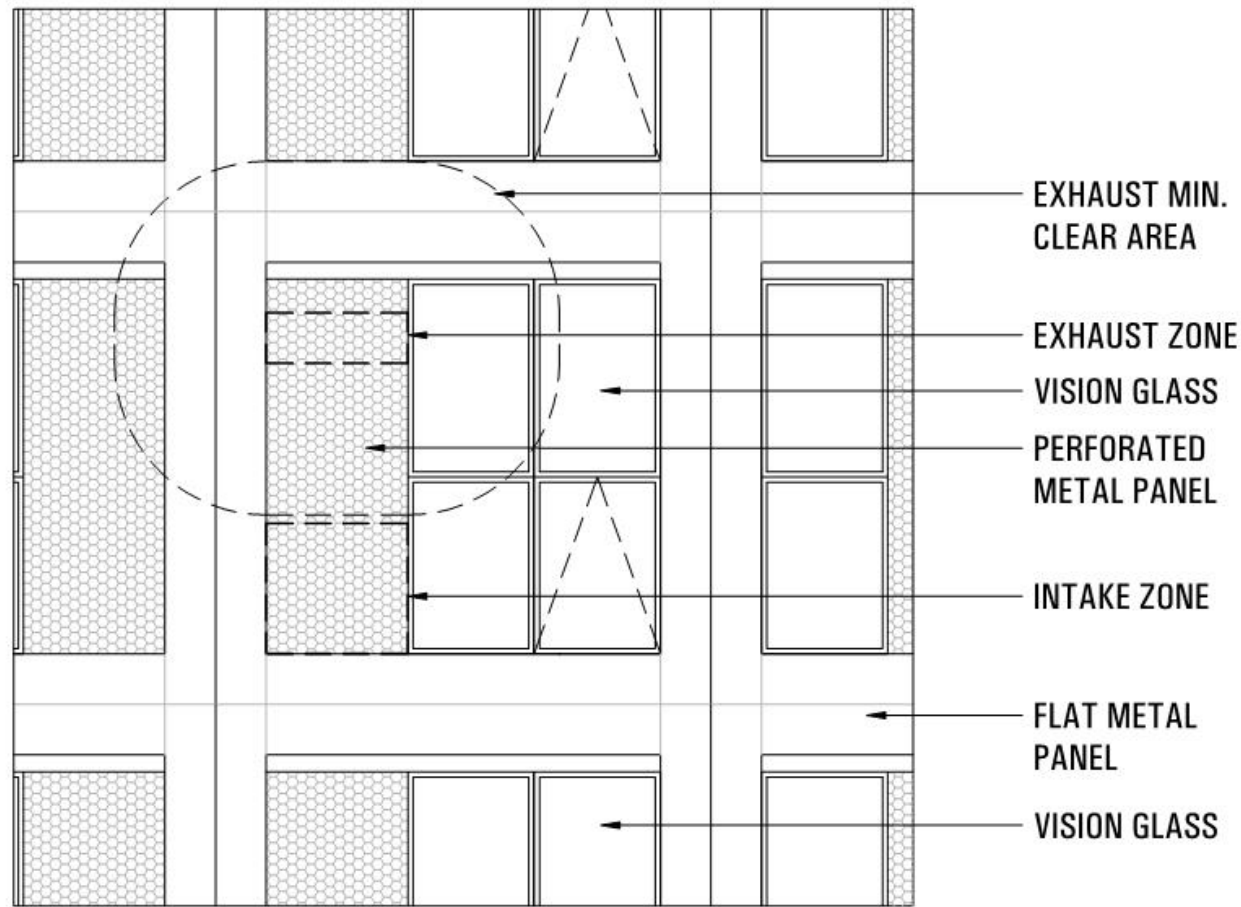
JAMB
SCALE:FULL

Section II: Design Proposal

IAP Enclosure Systems, LLC
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Suite 2W
Chicago, Illinois 60607

LU 15-209034 DZM, AD
C.46

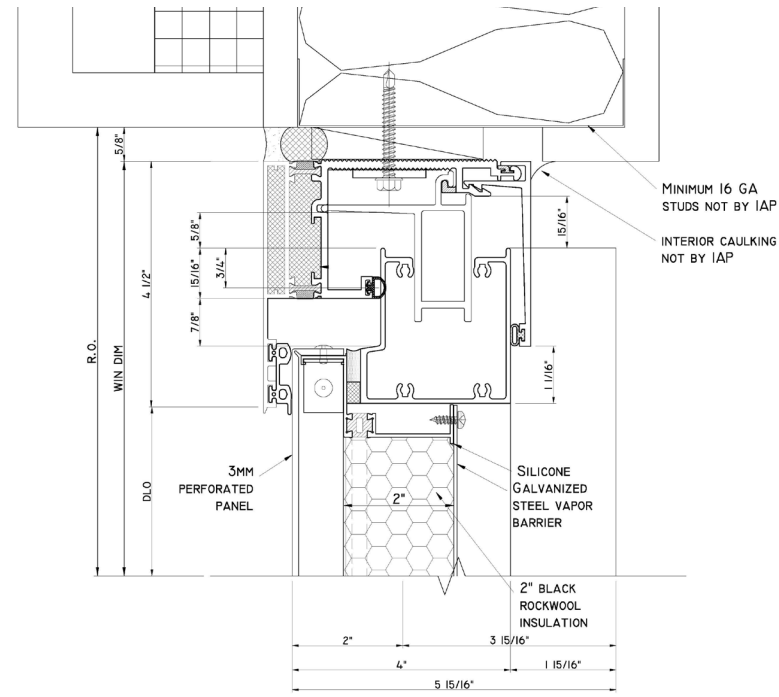
Proposed Exterior Materials: Punched Windows



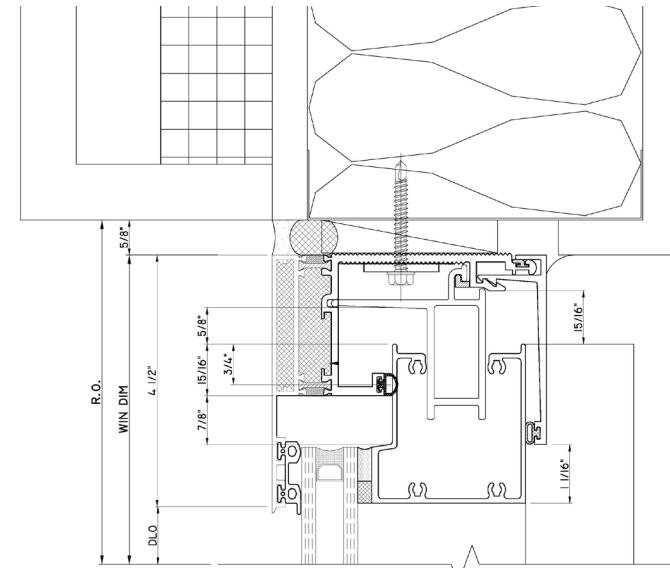
Proposed Exterior Materials: Punched Windows

Materials:

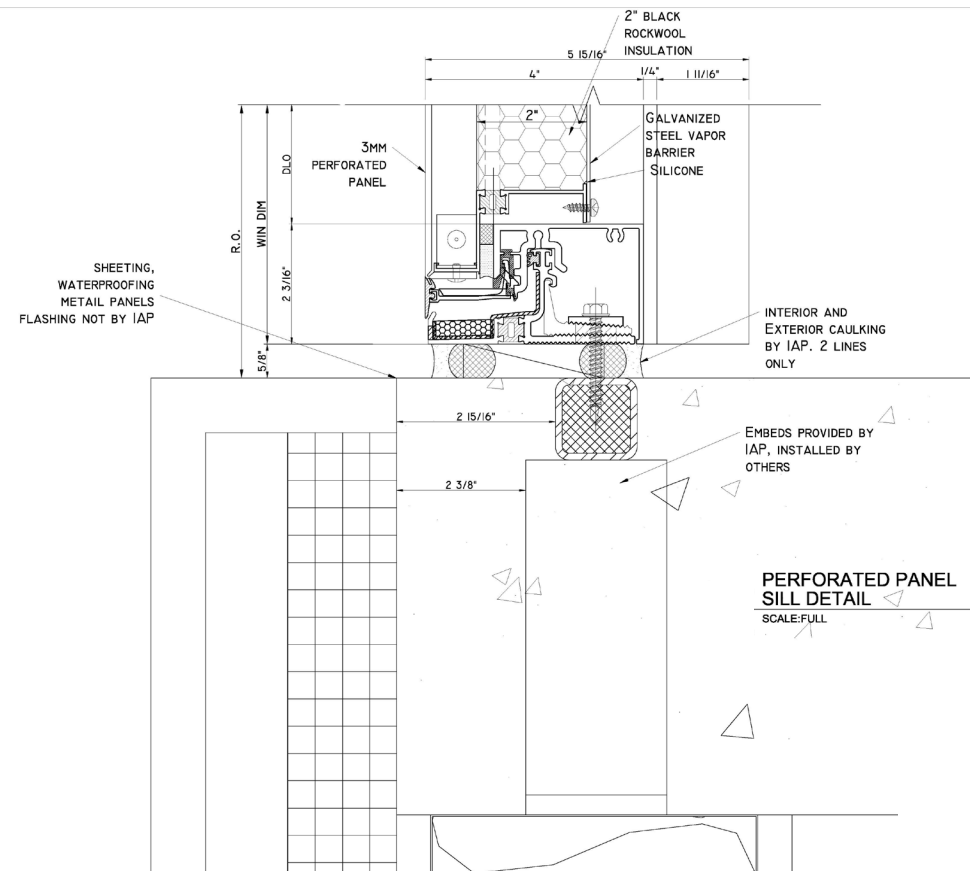
Punched windows and perforated panels inset from the metal panel frame details



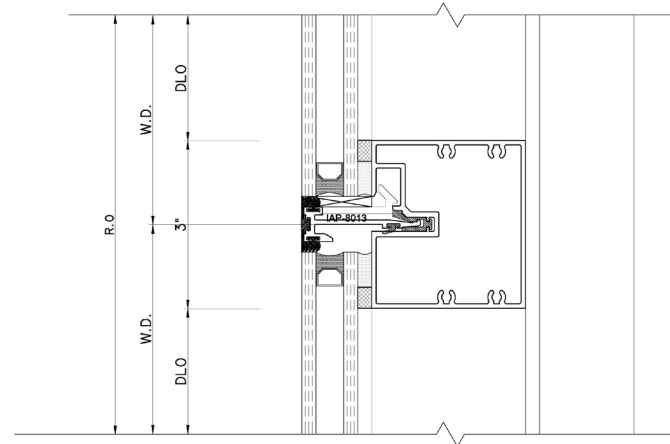
PERFORATED PANEL HEAD DETAIL
SCALE:FULL



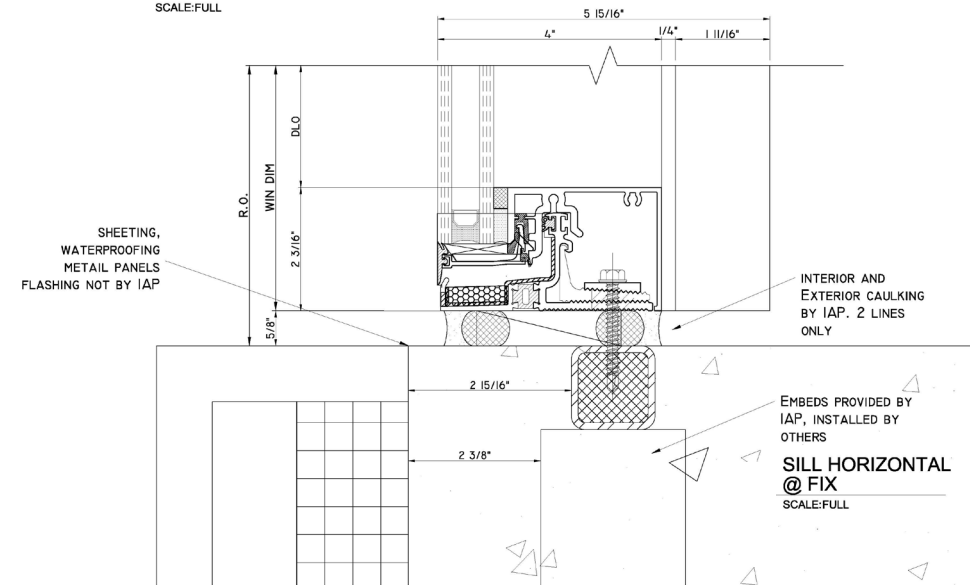
TYPICAL HEAD DETAIL
SCALE:FULL



PERFORATED PANEL SILL DETAIL
SCALE:FULL



INTR. HORIZONTAL @ FIX TO FIX
SCALE:FULL



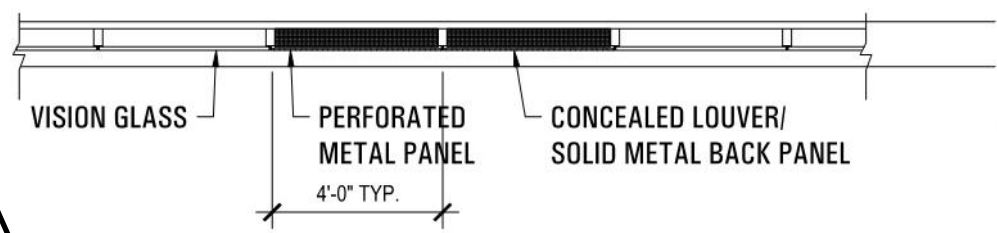
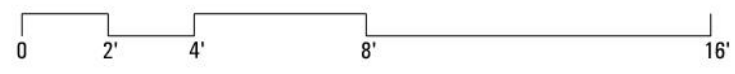
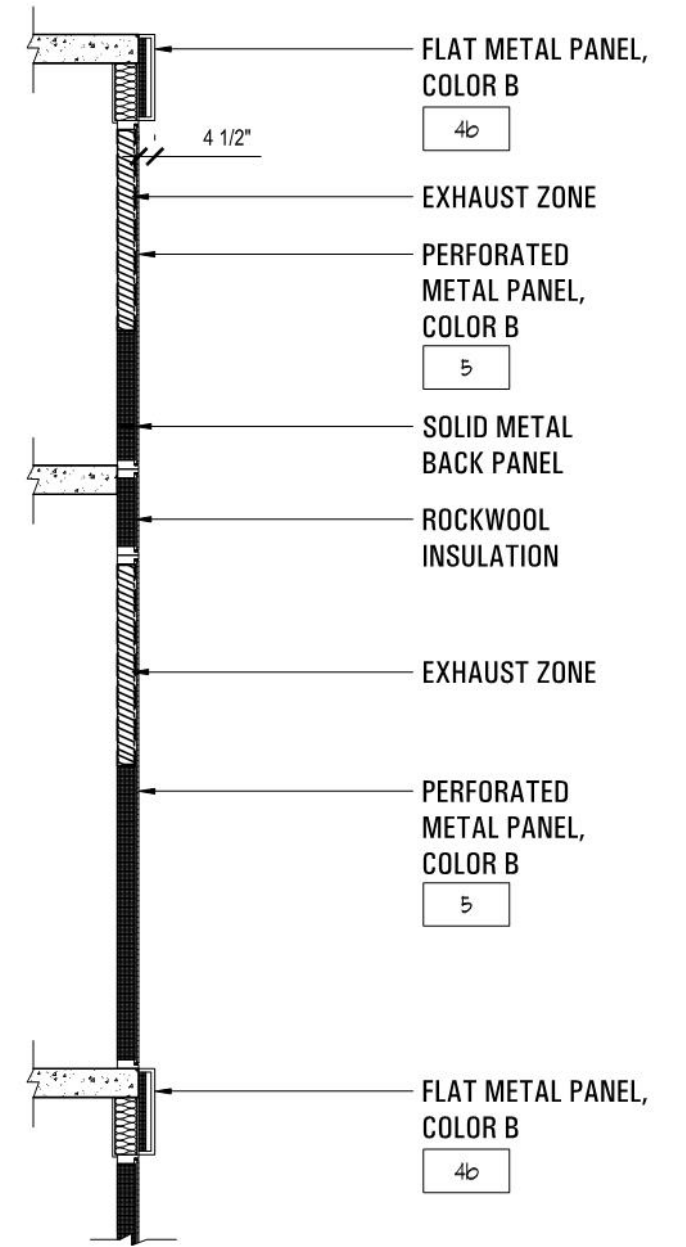
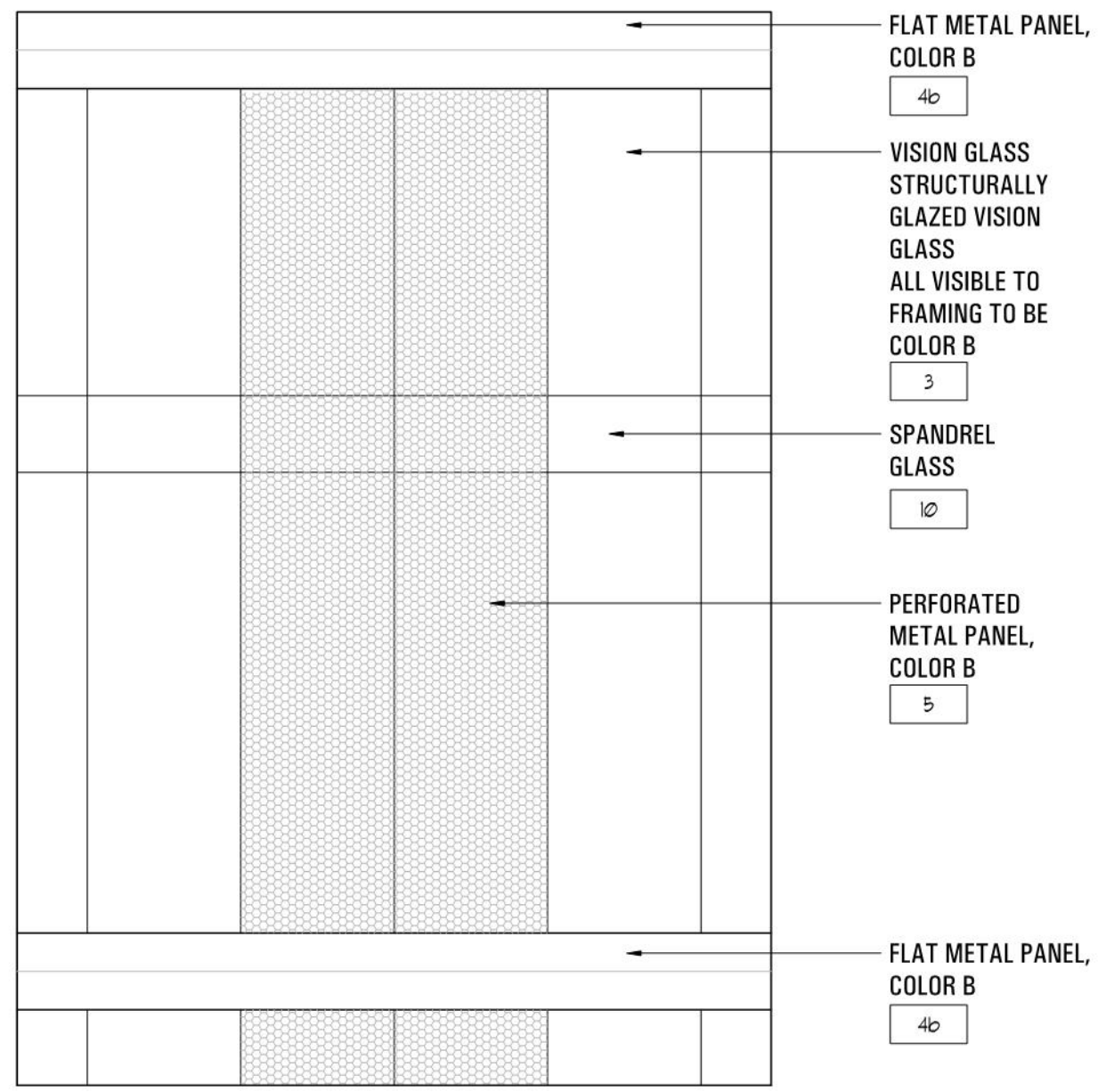
SILL HORIZONTAL @ FIX
SCALE:FULL

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Suite 2W
Chicago, Illinois 60607

Proposed Exterior Materials: Louvers at the base

Grocer Exhaust will operate during normal business hours and will comply with separation requirements as described in chapter 5 of the 2014 OMSC including being a minimum of 10' above the pedestrian trail.

- Grocer intake will be continuous low velocity.
- Garage exhaust would be continuous environmental exhaust and in compliance with chapter 5 of the 2014 OMSC.
- Generator exhaust would be periodic, located a minimum of 10' above the pedestrian trail.
- All black iron/ kitchen exhaust from the grocer would exhaust out the upper roof.



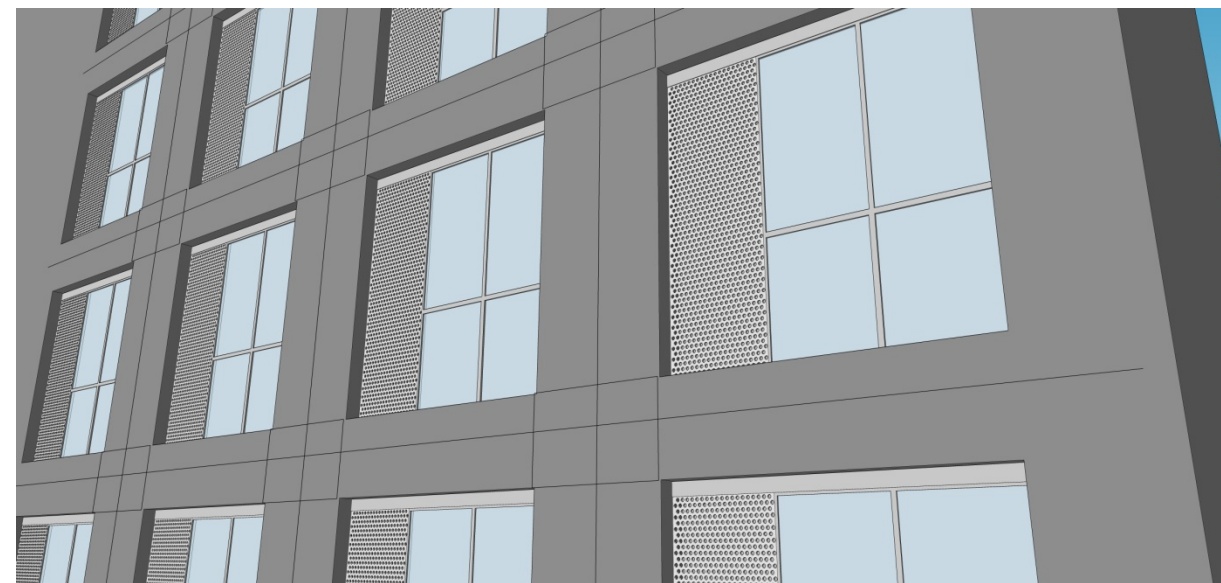
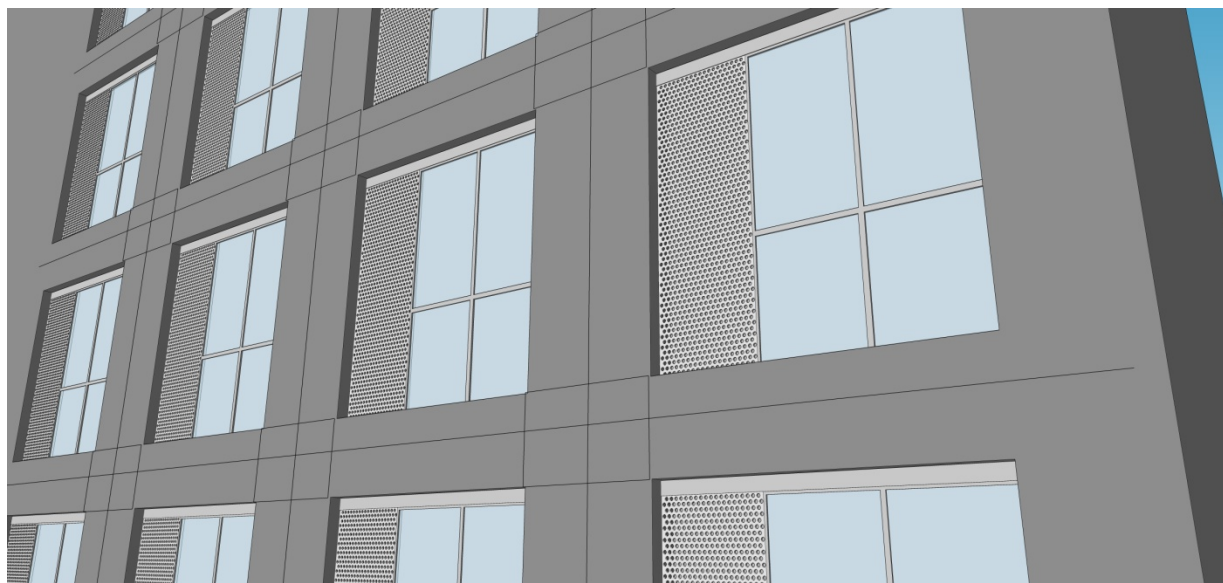
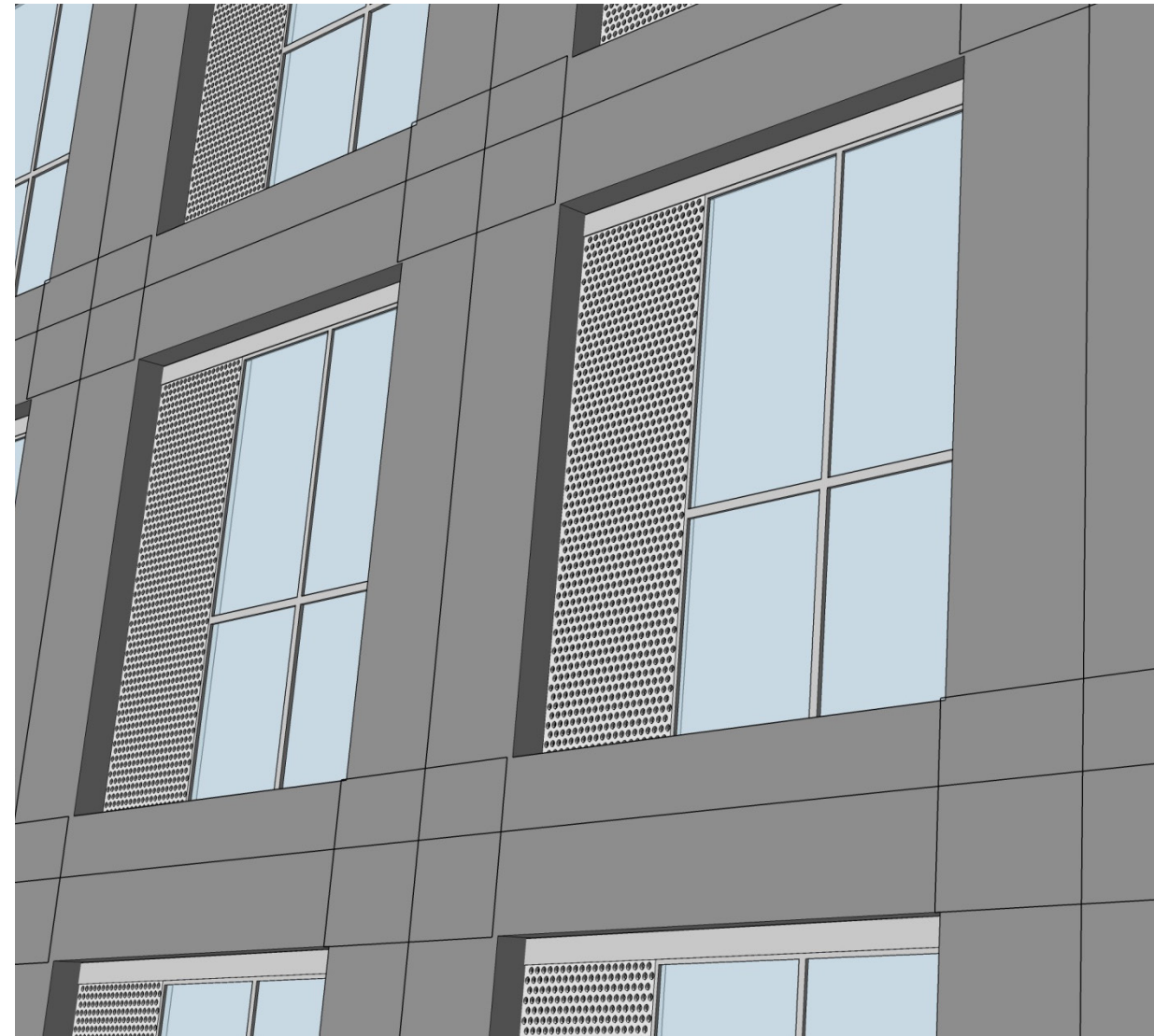
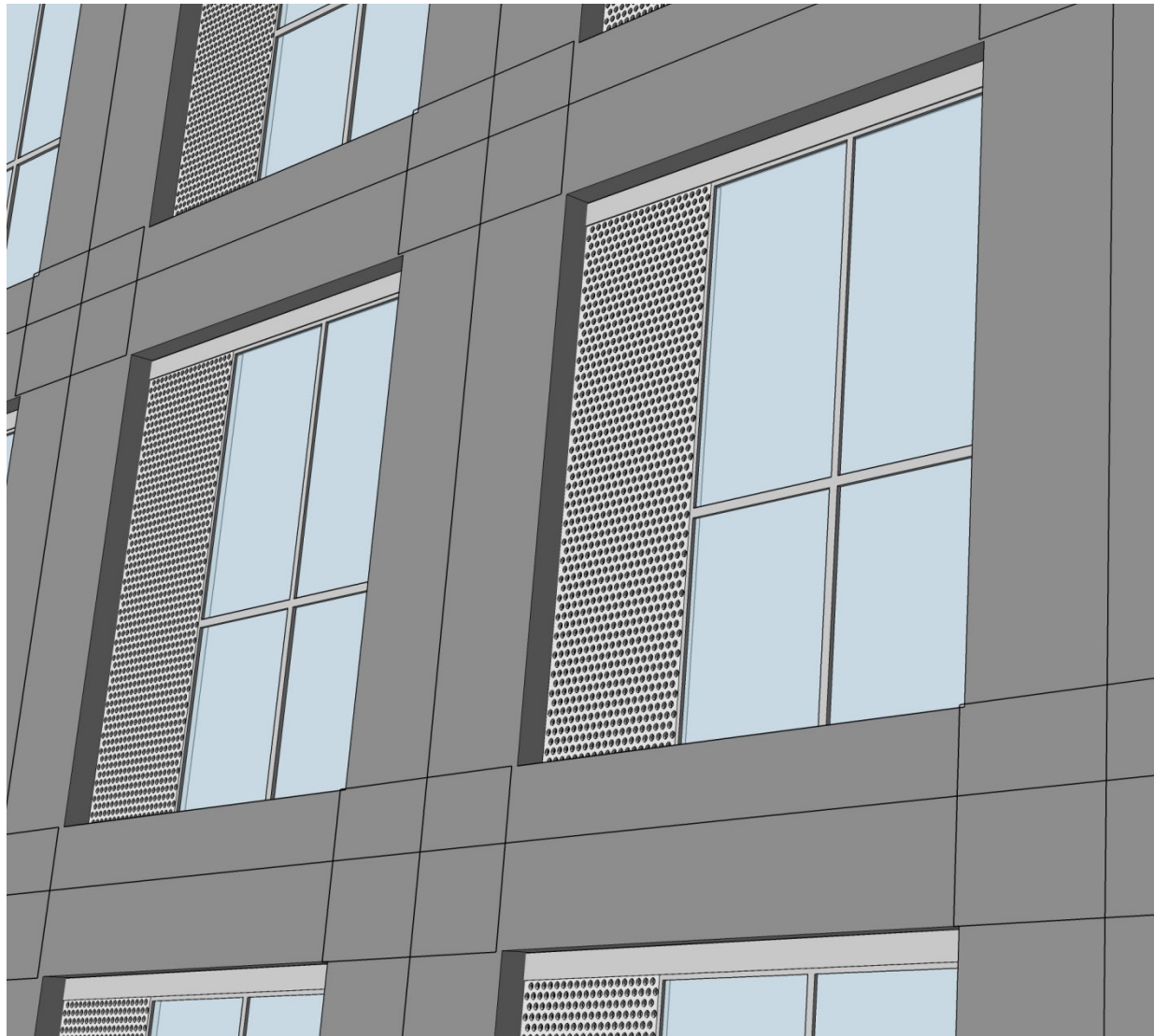
Spandrel glass to have light grey frit on the 4th surface – see sample

Proposed Exterior Materials: Punched Windows

Materials:

Punched windows and perforated
panels inset from the metal
panel frame details:

4.5" VS 5.5" offset



4.5" OFFSET

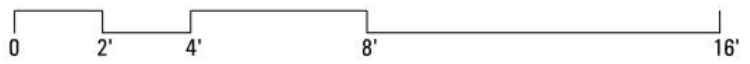
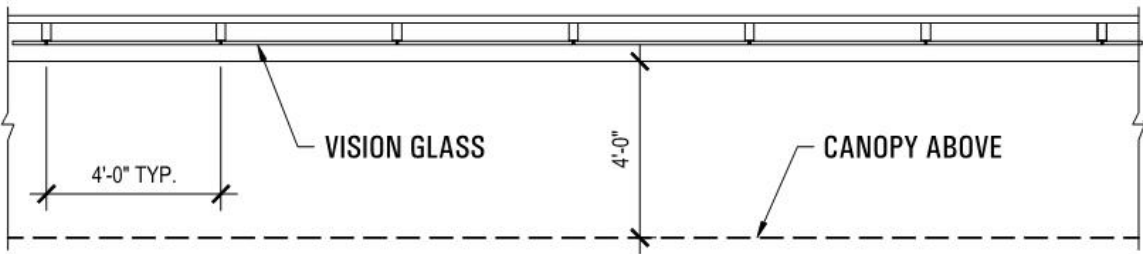
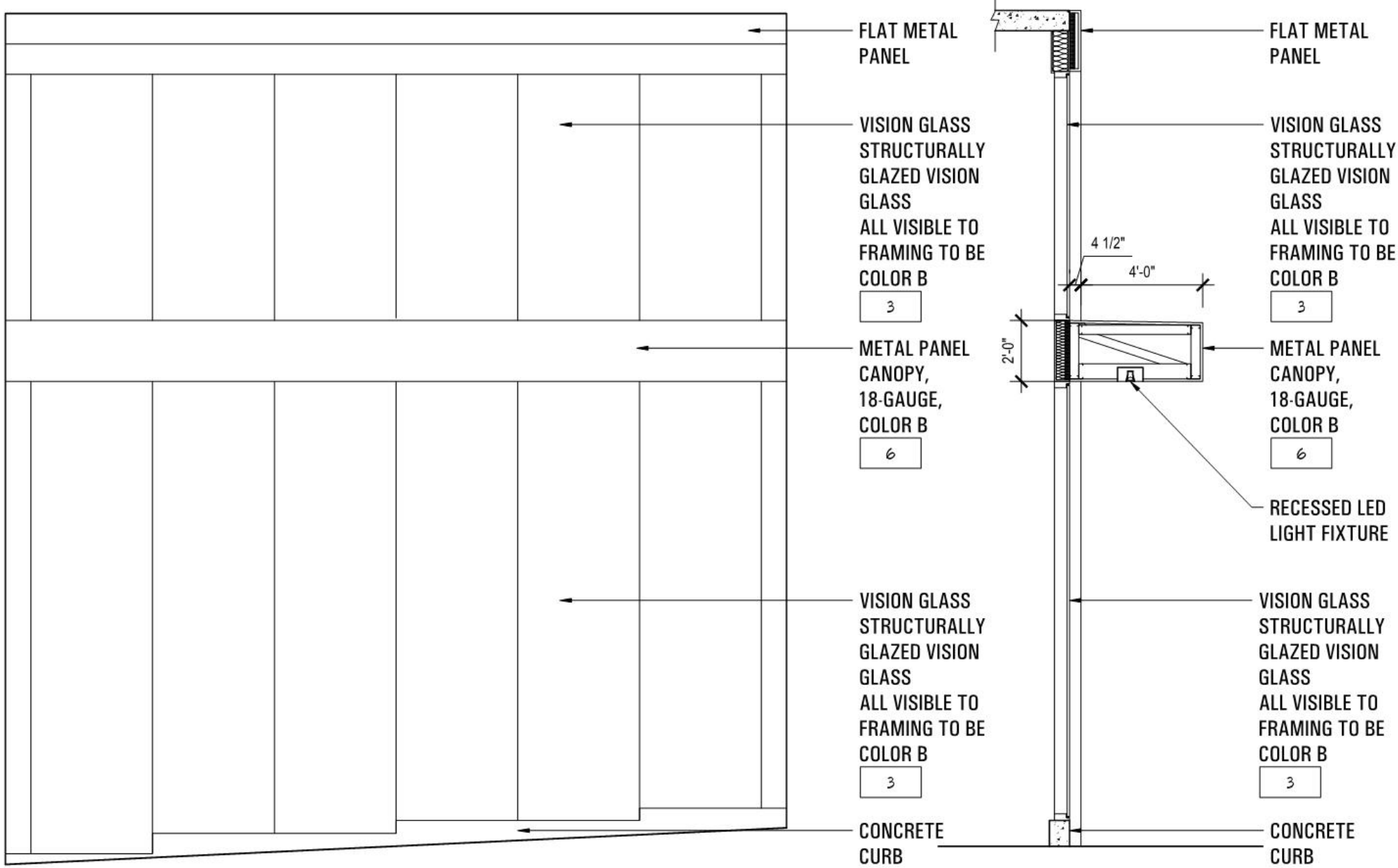
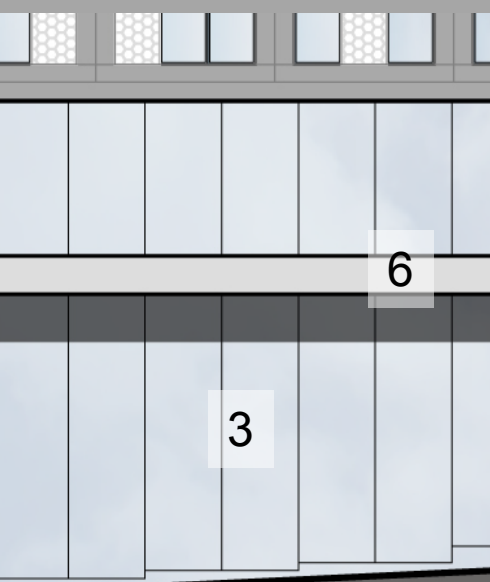
5.5" OFFSET

Section II: Design Proposal

IAP Enclosure
Systems, LLC
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Suite 2W
Chicago, Illinois 60607

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C.51

Typical Storefront



PS.11.0
2" LED RECESSED MULTIPLE 700 & 1000 LUMEN
 SQUARE 1-3/8" REGRESSED PINHOLE
 1, 2, & 3 Head LED Units with 23085Q Trim Series

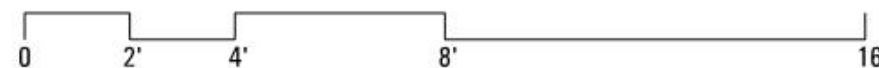
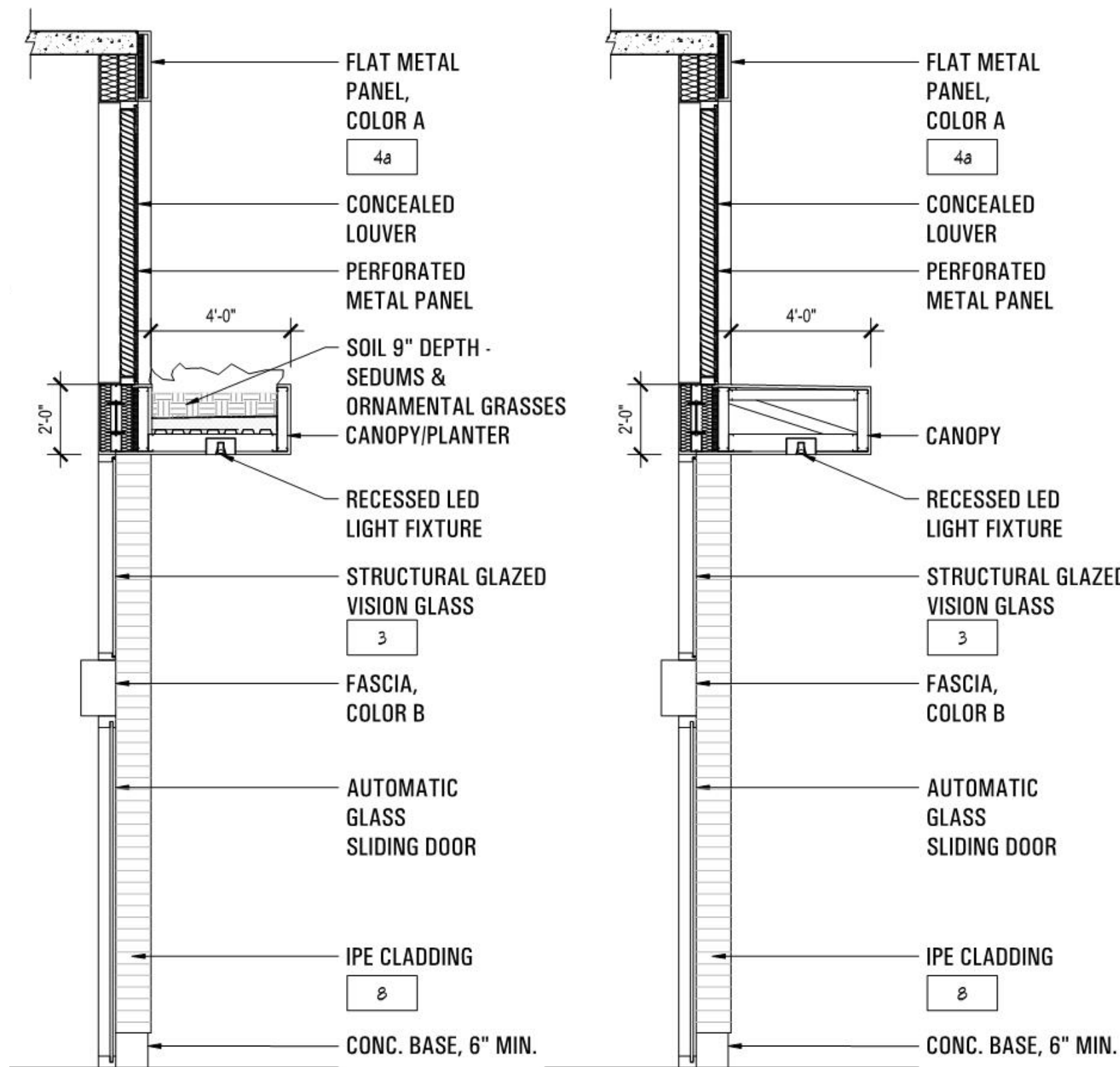
Type _____ Cat. No. _____
 Project: _____
 Notes: _____

DIMENSIONS

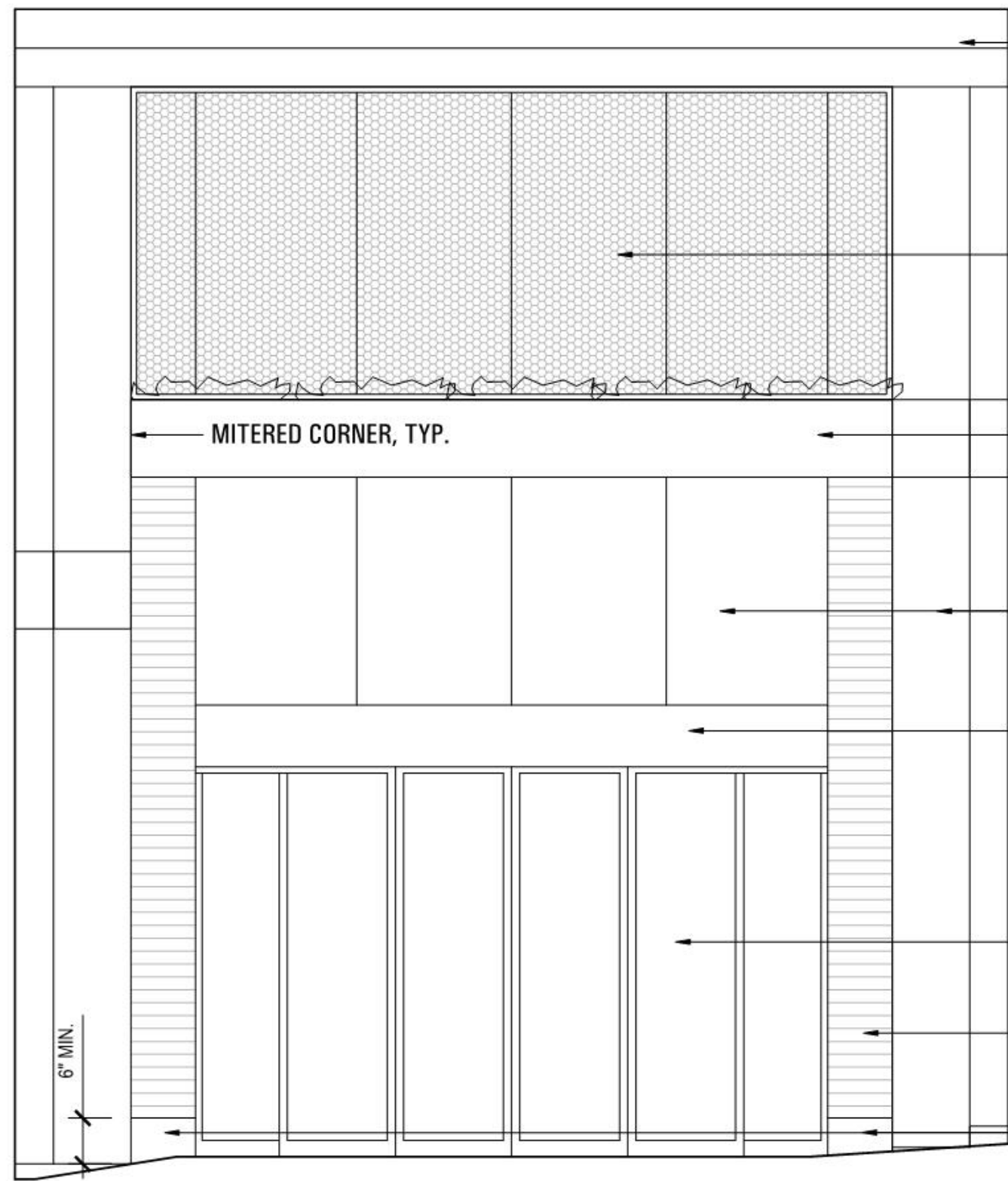
Typical canopy details

Materials:

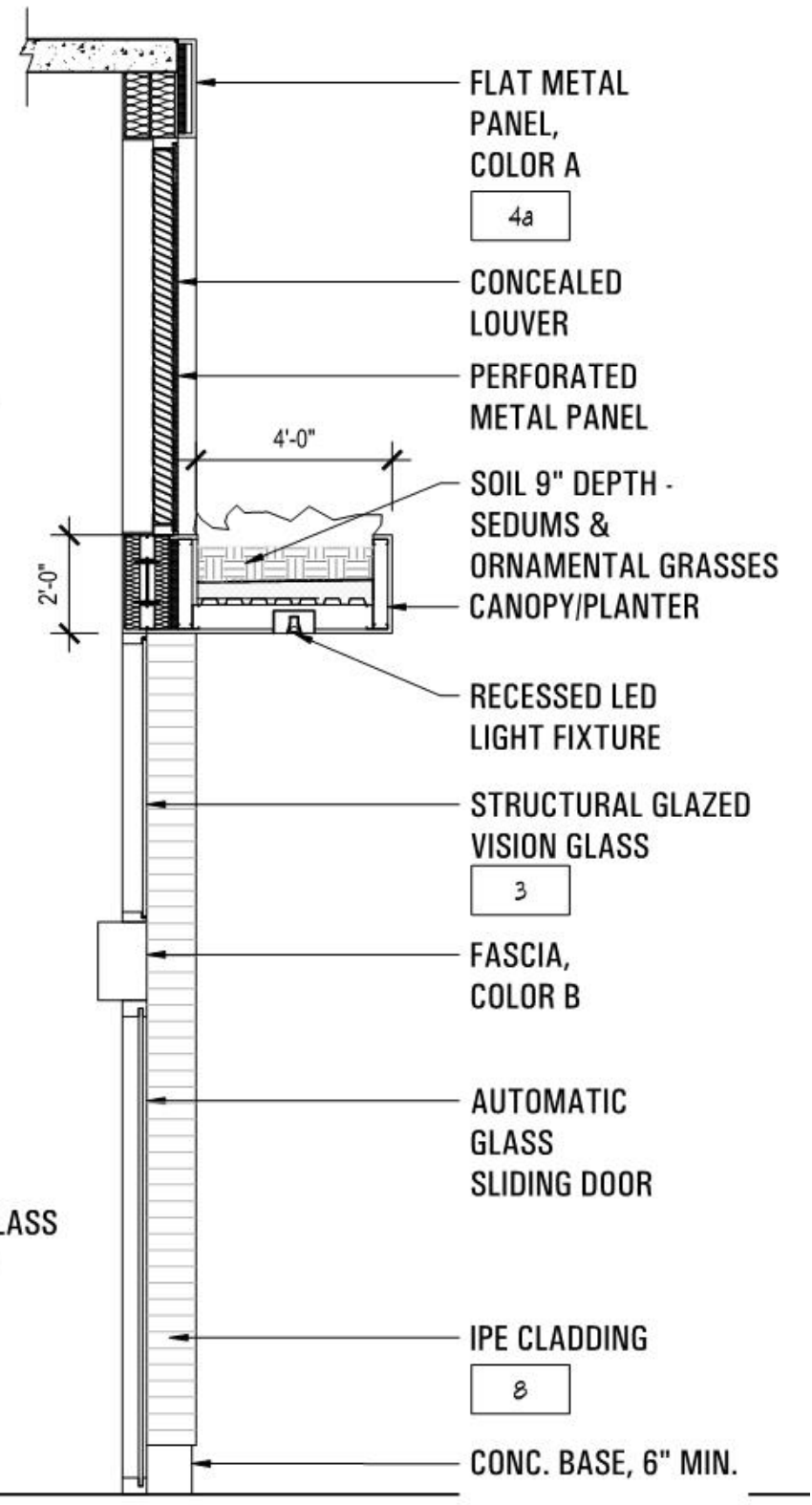
1. Glass – window wall
2. Glass – punched window
3. Glass – storefront
- 4a. Flat metal panel, color a
- 4b. Flat metal panel, color b
5. Perforated metal panel, color b
6. Metal Canopy, color b
7. Glass & aluminum overhead garage door
8. Ipe wood cladding
9. Concrete, vertical board form
10. Spandrel glass
11. Steel metal panel, color b



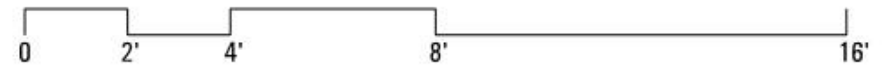
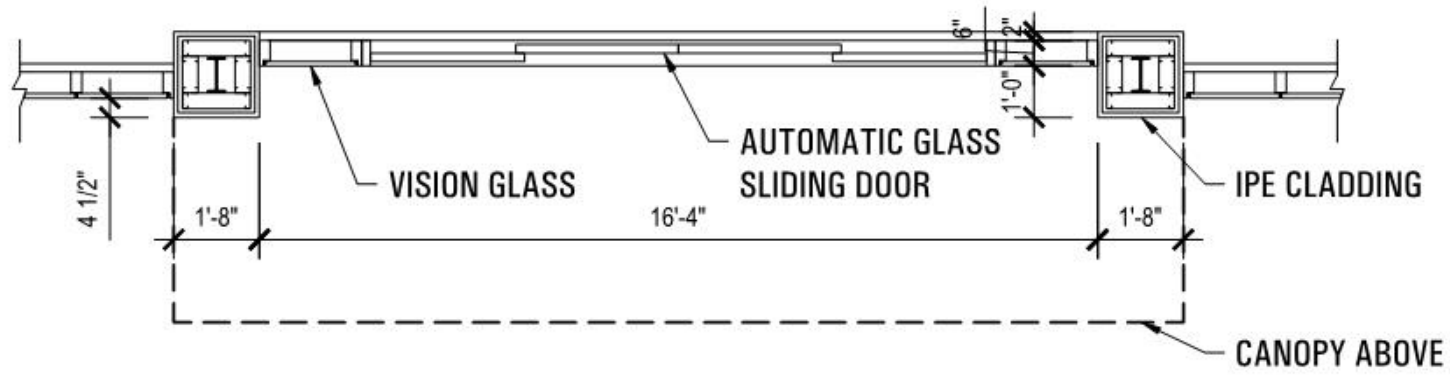
Section II: Design Proposal



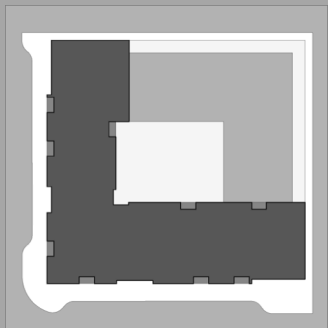
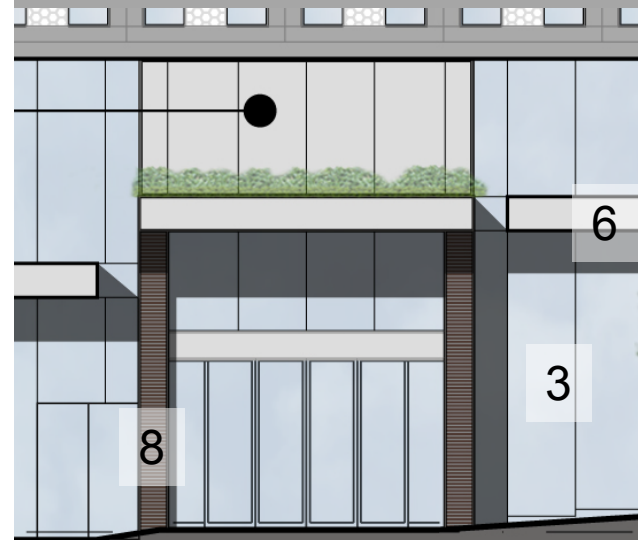
- FLAT METAL PANEL, COLOR A
4a
- PERFORATED METAL PANEL, COLOR B
5
- CANOPY/PLANTER, 18 GAUGE, COLOR B
6
- VISION GLASS
- FASCIA, COLOR B
- AUTOMATIC GLASS SLIDING DOOR
- IPE CLADDING
8
- CONC. BASE



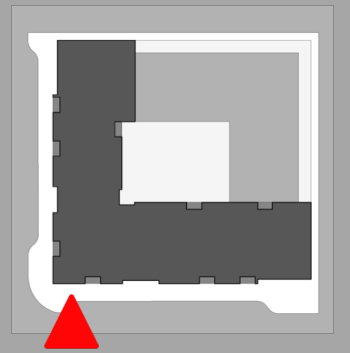
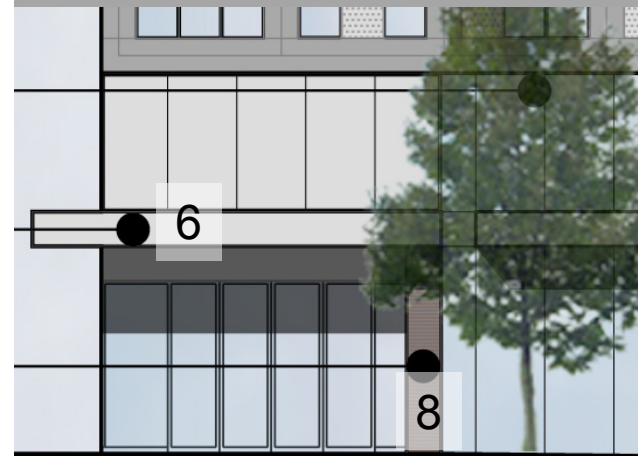
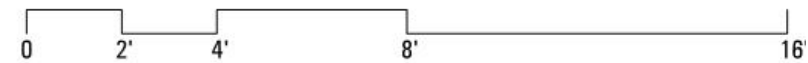
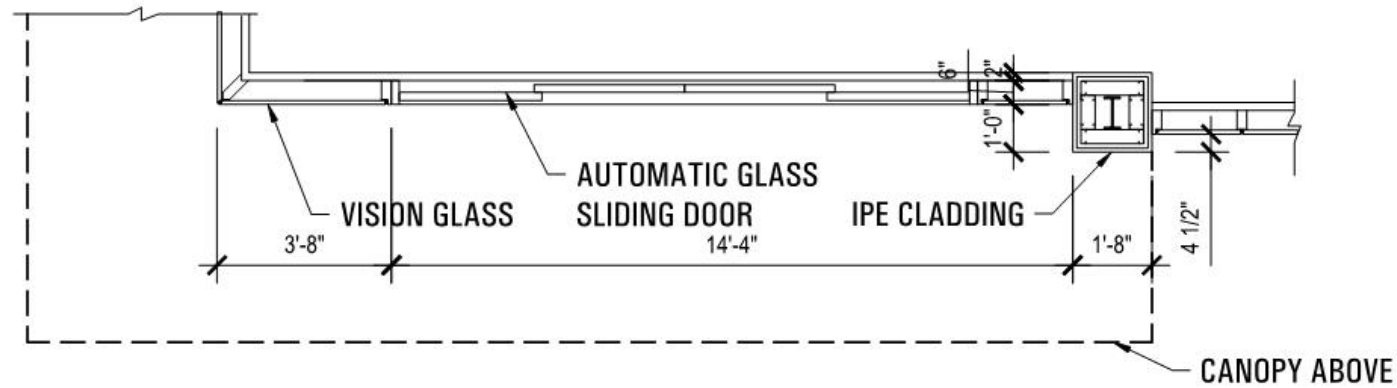
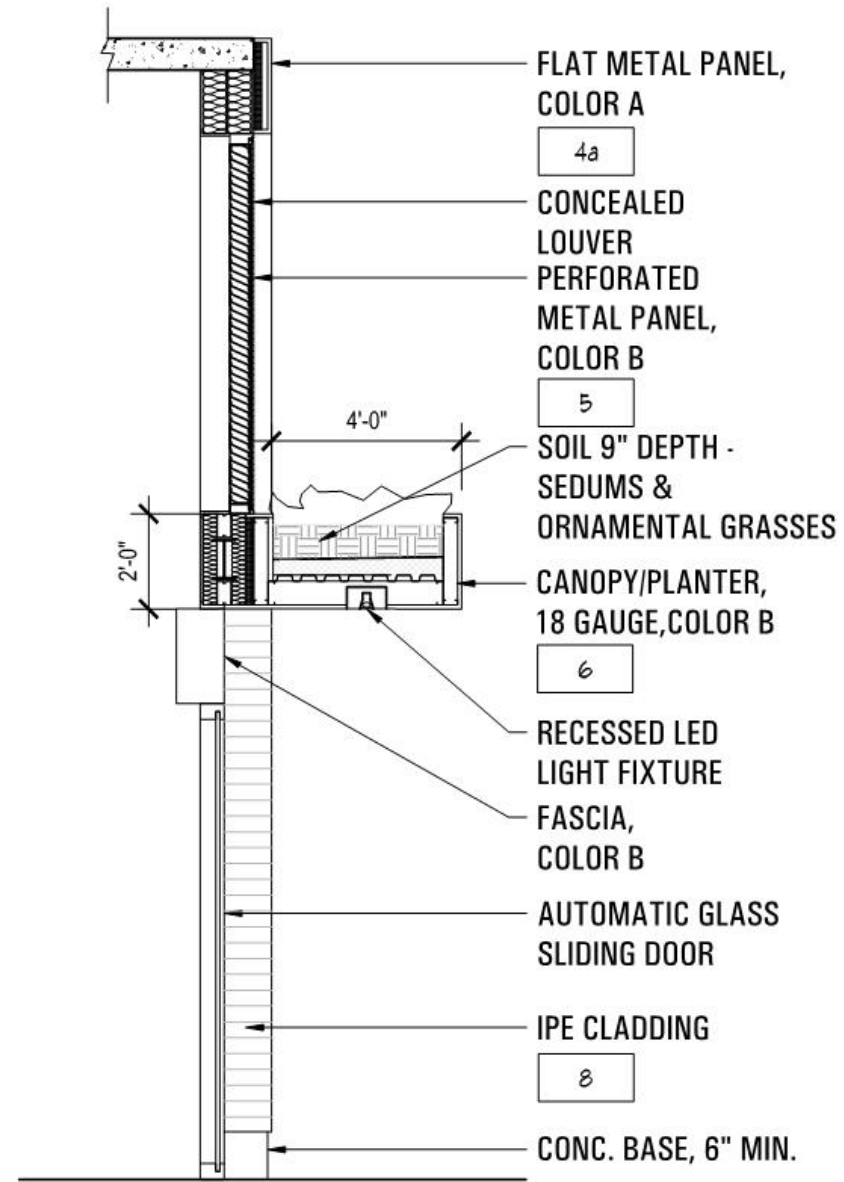
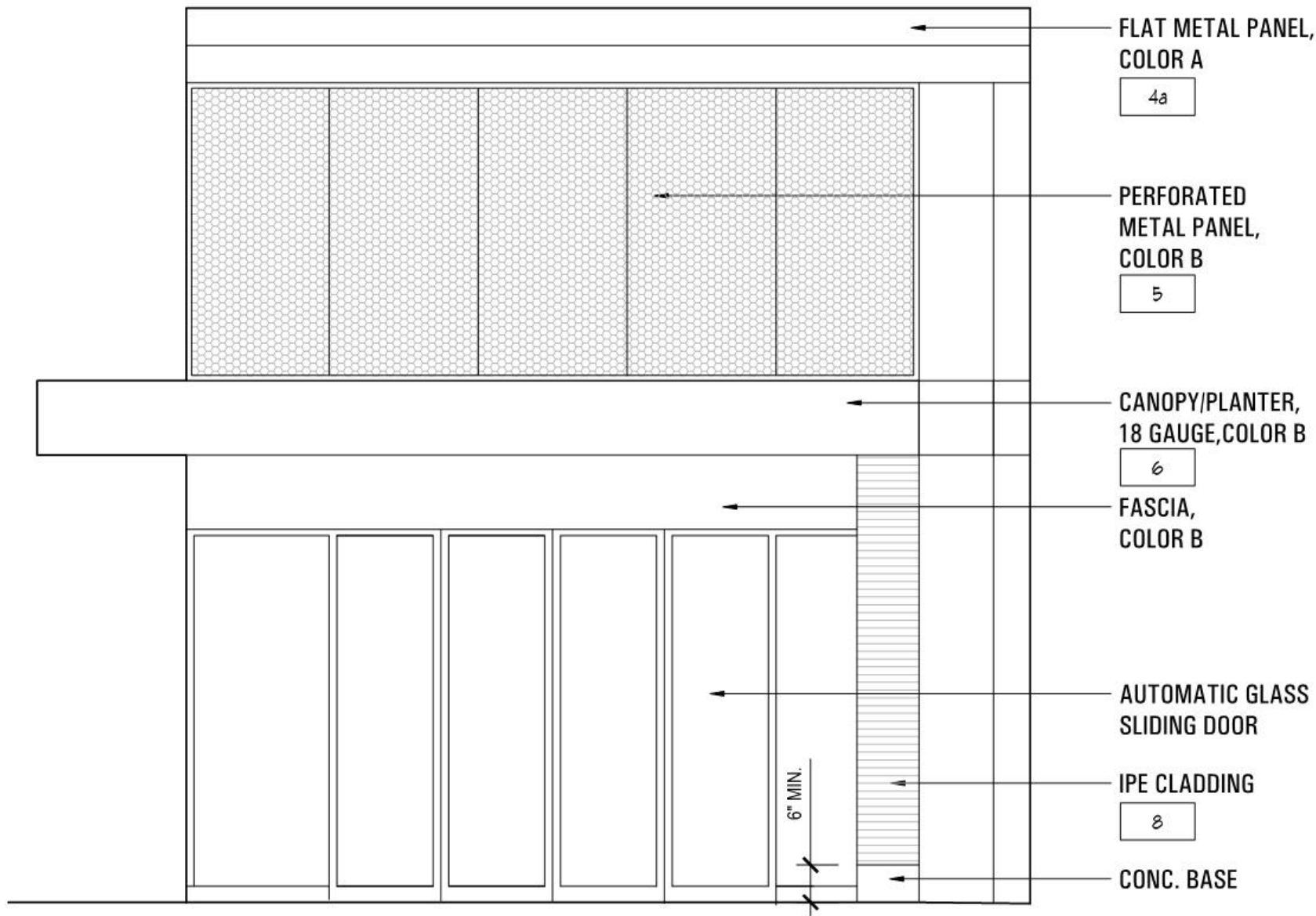
- FLAT METAL PANEL, COLOR A
4a
- CONCEALED LOUVER
- PERFORATED METAL PANEL
- SOIL 9" DEPTH - SEDUMS & ORNAMENTAL GRASSES CANOPY/PLANTER
- RECESSED LED LIGHT FIXTURE
- STRUCTURAL GLAZED VISION GLASS
3
- FASCIA, COLOR B
- AUTOMATIC GLASS SLIDING DOOR
- IPE CLADDING
8
- CONC. BASE, 6" MIN.



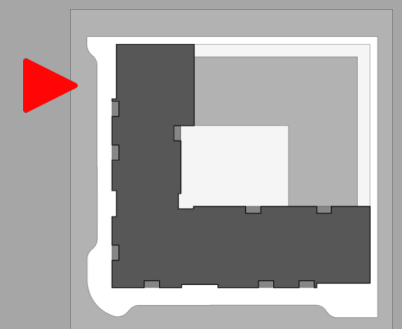
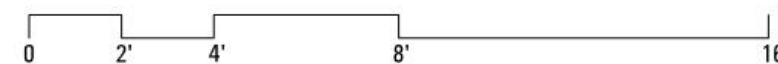
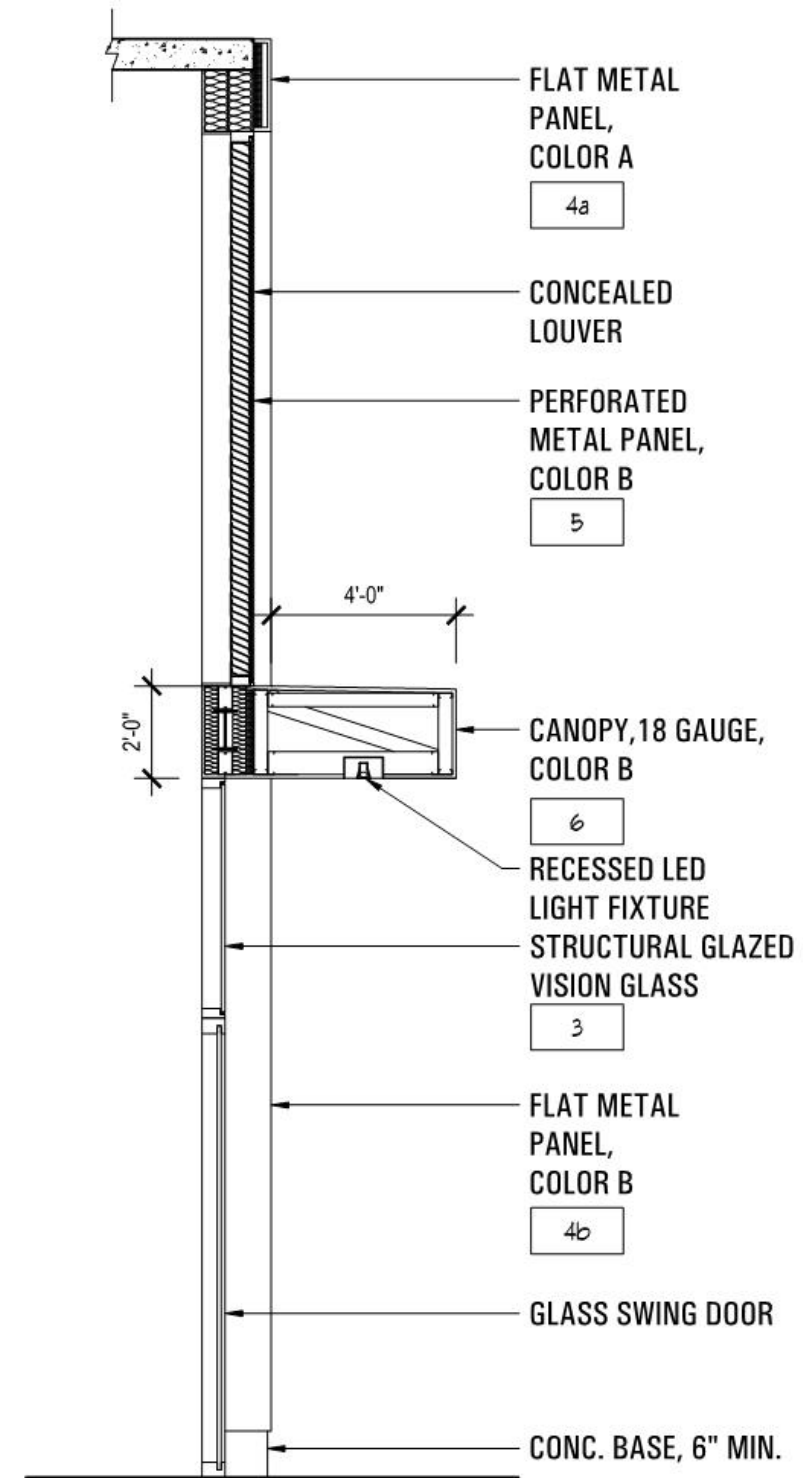
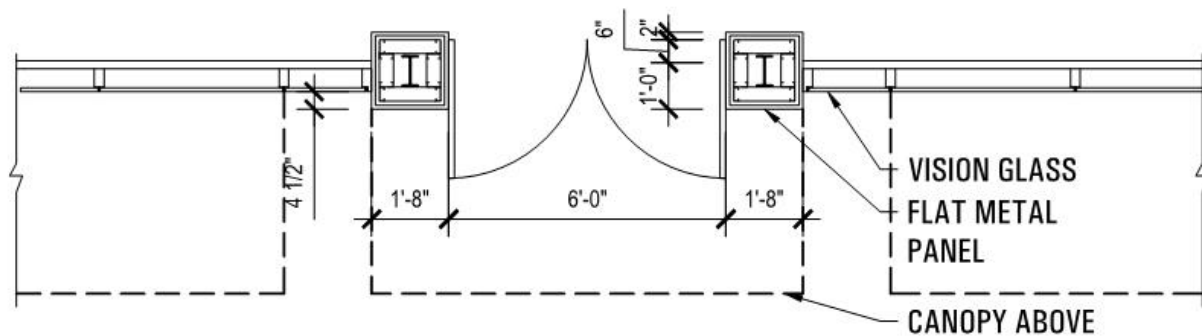
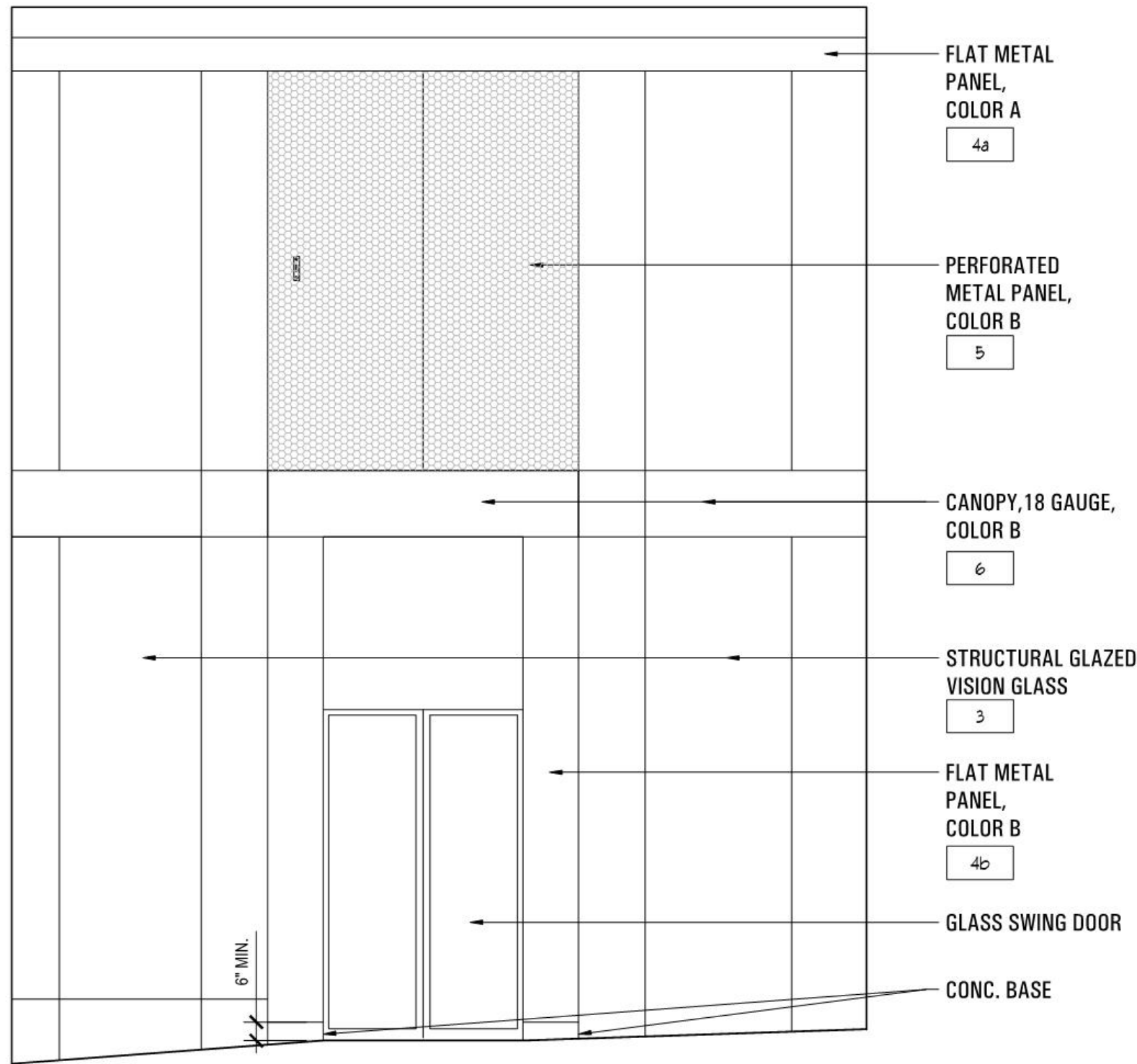
Retail Entry



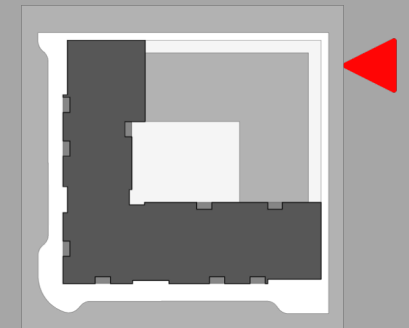
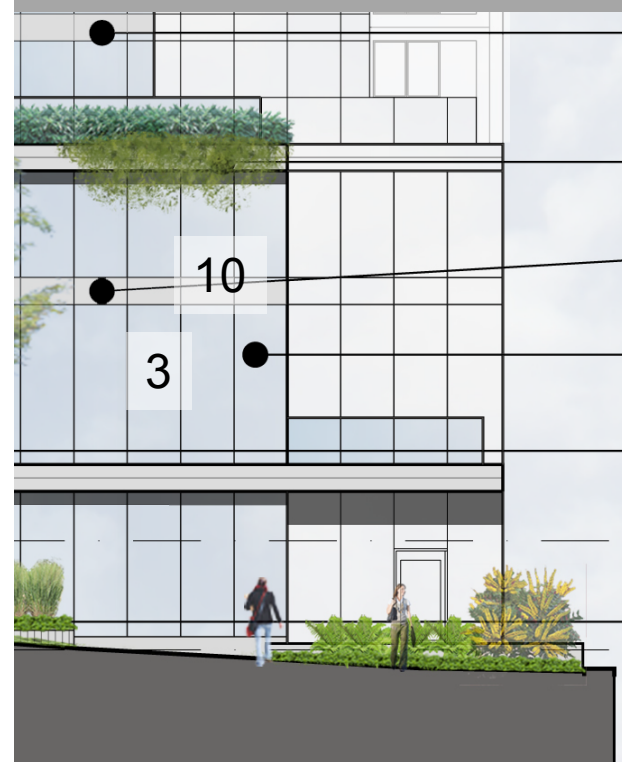
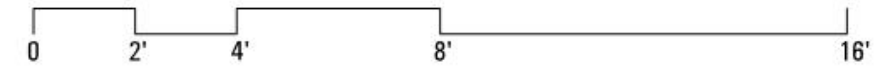
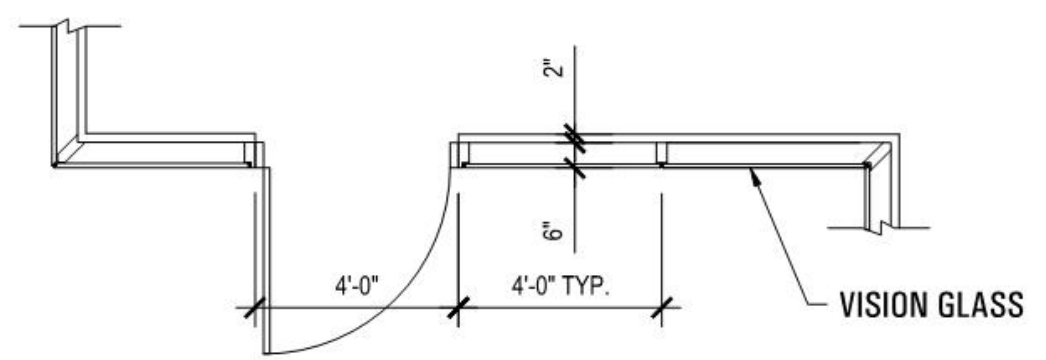
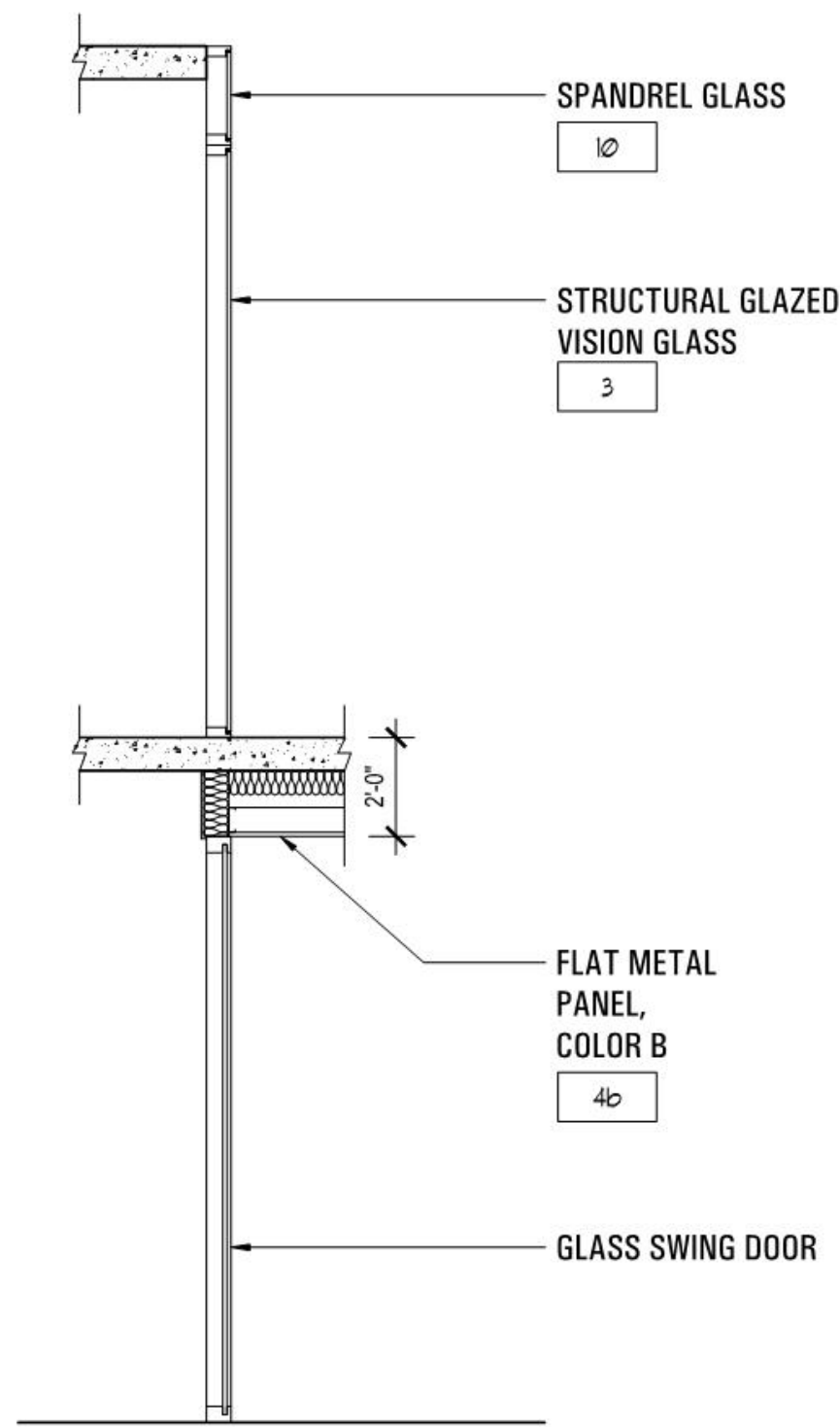
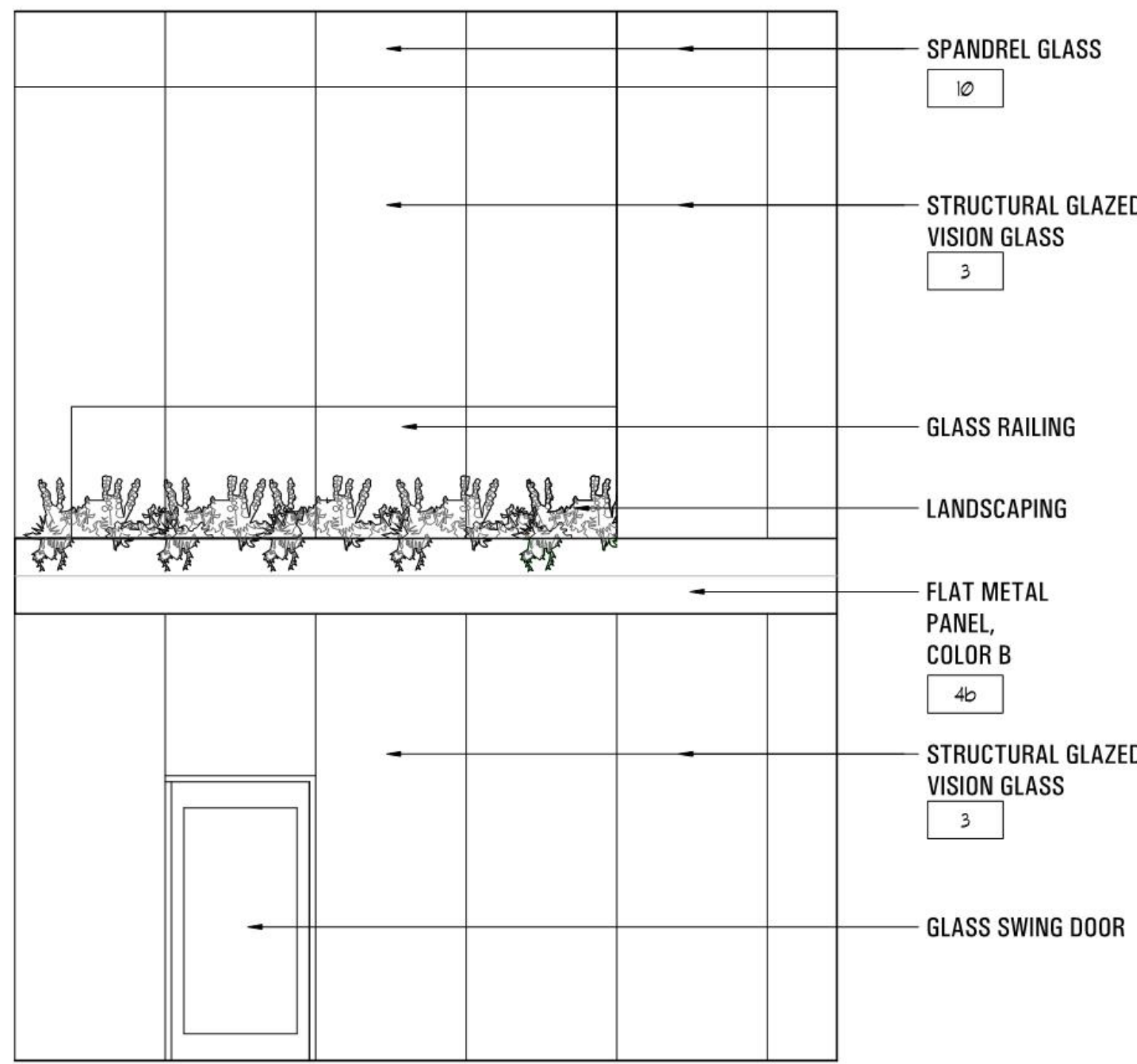
Retail Entry



Section II: Design Proposal



Pedestrian Lobby Entry

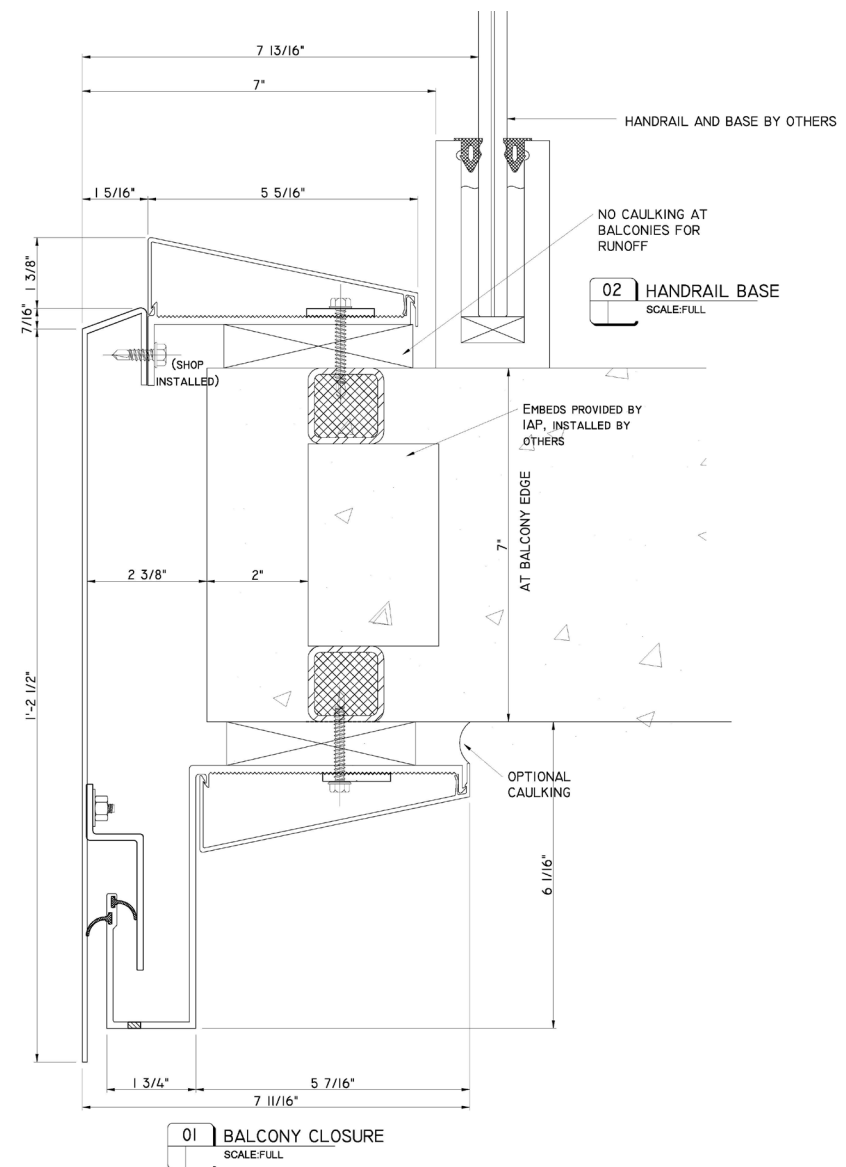
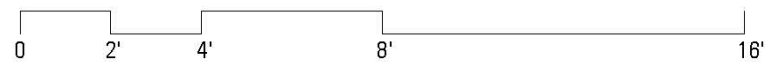
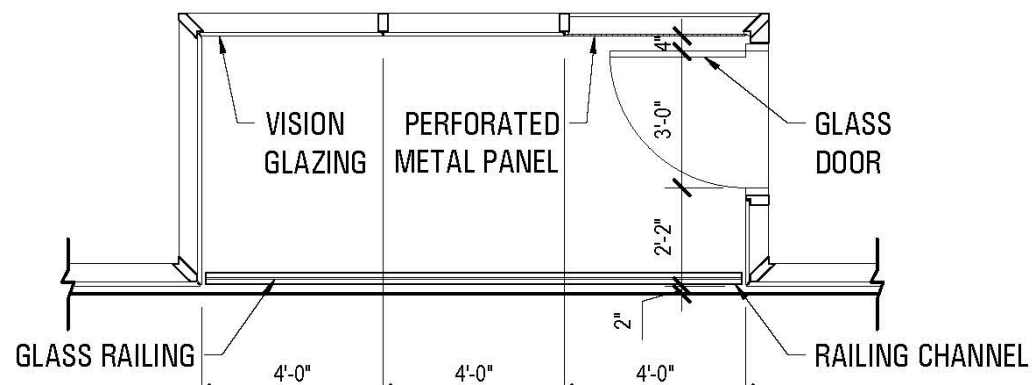
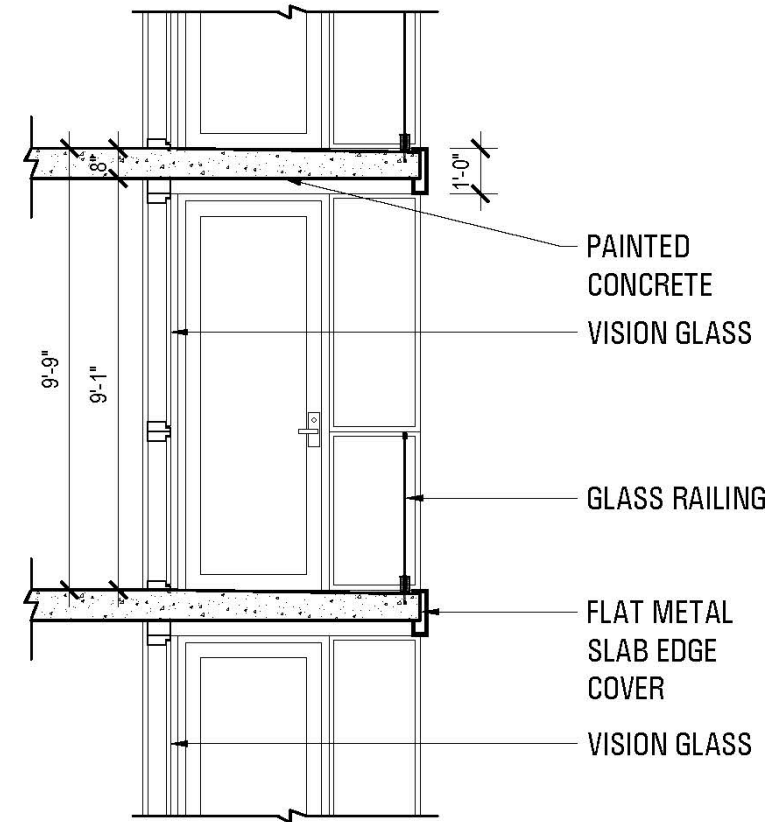
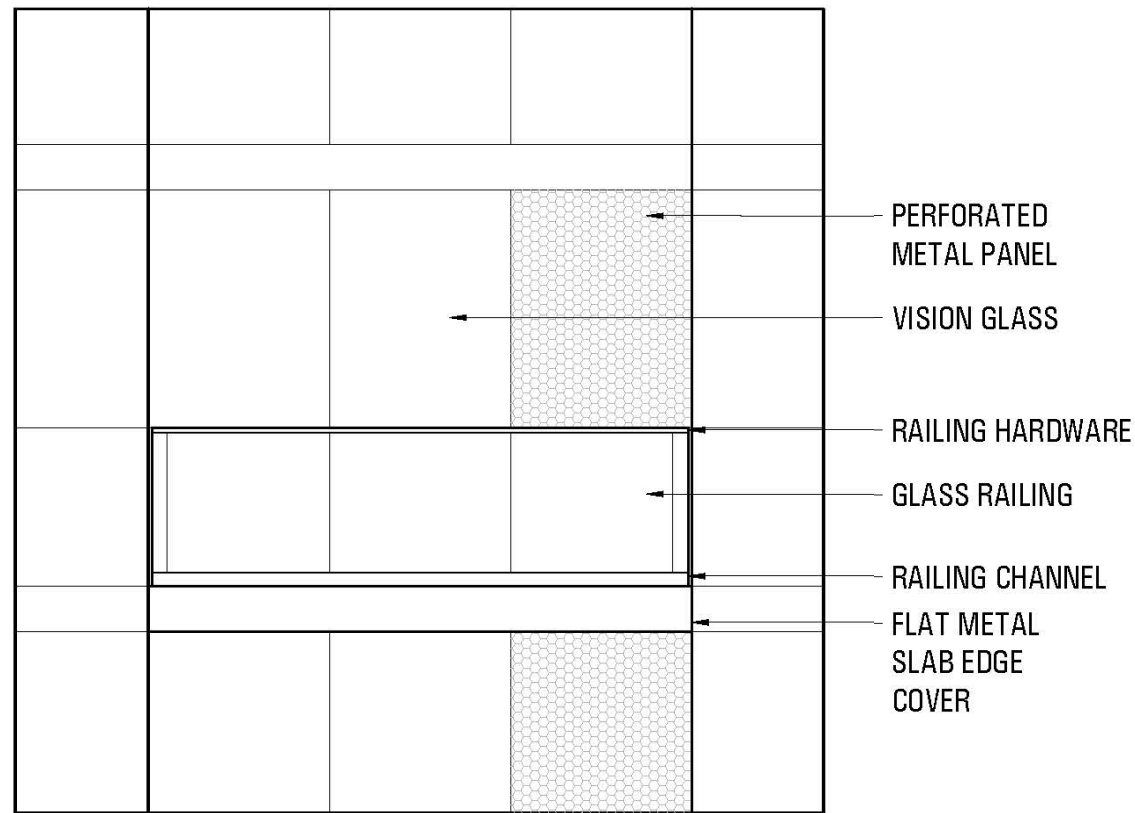
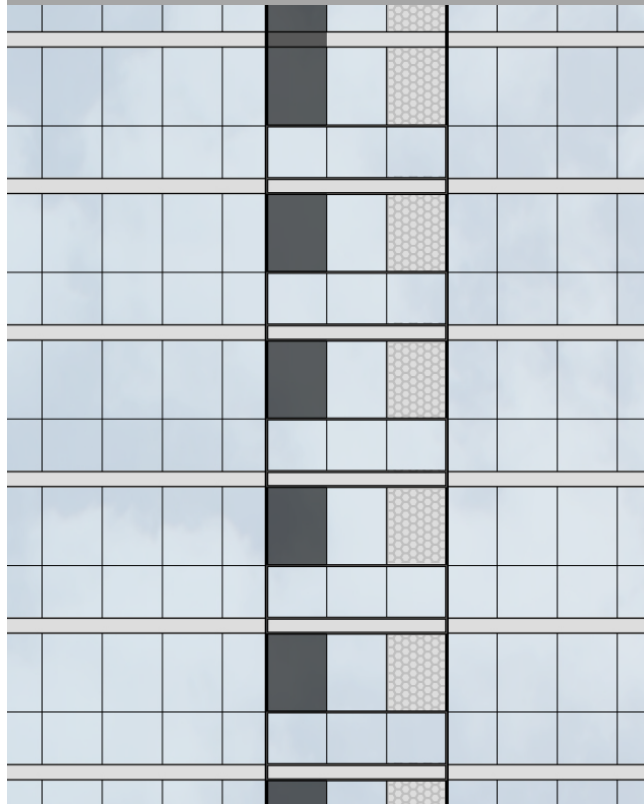
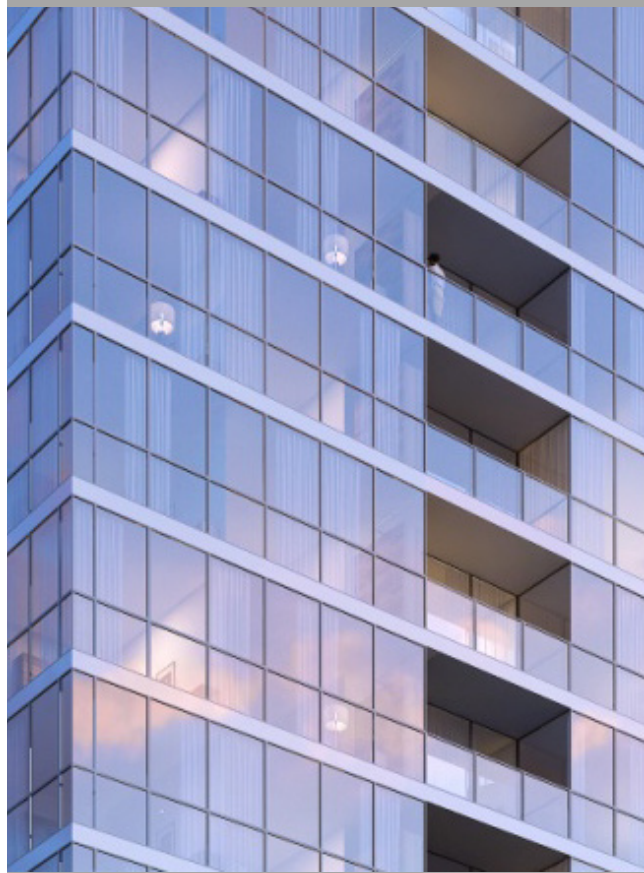


Section II: Design Proposal

Proposed Balcony Details

Materials:

Glass railings by CRL ESR-3269,
Railing channel and hardware to be color b

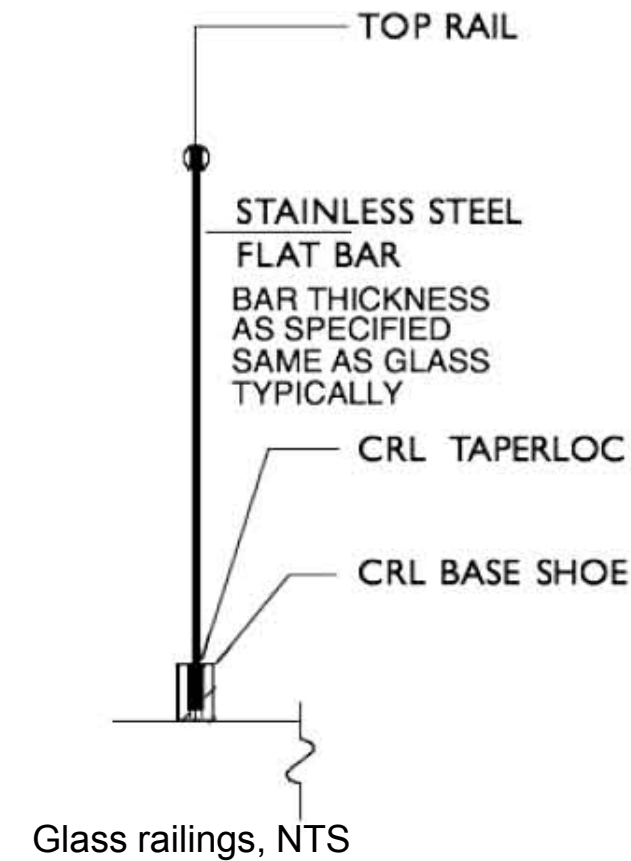
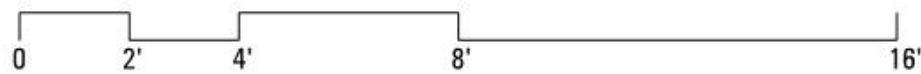
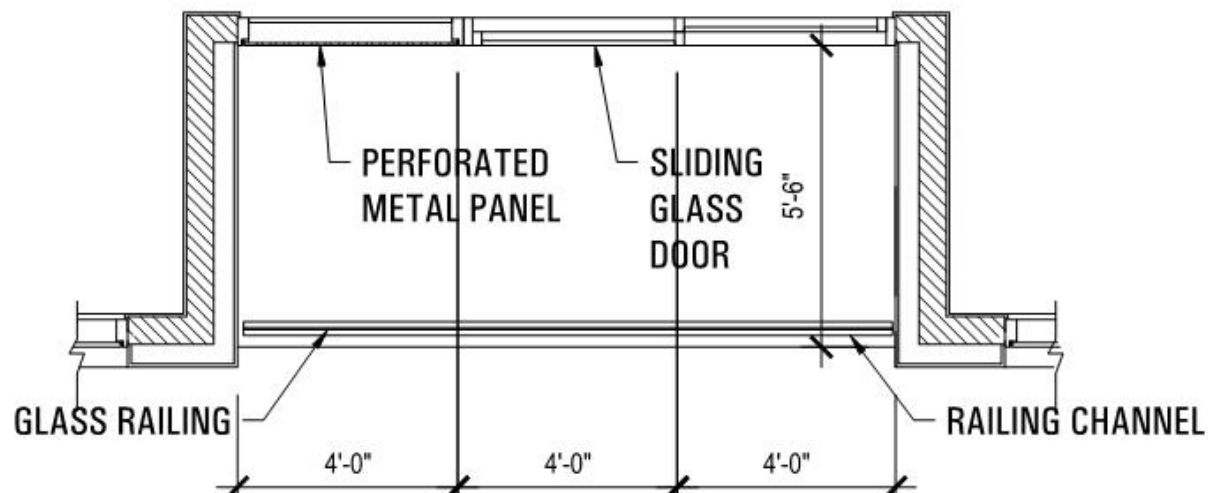
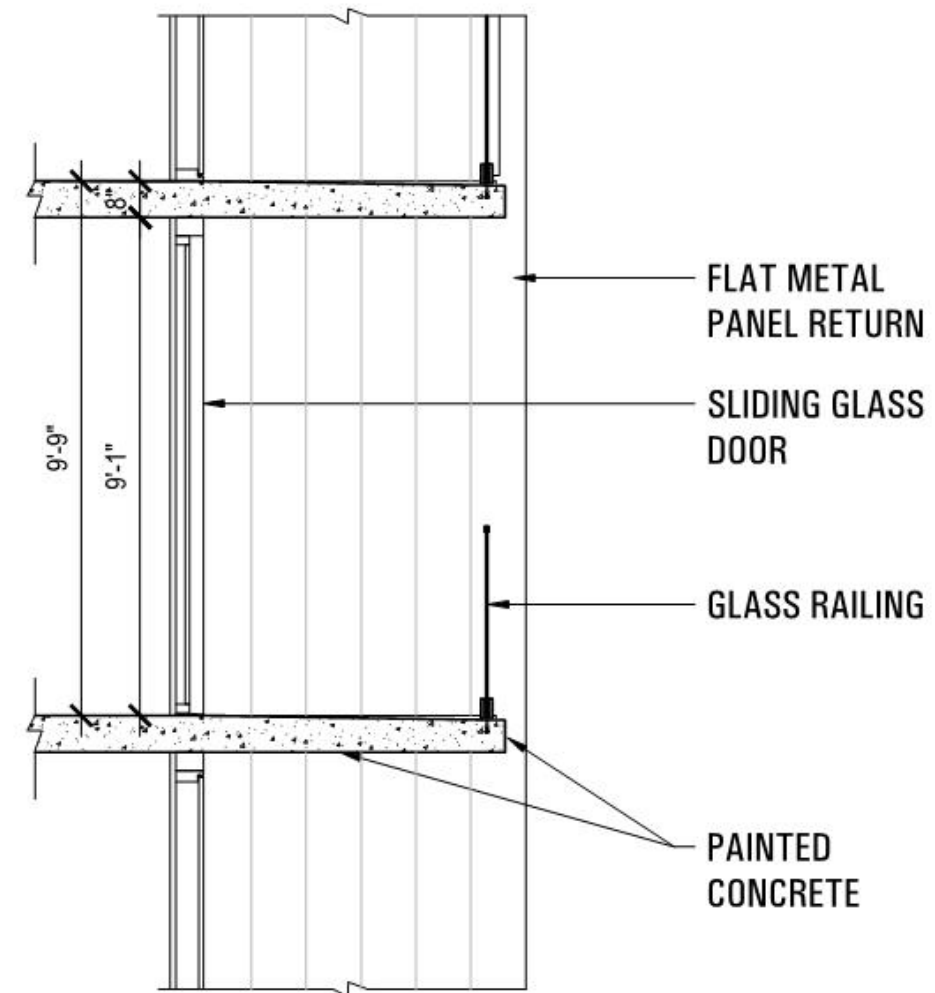
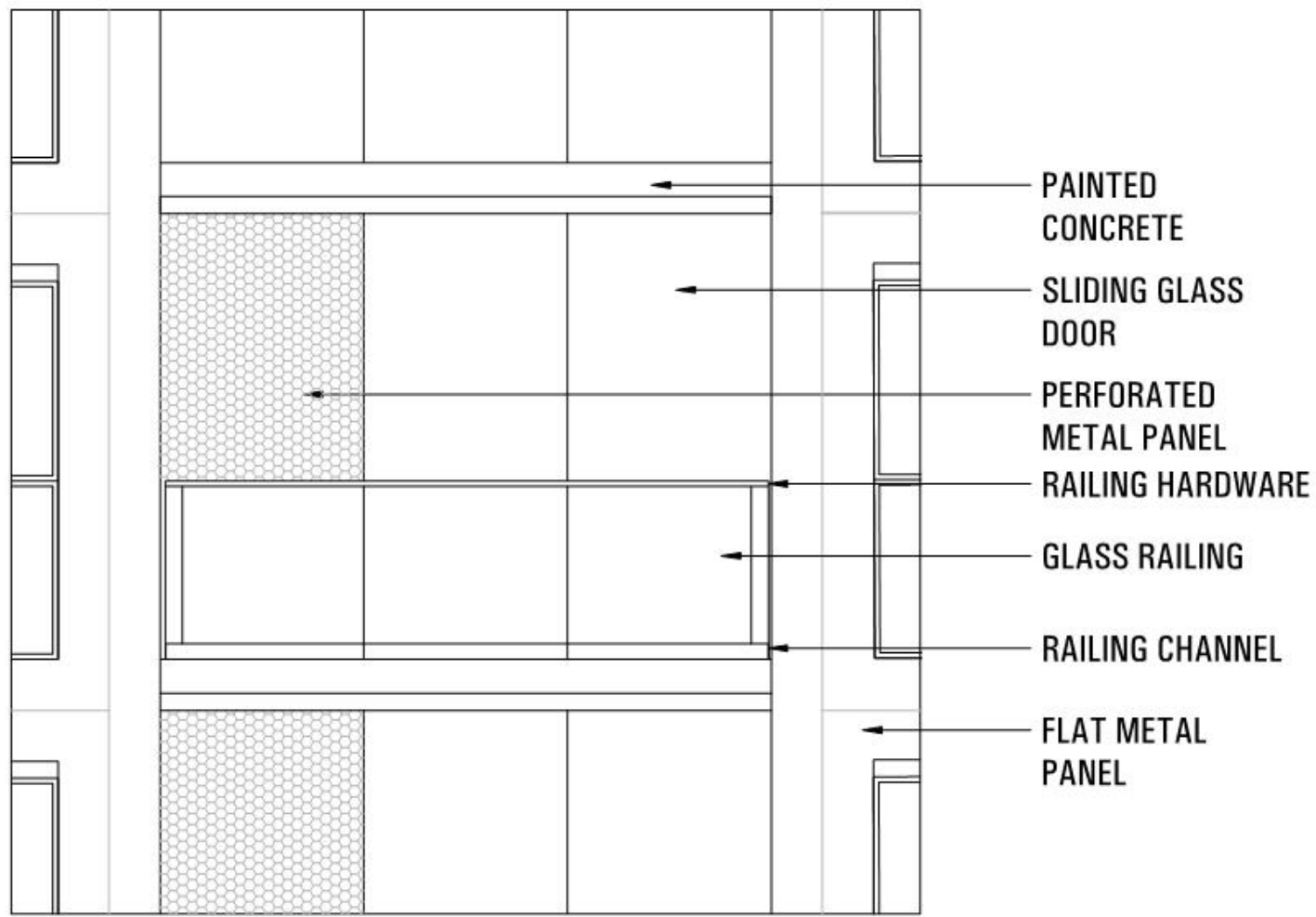


Section II: Design Proposal

Proposed Balcony Details

Materials:

Glass railings by CRL ESR-3269, or similar



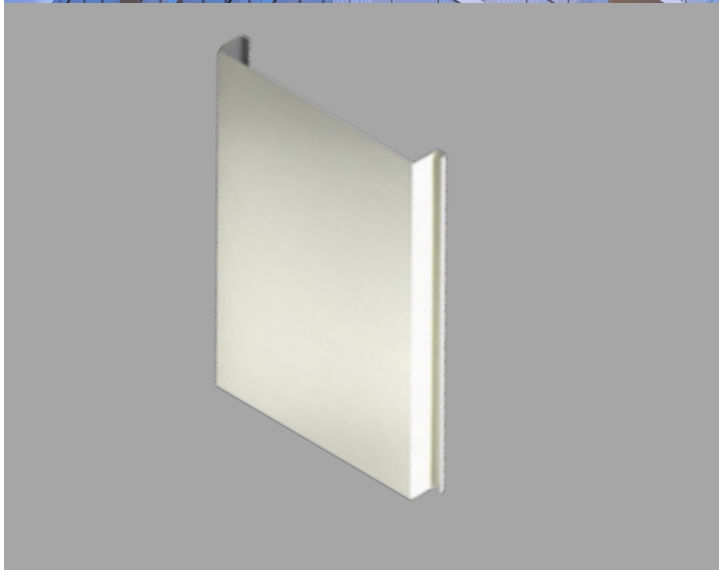
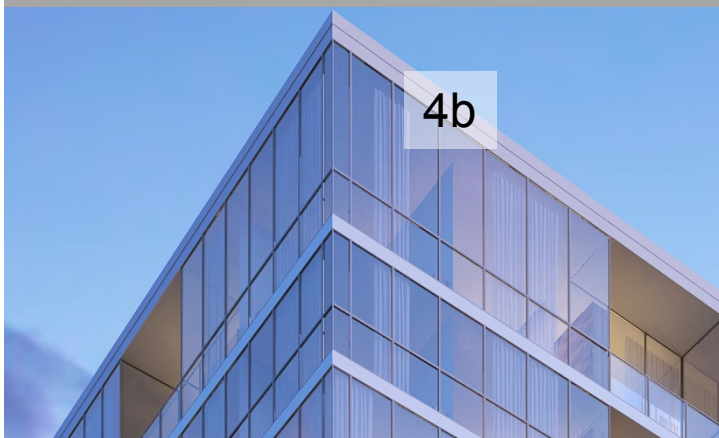
Proposed Exterior Materials: Metal Panel

Materials:

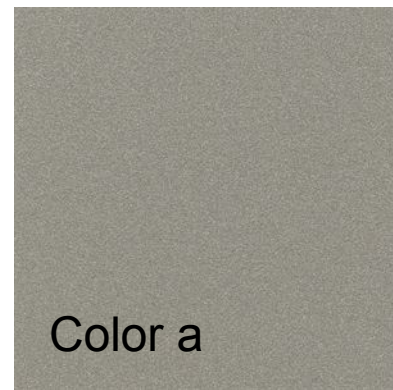
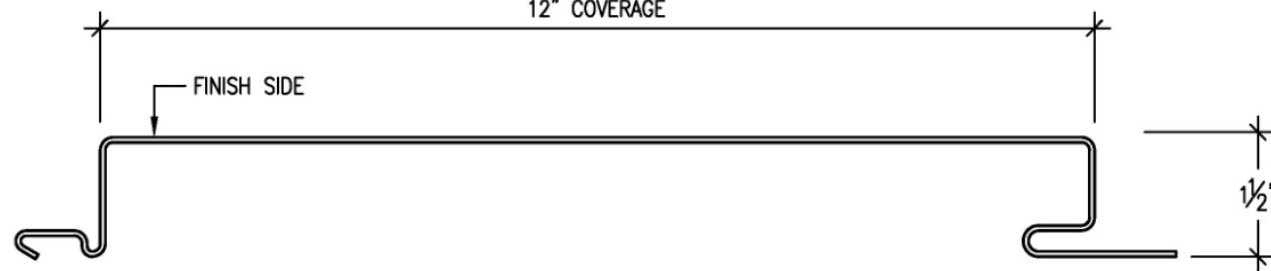
4a. Metal Panel: Morin F-12, smooth metal panel frames the large glass box and is used to clad the 2-story townhomes is to be 18 gauge, 12" wide, unbacked panels with a minimal reveal. Sample provided to show shape. Color a – PPG Duranar Sunstorm, Galaxy Silver.

4b. Metal Panel: Morin F-12, smooth metal panel used throughout the framed portion to be 18 gauge, 12" wide, unbacked panels with a minimal reveal. Sample provided to show shape. Color b – PPG Duranar, Sunlight Silver.

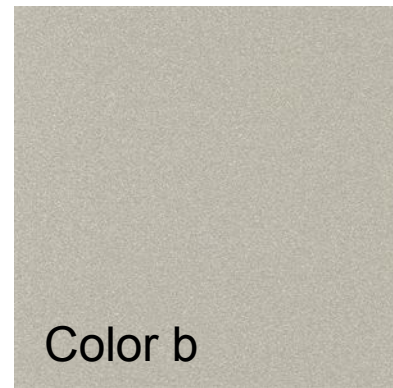
LU 15-209034 DZM, AD C.60



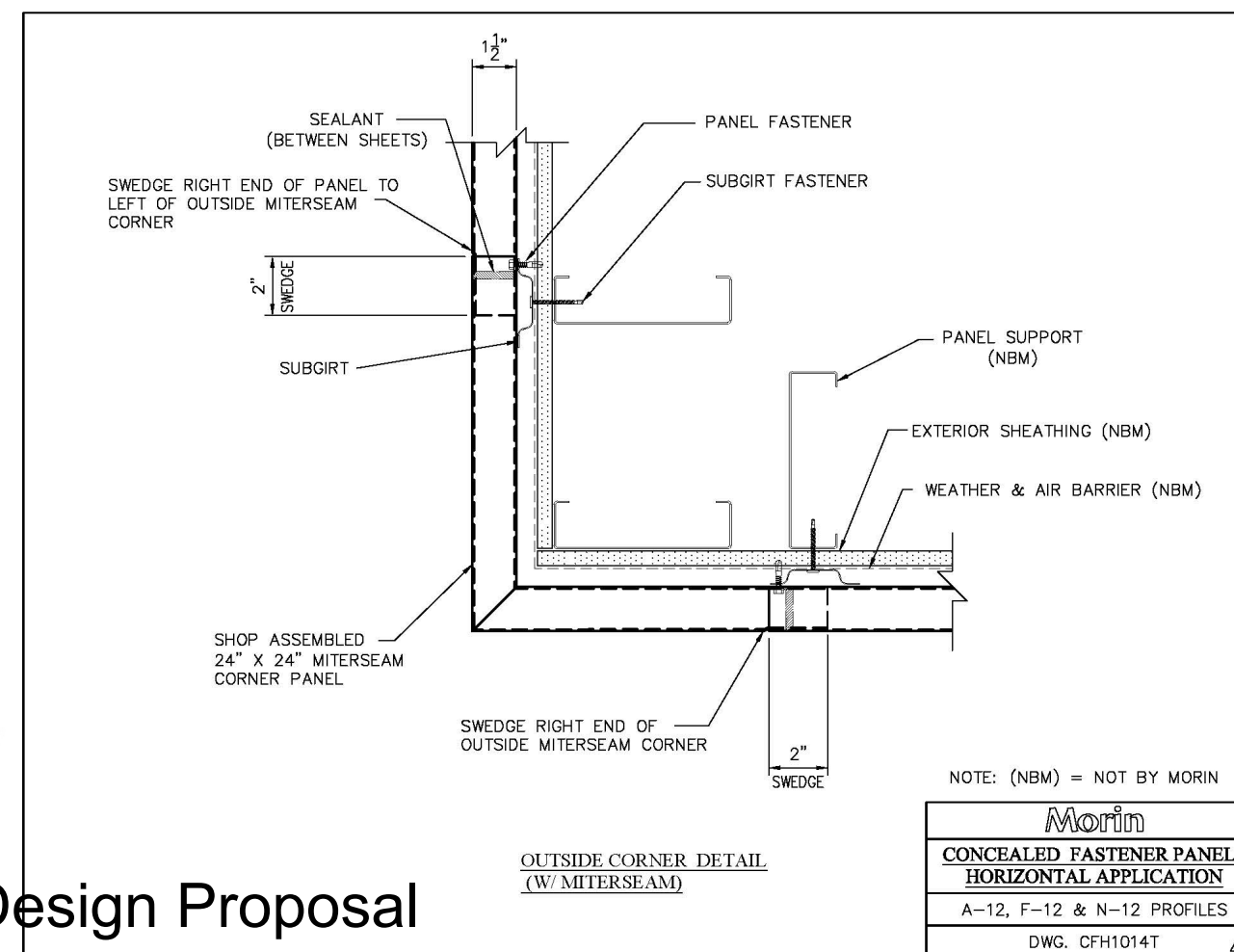
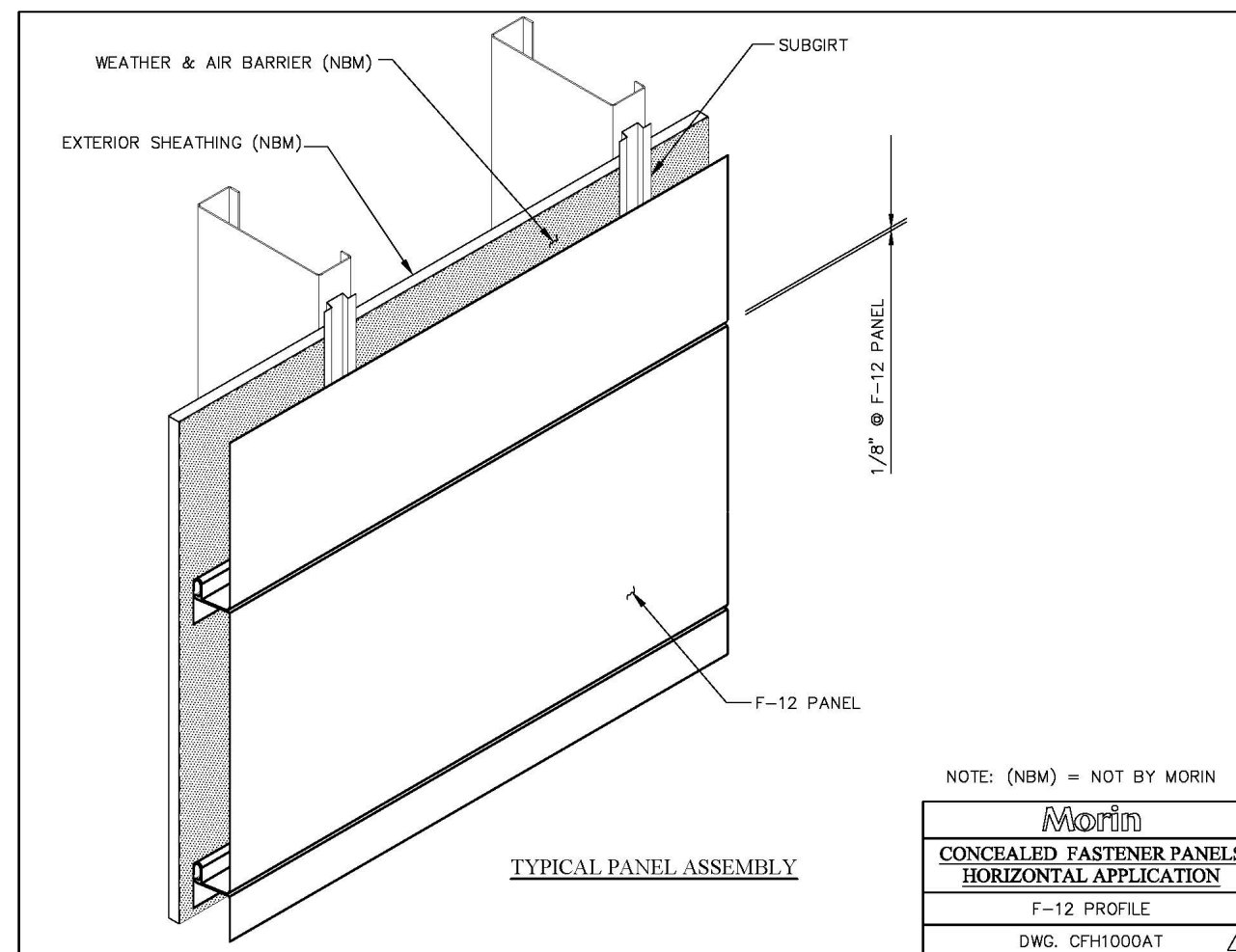
12" COVERAGE



Color a



Color b

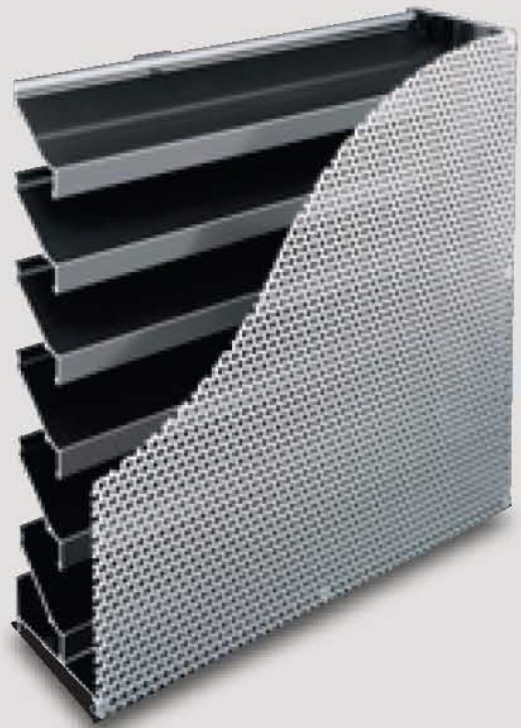


Section II: Design Proposal

Proposed Exterior Materials: Metal Panel

Materials:

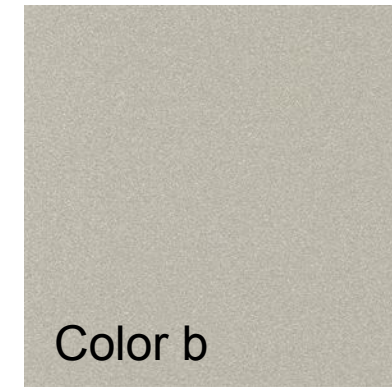
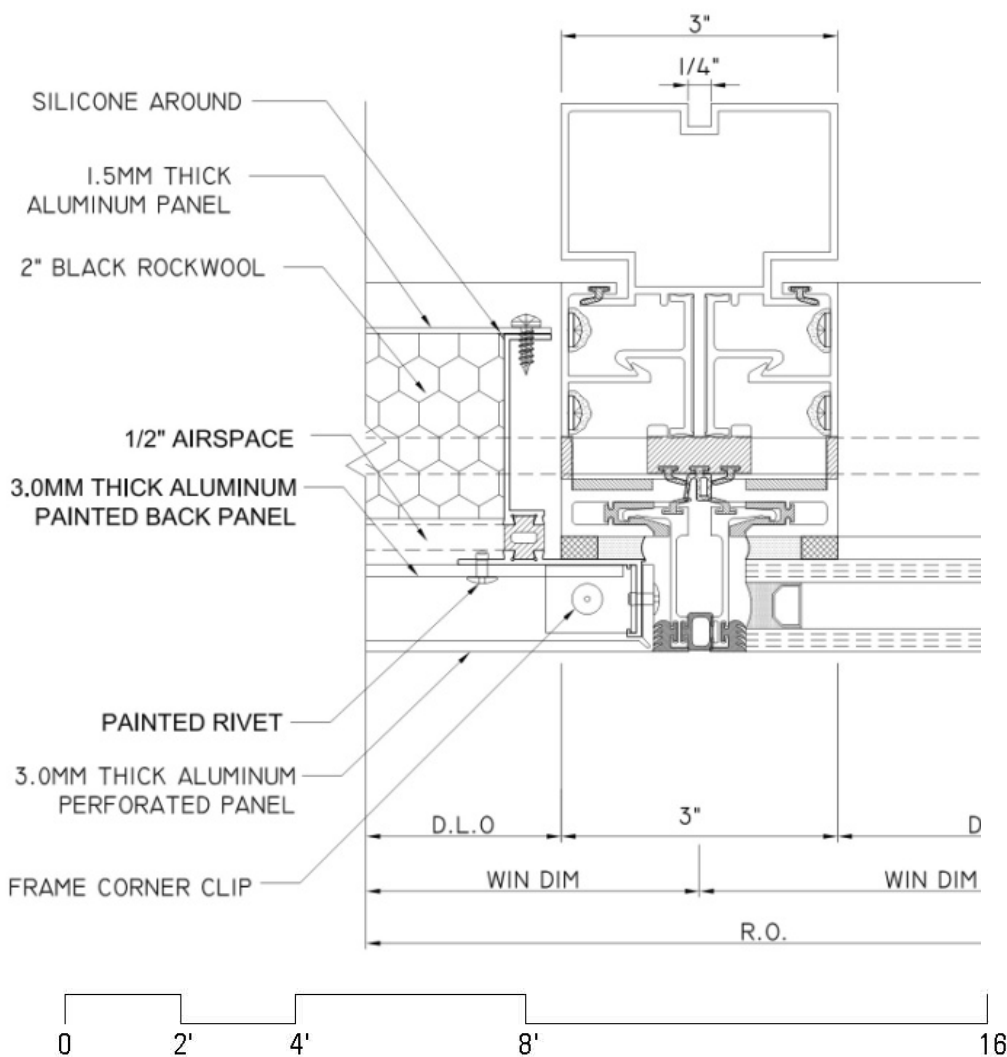
- Perforated Metal Panel: Perforated metal panels will be located in the recesses of the framed portion or in the balcony recessed in the glass portion of the building as well as along the 2-story townhomes and around the base. All intake and venting will occur in these locations or through the roof. The sample provided is for gauge and perforation pattern. Color chips provided for color. All perf panel will be color b.



Close-up with louver behind (typical)



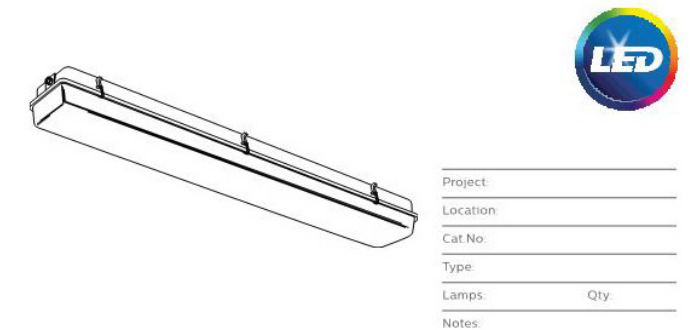
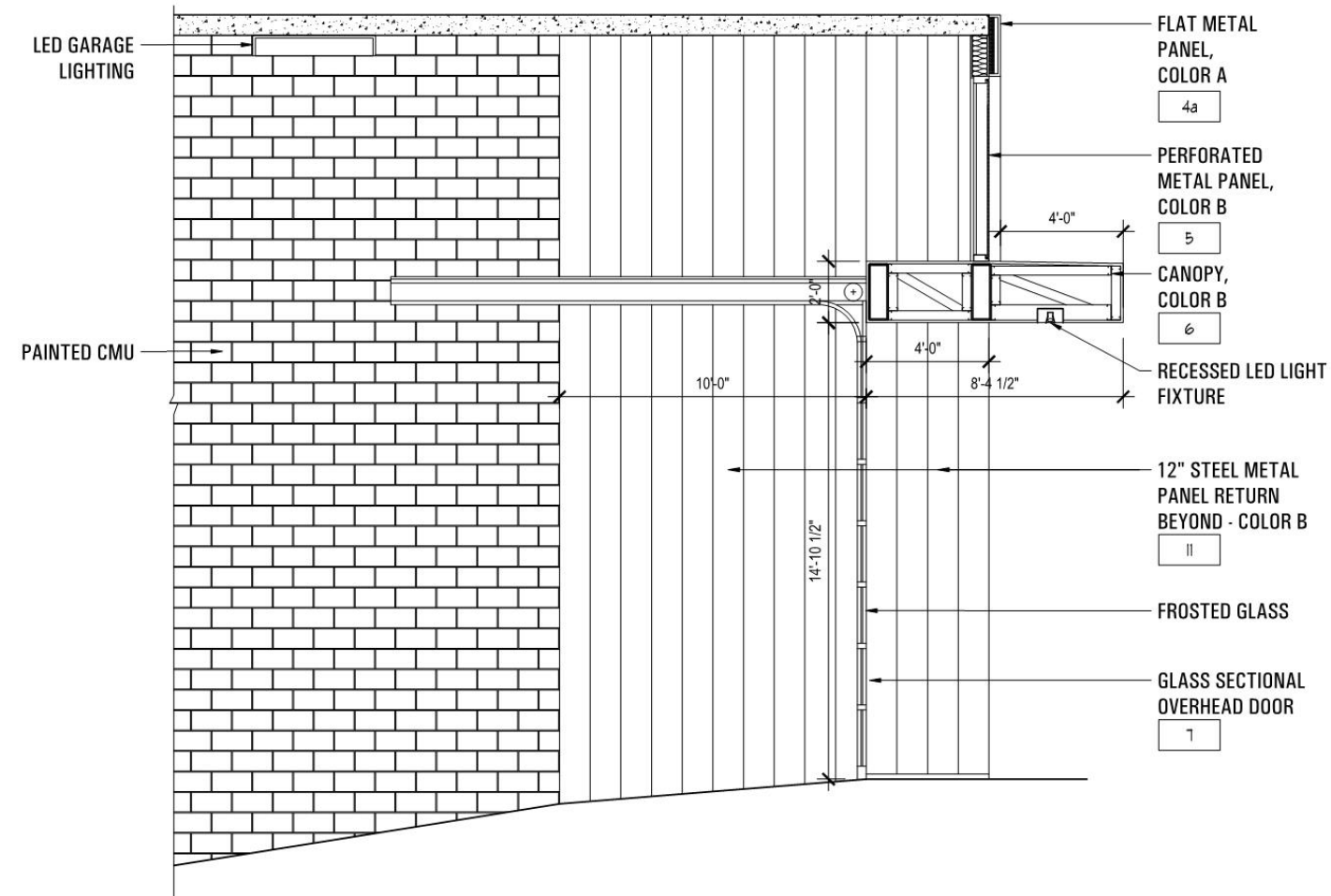
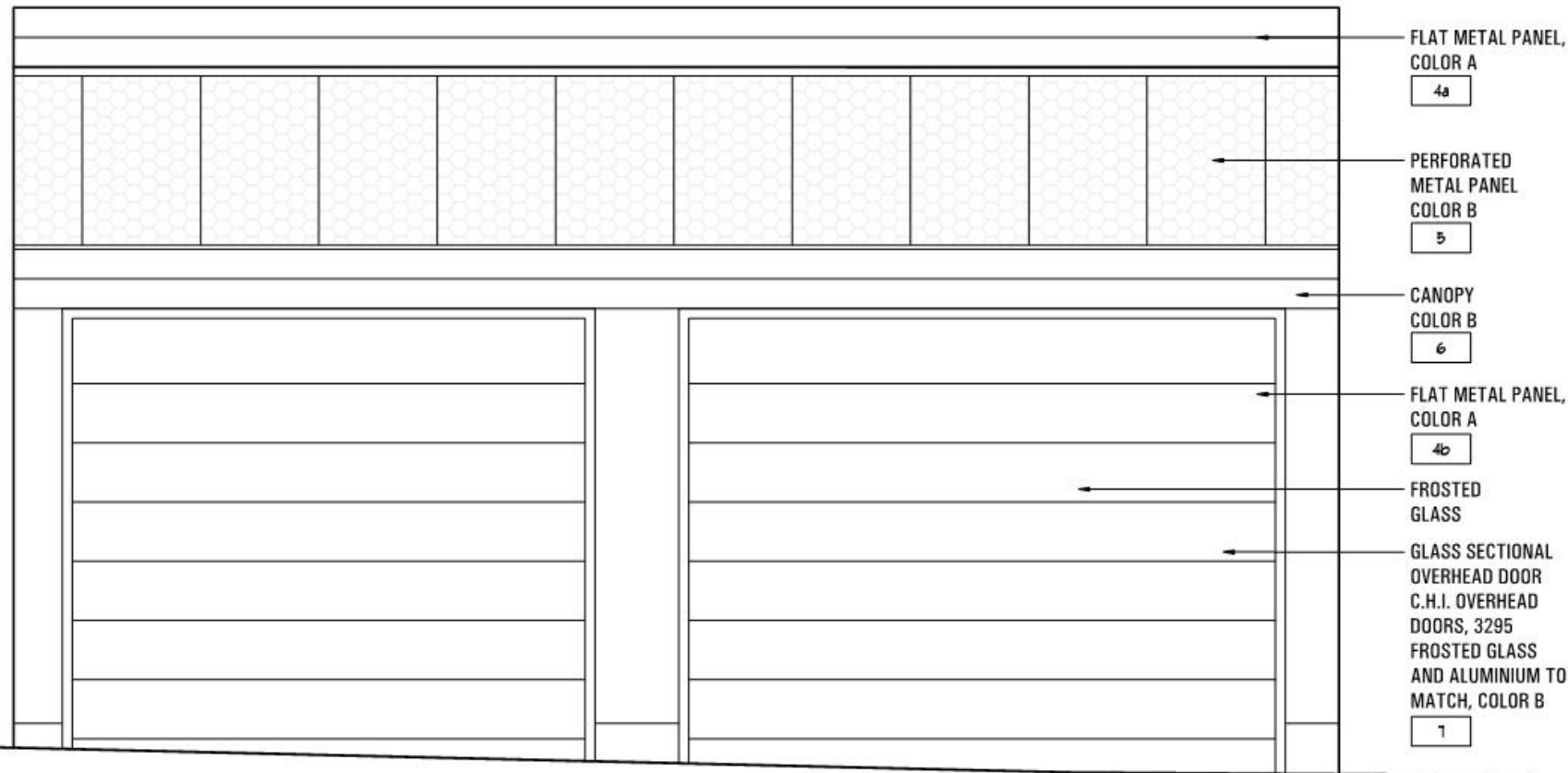
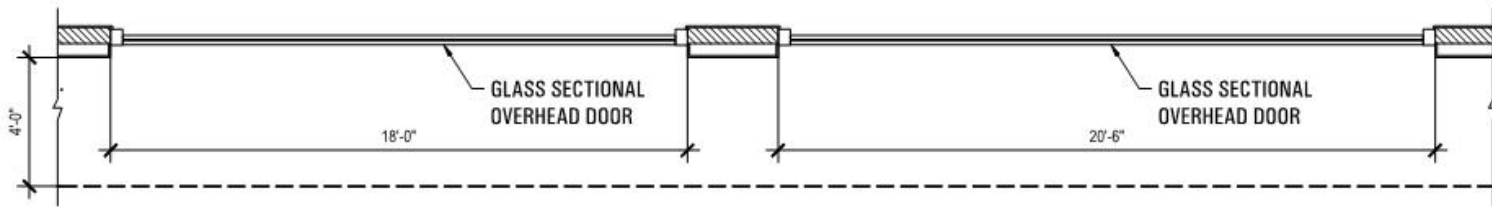
Perf panel, 25' away



Color b

Section II: Design Proposal

Proposed Exterior Materials: Overhead Doors

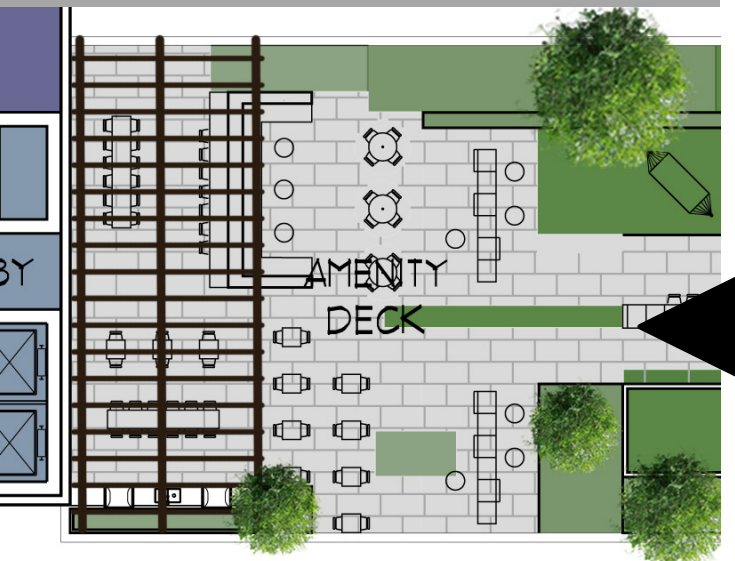


The Philips Day-Brite / Philips CFI Vaporlume LED wet location industrial DW is designed for both indoor and outdoor applications. It is designed with an LED light source, enabling it to easily replace fluorescent sources due to its reliable performance in cold conditions with the added benefit of energy savings.

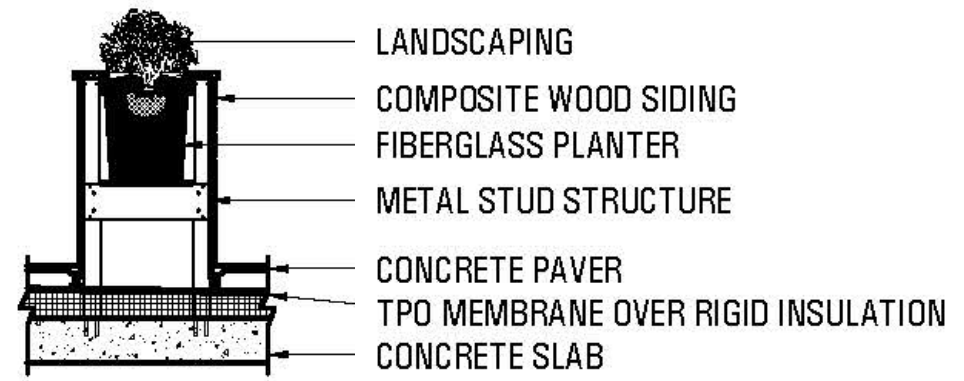
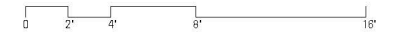
Proposed Exterior Materials: Roof Deck

Materials:

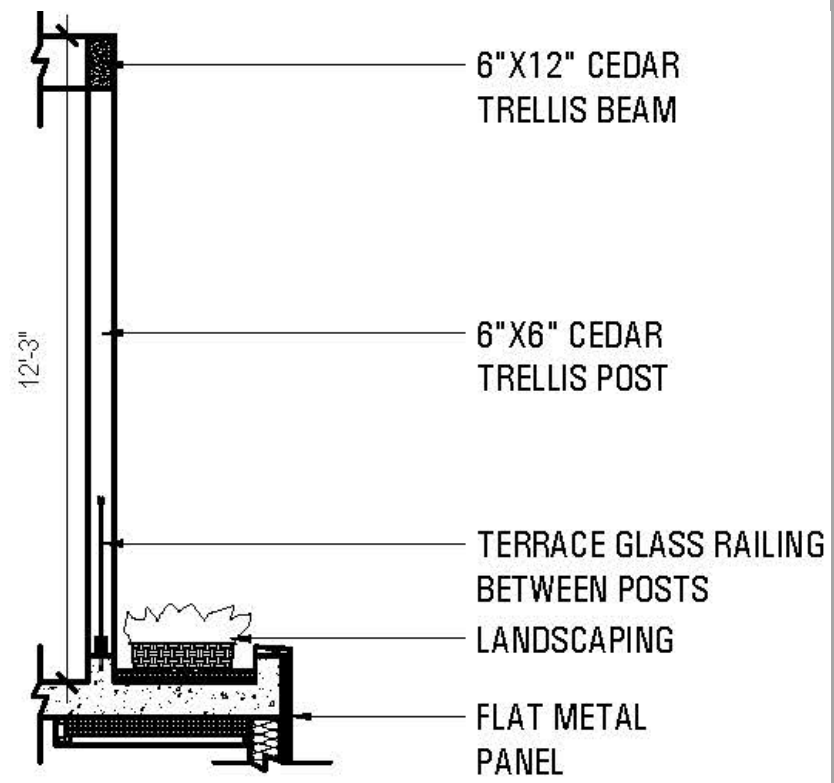
Terrace Trellis, rooftop planter & parapet details



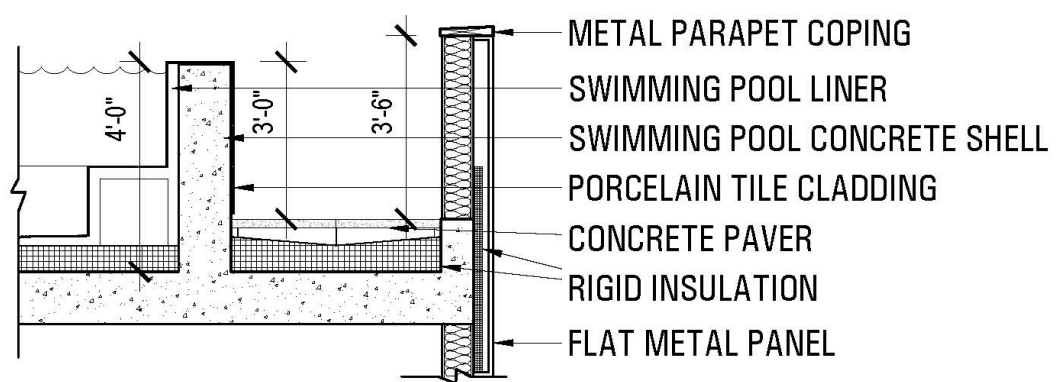
Trellis Elevation



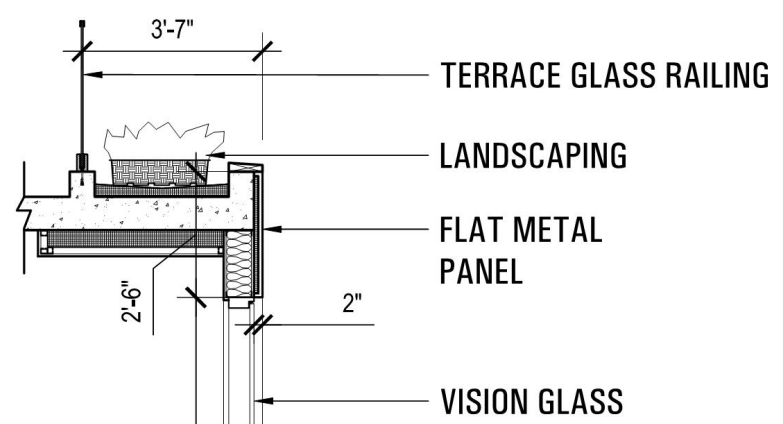
Typical Planter



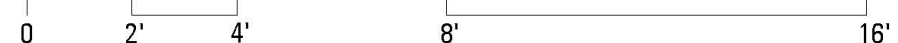
Trellis Detail



Parapet at pool deck

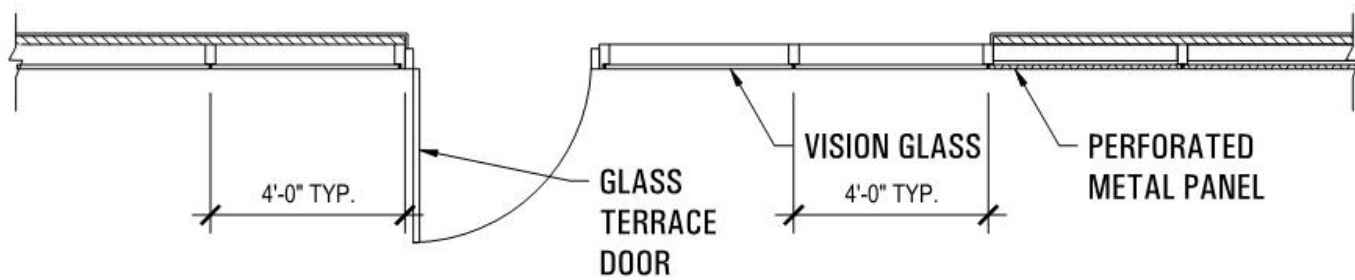
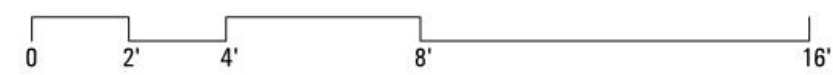
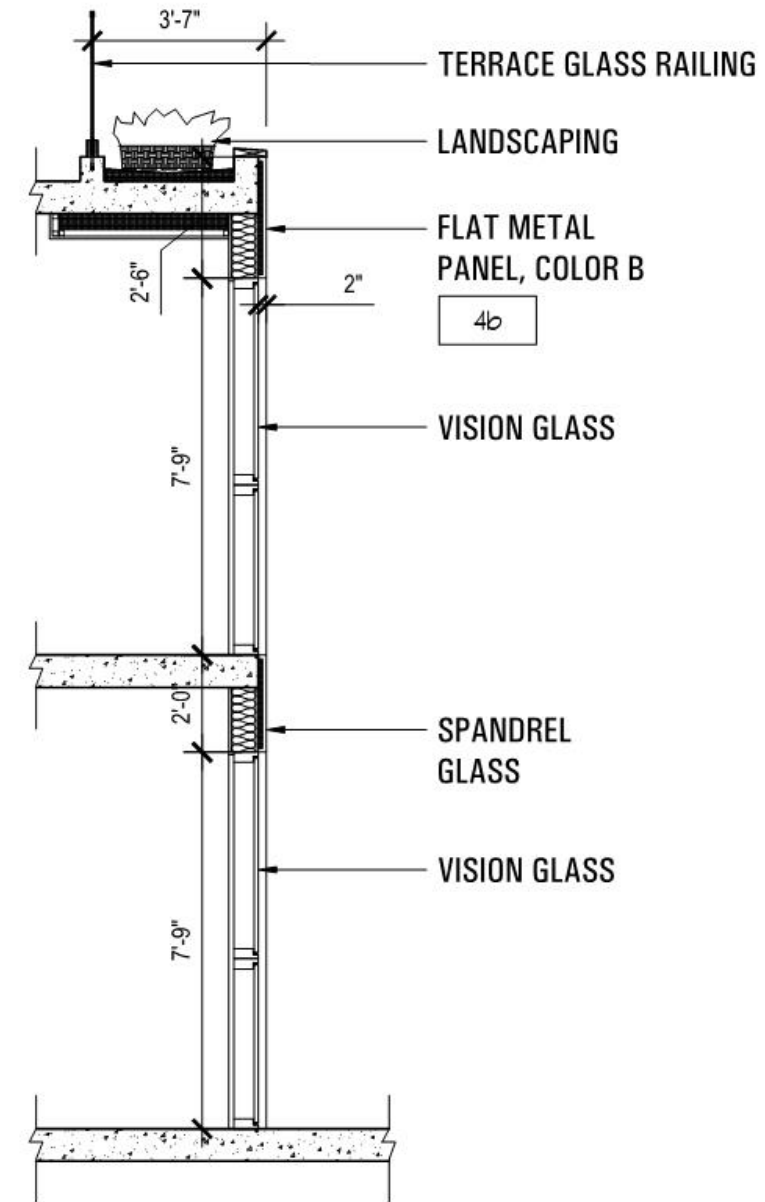
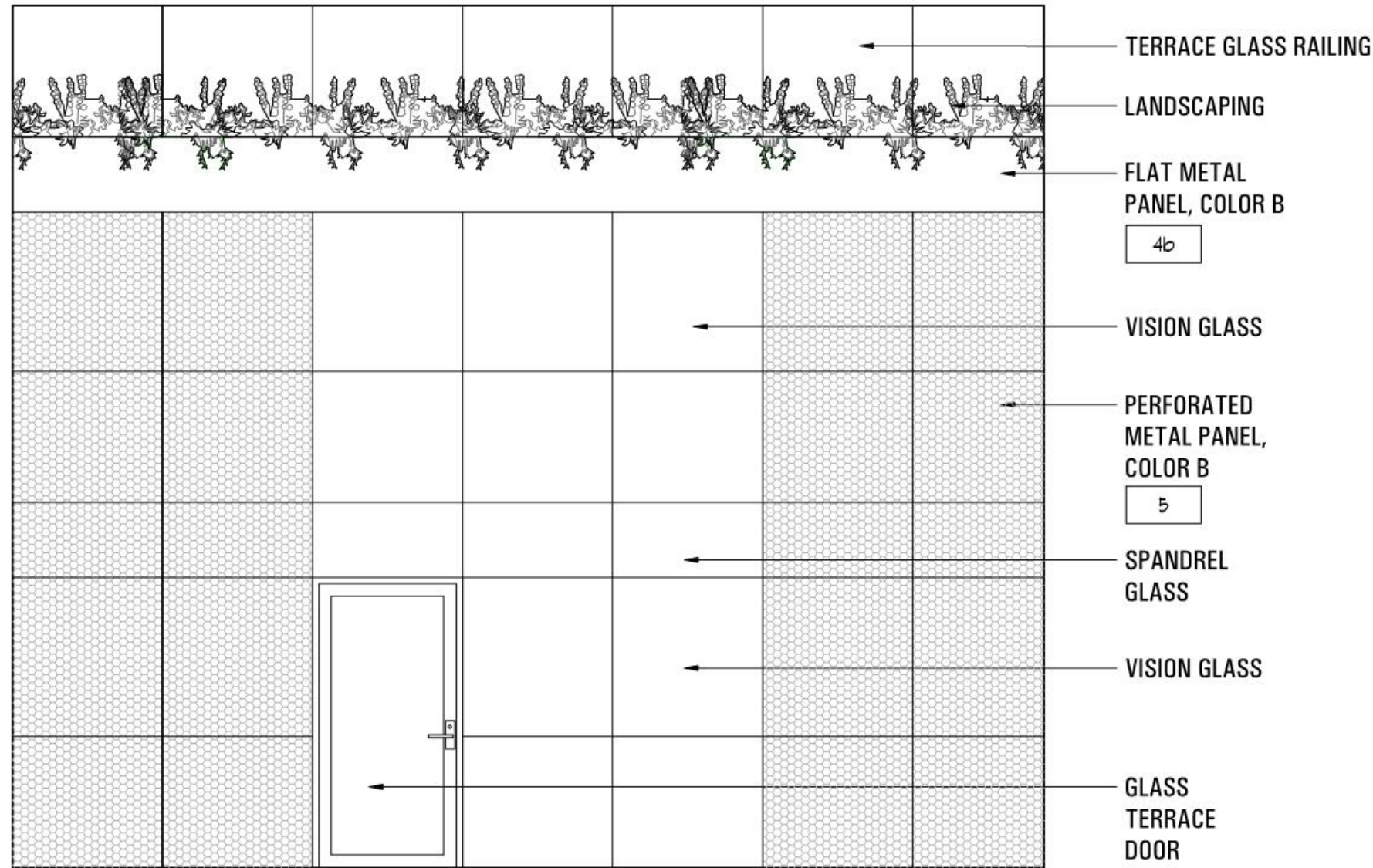
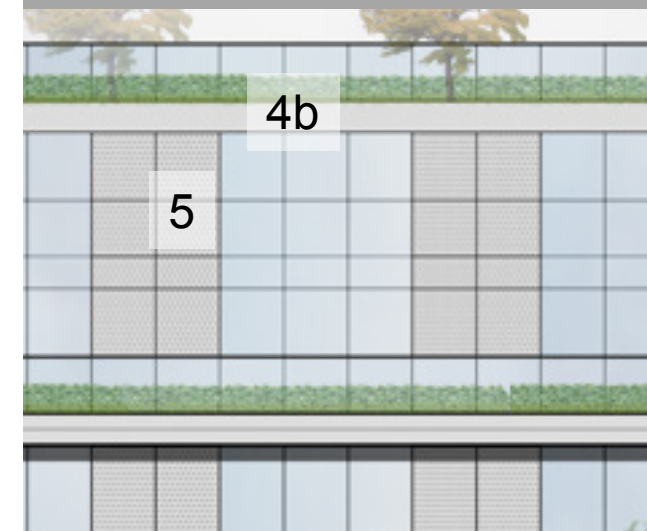


4th Floor Terrace railing



Section II: Design Proposal

Proposed Exterior Materials: Townhomes

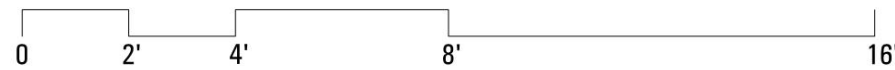
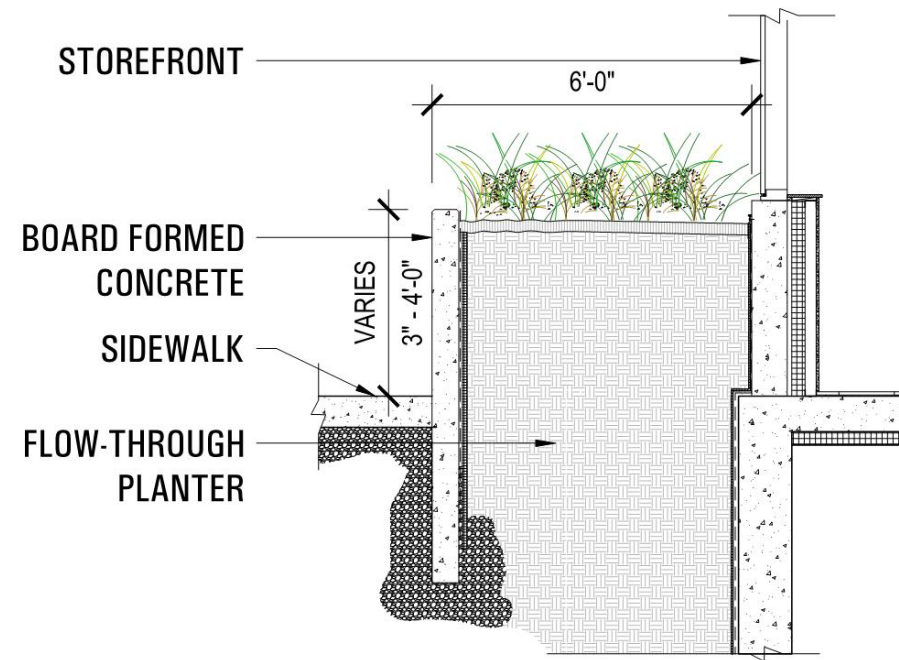


Section II: Design Proposal

Proposed Exterior Materials: Planters

Materials:

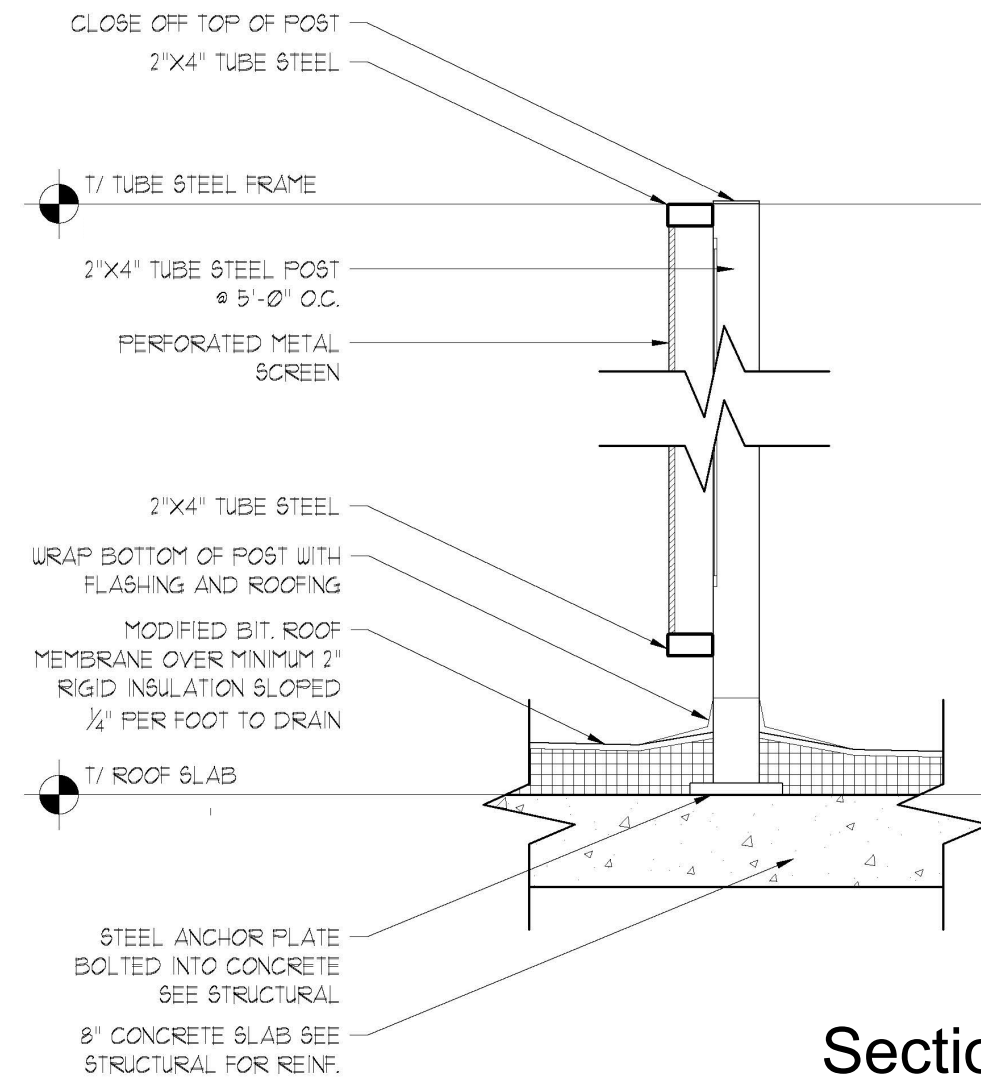
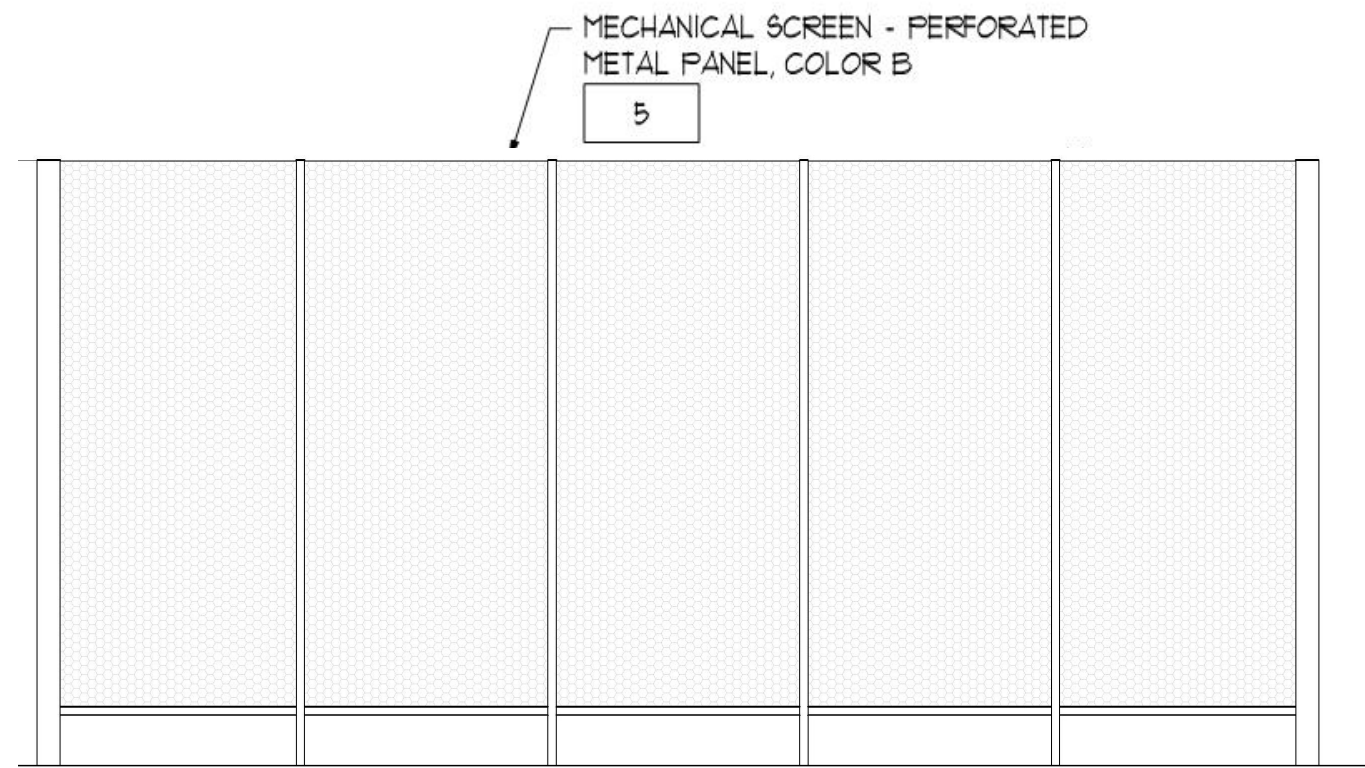
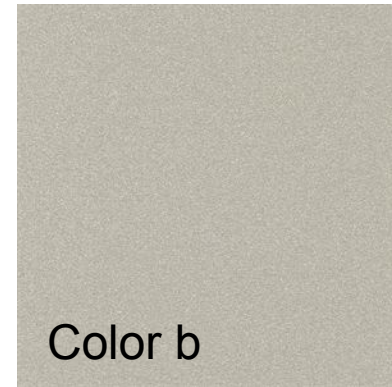
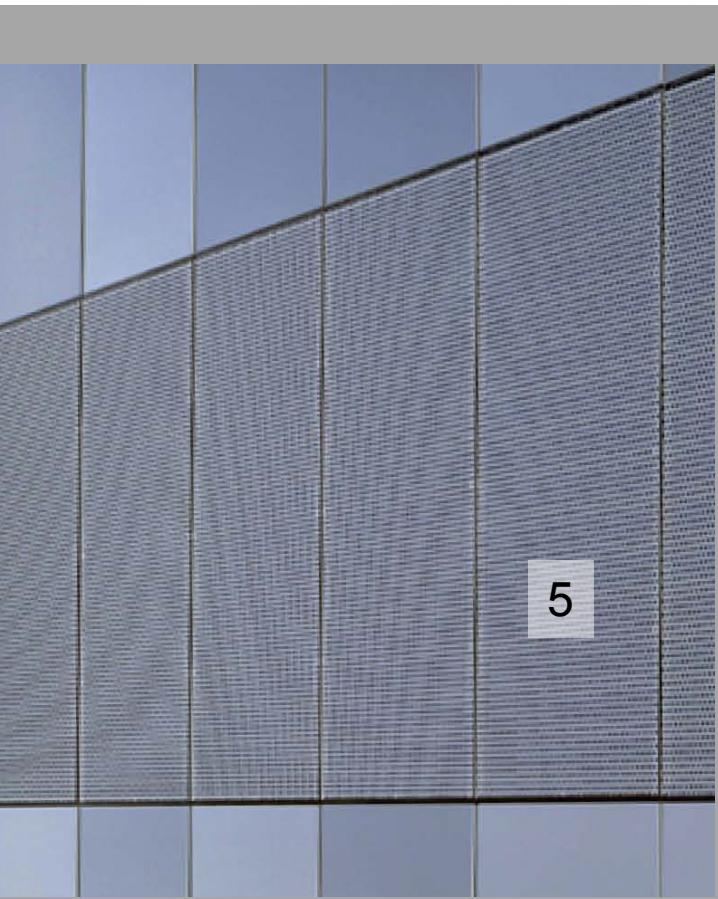
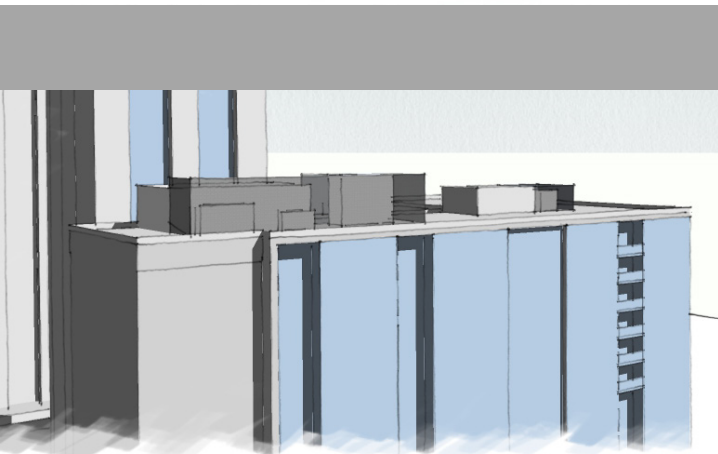
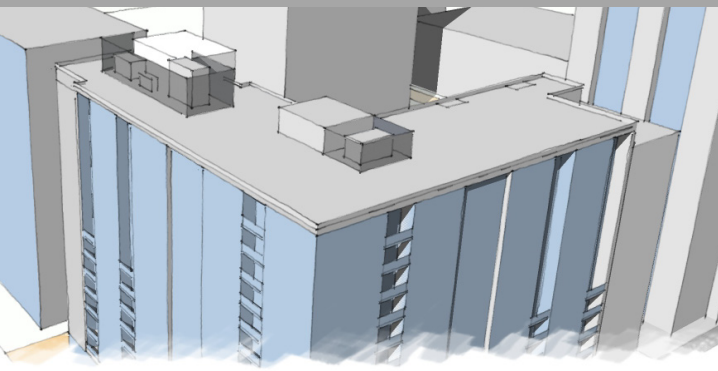
- 9. Vertical board formed concrete planter



Proposed Exterior Materials: Rooftop Screen

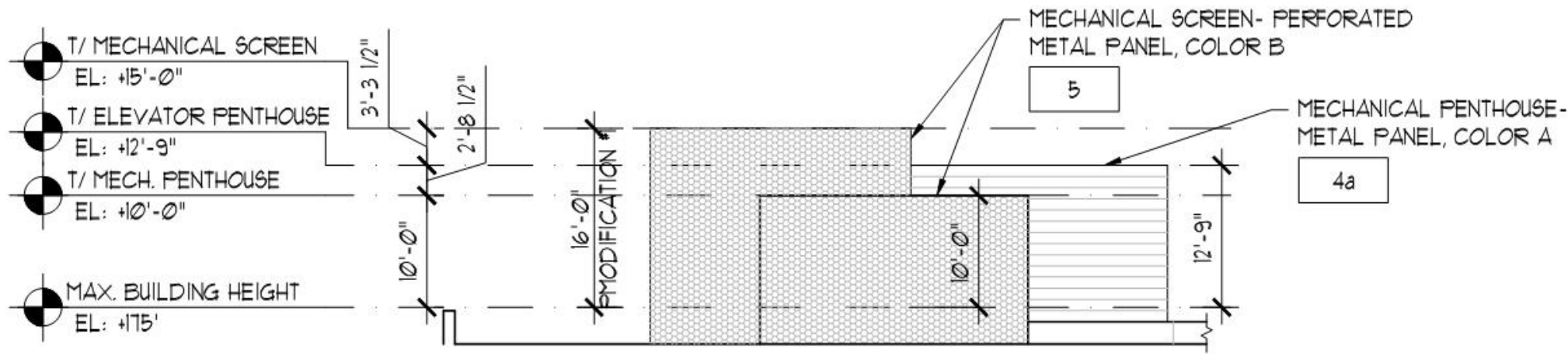
Materials:

Roof top mechanical screen – to be perforated metal panel, color b.

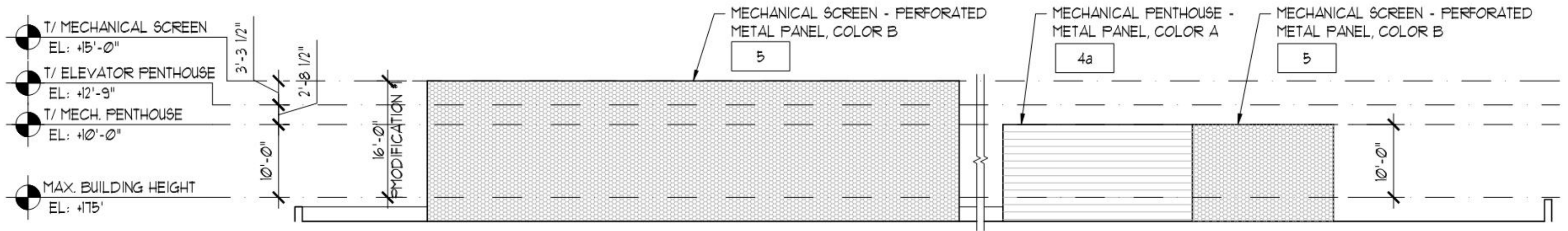


Section II: Design Proposal

Proposed Exterior Materials: Rooftop Screen



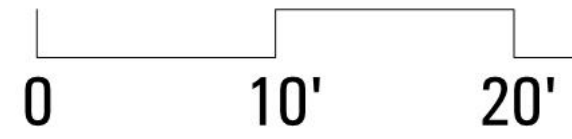
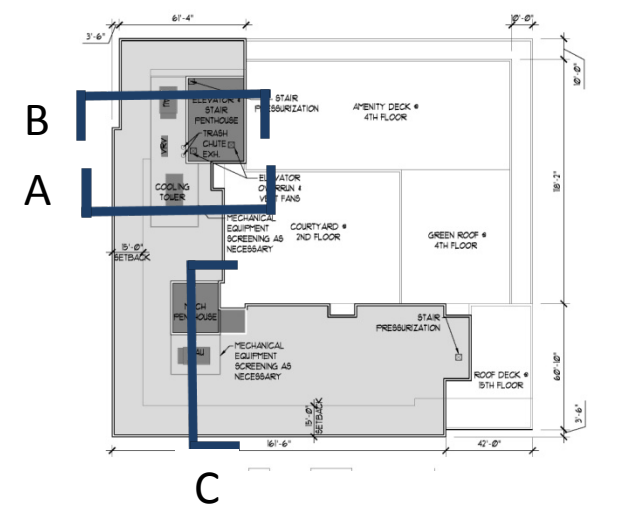
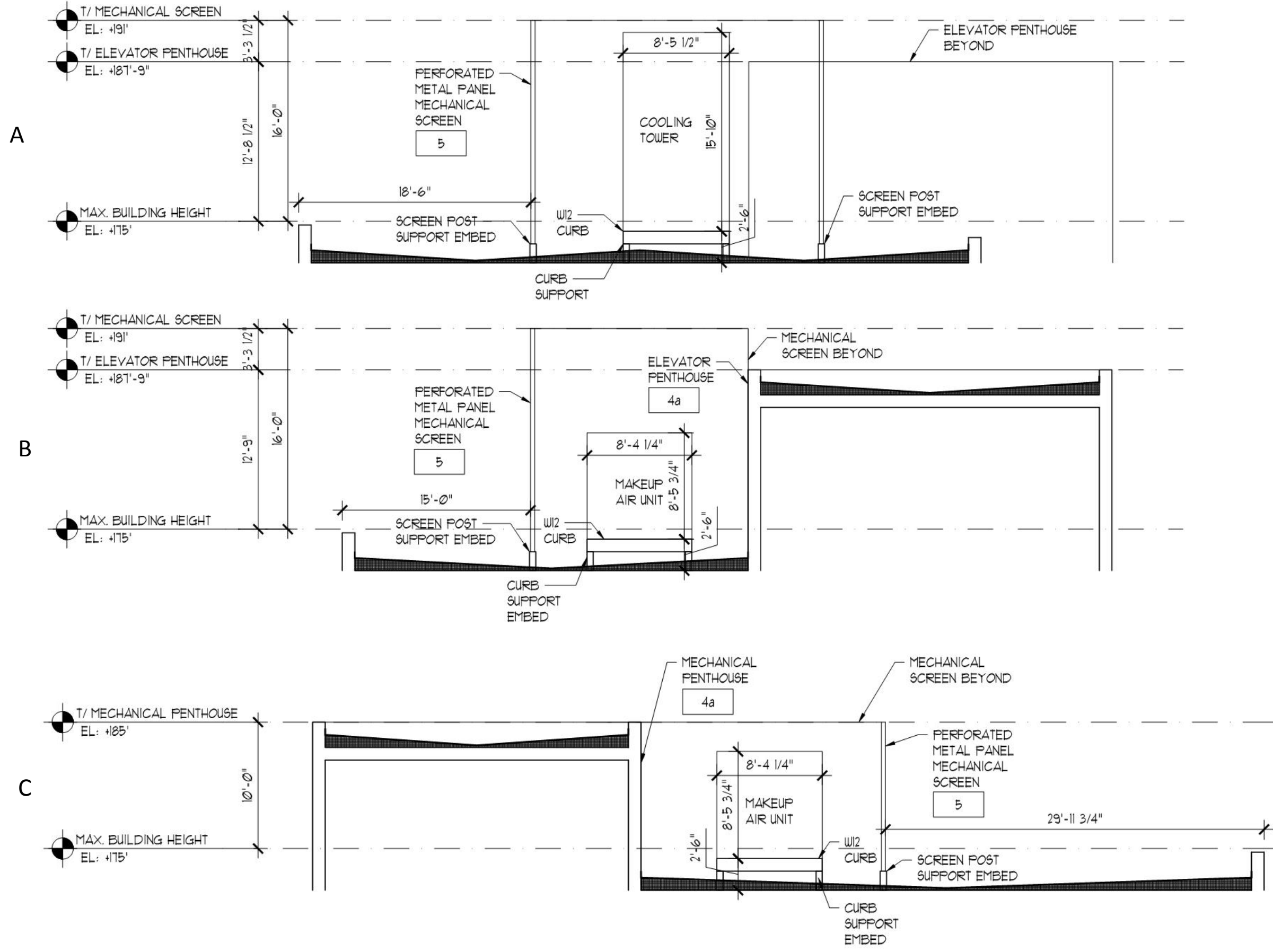
Harrison Street Elevation



4th Street Elevation



Proposed Exterior Materials: Rooftop Screen



Section II: Design Proposal

Proposed Exterior Materials: Rooftop Equipment

Materials:

Roof top mechanical equipment: MUA unit, Cooling tower & VRV

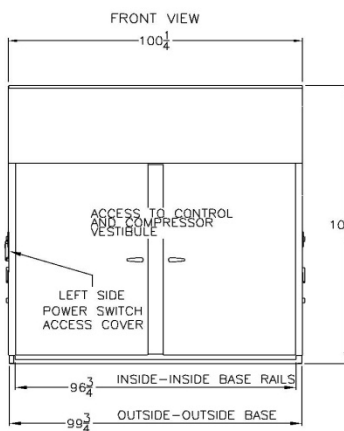
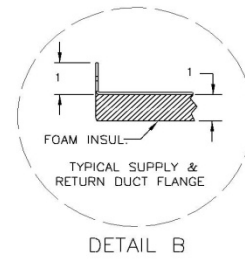
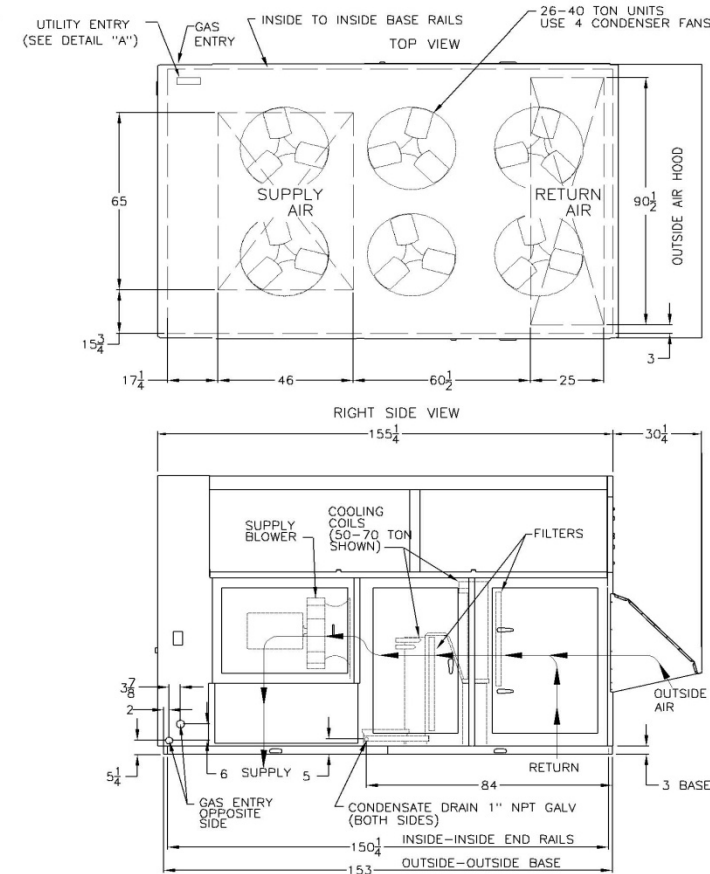
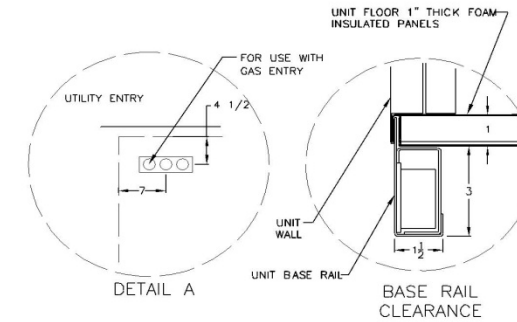
MUA unit

RN UNITS 26-70 TON

100% OUTSIDE AIR
MANUAL FRESH AIR
MOTORIZED OUTSIDE AIR

CLEARANCES	
LOCATION	UNIT SIZE
	26-70 TON
RETURN AIR BACK	48
VENT SIDE FRONT	48
LEFT SIDE	48
RIGHT SIDE	70
TOP	UNOBSTRUCTED

NOTE: RIGHT AND LEFT SIDE UNIT CLEARANCES ARE INTERCHANGEABLE ON UNITS THAT DO NOT HAVE THE HYDRONIC HEATING OPTION. (UNITS WITH HYDRONIC HEAT MUST HAVE 70" RIGHT SIDE ACCESS FOR SERVICE.)

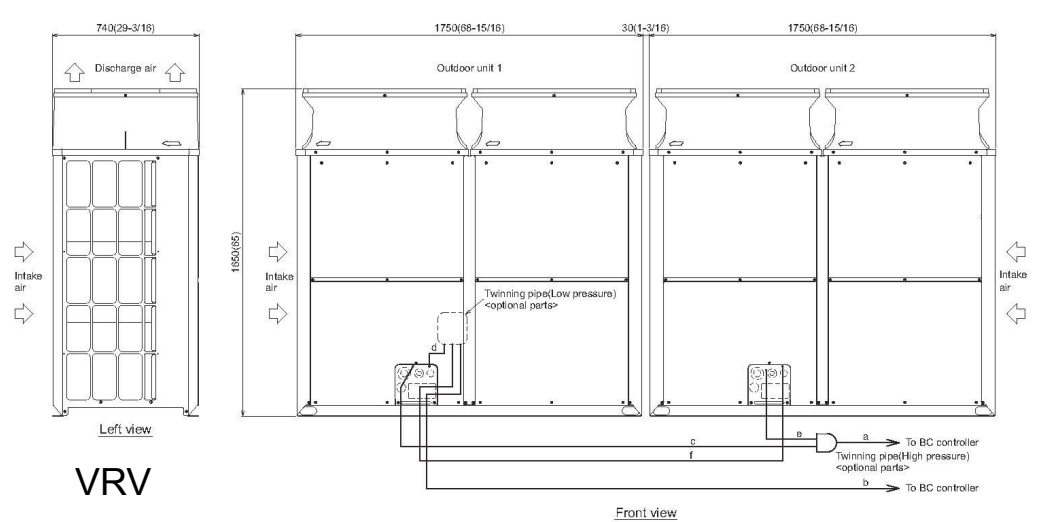


RND-00016M NEW 02/11/14 JRL

Date Created/Modified: 9/9/2015 11:29:16 AM Using Ver 4.232 (OSN# 7522416)

Date Printed: 9/9/2015 2:50:52 PM

Outdoor Unit: PURY-P240TSLMU-A (BS) - DIMENSIONS



Twinning pipe connection size	P240		P264		P288	
	Component 1 unit model	Component 2 unit model	Component 1 unit model	Component 2 unit model	Component 1 unit model	Component 2 unit model
High pressure	c #19.05(34)	e #19.05(34)	c #22.2(78)	e #19.05(34)	c #22.2(78)	e #22.2(78)
Low pressure	d - (Note S)	f #28.58(118)	d - (Note S)	f #28.58(118)	d - (Note S)	f #28.58(118)

- Notes:
1. Connect the pipes as shown in the figure above. Refer to the table above for the pipe size.
 2. Twinning pipe (High pressure) should not be tilted more than 15 degrees from the horizontal plane. Be sure to see the Installation Manual for details of Twinning pipe installation.
 3. The pipe section before the Twinning pipe (section "a" in the figure) must have at least 500mm(19-11/16") of straight section (*including the straight pipe that is supplied with the Twinning pipe).
 4. Only use the Twinning pipe by Mitsubishi (optional parts).
 5. Connect the outdoor unit 1 with the Twinning pipe (Low pressure) (section "d" in the figure).

Cooling Tower

CLOSED CIRCUIT COOLER MODEL # **ESWB 9-23H18** SCALE **DWG. # WX809182406-DRA-HF** REV. **2/6/2015** SERIAL #

NOTES:

1. (M) - FAN MOTOR LOCATION
2. HEAVIEST SECTION IS COIL SECTION
3. MPT DENOTES MALE PIPE THREAD
4. UNIT WEIGHT DOES NOT INCLUDE ACCESSORIES (SEE ACCESSORY DRAWINGS)
5. 3/4" (19MM) DIA. MOUNTING HOLES. REFER TO RECOMMENDED STEEL SUPPORT DRAWING
6. MAKE-UP WATER PRESSURE: 20 psi [137 kPa] MIN, 50 psi [344 kPa] MAX
7. DIMENSIONS LISTED AS FOLLOWS: ENGLISH IN [METRIC] [mm]
8. * - APPROXIMATE DIMENSIONS DO NOT USE FOR PRE-FABRICATION OF CONNECTING PIPING.

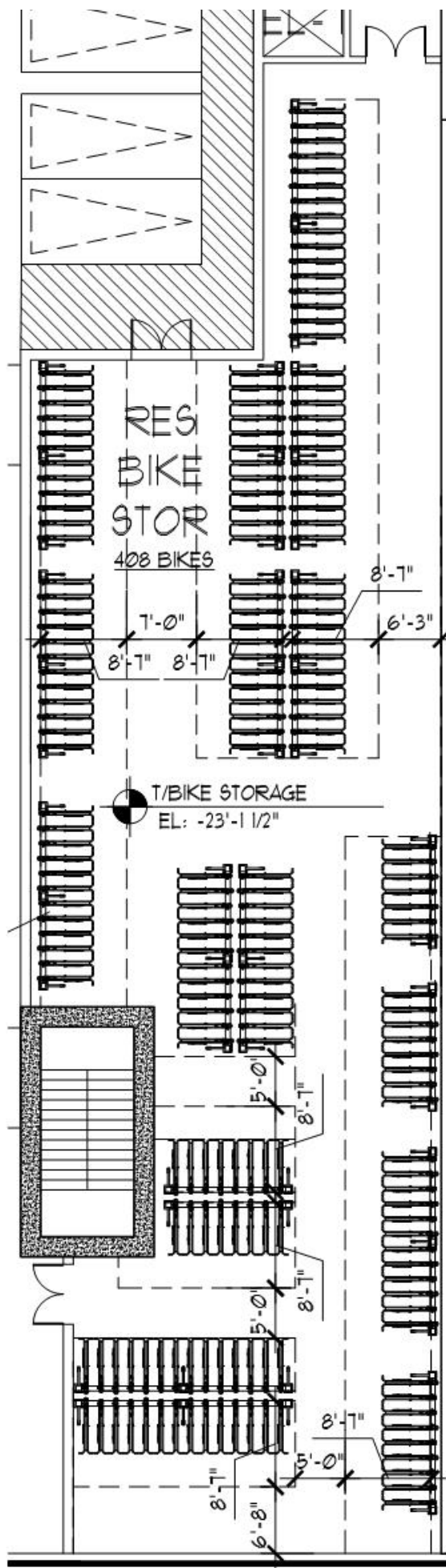
FACE 2 PLAN VIEW

FACE 1

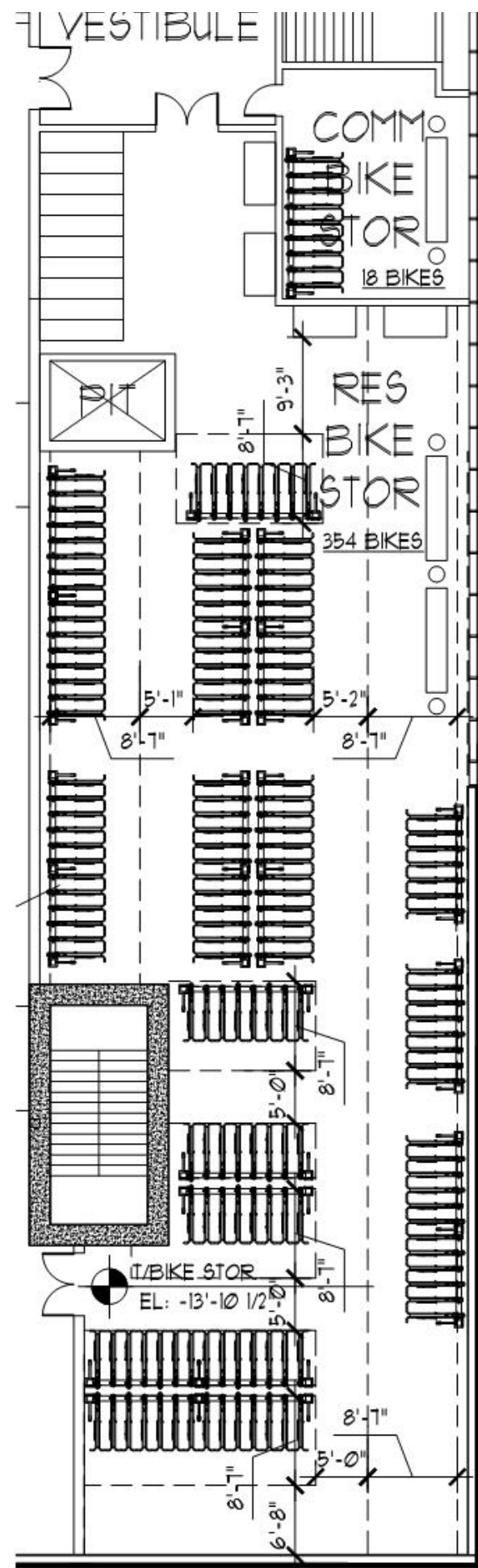
FACE 2

FACE 1

SHIPPING WEIGHT	20270 lbs[9195] kg	OPERATING WEIGHT	30010 lbs[13615] kg	HEAVIEST SECTION WEIGHT	14780 lbs[6705] kg	NO. OF SHIPPING SECTIONS	2	DRAWN BY:	SLR
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Lower Level 2



Lower Level 1



Bike Parking Long Term

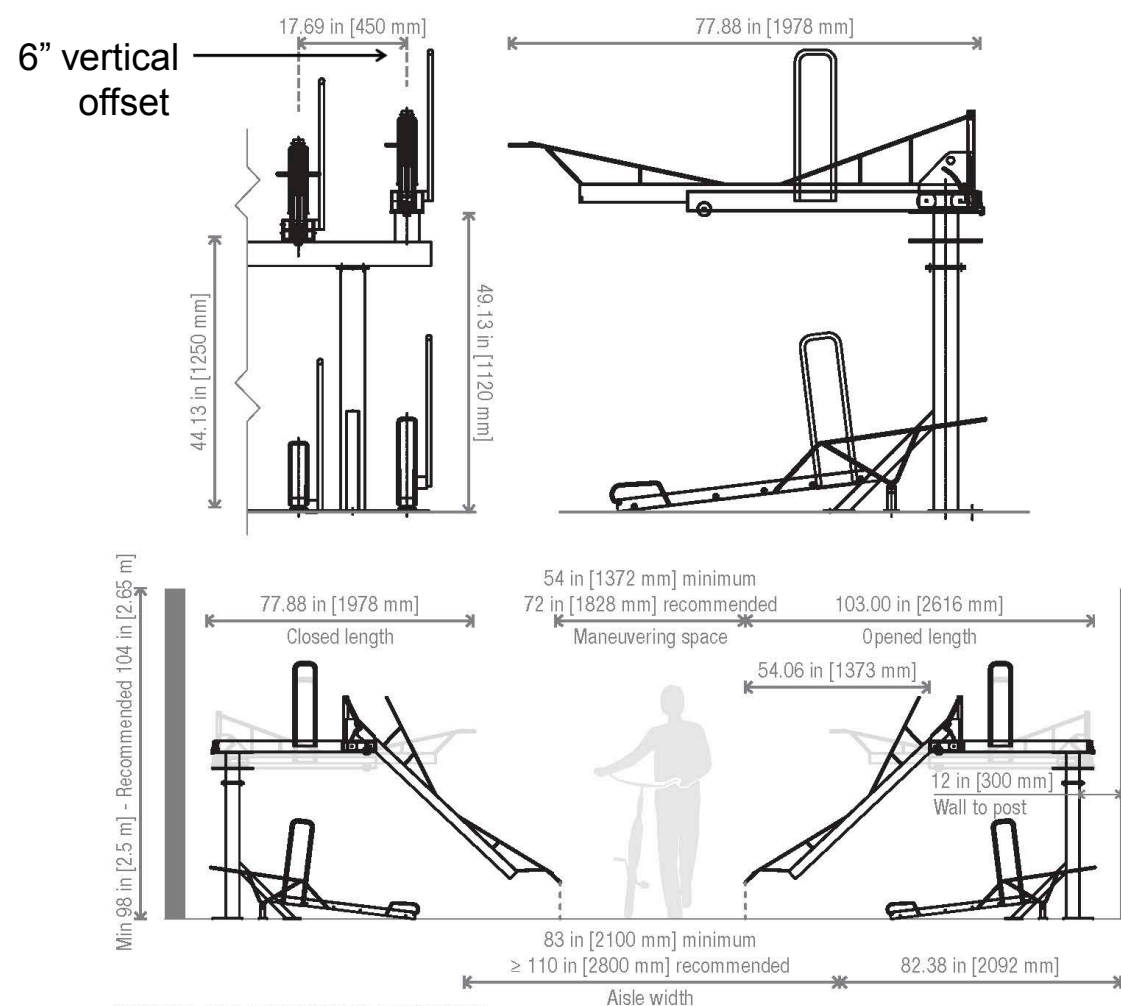
Bike Rack: 18"x 6.5' with a 6" vertical offset

Residential Bike Parking:
425 Units * 1.5 bikes = 636
Required, 636+ Provided

Commercial Bike Parking:
4 Required, 20+ Provided

Urban Double Stacker

Model: UB-2500-SM-2WG



Specifications

Capacity	
Bicycles per set	2 (one up and one down)
Bicycle spacing	17.69 in [450 mm]
Weight	
Per two bicycle spaces	± 89.65 lbs [40.75 kg]
Materials	
Assembly material	Steel
Available finishes	
	Powder coated (grey)

These drawings are not for construction purposes and are for information purposes only. All information contained herein was current at the time of development but must be reviewed and confirmed by Urban Racks to be considered accurate.

URBAN RACKS

INNOVATIVE | BICYCLE PARKING

1-888-717-8881 sales@urbanracks.com

For more product and company information, please visit us at www.urbanracks.com

Loop

Loop design is patent pending.

Loop bike rack is a simple, sweeping circle with a twist. Both functional and sculptural. Cyclists can loop and lock one or two bikes around its shape-shifting cast aluminum ribbon frame. The aluminum casting, finished with Pangard II® powdercoat, is offered in a selection of colors. All units can be installed either as a surface mount or embedded in a concrete surface. Bike racks must be placed 30" apart, and 24" from wall; see installation guide. Meets APBP guidelines.

Metal Finishes

All metal is finished with Pangard II®, offered exclusively by Landscape Forms, a 19-step program of cleaning, priming, and powdercoating that resists rusting, chipping, peeling, and fading to produce the finest metal finish available for site furniture. In addition, Pangard II® contains no heavy metals and is free of Hazardous Air Pollutants. Call for standard color chart.

Recycled Content

- Loop has a recycled content of 97%, and is 100% recyclable.

Dimensions

- 14"d x 31"h x 36"l

To Specify

Specify collection name and product name. Select surface mount or embedded style. Specify powdercoat color.



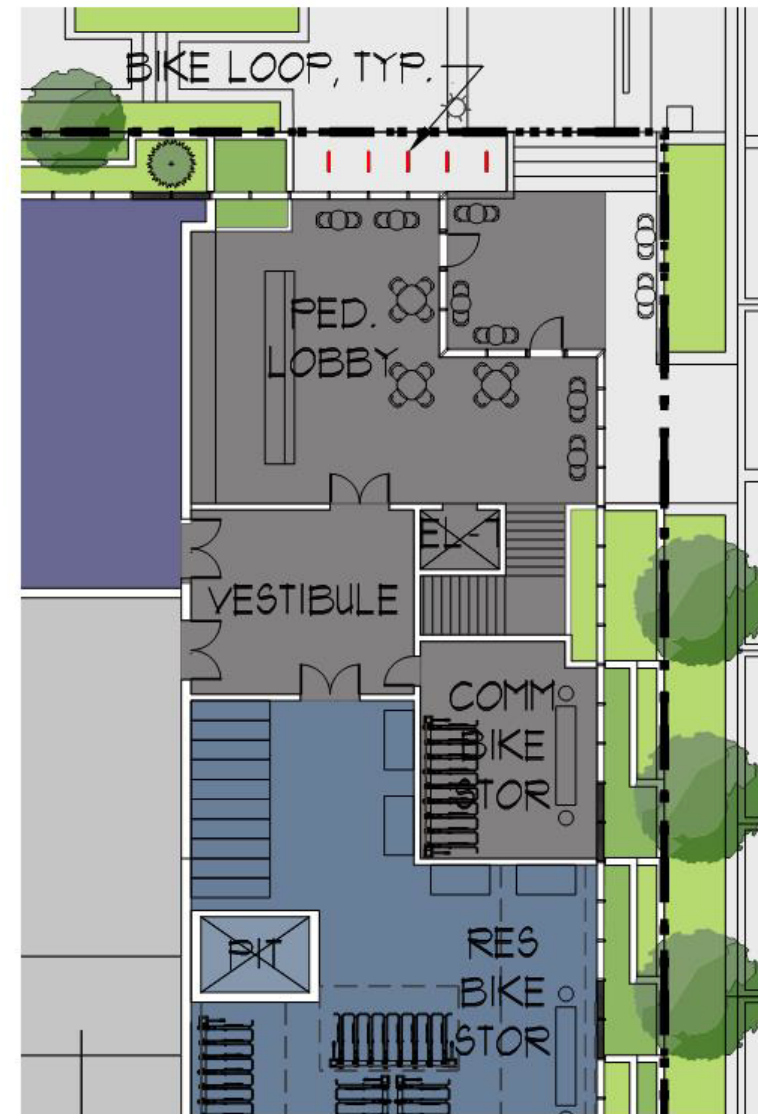
bike rack



loop

The Loop bike rack is a simple, sweeping circle with a twist. Cyclists can loop and lock one bike or two around its shape-shifting cast aluminum ribbon frame. Functional and sculptural, it meets a growing need for secure bicycle docking in recreational spaces and "complete streets," carrying on the 35 Collection mission to support social activity in outdoor space.

MONTGOMERY



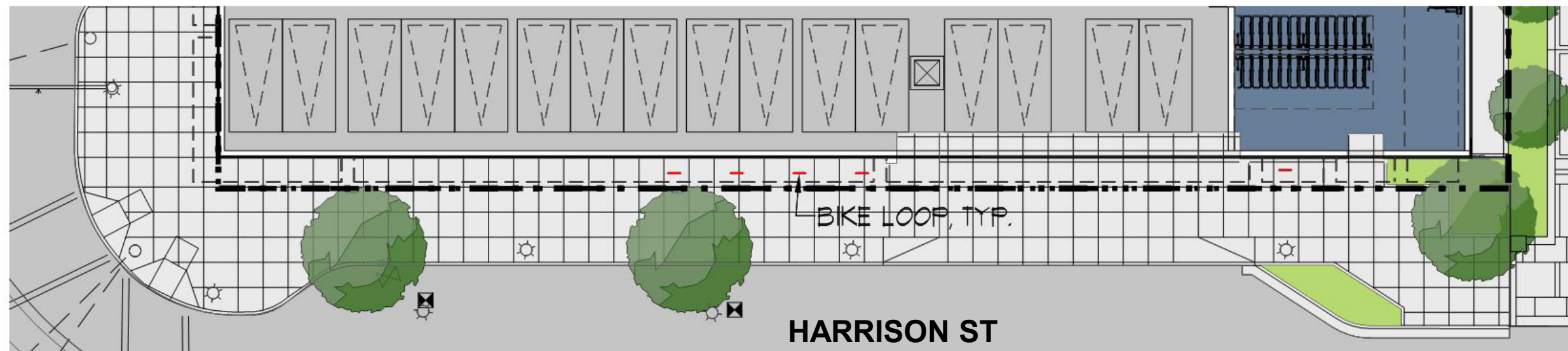
Bike Parking Short Term

Residential Bike Parking:
425 Units /20 = 22 required

Commercial Bike Parking:
8 required

20 spaces provides – 10 on
Harrison St and 10 on
Montgomery.

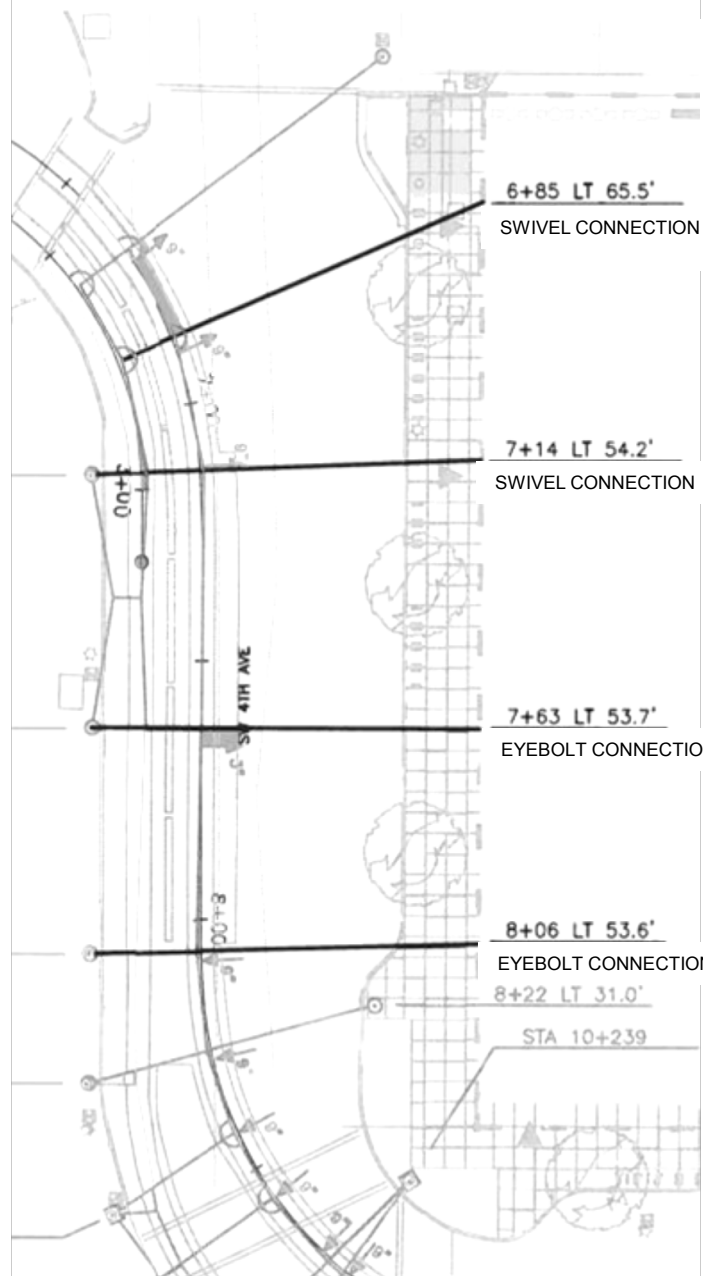
Ownership plans to pay into the
bike fund since 10 spaces will
be located along Harrison and
4th within the furnishing zone



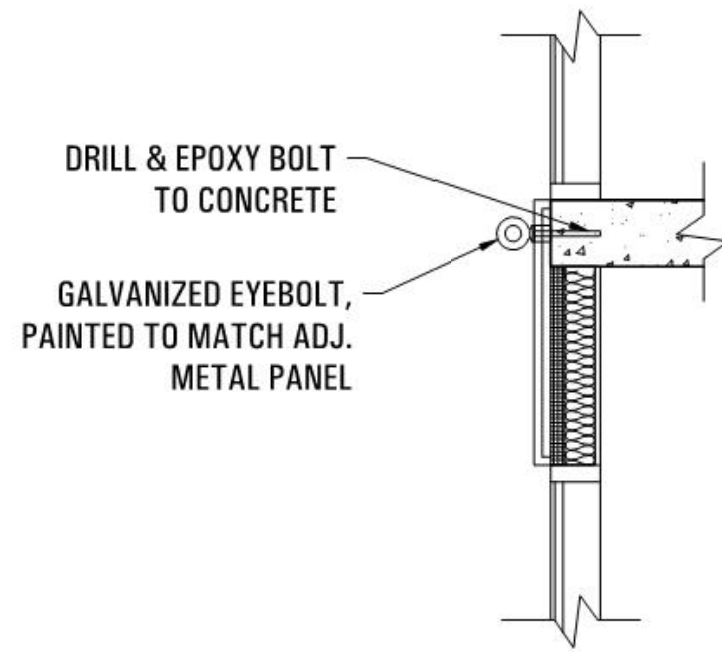
Section II: Design Proposal

Catenary Light details

Three poles to be removed and wires to be connected to the building

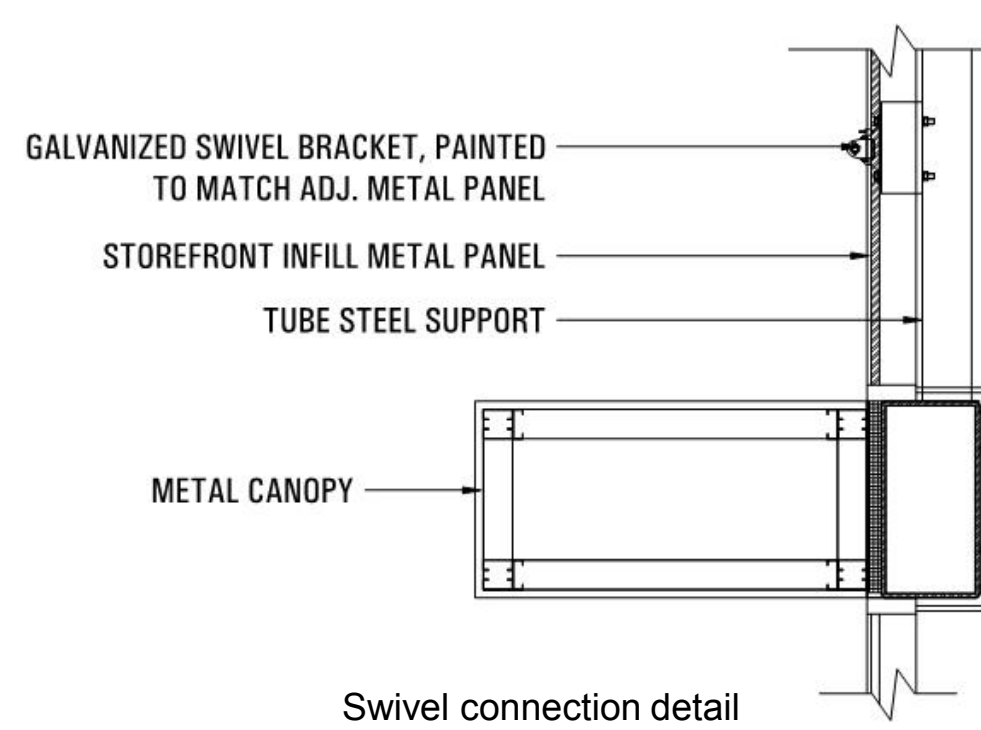


Wire attachment locations



DRILL & EPOXY BOLT TO CONCRETE
GALVANIZED EYEBOLT, PAINTED TO MATCH ADJ. METAL PANEL

Eye bolt connection detail



GALVANIZED SWIVEL BRACKET, PAINTED TO MATCH ADJ. METAL PANEL
STOREFRONT INFILL METAL PANEL
TUBE STEEL SUPPORT

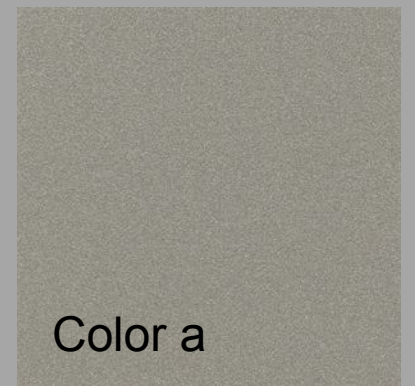
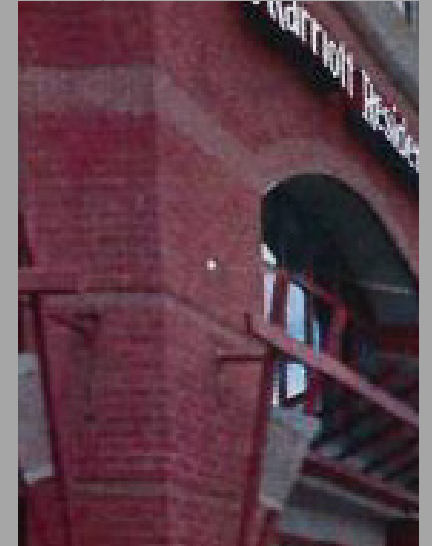
Swivel connection detail



Section II: Design Proposal

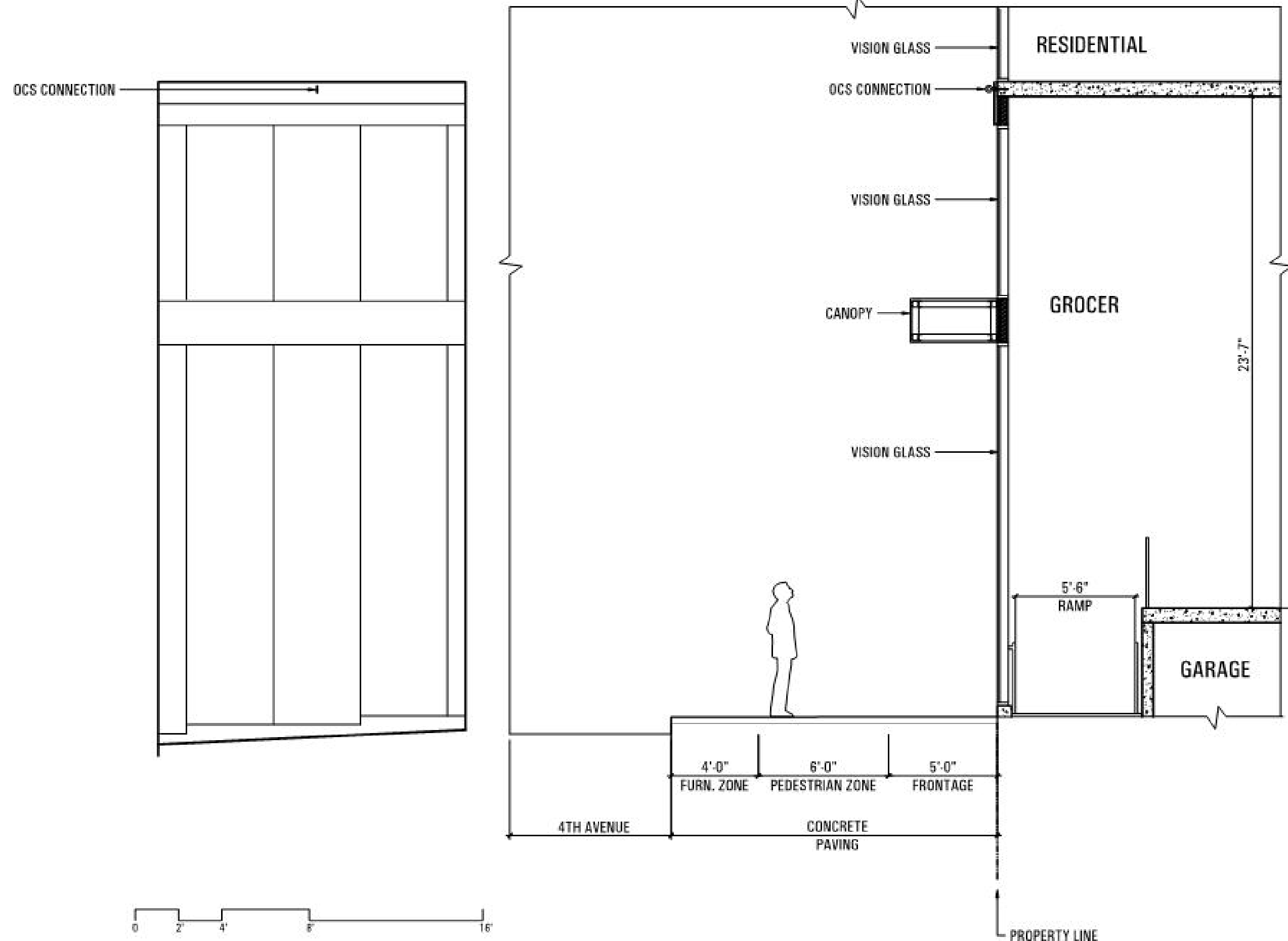
Catenary Light details

Three poles to be removed and wires to be connected to the building



LTK
LTK Engineering Services

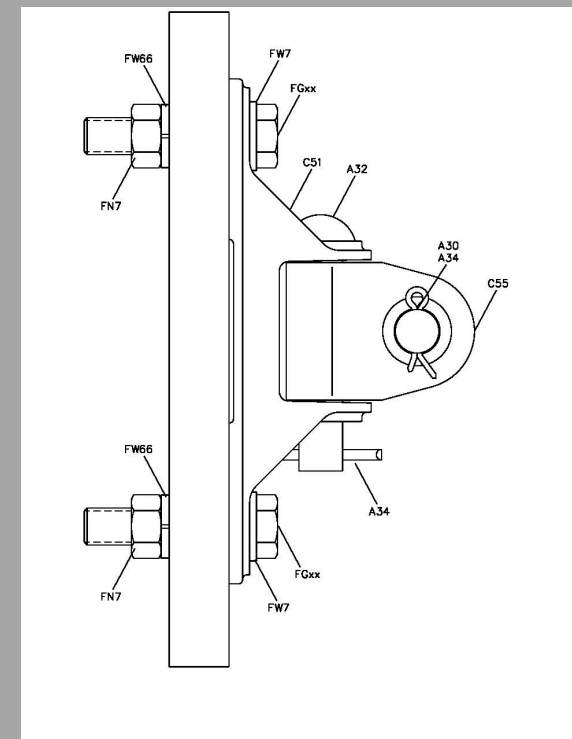
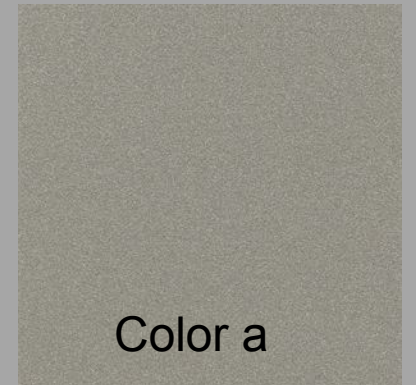
LU 15-209034 DZM, AD
C.73



Section II: Design Proposal

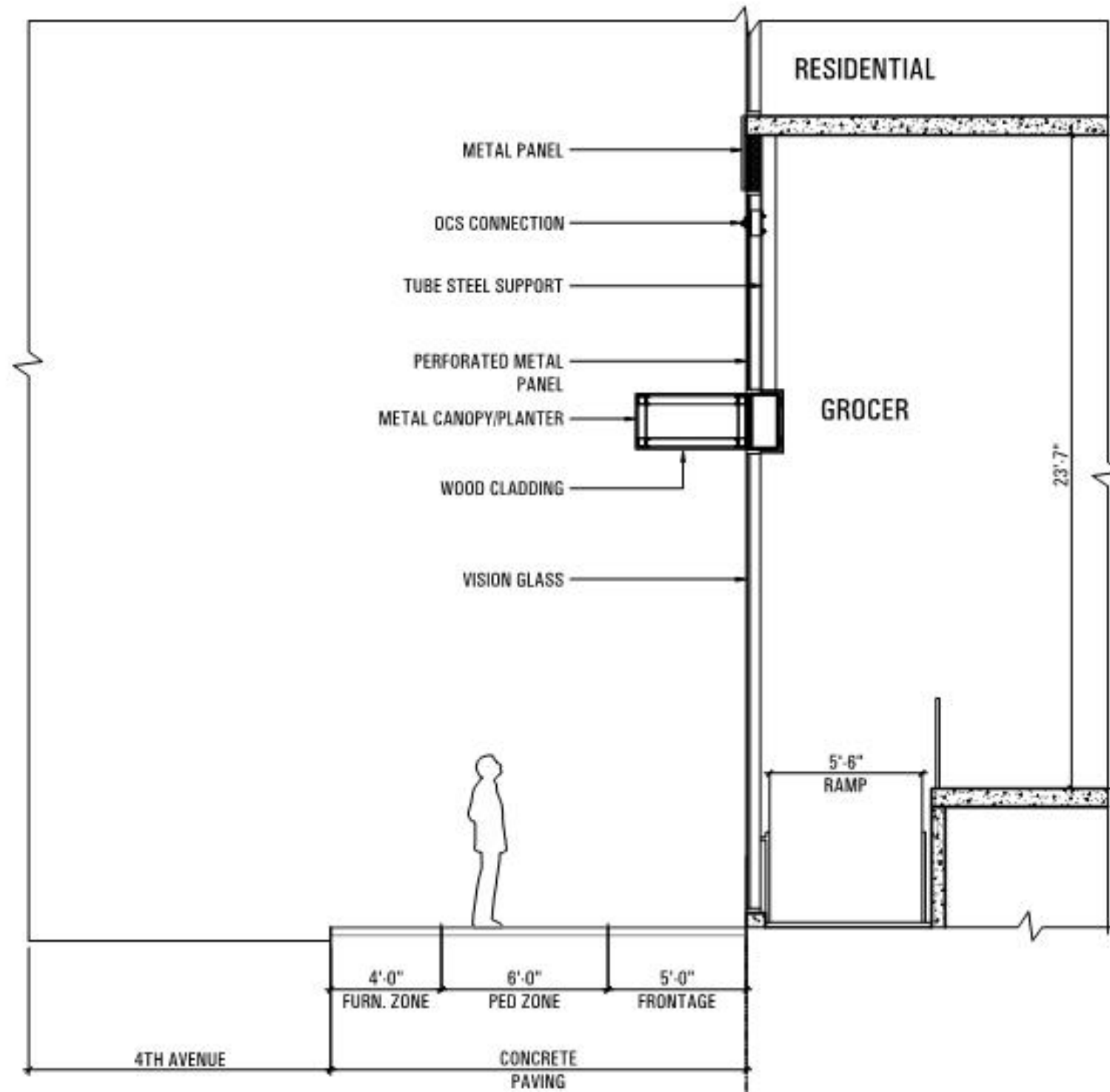
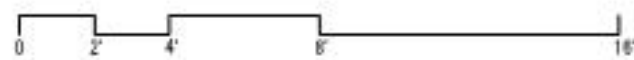
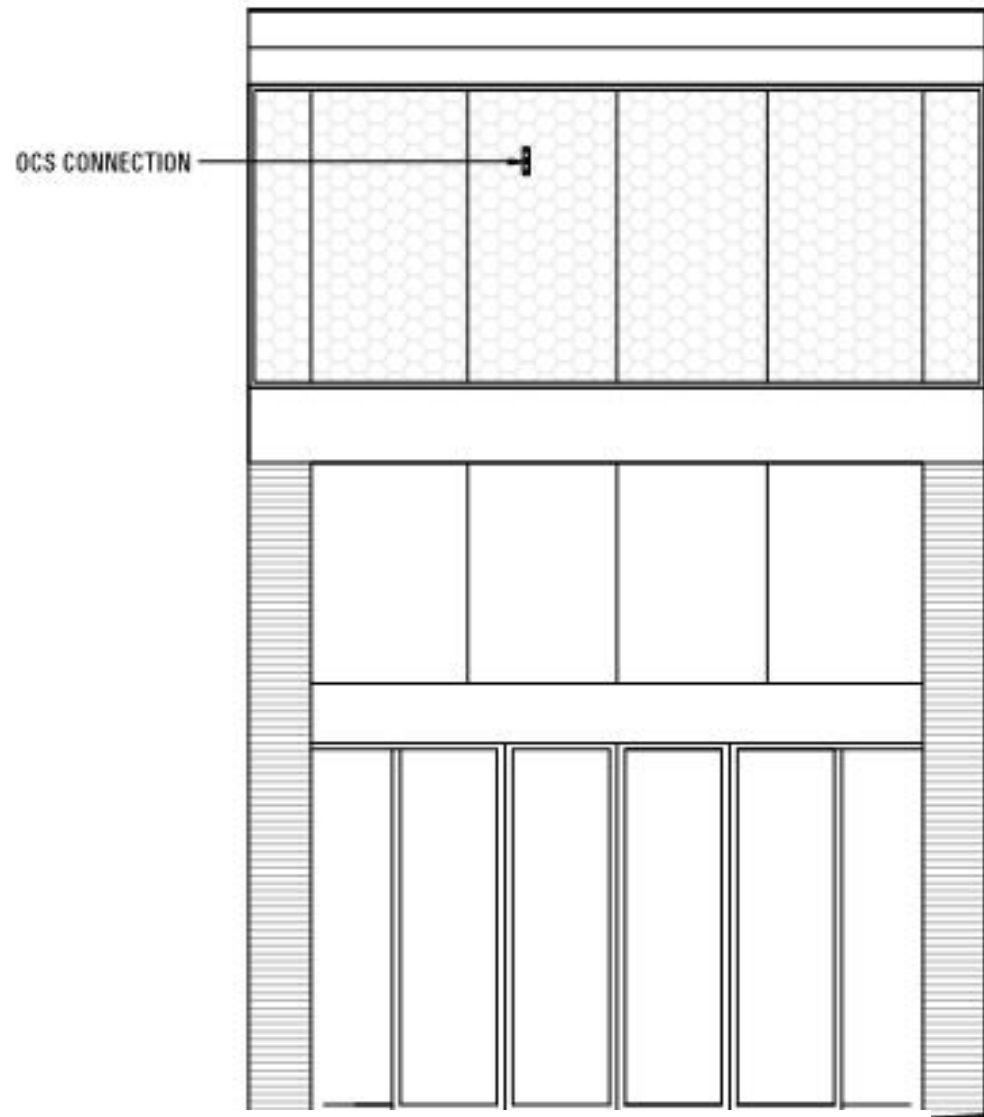
Catenary Light details

Three poles to be removed and wires to be connected to the building



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Section II: Design Proposal

Site and Building Lighting

Bollard lights will be located in the outdoor terrace on the 4th floor

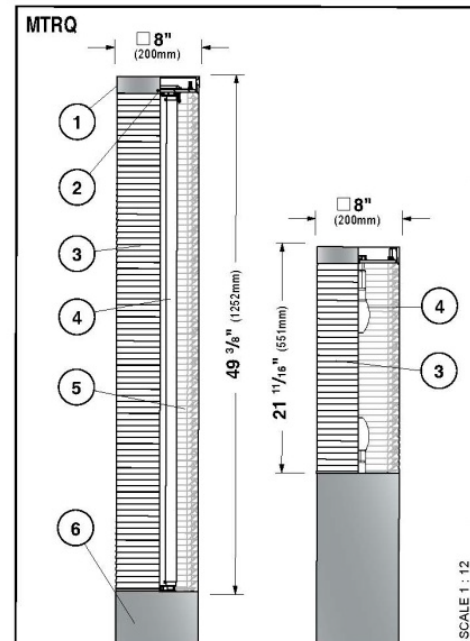
MTR Square Column **selux**

Project: _____
 Type: _____ Qty: _____

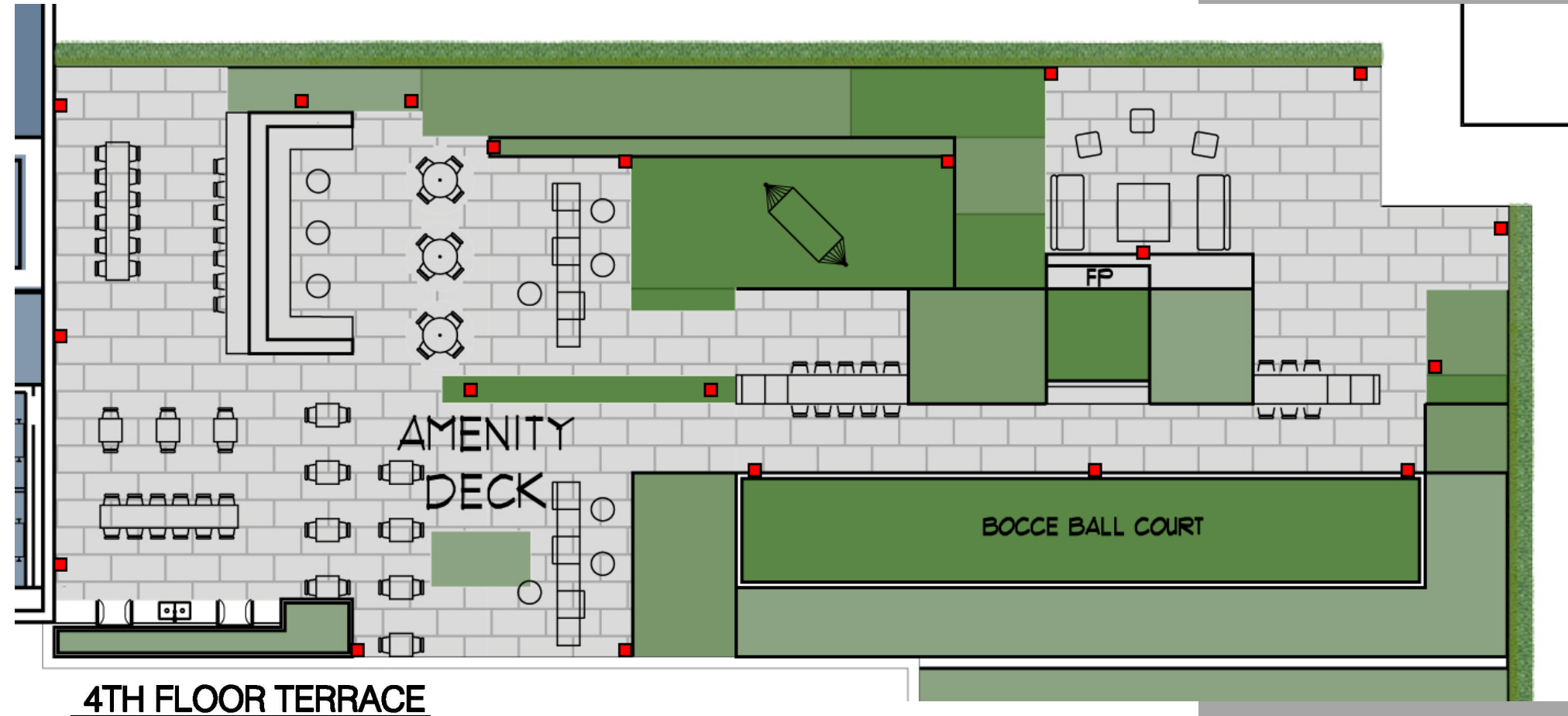
Series	Height	Lamping	Finish	Voltage	Options
MTRQ	12 ft.	Metal Halide	WH White	120	DS Dual Switching
	14 ft.	2H050 (2x)50w	BK Black	277	HS ¹ House Side Shield
	16 ft.	2H070 (2x)70w	BZ Bronze	347	REC GFCI Receptacle
			SV Silver		CWB ¹ Cold Weather Ballast
			SP Specify Premium Color		EB ¹ Electronic Ballast

Series	Height	Lamping	Finish	Voltage	Options
MTRQ	12 ft.	Metal Halide	WH White	120	DS Dual Switching
	14 ft.	2H050 (2x)50w	BK Black	277	HS ¹ House Side Shield
	16 ft.	2H070 (2x)70w	BZ Bronze	347	REC GFCI Receptacle
			SV Silver		CWB ¹ Cold Weather Ballast
			SP Specify Premium Color		EB ¹ Electronic Ballast

¹ Fluorescent Only ² Metal Halide Only Consult factory for other heights and options



- 1. Fixture Cover** - Die-cast aluminum cover, with smooth crisp form to reflect and complement the thick-walled, column design. Removes by loosening four vandal-resistant, stainless steel screws for easy access to lamp chamber.
 - 2. Gasketing** - Continuous gaskets provide weather-proofing, dust, and insect control at base of column, fixture cover, and between MTR rings.
 - 3. Shielding** - Consists of 7 7/8" (200mm) square injection-molded acrylic multi-prisms for total reflection (MTR). MTR rings have a wall thickness of .591" and are patterned after the light-bending characteristics of a prism.
 - 4. Lamping** - One, two, three or four FO32T8 (32 watts each) fluorescent lamps on removable gear tray, mounted vertically; or two coated, medium base ED-17 metal halide up to 70w. Lamps provided by others.
 - 5. Diffusing Cylinder** - Satine acrylic cylinder (fluorescent) or satine glass cylinder (MH) between lamps and MTR rings to diffuse lamp image for maximum performance and visual comfort.
 - 6. Column** - Extruded low-copper aluminum, 7 7/8" square, including handholes for access to gear tray and mounting plate.
 - 7. Column Fitter** - Die-cast aluminum fitter, with built-in gasketing ridges, for smooth transition to column.
 - 8. Ballast (not shown)** - Electronic ESB, high power factor, class "P," type "A" sound rating. Minimum lamp starting temperature 0° F (-20° C). Cold Weather Ballast option (minimum lamp starting temp -20°F/-29°C) available. Consult factory for more detailed ballast information.
- Exterior Luminaire Finish** - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI. Standard exterior colors are White (WH), Black (BK), Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide.



4TH FLOOR TERRACE

Selux Corp. © 2013
 TEL (845) 834-1400
 FAX (845) 834-1401
 www.selux.us
 MTRQ-0513-01 (ss-v1.0)

NRTL Listed (i.e. UL, CSA)
 Union Made Affiliated
 with IBEW Local 363

IP54

In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

Site and Building Lighting

Downlighting will be located at each entrance in the canopies

P5.11.0



PRODUCT DESCRIPTION

Recessed LED multi-lamp luminaire with 1-3/8" regressed pinhole square aperture delivers up to 880 lumens per head and is available with optical distributions approximating that of MR16 halogen lamps. Fixture has deep source regression for low aperture brightness. Low profile housing is available in IC rated or non-IC rated configurations, depending on lumen packages and number of heads.

PRODUCT SPECIFICATIONS

LED Light Engine Consistent fixture to fixture color consistency within a 2-step MacAdam ellipse • 2700K, 3000K, 3500K, or 4000K color temperatures are available with 80 CRI minimum • 2700K and 3000K also available with 90 CRI minimum.

Modular Optics Available with field interchangeable optics in 18° Spot, 24° Narrow Flood, 35° Flood, and 45° wide flood distributions.

Adjustability Patent pending Acu-Aim™ precision geared hot-aiming achieves 365° rotation, 40° tilt with any ceiling thickness from 1/2" to 1" • Acu-Aim™ translates light engine forward as it is aimed off nadir, ensuring maximum light and low brightness • Black aiming mechanism preserves dark aperture.

Reflector Die cast trim in white or black with black shield that eliminates visibility into housing.

Trims Style Self Flanged and Flush Mount styles are available • For flush mount installations in drywall ceilings, specify the FMASQ2 adapter • For flush mount installations in solid ceiling materials such as wood, stone, or tile ceilings, no flush mount adapter is required.

LED Driver Choice of two drivers to accommodate voltages from 120-277 volts AC at 50/60Hz • Dedicated 120V (-I) driver is dimmable with most incandescent, magnetic low voltage, and electronic low voltage dimmers • Universal Voltage (-U) driver is dimmable with most 0-10V protocol dimmers • For a list of compatible dimmers, refer to [ACLXLED2-DIM](#) • Power Factor > 0.9 • Field replaceable from above or below ceiling.

Life Rated for 50,000 hrs at 70% lumen maintenance.

Warranty 5 years from date of purchase on LED components • Standard Juno Lighting Group product guarantee terms and conditions apply.

Codes/Labels UL and cUL listed for damp locations depending on trim • IC rated new construction fixture meets energy code Air Leakage requirements per ASTM E283 • ENERGY STAR® with all color temperatures with 80 CRI and spot, narrow flood, and flood optics • Chicago Plenum (CCEA) is standard on single head and available as an option on 2 or 3 head units • Union made.

New Construction Mounting Features patented (US Patent 8,038,113) Pro-VI™ bar hanger system, permitting quick placement of housing with 24" on-center joists or suspended ceilings • Also features vertically adjustable mounting brackets (butterfly brackets).

Wiring Housings includes multiple 1/2" knockouts and is compatible with rigid conduit and flexible supply • All housings supplied with quick connect electrical connectors.

Ceiling Thickness 1/2" - 1 1/2" ceiling standard • Vertical aiming in ceiling 1" to 1 1/2" is reduced from 40° to 25°.

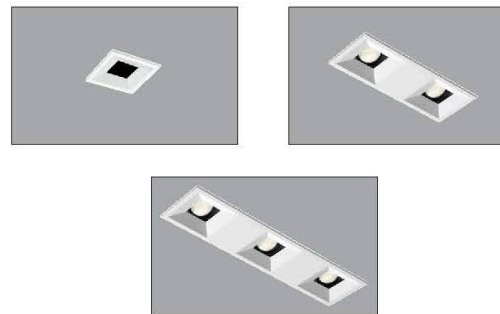
2" LED RECESSED MULTIPLE 700 & 1000 LUMEN

SQUARE 1-3/8" REGRESSED PINHOLE

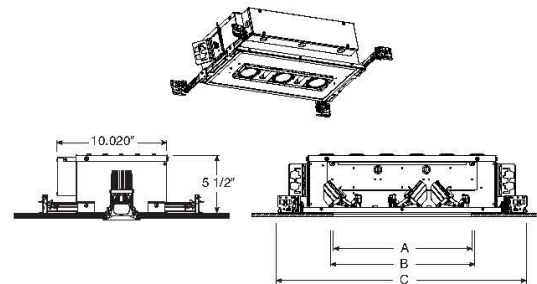
1, 2, & 3 Head LED Units with 2308SQ Trim Series



Type	Cat. No.
_____	_____
Project:	_____
Notes:	_____



DIMENSIONS



SELF FLANGED INSTALLATION			
# of Heads	Cutout Size (A)	Trim Dimension (B)	Dimension (C)
1	2-7/8" x 2-7/8"	3.410" x 3.410"	16-1/8"
2	2-7/8" x 7-7/8"	3.410" x 8.410"	18"
3	2-7/8" x 12-7/8"	3.410" x 13.410"	23"

FLUSH MOUNT INSTALLATION			
# of Heads	Cutout Size (A)	Trim Dimension (B)	Dimension (C)
1	3" x 3"	2.875" x 2.875"	16-1/8"
2	3" x 8"	2.875" x 7.875"	18"
3	3" x 13"	2.875" x 12.875"	23"

REV-11/14

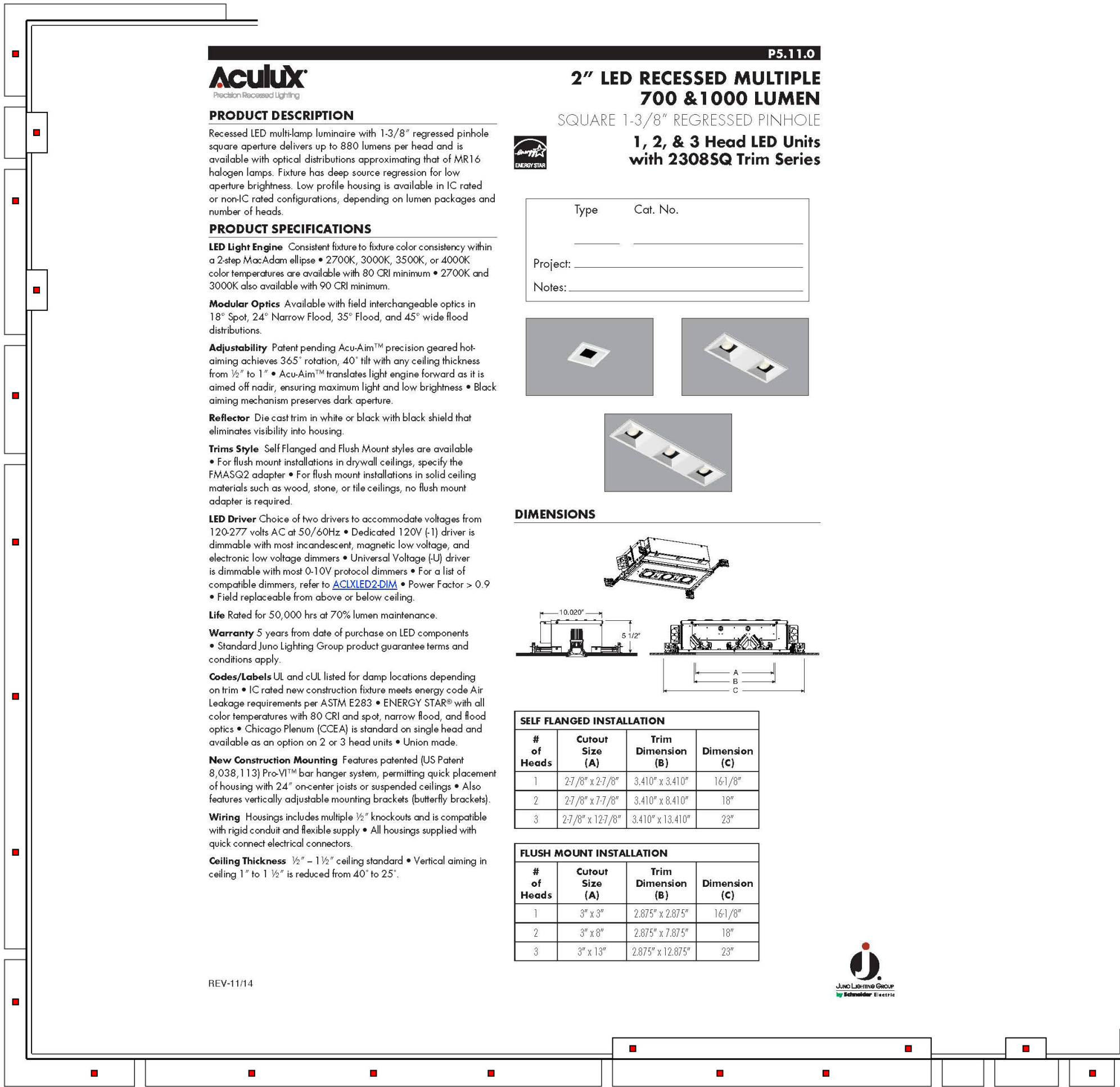


SITE PLAN - PHOTOMETRICS

0 16' 32' 64'

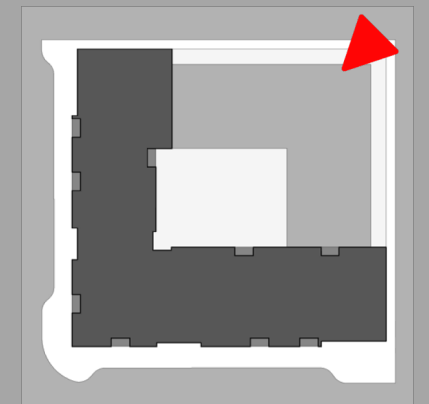


SCALE: 1/32"=1'-0"



Canopy RCP

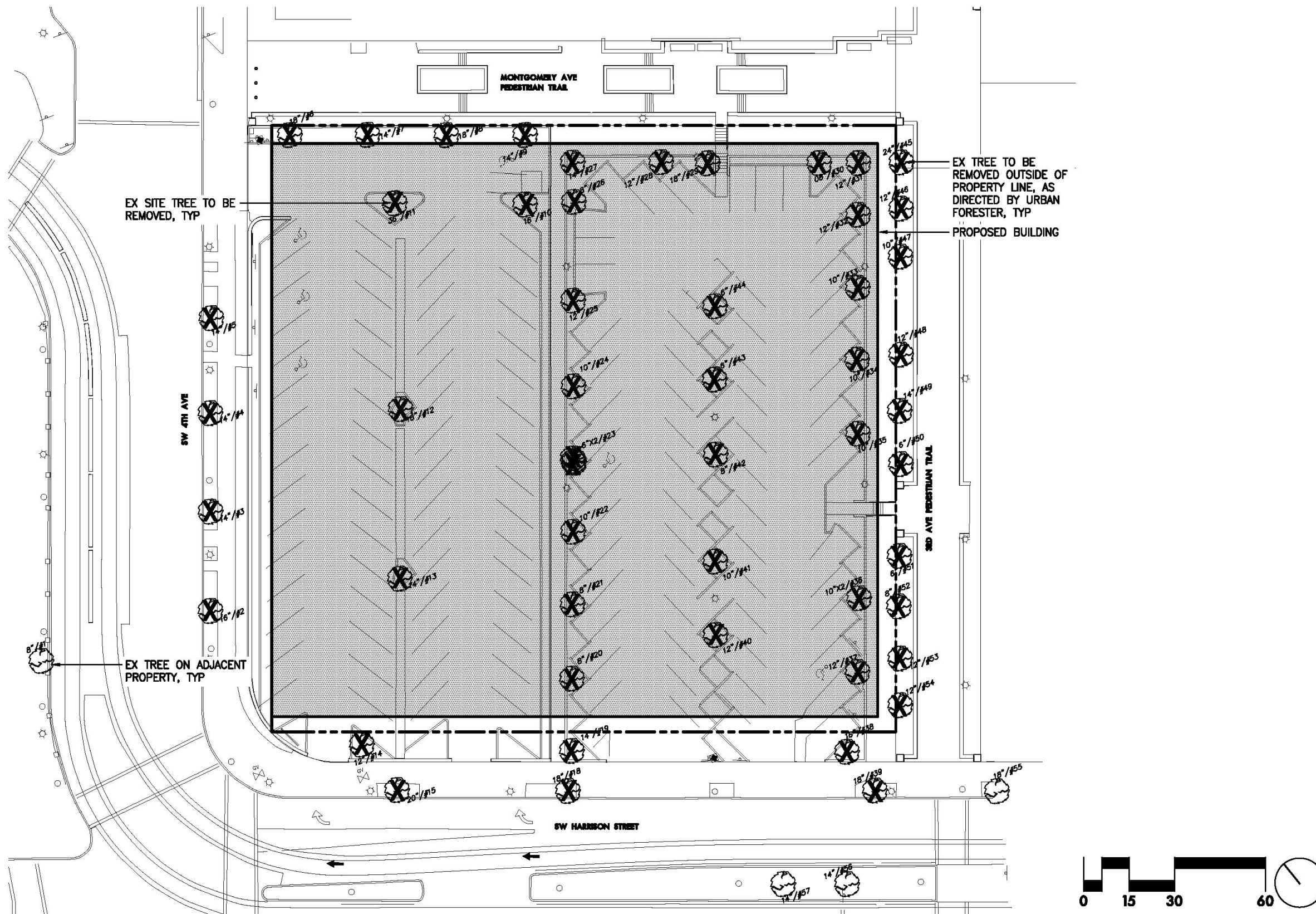
LU 15-209034 DZM, AD C.76



Section III: Landscape

LU 15-209034 DZM, AD
C.77

Tree Removal Plan



Section III: Landscape

Tree Removal Legend and Notes

TREE REMOVAL CHART

TREE NUMBER	SPECIES	DBH INCHES	NOTES
EXISTING TREES WITHIN THE RIGHT OF WAY			
2	European Birch	16	Nuisance List
3	European Birch	14	Nuisance List
4	European Birch	14	Nuisance List
5	European Birch	14	Nuisance List
6	Red Norway Maple	18	Nuisance List
7	Red Norway Maple	14	Nuisance List
8	Red Norway Maple	18	Nuisance List
9	Red Norway Maple	14	Nuisance List
15	Norway Maple	20	Nuisance List
18	Norway Maple	18	Nuisance List
39	Norway Maple	18	Nuisance List
45	Norway Maple	24	Nuisance List
46	Norway Maple	12	Nuisance List
47	Norway Maple	10	Nuisance List
48	Norway Maple	12	Nuisance List
49	Norway Maple	14	Nuisance List
50	Norway Maple	6	Nuisance List
51	Norway Maple	6	Nuisance List
52	Norway Maple	8	Nuisance List
53	Norway Maple	12	Nuisance List
54	Norway Maple	12	Nuisance List



TREE REMOVAL CHART

TREE NUMBER	SPECIES	DBH INCHES	NOTES
EXISTING SITE TREES			
10	Oak	16	
11	Oak	36	
12	Oak	18	
13	Oak	14	
14	Purple Leaf Plum	12	
19	Norway Maple	14	Nuisance List
20	London Plane	8	
21	London Plane	8	
22	London Plane	10	
23	London Plane	(2) X 8	
24	London Plane	10	
25	London Plane	12	
26	London Plane	8	
27	London Plane	14	
28	London Plane	12	
29	London Plane	18	
30	London Plane	8	
31	London Plane	12	
32	London Plane	12	
33	London Plane	10	
34	London Plane	10	
35	London Plane	10	
36	London Plane	10	
37	London Plane	12	
38	London Plane	16	
40	Horse Chestnut	12	
41	Horse Chestnut	10	
42	Horse Chestnut	8	
43	Horse Chestnut	6	
44	Horse Chestnut	6	

NOTES

1. THIS PLAN IS BASED ON A SURVEY BY CENTERLINE CONCEPTS LAND SURVEYING, INC. DATED 01/08/2015. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT ALL TREES ON ADJACENT PROPERTIES TO REMAIN, INCLUDING BARK AND ROOT ZONES.

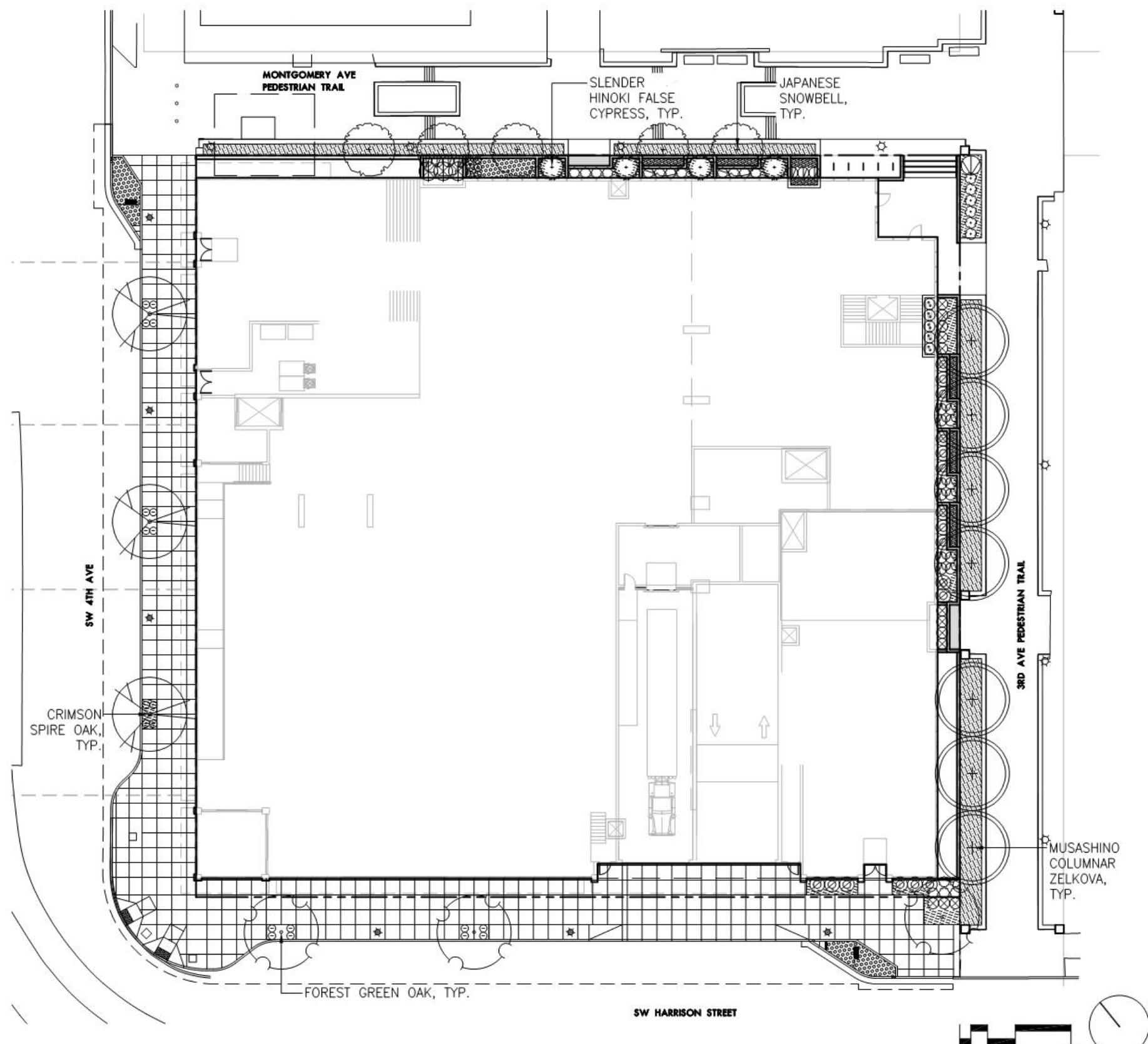
TREE REMOVAL LEGEND

- PROPERTY LINE
-  EXISTING DECIDUOUS TREE, TO BE REMOVED
-  EXISTING DECIDUOUS TREE, TO BE PROTECTED

ABBREVIATIONS

- DBH DIAMETER AT BREAST HEIGHT
- EX EXISTING
- TYP TYPICAL

Site Planting Plan



PLANT SCHEDULE					
QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES					
4		<i>Chamaecyparis obtusa</i> 'Gracilis'	Slender Hinoki False Cypress	8'-10'HT/B&B	AS SHOWN
3		<i>Quercus frainetto</i> 'Schmidt'	Forest Green Oak	2.5" CAL./B&B	AS SHOWN
3		<i>Quercus robur</i> x <i>alba</i> 'Crimschmidt'	Crimson Spire Oak	2.5" CAL./B&B	AS SHOWN
5		<i>Styrax japonicus</i>	Japanese Snowbell	2.5" CAL./B&B	20' O.C.
7		<i>Zelkova serrata</i> 'Musashino'	Musashino Columnar Zelkova	2.5" CAL./B&B	20' O.C.
SHRUBS, GRASSES AND GROUNDCOVERS					
17		<i>Cephalotaxa harringtonia</i>	Japanese Plum Yew	#5/CONT.	30" O.C.
5		<i>Chimonobambusa marmorata</i> 'Variegata'	Marbled Bamboo	#5/CONT.	as shown
12		<i>Cornus alba</i> 'Arctic Fire'	Red Twig Dogwood	#5/CONT.	36" O.C.
20		<i>Cotoneaster</i> x 'Hessei'	Hessei Cotoneaster	#2/CONT.	30" O.C.
62		<i>Cotoneaster</i> x 'Dammeri'	Coral Beauty Cotoneaster	#1/CONT.	30" O.C.
169		<i>Liriope gigantea</i>	Giant Lilyturf	#1/CONT.	12" O.C.
1		<i>Mahonia</i> x <i>media</i> 'Charity'	Charity Mahonia	#10/CONT. Specimen	as shown
12		<i>Panicum virgatum</i> 'Northwind'	Northwind Switchgrass	#3/CONT.	36" O.C.
1571		<i>Pachysandra terminalis</i>	Japanese Spurge	#1/CONT.	12" O.C.
6		<i>Polystichum setiferum</i>	Soft Shield Fern	#3/CONT.	36" O.C.
3		<i>Rhododendron catawbiense</i> 'Album'	White Catawba Rhododendron	#5/CONT.	4' O.C.
17		<i>Sarcococca ruscifolia</i>	Sweet Box	#3/CONT.	36" O.C.
7		<i>Skimmia reevesiana</i>	Japanese Skimmia	#3/CONT.	24" O.C.
STORMWATER PLANTING					
6		<i>Cornus sericea</i> 'Kelseyi'	Dwarf Red Osier Dogwood	#5/CONT.	24" O.C.
341		<i>Juncus patens</i>	California Gray Rush	#1/CONT.	12" O.C.

PLANTING NOTES

- THIS PLAN IS BASED ON A SURVEY BY CENTERLINE CONCEPTS LAND SURVEYING, INC. DATED 01/08/2015. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
- ALL PLANT MATERIAL IN AT-GRADE PLANTERS TO BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

ABBREVIATIONS

B&B	BALLED & BURLAPPED
CAL	CALIPER
CONT	CONTAINER
O.C.	ON CENTER
TBD	TO BE DETERMINED
#	CONTAINER SIZE

Section III: Landscape

LU 15-209034 DZM, AD
C.80

Montgomery Avenue Pedestrian Trail

Five trees added within the Montgomery Ave trail and one additional tree added to the setback



1 Montgomery Ave Pedestrian Trail

Plan



2 Montgomery Ave Pedestrian Trail

Elevation

Section III: Landscape

Montgomery Avenue Plant Palette



Chamaecyparis obtusa 'Gracilis'
Slender Hinoki False Cypress



Styrax japonicus
Japanese Snowbell



Sarcococca ruscifolia
Fragrant Sweet Box



Skimmia reevesiana
Japanese Skimmia



Polystichum setiferum
Soft Shield Fern



Rhododendron catawbiense 'Album'
White Catawba Rhododendron



Liriope gigantea
Giant Lilyturf



Pachysandra terminalis
Japanese Spurge

Section III: Landscape

3rd Avenue Pedestrian Trail

Planter heights lowered along the full length of the pedestrian trail
One additional tree added within the 3rd Ave Pedestrian Trail



1 3rd Ave Pedestrian Trail

Plan



2 3rd Ave Pedestrian Trail

Elevation

Section III: Landscape

LU 15-209034 DZM, AD
C.83

3rd Avenue Plant Palette



Zelkova serrata 'Musashino'
Musashino Columnar Zelkova



Cornus alba 'Sibirica'
Red Twig Dogwood



Miscanthus sinensis 'Adagio'
Adagio Maiden Grass



Cephalotaxus harringtonia
Japanese Plum Yew



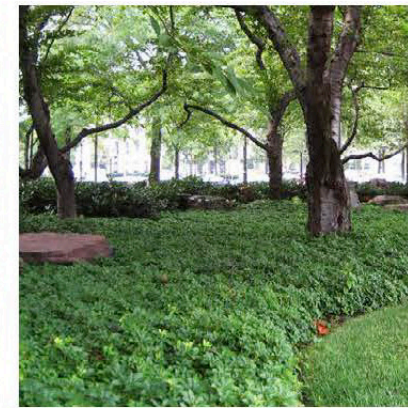
Polystichum munitum
Western Sword Fern



Mahonia x media 'Charity'
Charity Mahonia



Cotoneaster x 'Hessei'
Hessei Cotoneaster



Pachysandra terminalis
Japanese Spurge

4th and Harrison

Plant Palette - 3rd Avenue Pedestrian Trail

lango.hansen LANDSCAPE ARCHITECTS PC

Section III: Landscape

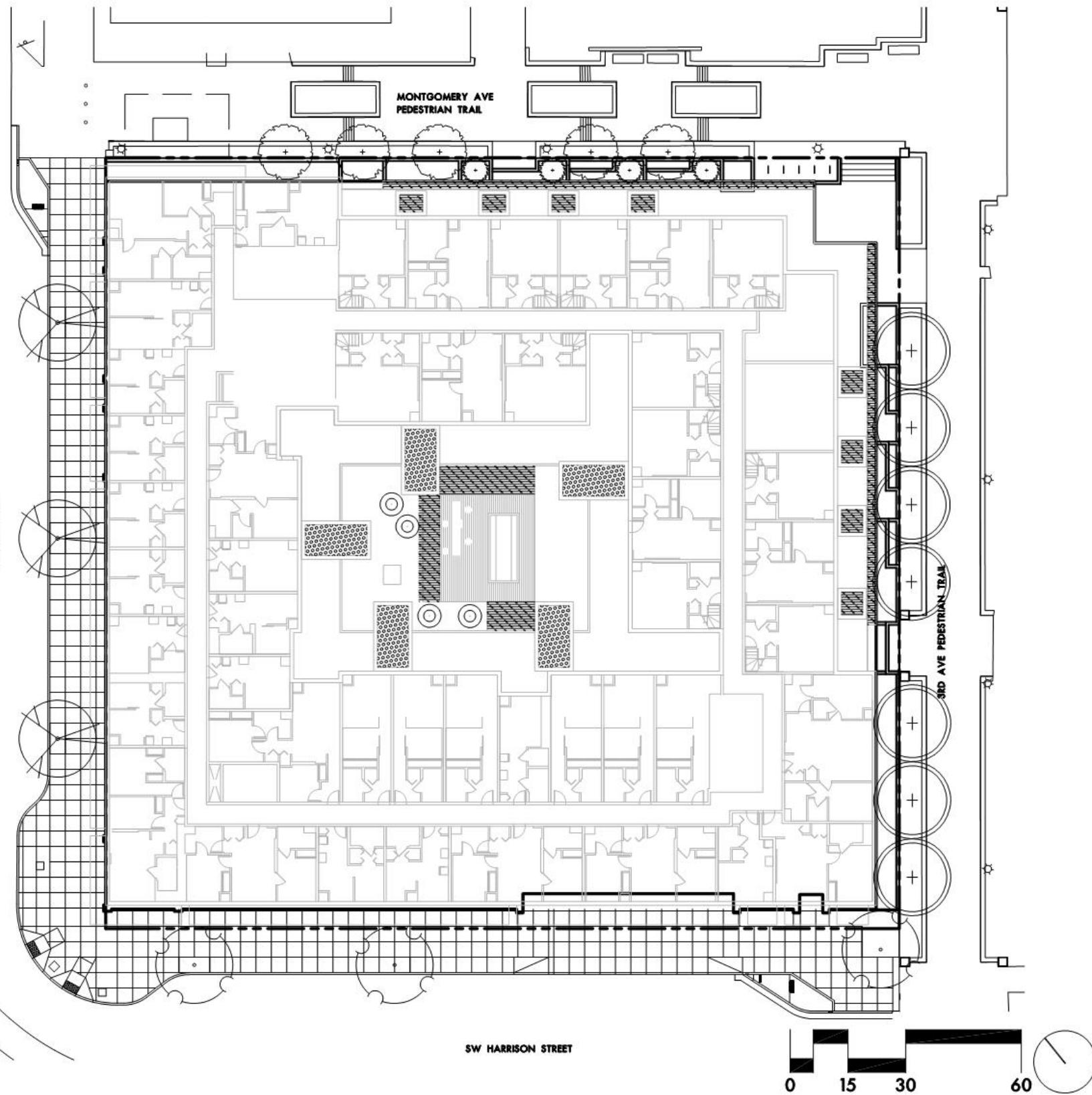
LU 15-209034 DZM, AD
C.84

2nd Floor Planting Plan

PLANT SCHEDULE

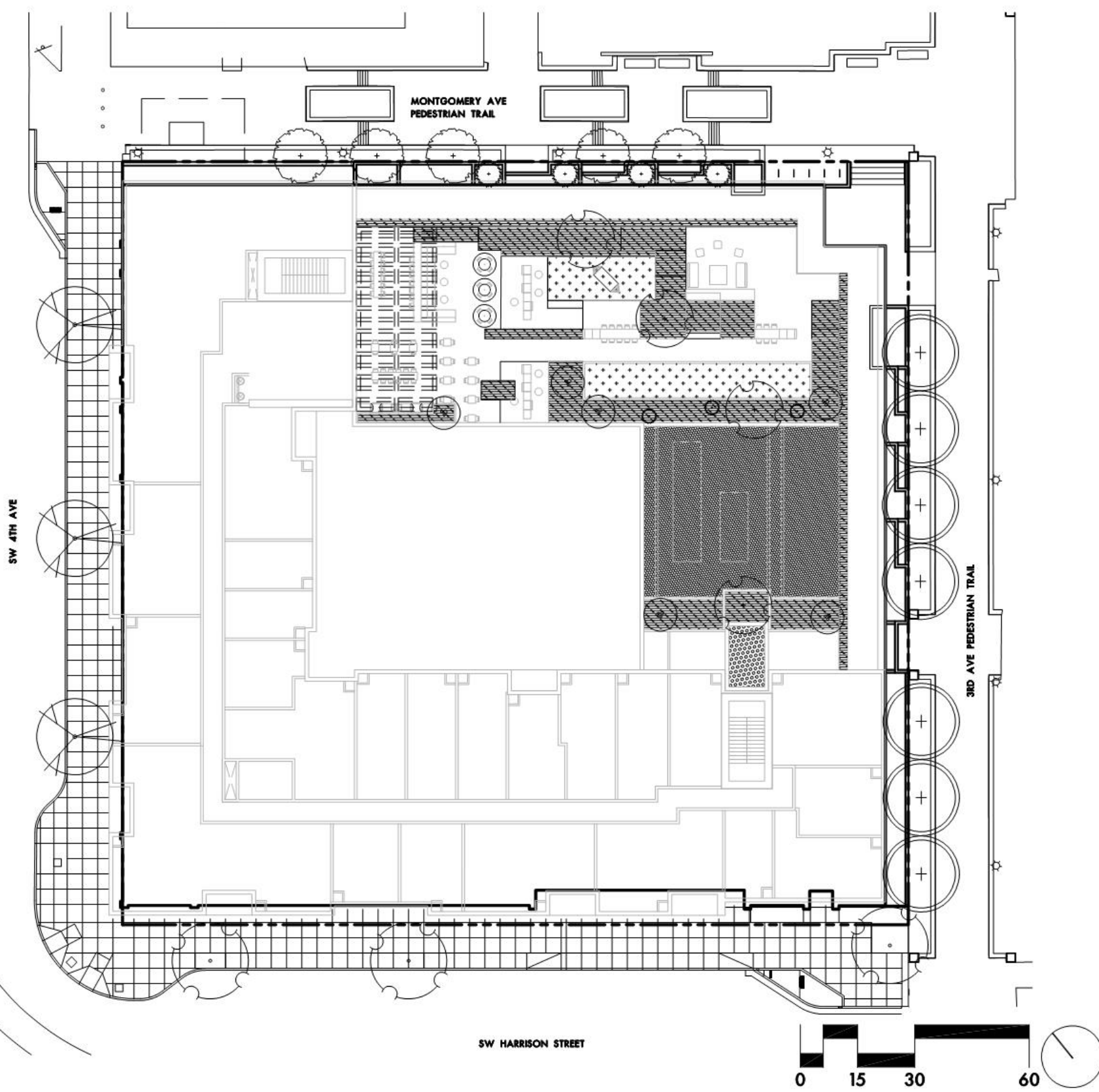
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
SHRUBS, GRASSES AND GROUNDCOVERS				
	<i>Abelia x 'Rose Creek'</i>	Rose Creek Abelia	#5/CONT.	36" O.C.
	<i>Buxus sempervirens 'Suffricosa'</i>	Dwarf English Boxwood	#5/CONT.	24" O.C.
	<i>Carex morrowii 'Ice Dance'</i>	Ice Dance Japanese Sedge	#1/CONT.	12" O.C.
	<i>Cephalotaxus harringtonia</i>	Japanese Plum Yew	#5/CONT.	30" O.C.
	<i>Heuchera 'Electric Lime'</i>	Electric Lime Coral Bells	#1/CONT.	12" O.C.
	<i>Liriope gigantea</i>	Giant Lilyturf	#1/CONT.	18" O.C.
	<i>Polystichum munitum</i>	Western Sword Fern	#5/CONT.	36" O.C.
STORMWATER PLANTING				
	<i>Asarum caudatum</i>	Wild Ginger	#1/CONT.	12" O.C.
	<i>Carex elata 'Bowles Golden'</i>	Bowles Golden Sedge	#1/CONT.	12" O.C.
	<i>Cornus sericea 'Kelsey'</i>	Dwarf Red Osier Dogwood	#5/CONT.	24" O.C.
	<i>Fragaria chiloensis</i>	Beach Strawberry	#1/CONT.	12" O.C.
	<i>Juncus patens</i>	California Gray Rush	#1/CONT.	12" O.C.
	<i>Ligularia stenocephala 'The Rocket'</i>	Rocket Ligularia	#5/CONT.	24" O.C.

FOR NOTES AND ABBREVIATIONS SEE SITE PLANTING PLAN



Section III: Landscape

4th Floor Planting Plan



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES				
	<i>Acer circinatum</i>	Vine Maple	1.5" CAL./B&B	AS SHOWN
	<i>Acer palmatum</i> 'Seiryu'	Seiryu Japanese Maple	2.5" CAL./B&B	AS SHOWN
	<i>Chamaecyparis obtusa</i> 'Gracilis'	Slender Hinoki False Cypress	2.5" CAL./B&B	AS SHOWN
SHRUBS, GRASSES AND GROUNDCOVERS				
	<i>Abelia</i> x 'Rose Creek'	Rose Creek Abelia	#5/CONT.	36" O.C.
	<i>Amsonia</i> x 'Blue Ice'	Blue Star Flower	#1/CONT.	12" O.C.
	<i>Armeria maritima</i> 'Rubrifolia'	Red Leaf Thrift	#1/CONT.	12" O.C.
	<i>Buxus sempervirens</i> 'Suffricosa'	Dwarf English Boxwood	#5/CONT.	24" O.C.
	<i>Carex morrowii</i> 'Ice Dance'	Ice Dance Japanese Sedge	#1/CONT.	12" O.C.
	<i>Carex testacea</i>	New Zealand Orange Sedge	#5/CONT.	30" O.C.
	<i>Cephalotaxus harringtonia</i>	Japanese Plum Yew	#5/CONT.	30" O.C.
	<i>Euonymus fortunei</i> 'Ivory Jade'	Ivory Jade Wintercreeper	#5/CONT.	42" O.C.
	<i>Heuchera</i> x 'Electric Lime'	Electric Lime Coral Bells	#1/CONT.	12" O.C.
	<i>Lavandula stoechas</i> 'Otto Quast'	Otto Quast Spanish Lavender	#5/CONT.	24" O.C.
	<i>Liriope gigantea</i>	Giant Lilyturf	#1/CONT.	18" O.C.
	<i>Miscanthus sinensis</i> 'Little Kitten'	Little Kitten Dwarf Maidenhair	#5/CONT.	36" O.C.
	<i>Polystichum munitum</i>	Western Sword Fern	#5/CONT.	36" O.C.
	<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary	#5/CONT.	30" O.C.
	<i>Thymus pseudolanuginosus</i>	Woolly Thyme	#1/CONT.	12" O.C.
STORMWATER PLANTING				
	<i>Asarum caudatum</i>	Wild Ginger	#1/CONT.	12" O.C.
	<i>Carex elata</i> 'Bowles Golden'	Bowles Golden Sedge	#1/CONT.	12" O.C.
	<i>Cornus sericea</i> 'Kelsey'	Dwarf Red Osier Dogwood	#5/CONT.	24" O.C.
	<i>Fragaria chiloensis</i>	Beach Strawberry	#1/CONT.	12" O.C.
	<i>Juncus patens</i>	California Gray Rush	#1/CONT.	12" O.C.
	<i>Ligularia stenocephala</i> 'The Rocket'	Rocket Ligularia	#5/CONT.	24" O.C.
GREEN ROOF				
	Sedum Mat	Sedum Mat		
TURF				
	Artificial Turf	Forever Lawn		

FOR NOTES AND ABBREVIATIONS SEE SITE PLANTING PLAN

Section III: Landscape

2nd and 4th Floors Plant Palette



Acer circinatum
Vine Maple

Buxus sempervirens 'Suffruticosa'
Dwarf English Boxwood

Cephalotaxus harringtonia
Japanese Plum Yew

Thymus pseudolanuginosus
Woolly Thyme

Lavandula stoechas 'Otto Quast'
Otto Quast Spanish Lavender



Chamaecyparis obtusa 'Gracilis'
Slender Hinoki False Cypress

Acer palmatum 'Seiryu'
Seiryu Japanese Maple

Liriope gigantea
Giant Lilyturf

Euonymus fortunei 'Ivory Jade'
Ivory Jade Wintercreeper

Abelia x 'Rose Creek'
Rose Creek Abelia

Heuchera 'Electric Lime'
Electric Lime Coral Bells



Carex testacea
New Zealand Orange Sedge

Miscanthus sinensis 'Little Kitten'
Little Kitten Dwarf Maidenhair Grass

Rosmarinus officinalis 'Tuscan Blue'
Tuscan Blue Rosemary

Armeria maritima 'Rubrifolia'
Red Leaf Thrift

Carex morrowii 'Ice Dance'
Ice Dance Japanese Sedge

Amsonia x 'Blue Ice'
Blue Star Flower

Section III: Landscape

Stormwater Planting and Green Roof Plant Palette



Eleocharis macrastachya
Pale Spikerush



Cornus sericea 'Kelseyi'
Kelsey Dwarf Red Osier Dogwood



Juncus patens
California Gray Rush



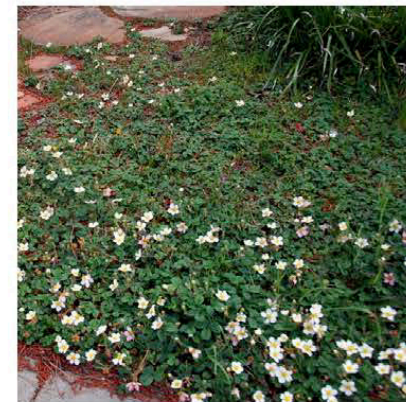
Ligularia stenocephala 'The Rocket'
Rocket Ligularia



Carex elata 'Bowles Golden'
Bowles Golden Sedge



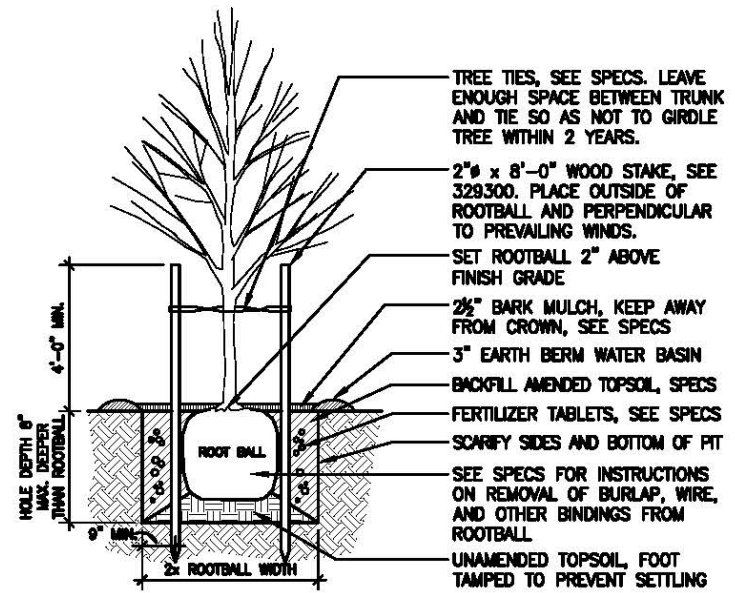
Asarum caudatum
Wild Ginger



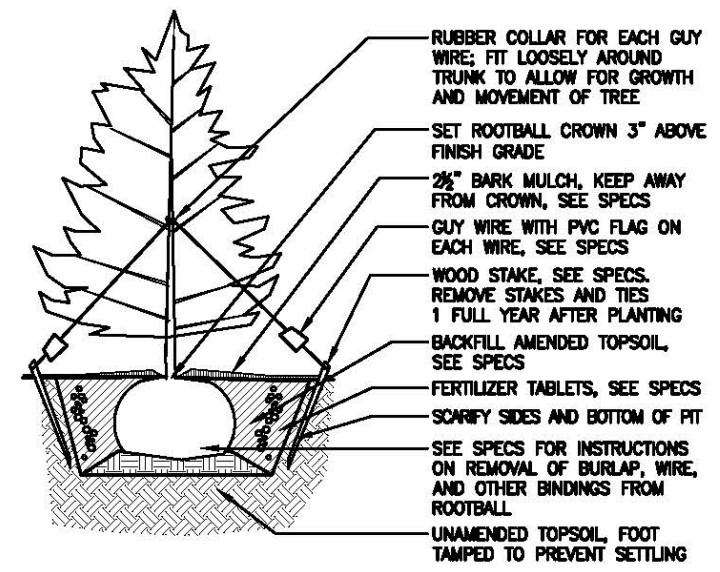
Fragaria chiloensis
Beach Strawberry



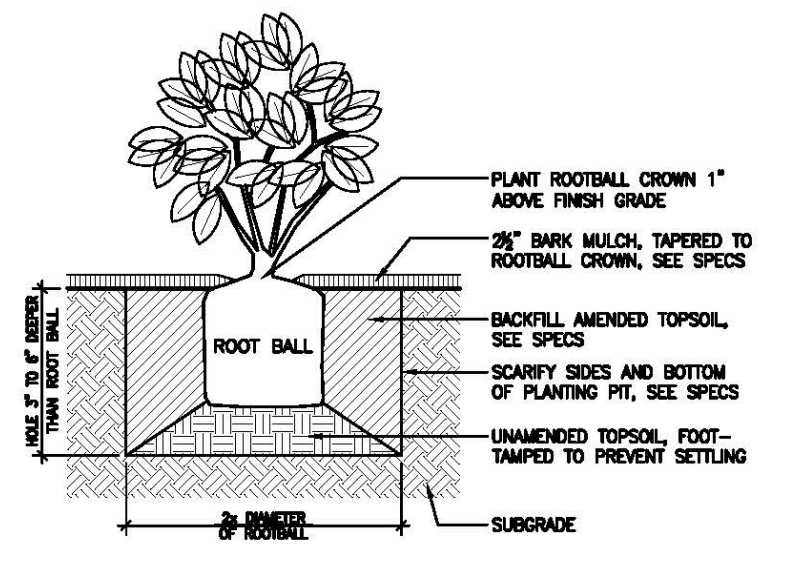
SedumMat - Green Roof



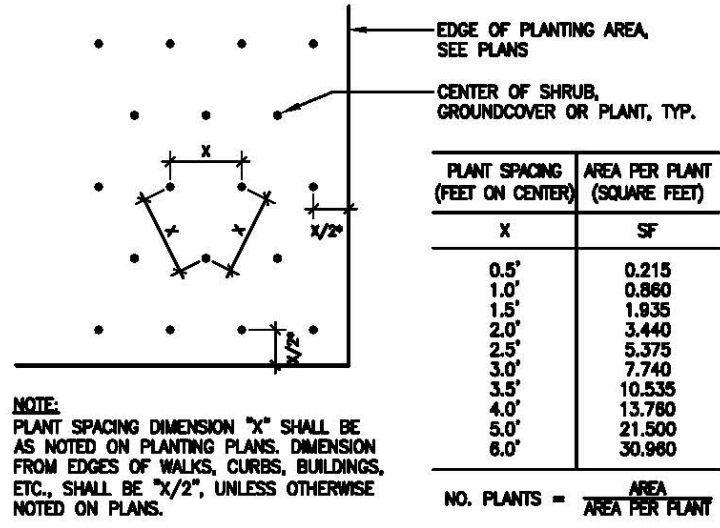
1 DECIDUOUS TREE PLANTING Section NTS



2 CONIFEROUS TREE PLANTING Section NTS



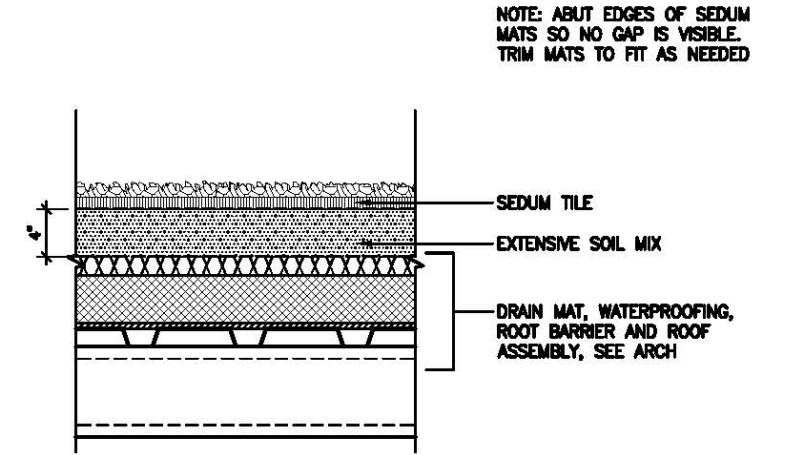
3 SHRUB PLANTING Section NTS



PLANT SPACING (FEET ON CENTER)	AREA PER PLANT (SQ. FEET)
X	SF
0.5'	0.215
1.0'	0.860
1.5'	1.935
2.0'	3.440
2.5'	5.375
3.0'	7.740
3.5'	10.535
4.0'	13.760
5.0'	21.500
6.0'	30.960

NOTE: PLANT SPACING DIMENSION "X" SHALL BE AS NOTED ON PLANTING PLANS. DIMENSION FROM EDGES OF WALKS, CURBS, BUILDINGS, ETC., SHALL BE "X/2", UNLESS OTHERWISE NOTED ON PLANS.

4 PLANT SPACING As Shown NTS

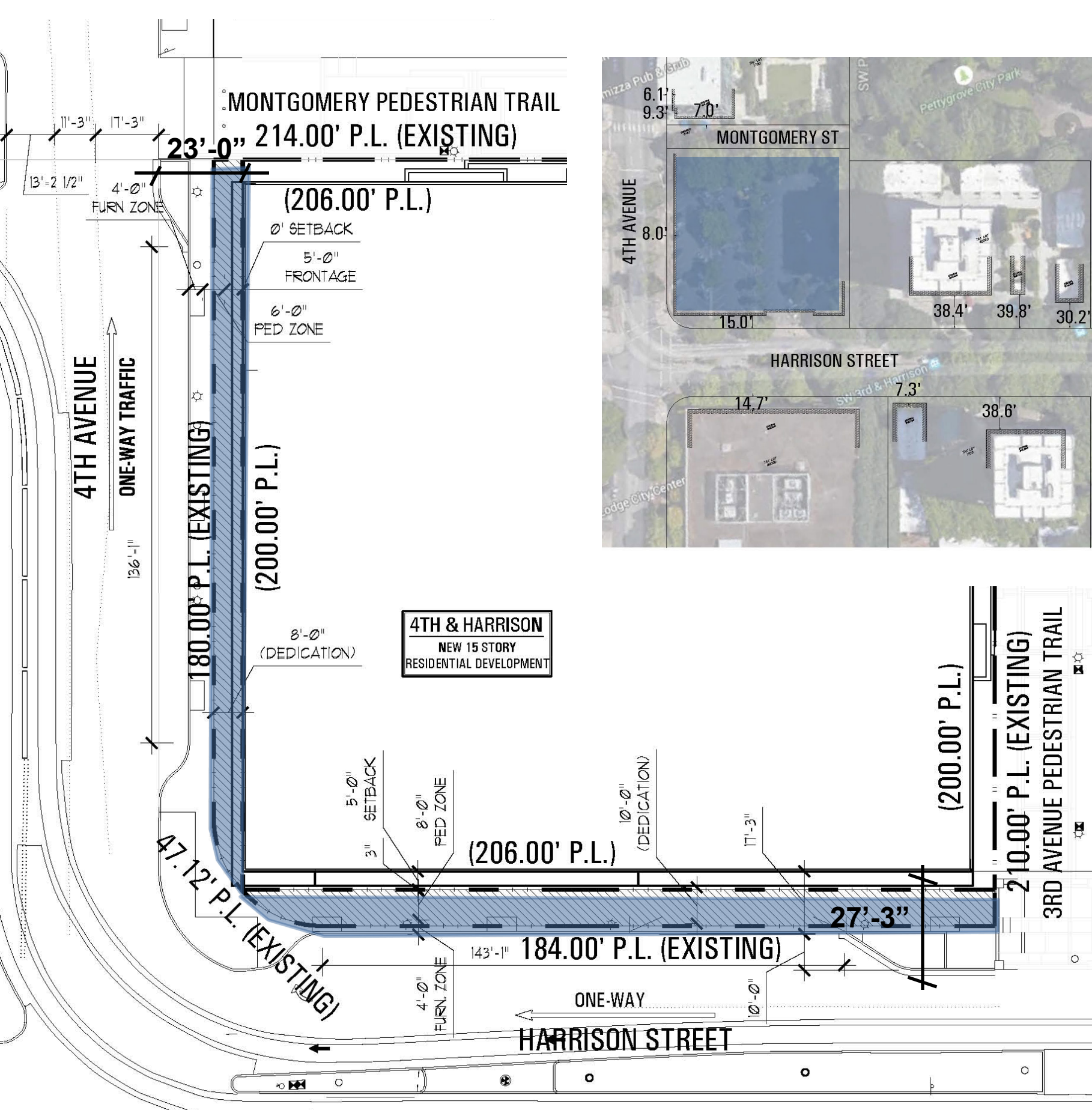


5 GREEN ROOF Section SCALE 1-1/2" = 1'-0"

0 NOT USED Section SCALE

Setback Precedence & Dedication

- 15' setbacks along Harrison are present at 4th, 1st and Naito Pkwy
- These buildings create a 'gateway' into the superblocks
- Along 4th, the building sets back 8', and the Cyan sets back 6' - this helps to continue the urban edge



Section IV: Zoning

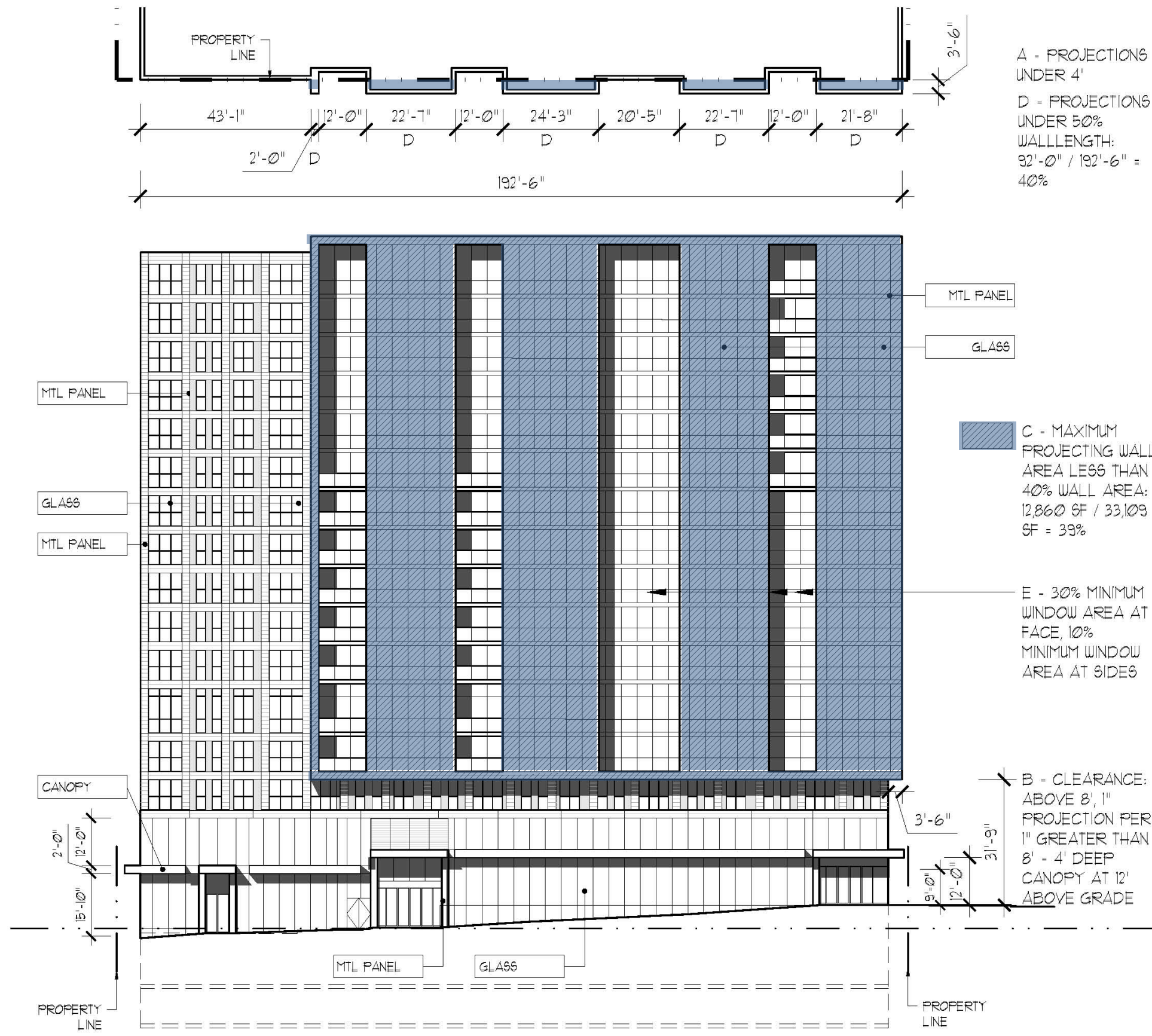
Projection Study

Window Projections into the Public Right-of-Way

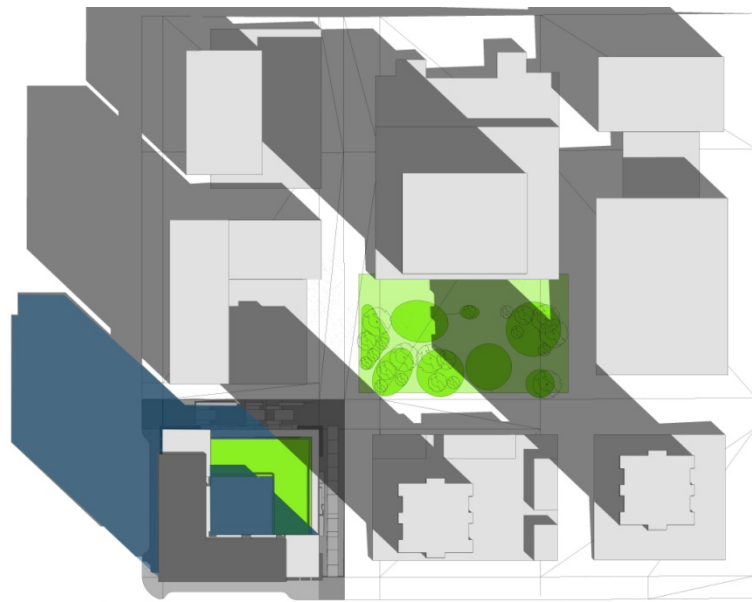
Modification Requested:

F. Maximum width of 12' for each projecting window element

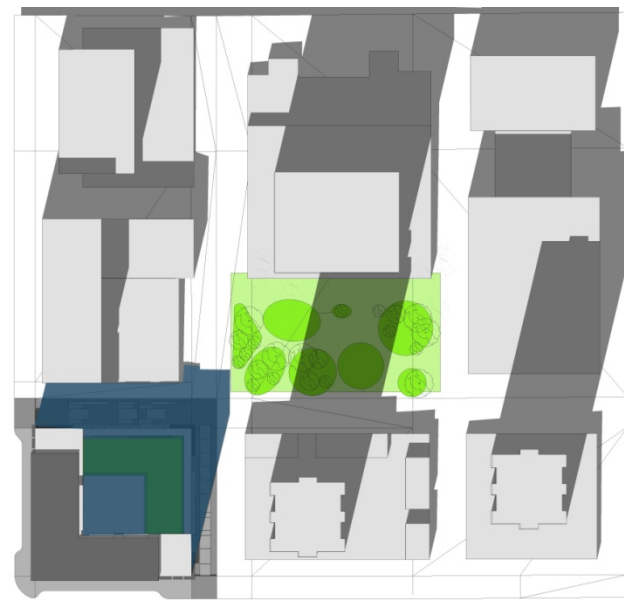
Items A – E & G provided



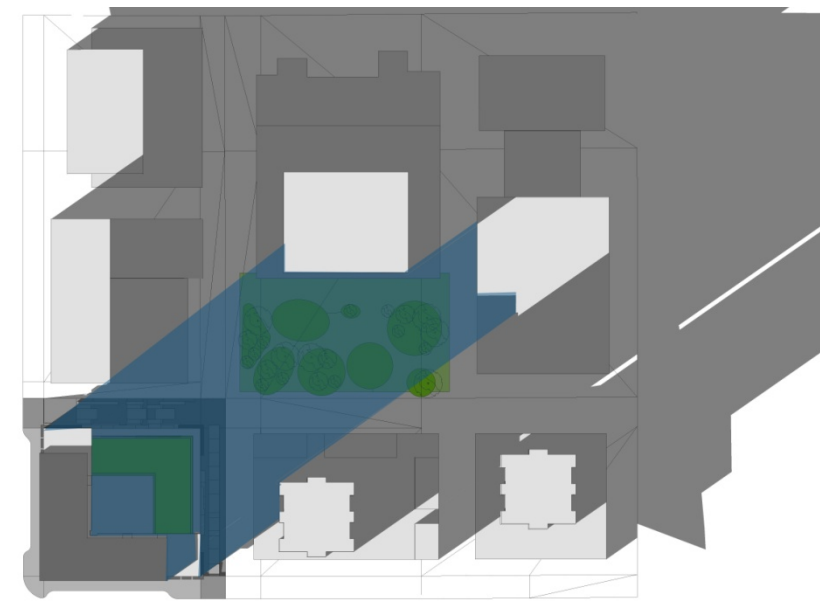
Section IV: Zoning



NOON

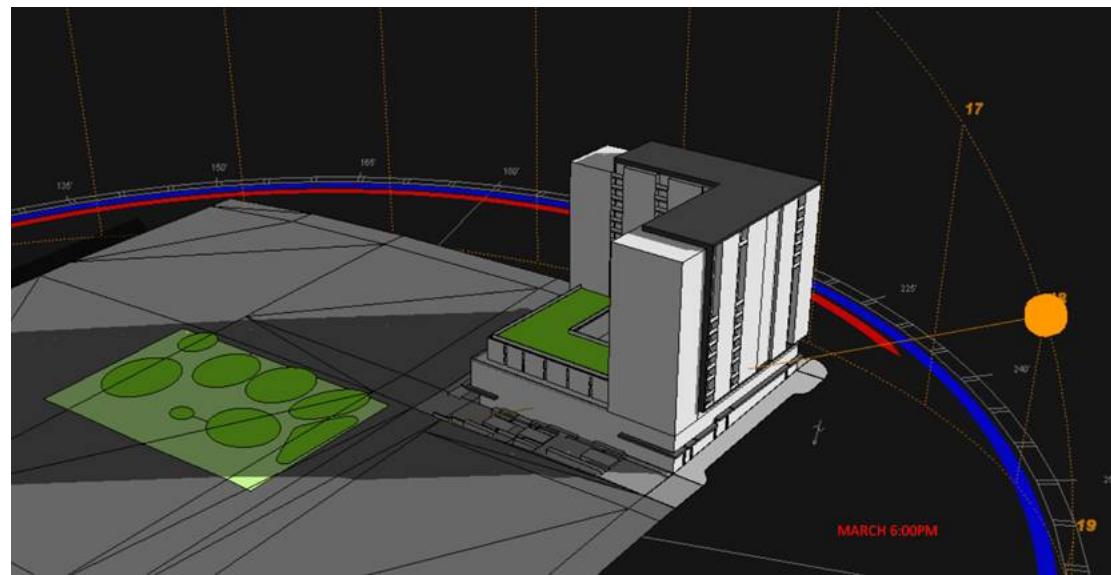


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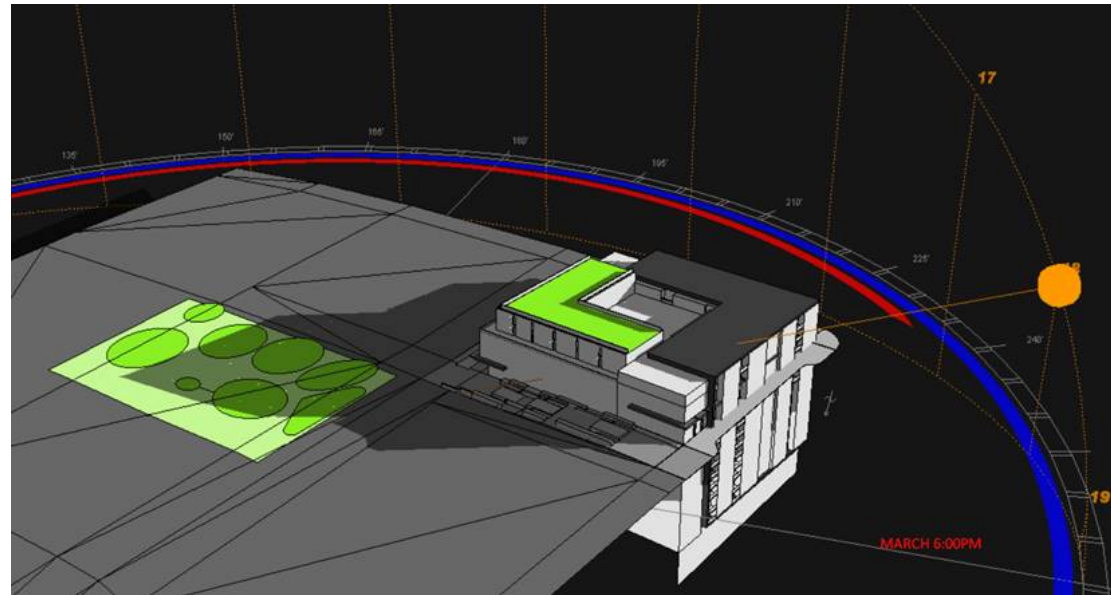


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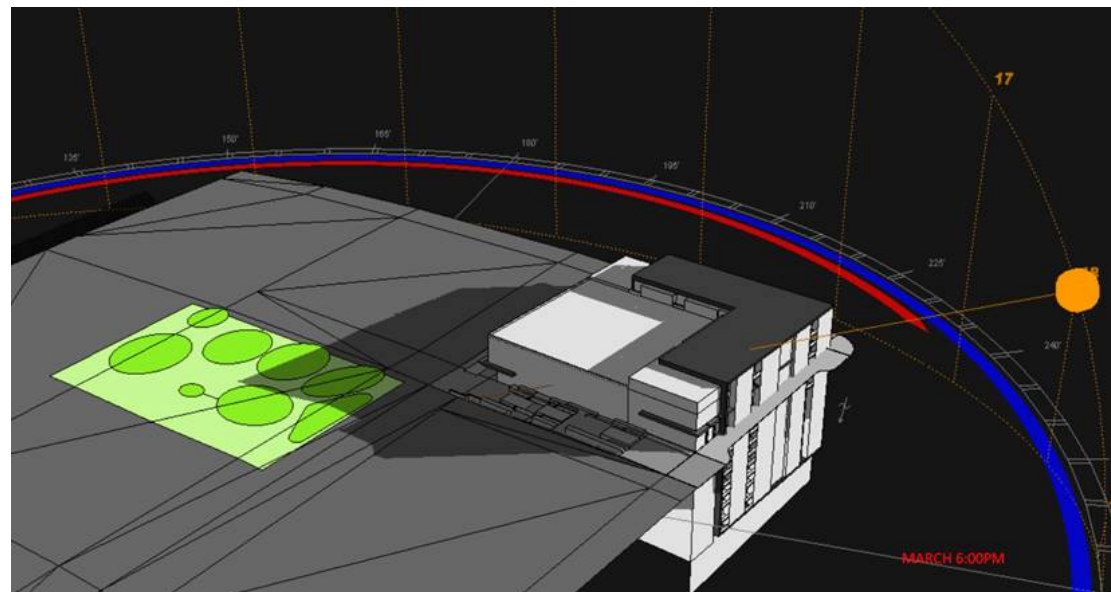
Section IV: Zoning



Proposed Design



3-Story Bldg

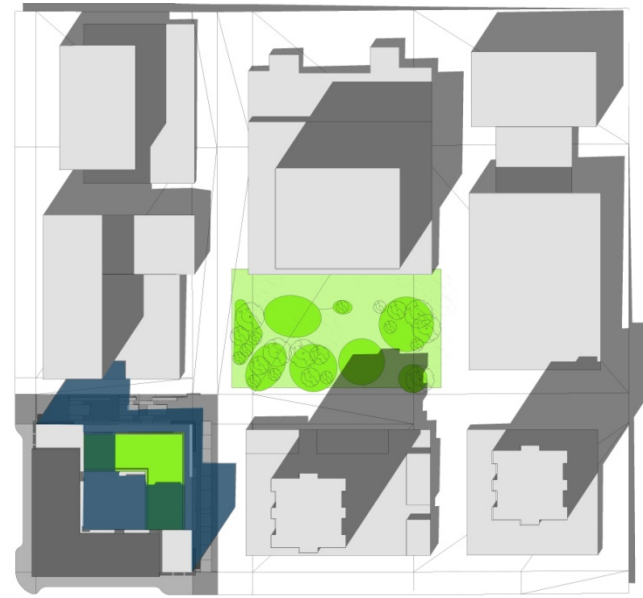


1- Story Bldg

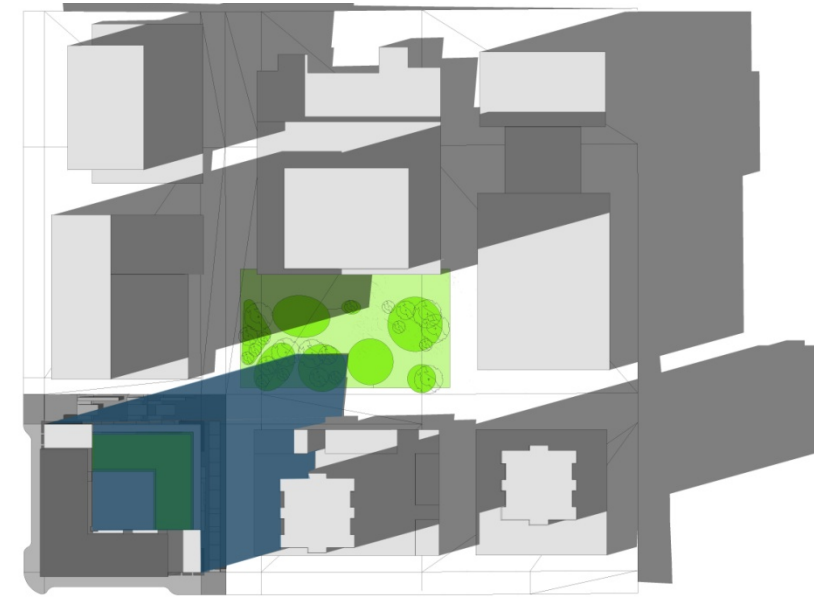
Section IV: Zoning



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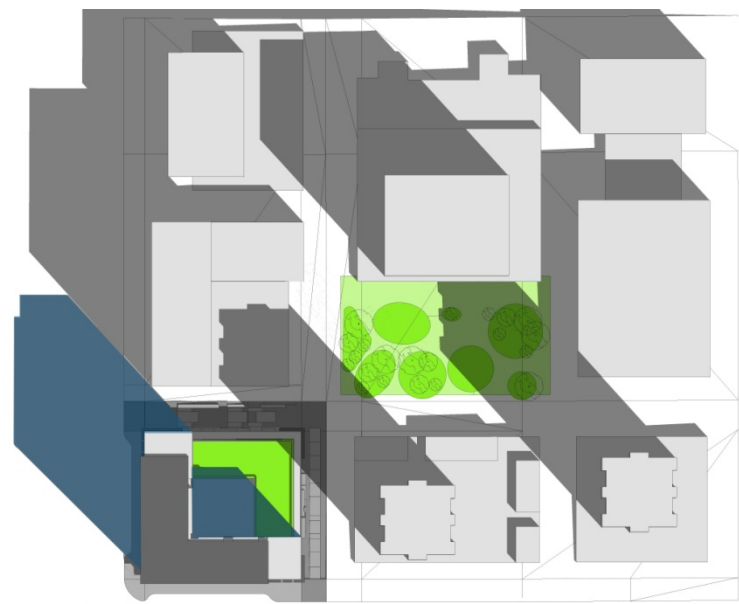


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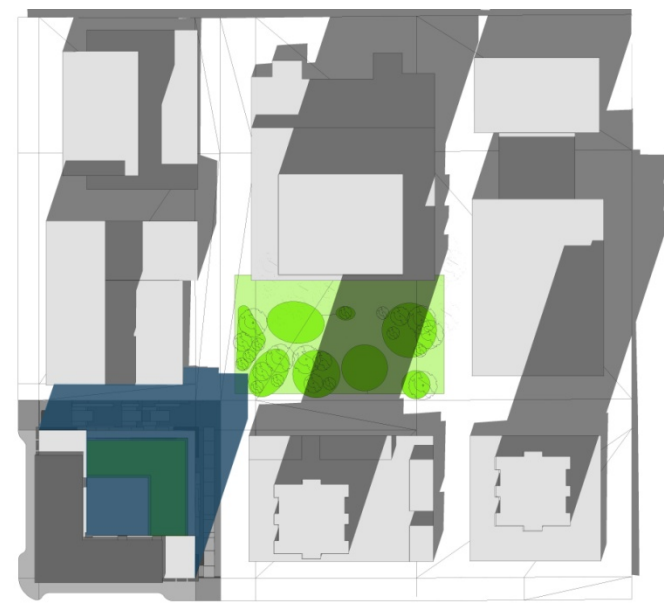


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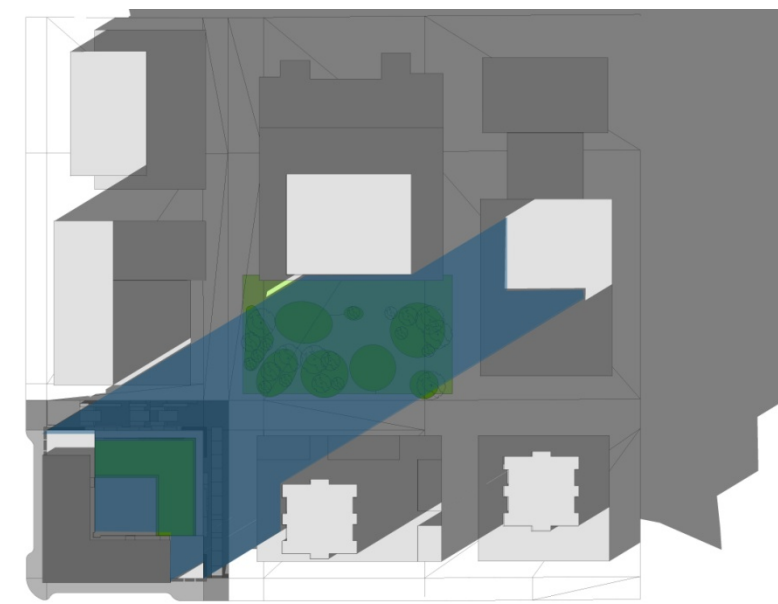
Section IV: Zoning



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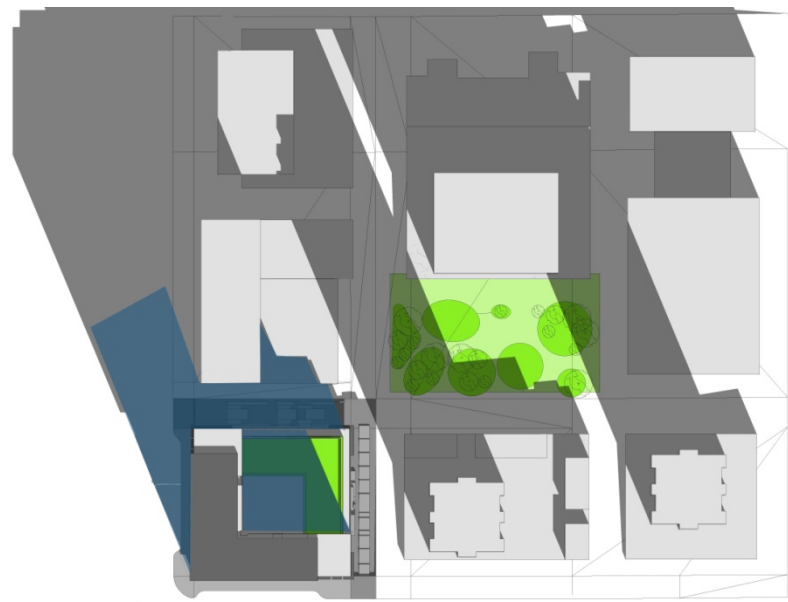


3 PM



6 PM

Section IV: Zoning



NOON



3 PM



6 PM

Section IV: Zoning

FAR Calculations

FAR SUMMARY

SUB BASEMENT 1:	12,430 SF
GROUND FLOOR: (including mezzanine)	45,632 SF
2 ND & 3 RD FLOORS (EA):	28,940 SF
4 TH – 14 TH FLOORS (EA):	20,100 SF
15 TH FLOOR:	17,508 SF

TOTAL FLOOR AREA: 355,198 SF

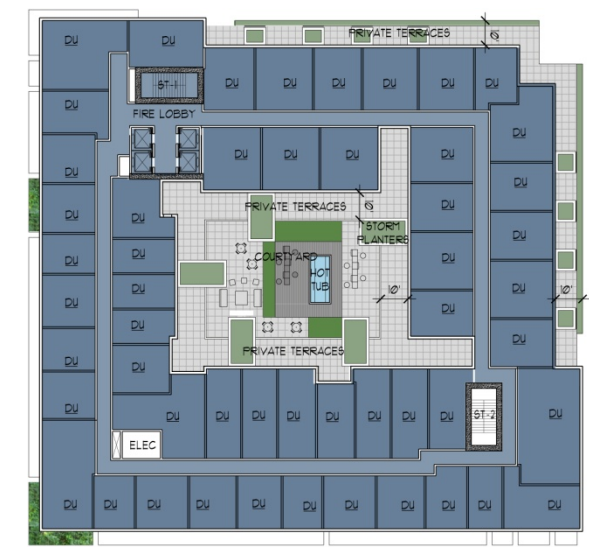
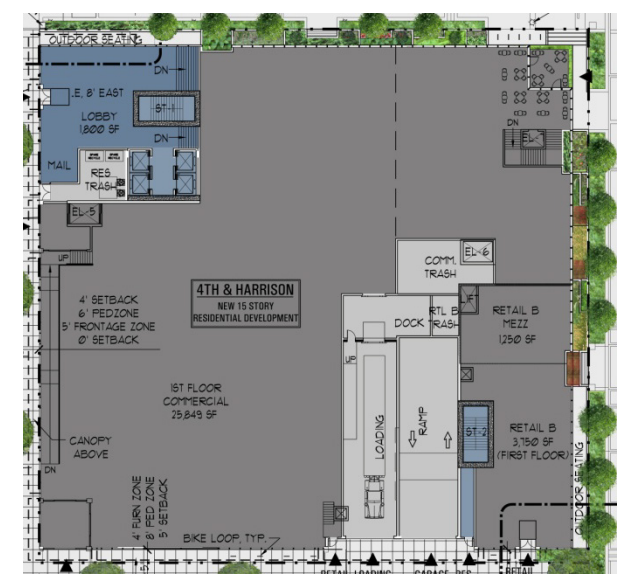
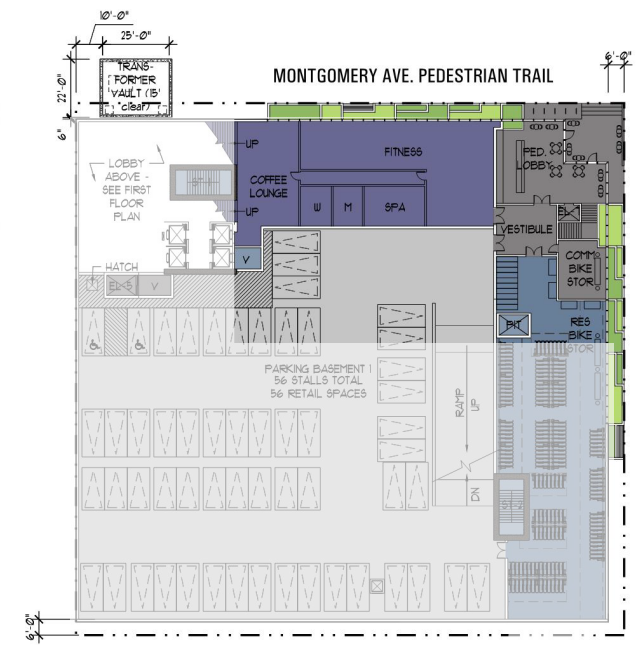
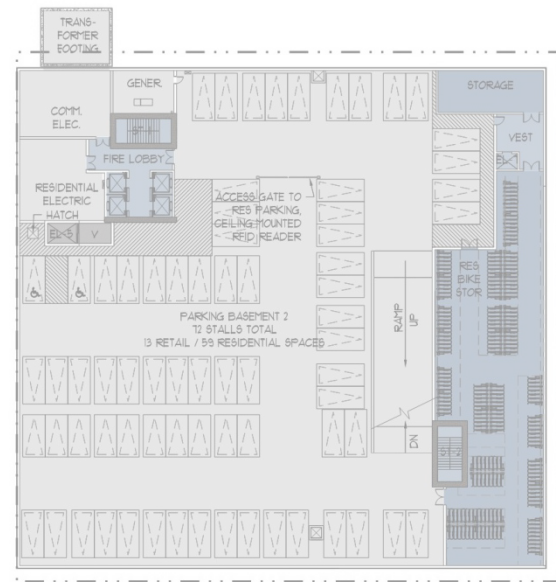
SITE AREA: 44,746 SF

SITE AREA:
(AFTER DEDICATION): 41,200 SF

ALLOWABLE FAR: 9:1

PROPOSED PROJECT FAR:
(PRE DEDICATION): 7.92:1

PROPOSED PROJECT FAR: 8.61:1
(AFTER DEDICATION)



Section IV: Zoning

Ground Floor Window Areas

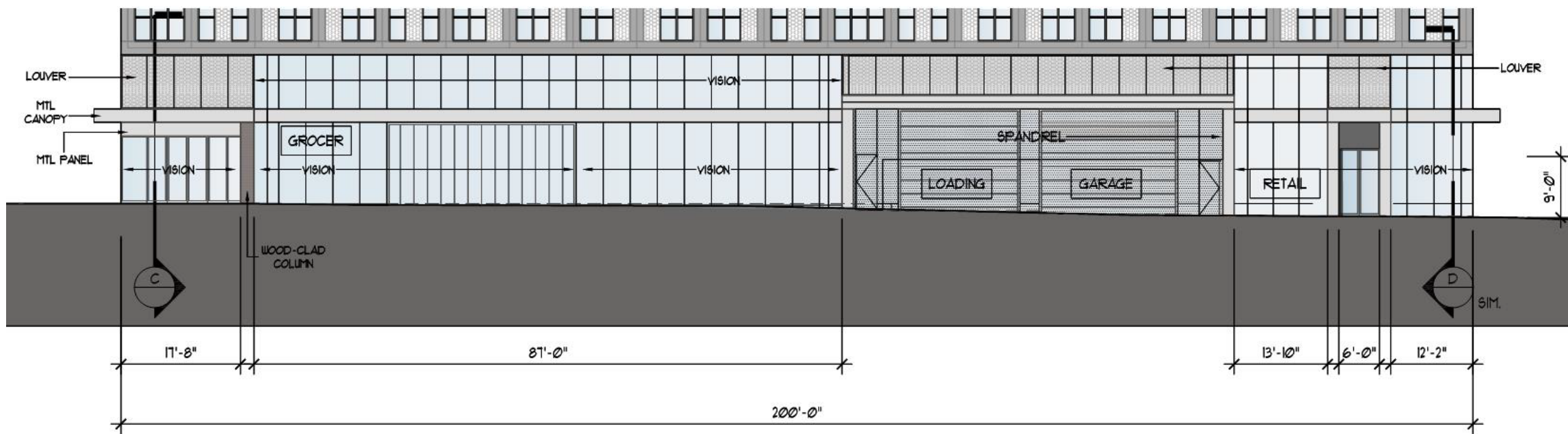
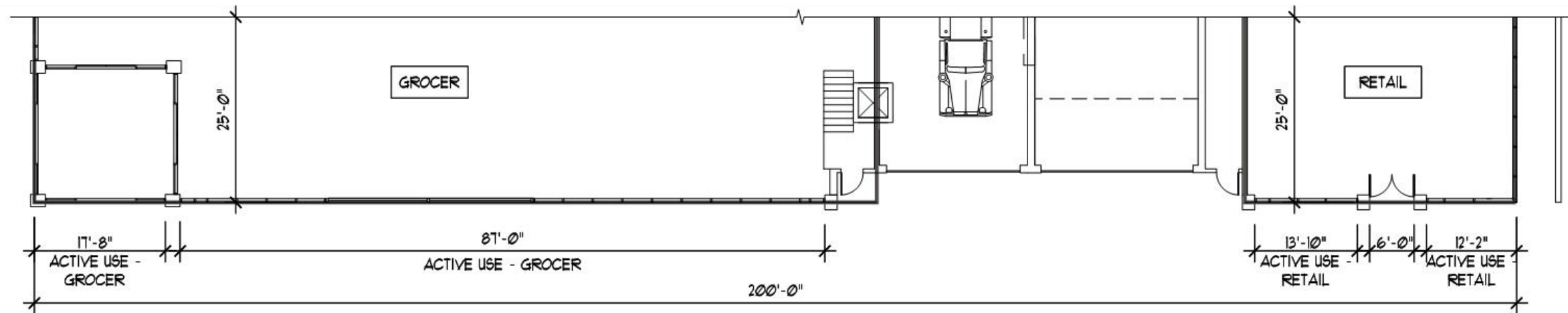
SW Harrison Street

Ground Floor Window Length:
 Total Length: 200'
 Window Length Required: 100'
 Window Length Provided: 136'-8"

Ground Floor Window Area:
 Total Area: 1,800 SF
 Window Area Required: 450 SF
 Window Area Provided: 1,230 SF

Ground Floor Active Use (25'
 deep, 12' high ceilings*):
 Total Length: 200'
 Window Length Required: 100'
 Window Length Provided: 136'-8"

*See sections on the following pages



SW Harrison Street

Section IV: Zoning

Ground Floor Window Areas

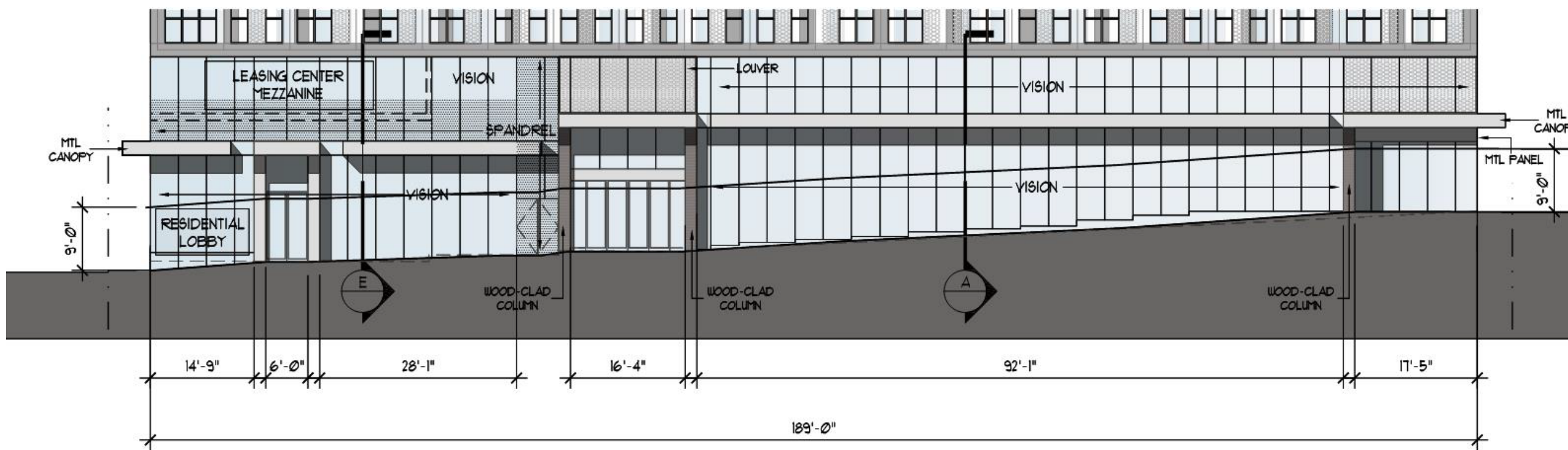
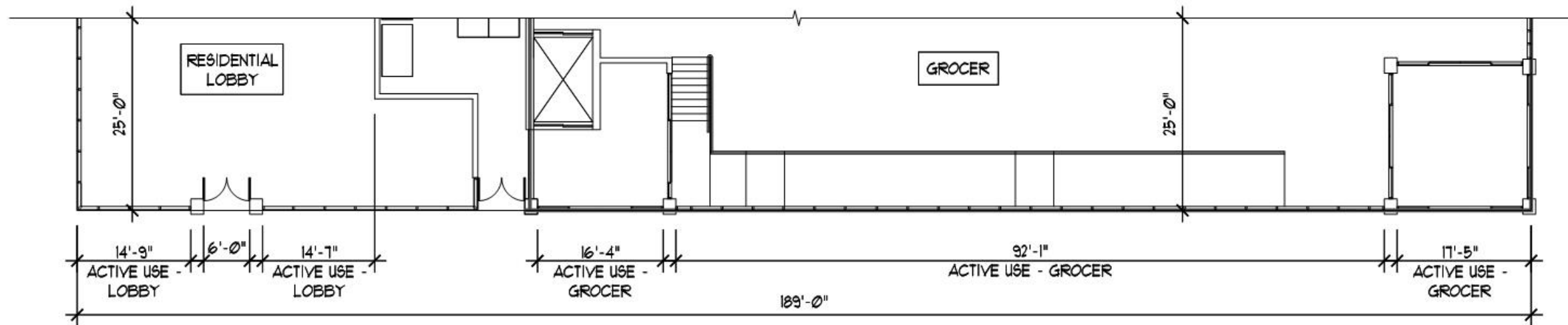
SW 4th Avenue

Ground Floor Window Length:
 Total Length: 189'
 Window Length Required: 94'-6"
 Window Length Provided: 174'-8"

Ground Floor Window Area:
 Total Area: 1,703 SF
 Window Area Required: 426 SF
 Window Area Provided: 1,535 SF

Ground Floor Active Use (25'
 deep, 12' high ceilings*):
 Total Length: 189'
 Window Length Required: 94'-6"
 Window Length Provided: 161'-2"

*See sections on the following pages



SW 4th Avenue

Section IV: Zoning

Ground Floor Window Areas

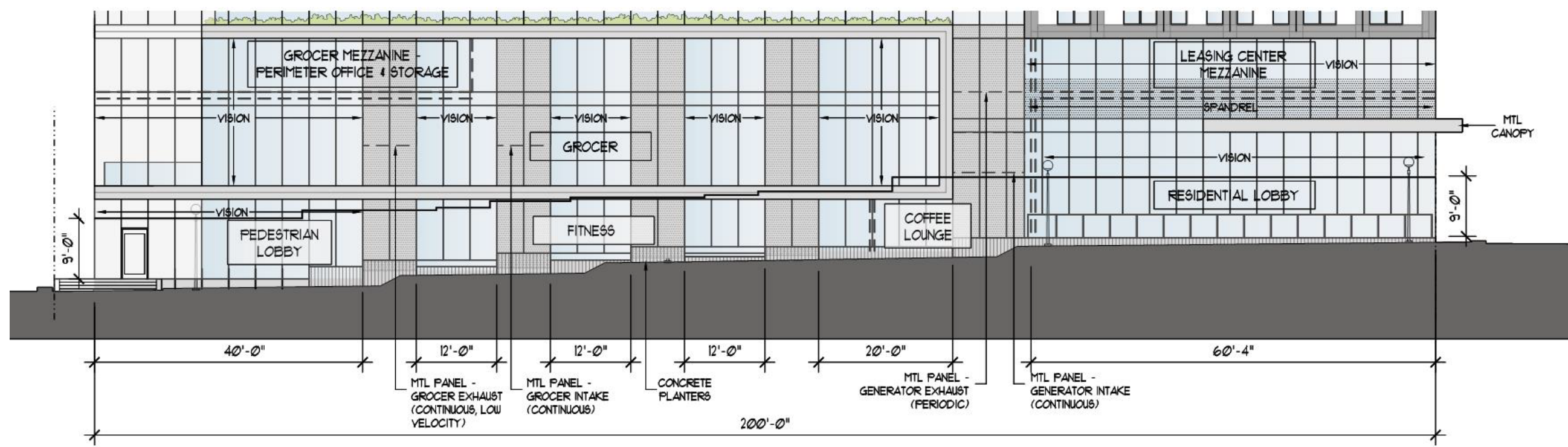
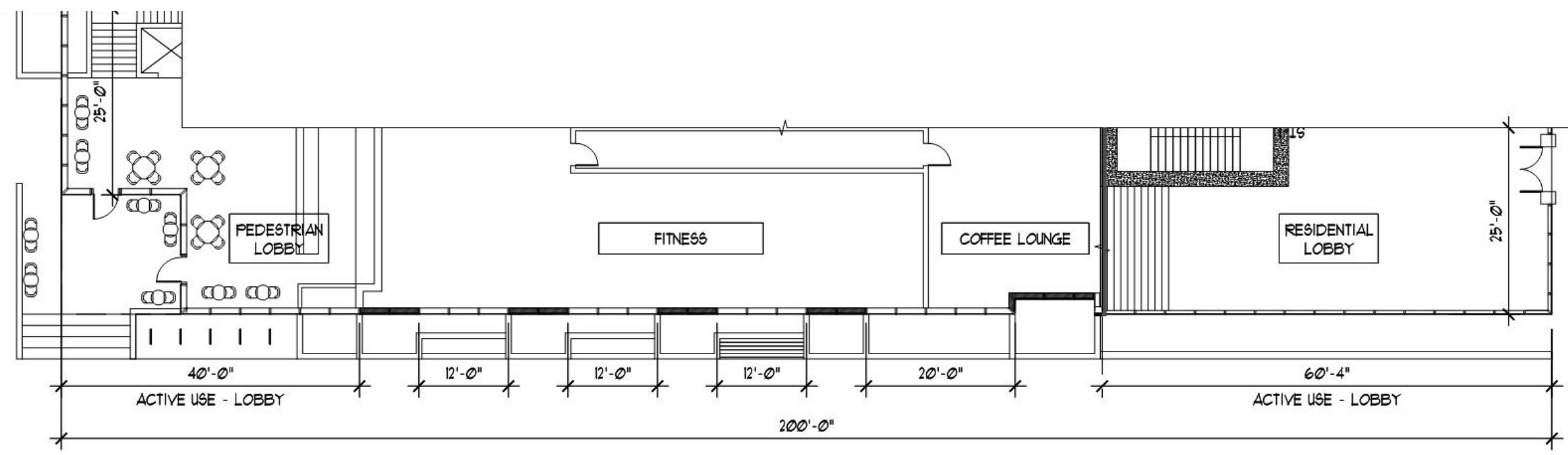
Montgomery Avenue

Ground Floor Window Length:
 Total Length: 200'
 Window Length Required: 100'
 Window Length Provided: 156'-4"

Ground Floor Window Area:
 Total Area: 1,800 SF
 Window Area Required: 450 SF
 Window Area Provided: 1,408 SF

Ground Floor Active Use (25'
 deep, 12' high ceilings*):
 Total Length: 200'
 Window Length Required: 100'
 Window Length Provided: 156'-4"

*See sections on the following pages



Montgomery Avenue

Section IV: Zoning

Ground Floor Window Areas

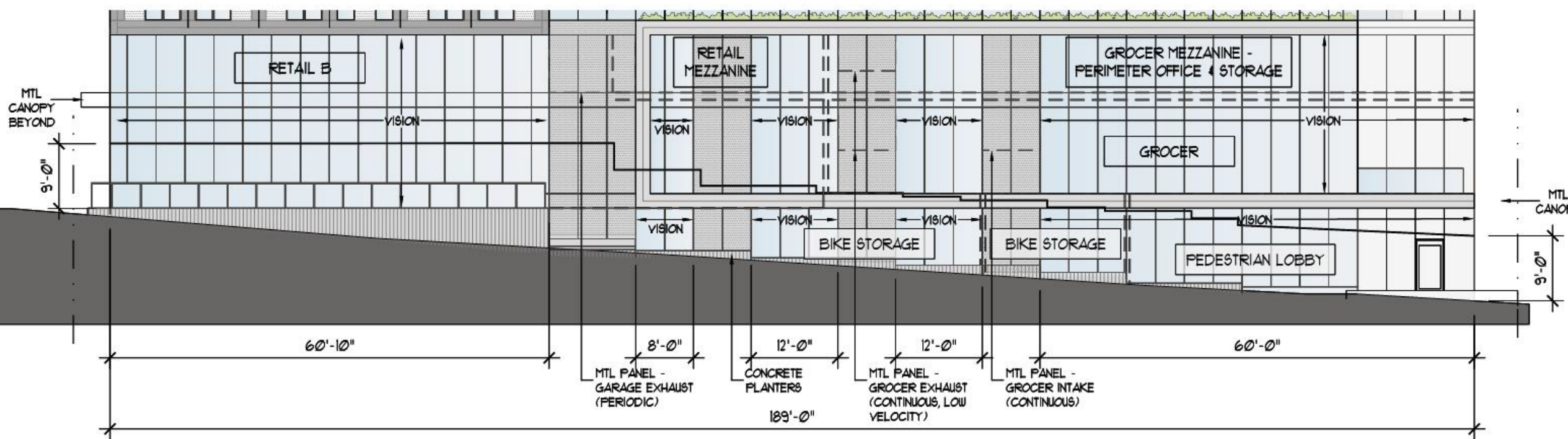
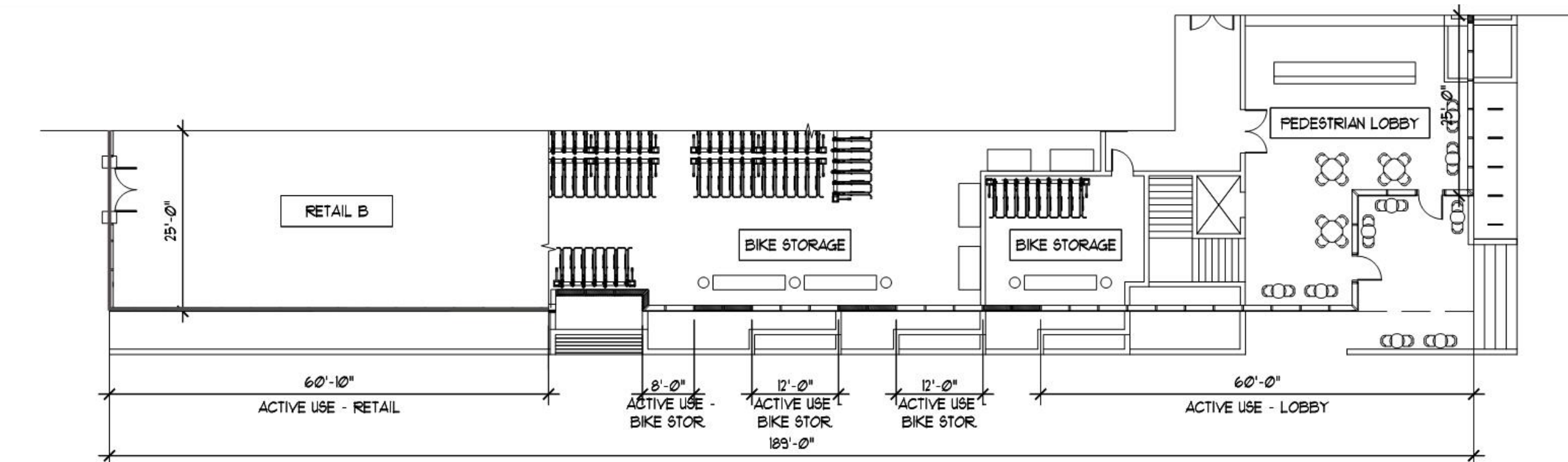
3rd Avenue

Ground Floor Window Length:
 Total Length: 189'
 Window Length Required: 94'-6"
 Window Length Provided: 152'-10"

Ground Floor Window Area:
 Total Area: 1,698 SF
 Window Area Required: 425 SF
 Window Area Provided: 1,346 SF

Ground Floor Active Use (25'
 deep, 12' high ceilings*):
 Total Length: 189'
 Window Length Required: 94'-6"
 Window Length Provided: 152'-10"

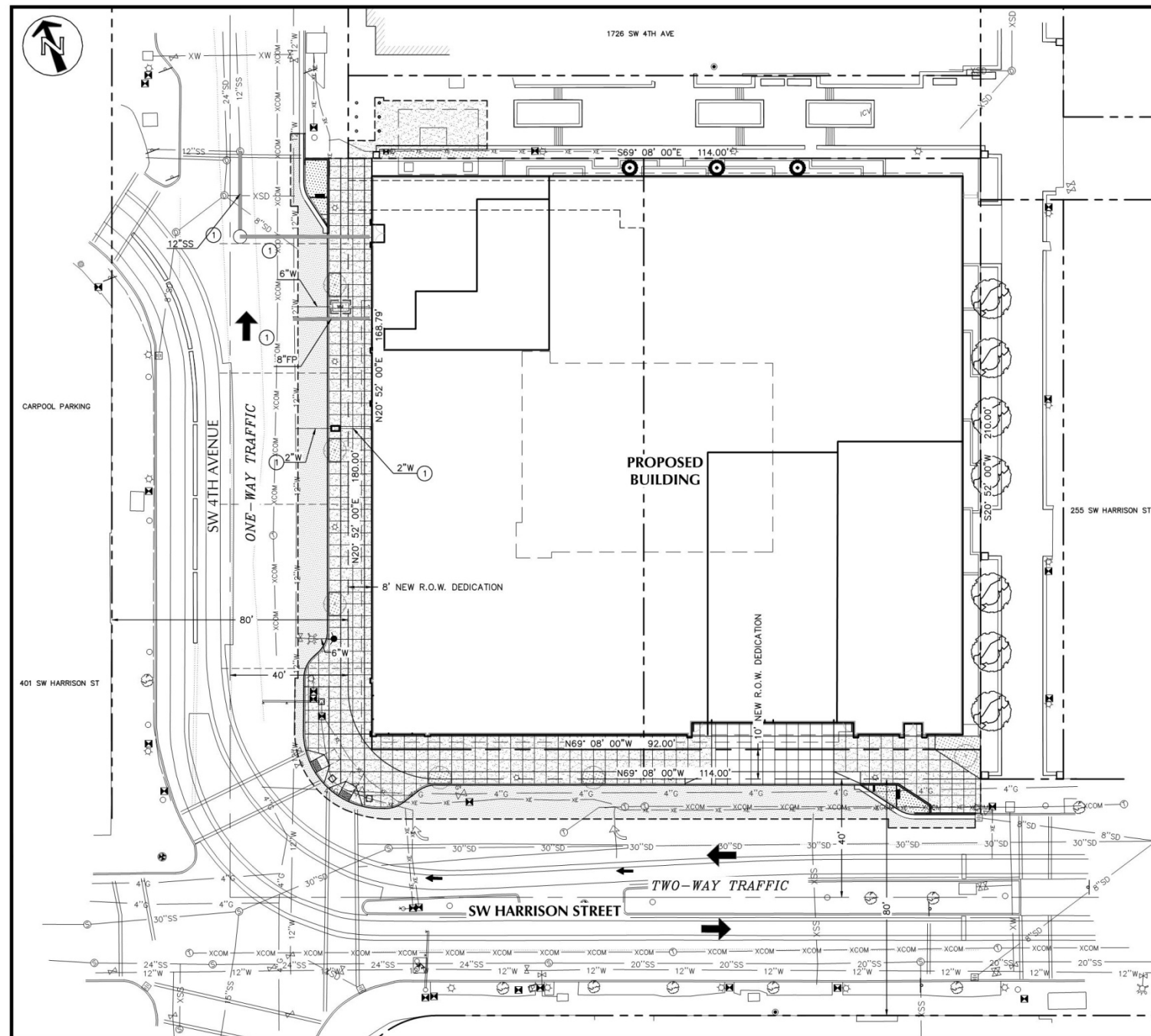
*See sections on the following pages



3rd Avenue

Section IV: Zoning


Composite Site Plan



- ⊗ KEY NOTES
- UTILITY INSTALLED UNDER BUILDING PERMIT. SEE BUILDING PERMIT PLANS FOR UTILITY DESIGN.

COMPOSITE SITE PLAN (EX. AND PROP. CONDITIONS)
SCALE: 1" = 20'

FILE: ST0.3 - COMPOSITE PLAN.DWG ST0.3 12/1/2015 3:19:09 PM - AFSHER

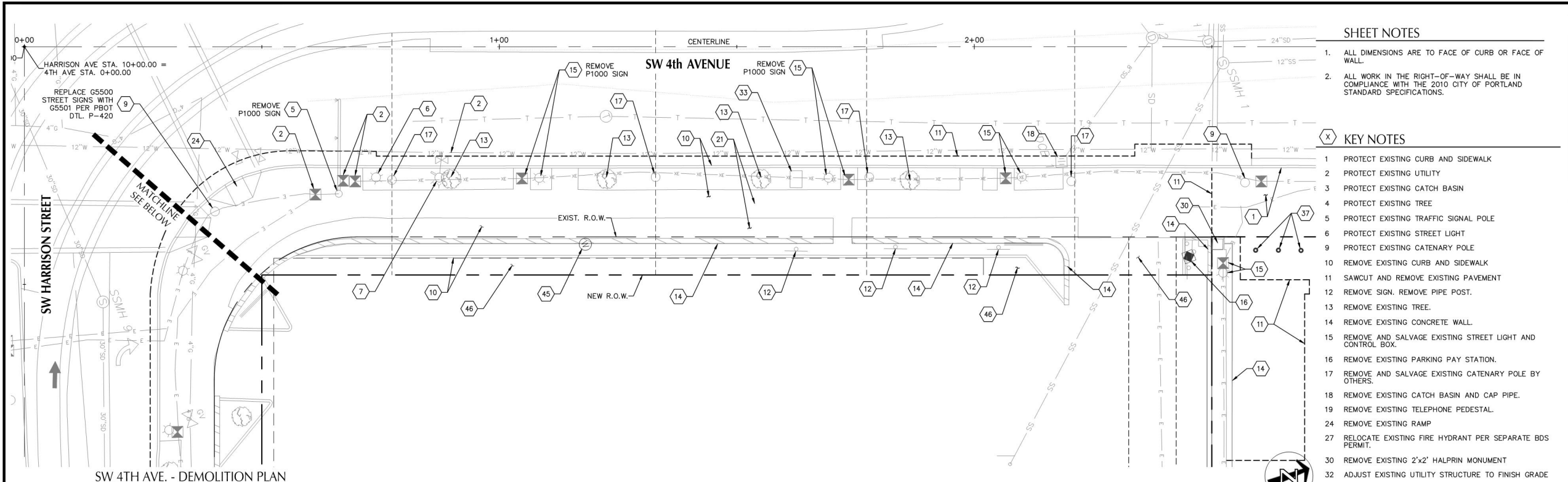
DESIGNED BY _____ DATE APPROVED _____ CAD BY _____ DIV. ENGINEER _____ CHECKED BY _____ BES REVIEWER _____ PBOT REVIEWER _____		APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER		 <small>1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpff.com</small>		CONCEPT NOT FOR CONSTRUCTION		PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) COMPOSITE SITE PLAN		BES JOB NO. EP186 PBOT JOB NO. TH0251 SHEET NO. ST0.3 3 OF 8					
CONSTRUCTED BY _____ PROJECT COMPLETED _____ MAP CORRECTED BY _____ CHECKED BY _____		REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>APPD.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>										NO.	DATE	DESCRIPTION	APPD.				
NO.	DATE	DESCRIPTION	APPD.																

Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

LU 15-209034 DZM, AD
C.102

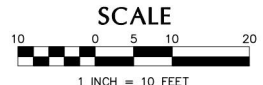
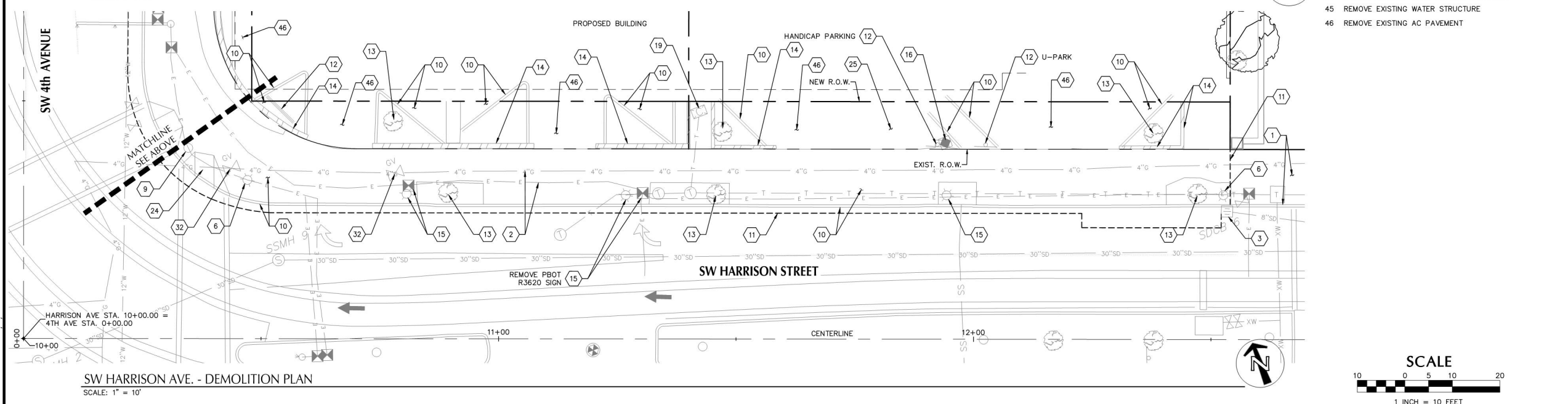
Right-of-Way Demolition Plan



- SHEET NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
 2. ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE 2010 CITY OF PORTLAND STANDARD SPECIFICATIONS.

- KEY NOTES**
- 1 PROTECT EXISTING CURB AND SIDEWALK
 - 2 PROTECT EXISTING UTILITY
 - 3 PROTECT EXISTING CATCH BASIN
 - 4 PROTECT EXISTING TREE
 - 5 PROTECT EXISTING TRAFFIC SIGNAL POLE
 - 6 PROTECT EXISTING STREET LIGHT
 - 9 PROTECT EXISTING CATENARY POLE
 - 10 REMOVE EXISTING CURB AND SIDEWALK
 - 11 SAWCUT AND REMOVE EXISTING PAVEMENT
 - 12 REMOVE SIGN, REMOVE PIPE POST.
 - 13 REMOVE EXISTING TREE.
 - 14 REMOVE EXISTING CONCRETE WALL.
 - 15 REMOVE AND SALVAGE EXISTING STREET LIGHT AND CONTROL BOX.
 - 16 REMOVE EXISTING PARKING PAY STATION.
 - 17 REMOVE AND SALVAGE EXISTING CATENARY POLE BY OTHERS.
 - 18 REMOVE EXISTING CATCH BASIN AND CAP PIPE.
 - 19 REMOVE EXISTING TELEPHONE PEDESTAL.
 - 24 REMOVE EXISTING RAMP
 - 27 RELOCATE EXISTING FIRE HYDRANT PER SEPARATE BDS PERMIT.
 - 30 REMOVE EXISTING 2'x2' HALPRIN MONUMENT
 - 32 ADJUST EXISTING UTILITY STRUCTURE TO FINISH GRADE
 - 33 ADJUST EXISTING VAULT LID AND MANHOLES.
 - 45 REMOVE EXISTING WATER STRUCTURE
 - 46 REMOVE EXISTING AC PAVEMENT

SW 4TH AVE. - DEMOLITION PLAN
SCALE: 1" = 10'



SW HARRISON AVE. - DEMOLITION PLAN
SCALE: 1" = 10'

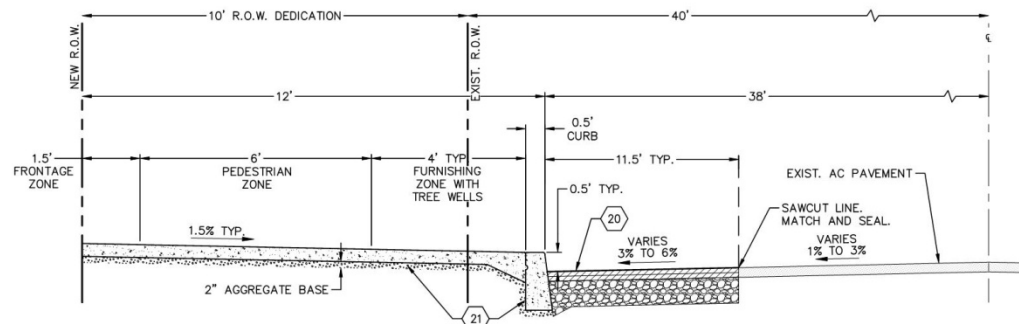
DESIGNED BY _____ DATE APPROVED _____ CAD BY _____ DIV. ENGINEER _____ CHECKED BY _____ BES REVIEWER _____ PLOT REVIEWER _____			APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER			CONCEPT NOT FOR CONSTRUCTION	PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) RIGHT-OF-WAY DEMOLITION PLAN		BES JOB NO. EP186 PBOT JOB NO. TH0251 SHEET NO. ST0.4 4 of 8
CONSTRUCTED BY _____ PROJECT COMPLETED _____ MAP CORRECTED BY _____ CHECKED BY _____			NO. DATE DESCRIPTION APPD. REVISIONS		FINAL MAP DATA		1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpff.com						

Section V: Civil

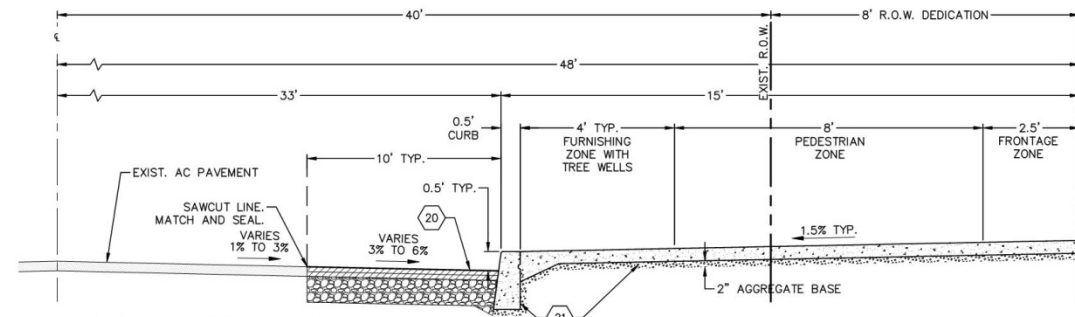
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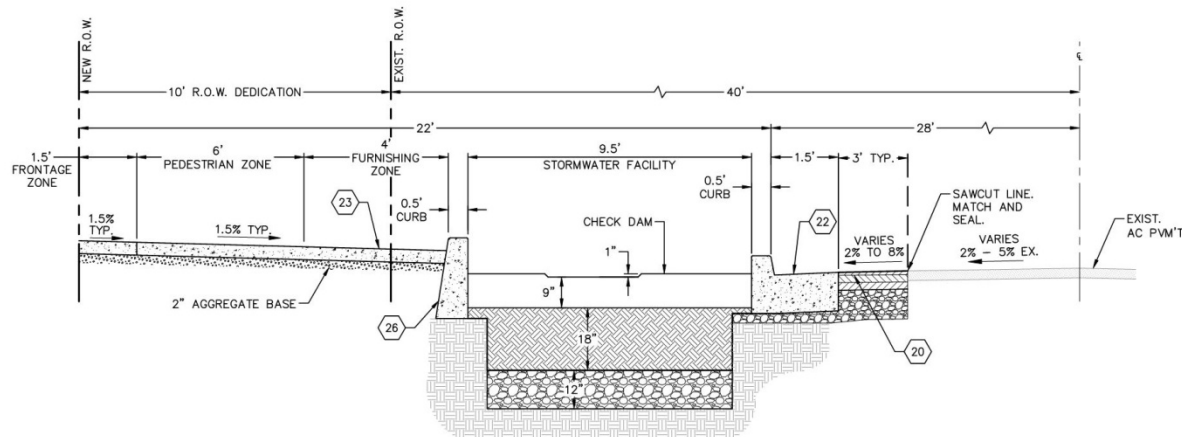
Typical Sections



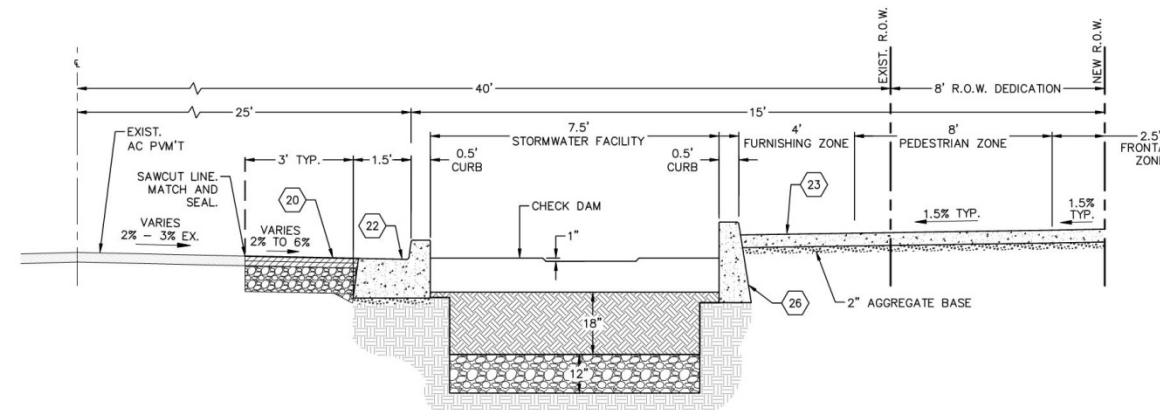
3 TYP. SECTION - SW HARRISON STREET
STA 10+69.9 TO 12+13.3
SCALE: NTS



1 TYP. SECTION - SW 4TH AVENUE
STA 0+90.2 TO 2+24.7
SCALE: NTS



4 TYP. SECTION - SW HARRISON STREET
STA 12+31.7 TO 12+40.4
SCALE: NTS



2 TYP. SECTION - SW 4TH AVENUE
STA 2+41.9 TO 2+49.5
SCALE: NTS

KEY NOTES

- 20 PAVEMENT REPAIR PER DETAIL P-506/ST3.1. USE 5" LEVEL 2 MMAC OVER 8" AGGREGATE OR MATCH EXISTING WHICHEVER IS GREATER
- 21 STANDARD MONOLITHIC CURB AND SIDEWALK WITH 4" CURB EXPOSURE (UNO) PER DETAIL P-551/ST3.1.
- 22 18" THICKENED CURB AND GUTTER PER PBOT STD DWG P-540/ST3.1.
- 23 SIDEWALK PER STD DWG P-551/ST3.1.
- 26 PLANTER WALL PER DETAIL 2/STX.X.

CONSTRUCTED BY	DESIGNED BY	DATE APPROVED
PROJECT COMPLETED	CAD BY	DIV. ENGINEER
MAP CORRECTED BY	CHECKED BY	BES REVIEWER
CHECKED BY	PBOT REVIEWER	
NO.	DATE	DESCRIPTION
REVISIONS		FINAL MAP DATA



APPROVALS:

BES CHIEF ENGINEER	REG. PROF. ENGR. 16301PE
PBOT PRINCIPAL ENGINEER	REG. PROF. ENGR. 18914PE
PBOT CITY ENGINEER	REG. PROF. ENGR. 51538PE

BUREAU OF ENVIRONMENTAL SERVICES		PORTLAND OFFICE OF TRANSPORTATION	
DAN SALTZMAN	COMMISSIONER	SAM ADAMS	MAYOR
WILLIAM F. RYAN, P.E.	CHIEF ENGINEER	STEVE TOWNSEN, P.E.	CITY ENGINEER

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CONCEPT NOT FOR CONSTRUCTION

PUBLIC IMPROVEMENTS
SW 4TH AVE AND SW HARRISON ST
(RESIDENTIAL DEVELOPMENT)

TYPICAL SECTIONS

BES JOB NO.	EP186
PBOT JOB NO.	TH0251
SHEET NO.	ST1.1
	5 of 8

Section V: Civil

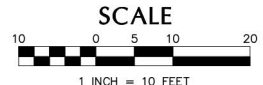
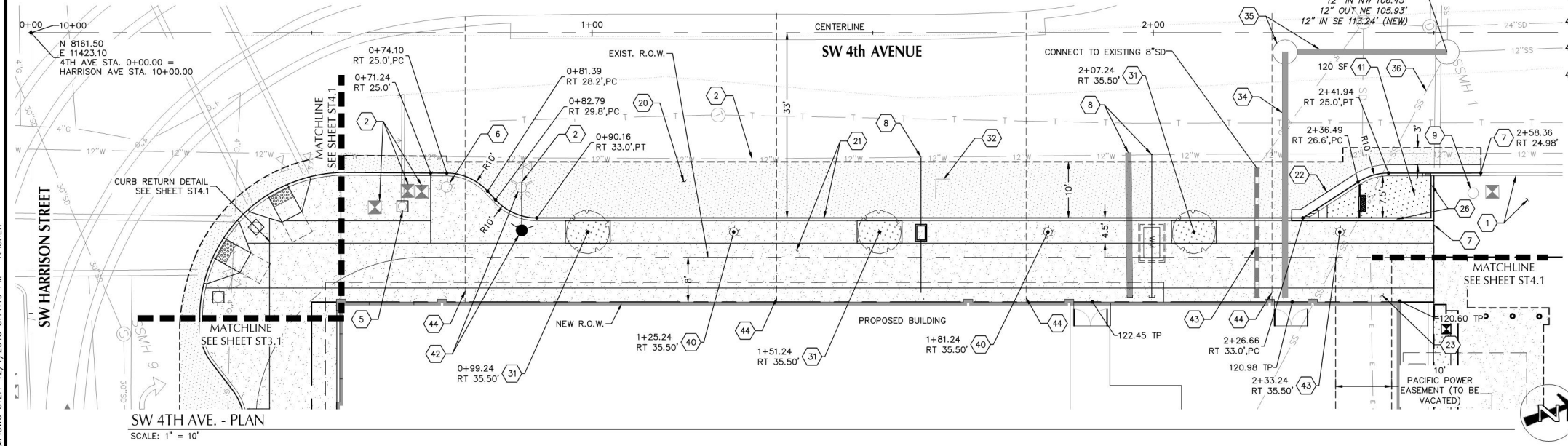
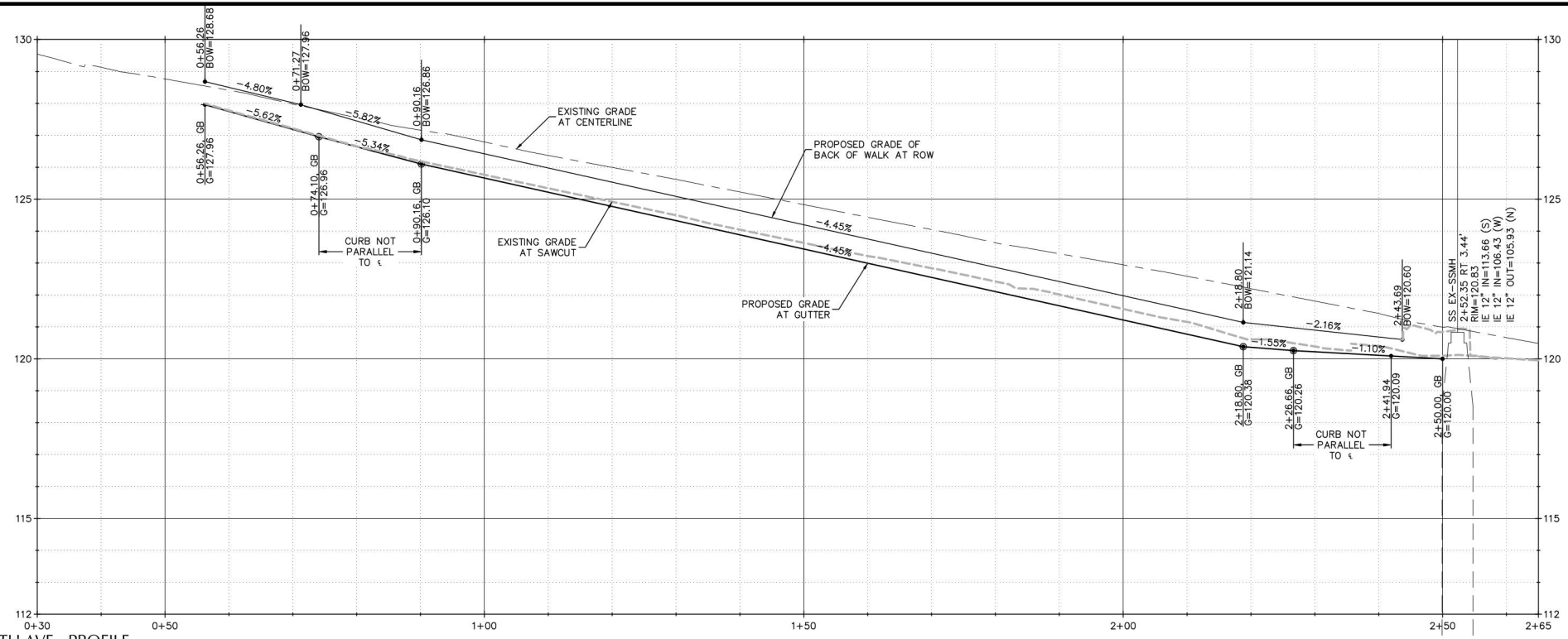
NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

LU 15-209034 DZM, AD C.104

SW 4th Avenue Plan & Profile

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
 - ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE 2010 CITY OF PORTLAND STANDARD SPECIFICATIONS.
 - REPLACE ALL DAMAGED STRIPING PER PBOT STANDARDS.
- (X) KEY NOTES
- PROTECT EXISTING CURB AND SIDEWALK
 - PROTECT EXISTING UTILITY
 - PROTECT EXISTING TRAFFIC SIGNAL POLE
 - PROTECT EXISTING STREET LIGHT
 - MATCH EXISTING CURB AND SIDEWALK AT NEAREST SCORE JOINT.
 - WATER SERVICE, METER AND FIRE LINE TO BE INSTALLED BY WATER BUREAU UNDER SEPARATE BDS PERMIT. CONNECT TO EXISTING 12" W. PROVIDE 8" FIRE PROTECTION, (1) 4" DOMESTIC WATER SERVICE, AND (1) 2" DOMESTIC WATER SERVICE. 4" WATER METER IN UV-687 VALVE.
 - PAVEMENT REPAIR PER PBOT STANDARD DTL P-506 AND TYPICAL SECTIONS ON SHEET ST1.1.
 - CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK PER PBOT STANDARD DTL P-551.
 - 18" THICK CURB AND GUTTER PER PBOT STANDARD DTL P-540.
 - SIDEWALK PER PBOT STANDARD DETAIL P-551.
 - PLANTER WALL.
 - INSTALL STREET TREE PER PBOT STANDARD DTL P-581. TREE SHALL BE PER URBAN FORESTER'S APPROVAL.
 - ADJUST EXISTING UTILITY STRUCTURE TO FINISH GRADE.
 - NEW 12" SANITARY LATERAL INSTALLED UNDER BUILDING PERMIT.
 - INSTALL 12" SEWER MAIN EXTENSION UNDER SEPARATE BES PERMIT.
 - ABANDON EXISTING 12" SEWER LATERAL PER BES REQUIREMENTS UNDER SEPARATE BES PERMIT.
 - RE-INSTALL EXISTING STREET LIGHT. COORDINATE WITH PACIFIC POWER AND COP.
 - VEGETATED FLOW-THROUGH PLANTER. SEE SHEET ST4.1 FOR DETAIL.
 - RELOCATE EXISTING FIRE HYDRANT PER SEPARATE BDS PERMIT.
 - NEW 8" STORM LATERAL INSTALLED UNDER BUILDING PERMIT.
 - ATTACH OCS SUPPORT WIRES TO BUILDING BY OTHERS.



FILE: ST2.1 - 4TH AVE-P&P.DWG ST2.1 12/1/2015 3:11:19 PM - AFSHER

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	NO.	DATE	DESCRIPTION	APPD.																		
	REVISIONS																					
	FINAL MAP DATA																					

Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

LU 15-209034 DZM, AD
C.105

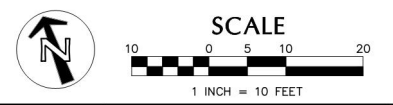
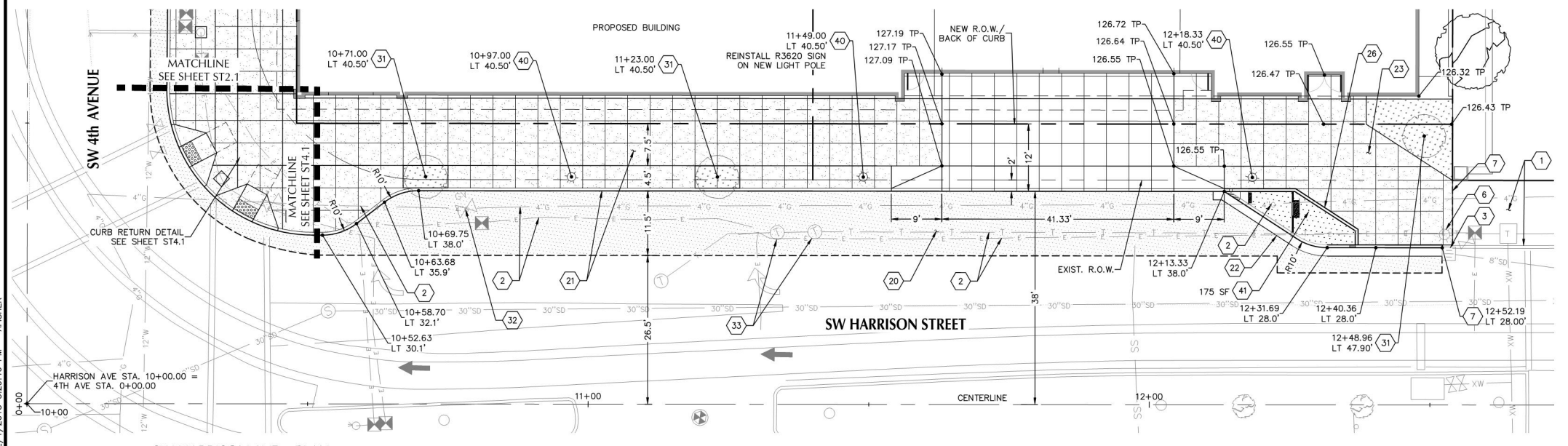
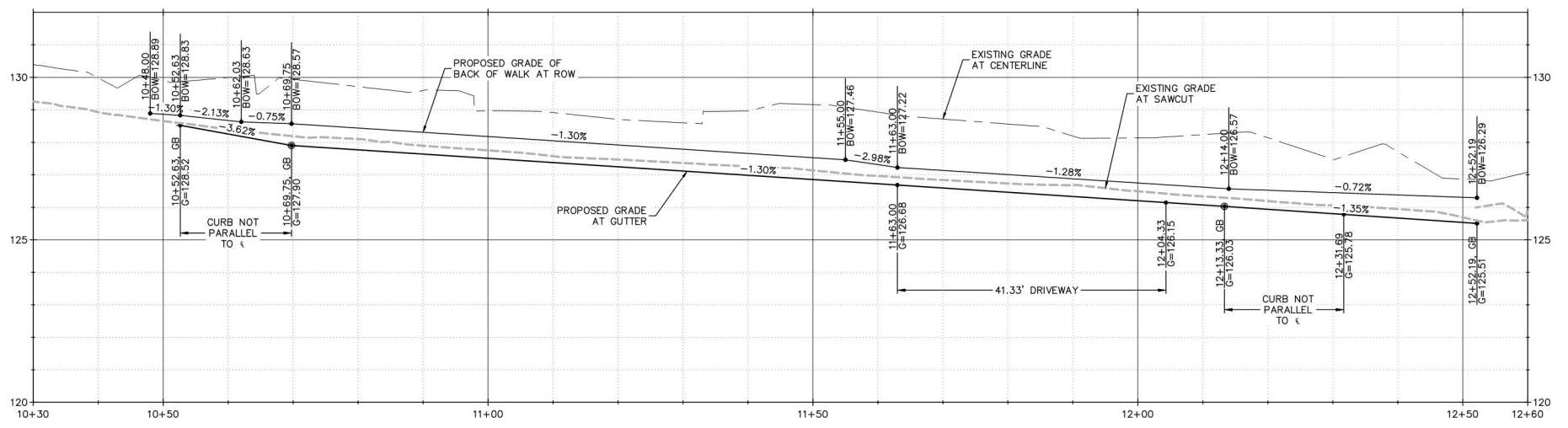
SW Harrison St. Plan & Profile

SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
2. ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE 2010 CITY OF PORTLAND STANDARD SPECIFICATIONS.
3. REPLACE ALL DAMAGED STRIPING PER PBOT STANDARDS.

KEY NOTES

1. PROTECT EXISTING CURB AND SIDEWALK
2. PROTECT EXISTING UTILITY
3. PROTECT EXISTING CATCH BASIN
6. PROTECT EXISTING STREET LIGHT
7. MATCH EXISTING CURB AND SIDEWALK AT NEAREST SCORE JOINT.
20. PAVEMENT REPAIR PER PBOT STANDARD DTL P-506 AND TYPICAL SECTIONS ON SHEET ST1.1.
21. CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK PER PBOT STANDARD DTL P-551.
22. 18" THICK CURB AND GUTTER PER PBOT STANDARD DTL P-540.
23. SIDEWALK PER PBOT STANDARD DETAIL P-551.
25. CONSTRUCT 41.33' ALTERNATE DEPRESSED SEPARATED DRIVEWAY PER COP STD DETAIL P-529.
26. PLANTER WALL.
31. INSTALL STREET TREE PER PBOT STANDARD DTL P-581. TREE SHALL BE PER URBAN FORESTER'S APPROVAL.
32. ADJUST EXISTING UTILITY STRUCTURE TO FINISH GRADE.
33. ADJUST EXISTING VAULT LID AND MANHOLES.
41. VEGETATED FLOW-THROUGH PLANTER. SEE SHEET ST4.1 FOR DETAIL.



FILE: ST3.1 - HARRISON ST P&P.DWG ST3.1 12/1/2015 3:29:46 PM - AFISHER

DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER CHECKED BY: _____ BES REVIEWER PBOT REVIEWER			APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER			CONCEPT NOT FOR CONSTRUCTION	PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) SW HARRISON ST. PLAN & PROFILE	BES JOB NO. EP186
CONSTRUCTED BY: _____ PROJECT COMPLETED MAP CORRECTED BY: _____ CHECKED BY: _____ FINAL MAP DATA			PBOT JOB NO. TH0251	SHEET NO. ST3.1 7 of 8								

Section V: Civil

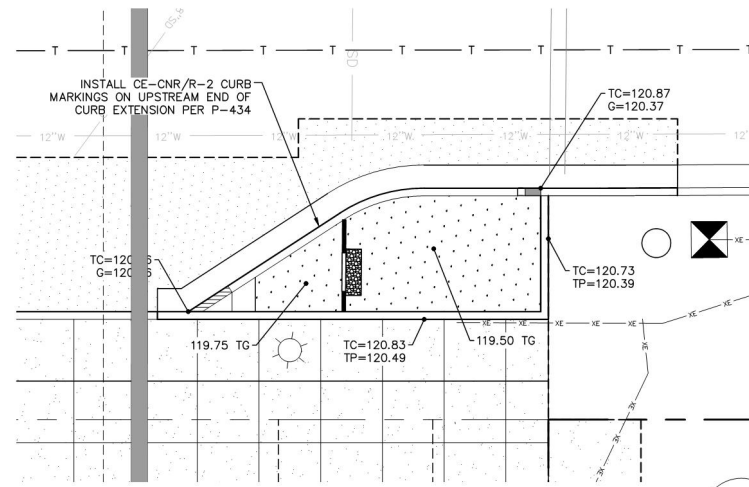
NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

LU 15-209034 DZM, AD
C.106

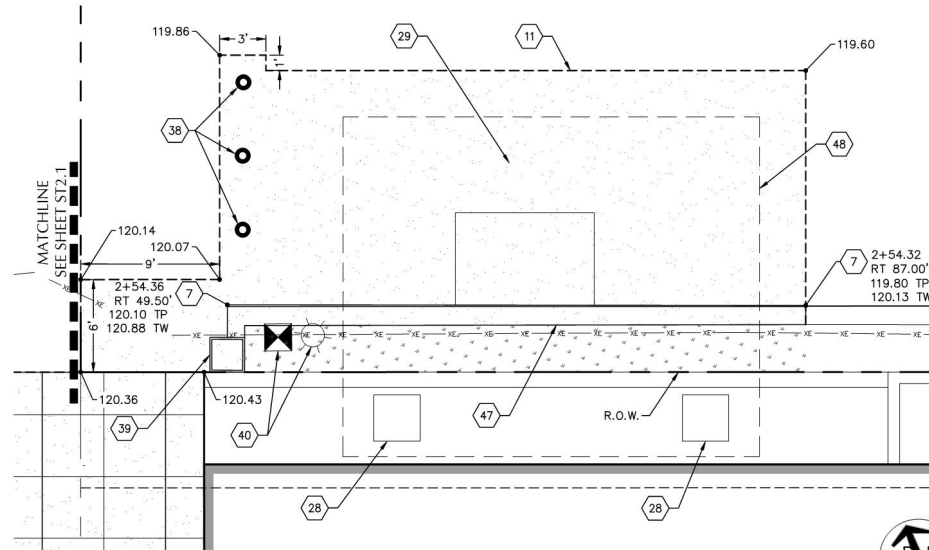
Curb Ramp and Stormwater Planter Details

KEY NOTES

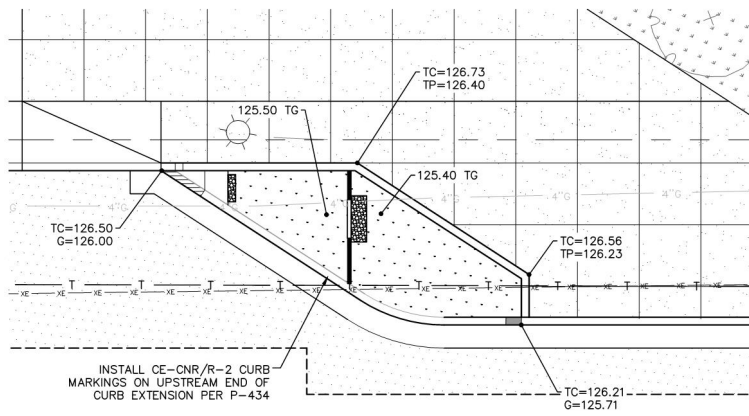
- 6 PROTECT EXISTING STREET LIGHT
- 7 MATCH EXISTING CURB AND SIDEWALK AT NEAREST SCORE JOINT.
- 9 PROTECT EXISTING CATENARY POLE
- 11 SAWCUT AND REMOVE EXISTING PAVEMENT TO NEAREST JOINT.
- 28 3'X3' SPRING HINGE METAL MAN DOOR
- 29 9'X6' CONCRETE LIFT-OUT SLAB, CONCRETE COLOR, REVEALS AND GRADE SURFACE TO MATCH SURROUNDING
- 38 RE-INSTALL EXISTING BOLLARD. COORDINATE WITH COP.
- 39 RE-CONSTRUCT EXISTING HALPRIN MONUMENT. COORDINATE WITH COP.
- 40 RE-INSTALL EXISTING STREET LIGHT. COORDINATE WITH PACIFIC POWER AND COP.
- 47 RE-CONSTRUCT HALPRIN WALL TO ORIGINAL CONDITION. COORDINATE WITH COP.
- 48 PP&L PROPOSED TRANSFORMER UNDERGROUND VAULT TO BE CONSTRUCTED UNDER SEPARATE PERMIT. DASHED LINE INDICATES VAULT OUTLINE BELOW GROUND.



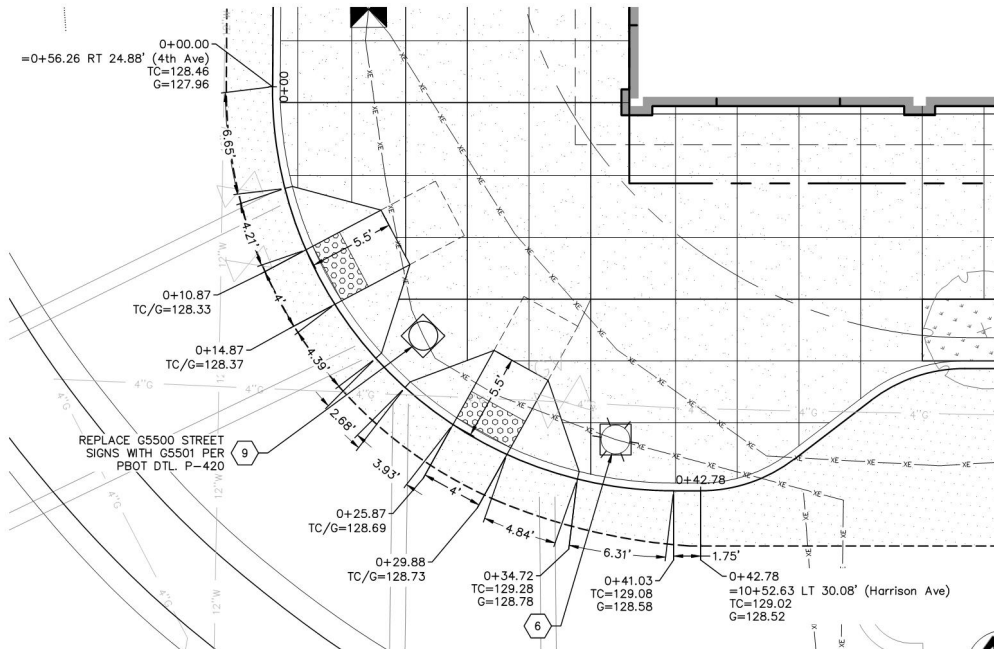
STORMWATER PLANTER DETAIL - 4TH AVE.
SCALE: 1" = 5'






ALLEY PLAN
SCALE: 1" = 5'



STORMWATER PLANTER DETAIL - HARRISON ST.
SCALE: 1" = 5'



CURB RETURN PLAN
SCALE: 1" = 5'

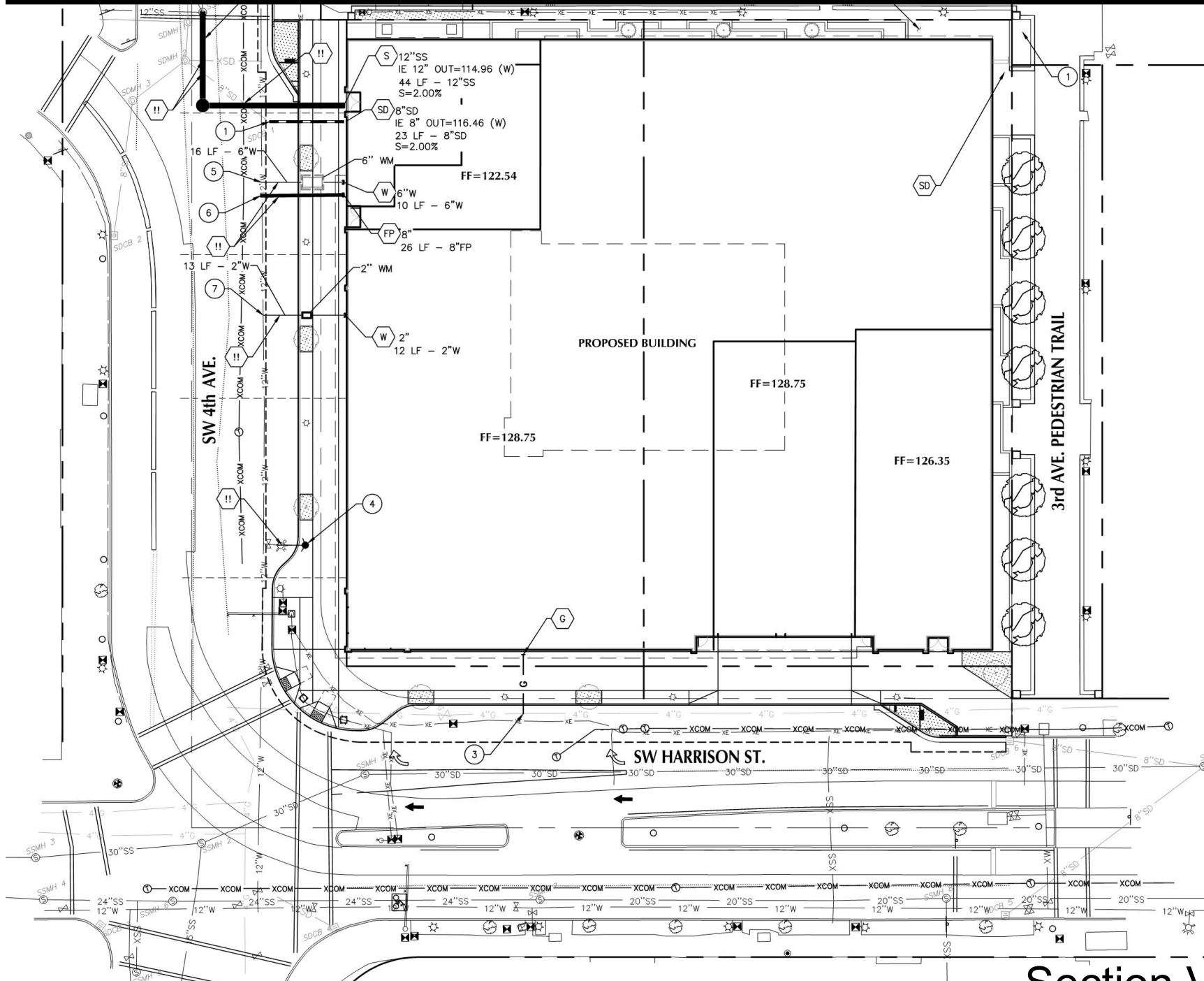
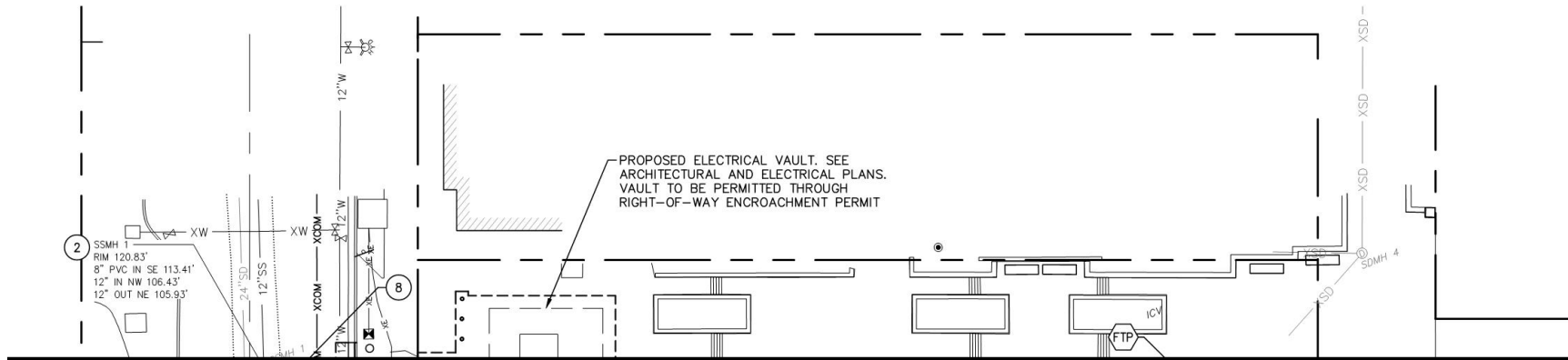
DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER: _____ CHECKED BY: _____ BES REVIEWER: _____ PLOT REVIEWER: _____		APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER		 <small>1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpff.com</small>		CONCEPT NOT FOR CONSTRUCTION		PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) CURB RAMP & STORMWATER PLANTER DETAILS		BES JOB NO. EP186 PBOT JOB NO. TH0251 SHEET NO. ST4.1 8 of 8	
CONSTRUCTED BY: _____ PROJECT COMPLETED: _____ MAP CORRECTED BY: _____ CHECKED BY: _____		DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER: _____ CHECKED BY: _____ BES REVIEWER: _____ PLOT REVIEWER: _____		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER		 <small>1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpff.com</small>		CONCEPT NOT FOR CONSTRUCTION		PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) CURB RAMP & STORMWATER PLANTER DETAILS		BES JOB NO. EP186 PBOT JOB NO. TH0251 SHEET NO. ST4.1 8 of 8	
NO. DATE DESCRIPTION APPD. REVISIONS		DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER: _____ CHECKED BY: _____ BES REVIEWER: _____ PLOT REVIEWER: _____		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER		 <small>1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpff.com</small>		CONCEPT NOT FOR CONSTRUCTION		PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) CURB RAMP & STORMWATER PLANTER DETAILS		BES JOB NO. EP186 PBOT JOB NO. TH0251 SHEET NO. ST4.1 8 of 8	

Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

LU 15-209034 DZM, AD
C.107

Utility Plan



KEY NOTES

1. CONNECT TO EXISTING 8" STORM PIPE. POT HOLE PRIOR TO CONSTRUCTION TO CONFIRM PIPE'S SIZE, LOCATION AND ELEVATION.
2. CONNECT TO EXISTING SANITARY SEWER MANHOLE PER THE REQUIREMENTS OF THE CITY OF PORTLAND. IE AS NOTED. CONNECTION TO BE POT HOLED PRIOR TO CONSTRUCTION TO CONFIRM EXACT ELEVATION AND LOCATION. POT HOLE RESULTS TO BE REPORTED TO KPFF.
3. COORDINATE INSTALLATION OF THE NEW GAS SERVICE AND METER WITH NORTHWEST NATURAL.
4. COORDINATE FIRE HYDRANT RELOCATION WITH PORTLAND WATER BUREAU
5. PORTLAND WATER BUREAU TO INSTALL 6" WET TAP AT EX. 8" MAIN, 6" WATER LINE AND METER. CONTRACTOR SHALL COORDINATE WITH CITY.
6. PORTLAND WATER BUREAU TO INSTALL 8" WET TAP AT EX. 8" MAIN. CONTRACTOR SHALL COORDINATE WITH CITY.
7. PORTLAND WATER BUREAU TO INSTALL 2" WET TAP AT EX. 8" MAIN, 2" WATER LINE AND METER. CONTRACTOR SHALL COORDINATE WITH CITY.
8. REMOVE EXISTING 8" SANITARY SEWER LINE AND REPLACE WITH 12" LINE.

UTILITY LABEL LEGEND

STRUCTURE LABEL

- UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP= FIRE PROTECTION)
 - STRUCTURE TYPE CALLOUT
 - ID NUMBER (WHERE APPLICABLE)
- XX XX-XX
X+XX.X RT X.X' ← LOCATION (WHERE APPLICABLE)
RIM=
IE IN = XX.X ← STRUCTURE INFO (WHERE APPLICABLE)
IE OUT = XX.X

PIPE LABEL

- UTILITY LENGTH
 - UTILITY SIZE
 - UTILITY TYPE
- XXLF - XX" XX
S=X.XX%
← SLOPE (WHERE APPLICABLE)

STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
AD	AREA DRAIN	
CO	CLEANOUT TO GRADE	
CONN	CONNECTION	
FD	FOUNDATION DRAINAGE POINT OF CONN.	
FDC	FIRE DEPARTMENT CONNECTION	
FH	FIRE HYDRANT	
OF	OUTFALL	
OV	OVERFLOW INLET	

SHEET LEGEND

- (G) CONNECT GAS LINE TO PROPOSED GAS SERVICE, SIZE AS NOTED. SEE PLUMBING PLANS CONTINUATION.
- (FP) CONNECT SPRINKLER SYSTEM TO PROPOSED FIRE PROTECTION SERVICE, SIZE AS NOTED. SEE FIRE PROTECTION PLANS FOR CONTINUATION AND DOUBLE DETECTOR ASSEMBLY LOCATED INSIDE THE BUILDING.
- (FTP) STORMWATER FLOW-THROUGH PLANTER. ID AS SHOWN.
- (S) CONNECT TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED. DESIGNED AND PERMITTED UNDER SEPARATE PBOT PERMIT.
- (SD) CONNECT TO ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.
- (W) CONNECT DOMESTIC WATER SYSTEM TO PROPOSED WATER SERVICE, SIZE AS NOTED. SEE PLUMBING PLANS FOR CONTINUATION AND BACKFLOW ASSEMBLY INSIDE THE BUILDING.
- (!!) UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.

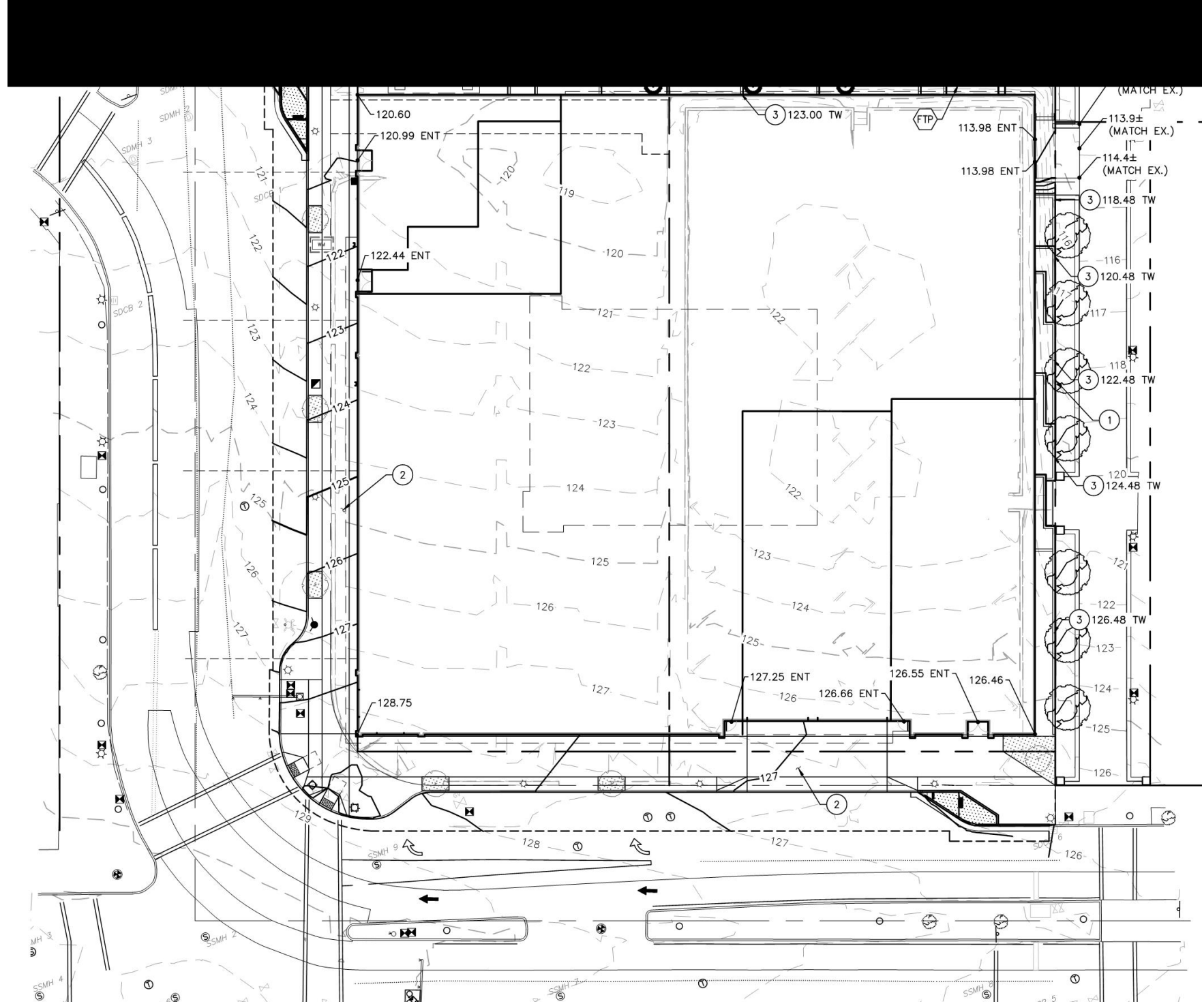
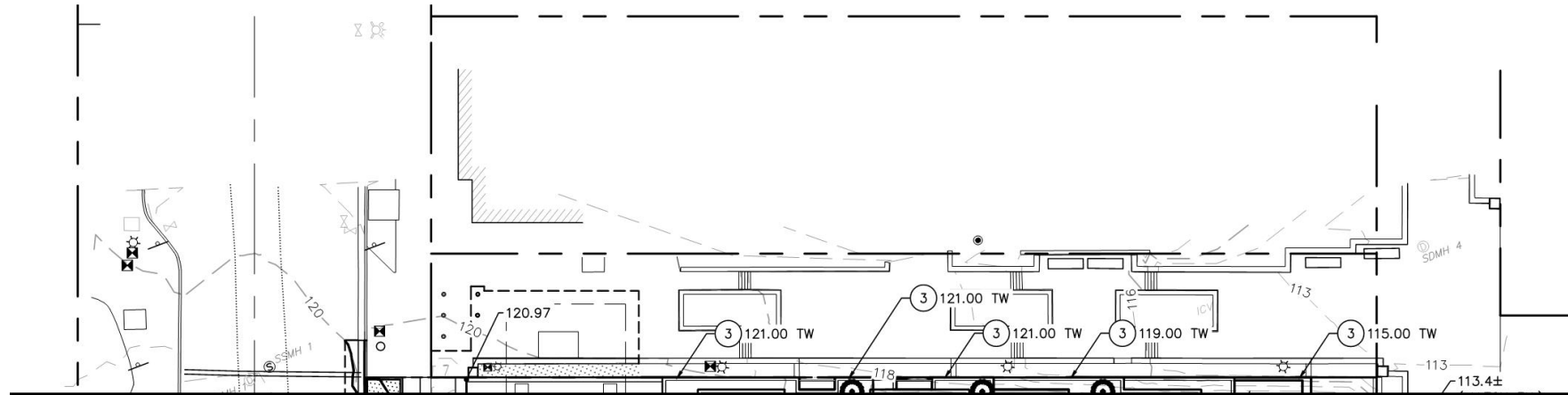
Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

Grading Plan

SHEET NOTES

1. SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
2. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).



KEY NOTES

1. PRESERVE EXISTING PEDESTRIAN ALLEYS. MATCH AT PROPERTY LINE UNLESS NOTED OTHERWISE.
2. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY UNDER SEPARATE PBOT PERMIT.
3. TOP OF WALL IS AT A CONSTANT ELEVATION.

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)

SPOT ELEVATION
DESCRIPTION LISTED BELOW.
NO DESCRIPTION MEANS TP OR TG

XX.XX	XX	
BOS		BOTTOM OF SWALE
BOW		BACK OF WALK
BS		BOTTOM OF STEP
BW		BOTTOM OF WALL
EG		EXISTING GRADE
ENT		ENTRANCE
FF		FINISHED FLOOR
FL		FLOW LINE
G		GUTTER
HP		HIGH POINT
LP		LOW POINT
RIM		RIM OF STRUCTURE
TC		TOP OF CURB
TG		TOP OF GROUND
TP		TOP OF PAVEMENT
TS		TOP OF STEP
TW		TOP WALL

SHEET LEGEND

(FTP)	FLOW-THROUGH PLANTER
→	DRAINAGE FLOW DIRECTION
---	GRADE BREAK
-49-	EX. CONTOUR MINOR
-50-	EX. CONTOUR MAJOR
-49-	CONTOUR MINOR (FG)

Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

LU 15-209034 DZM, AD
C.109



4th & Harrison Portland, OR

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C.110