

4th & Harrison Portland, OR

Type III Design Review Submittal

HARTSHORNE PLUNKARD ARCHITECTURE

MYHRE GROUP ARCHITECTS

LANGO HANSEN

CORE SPACES

10-21-15

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(see separate word doc)

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Portland, OR 97209

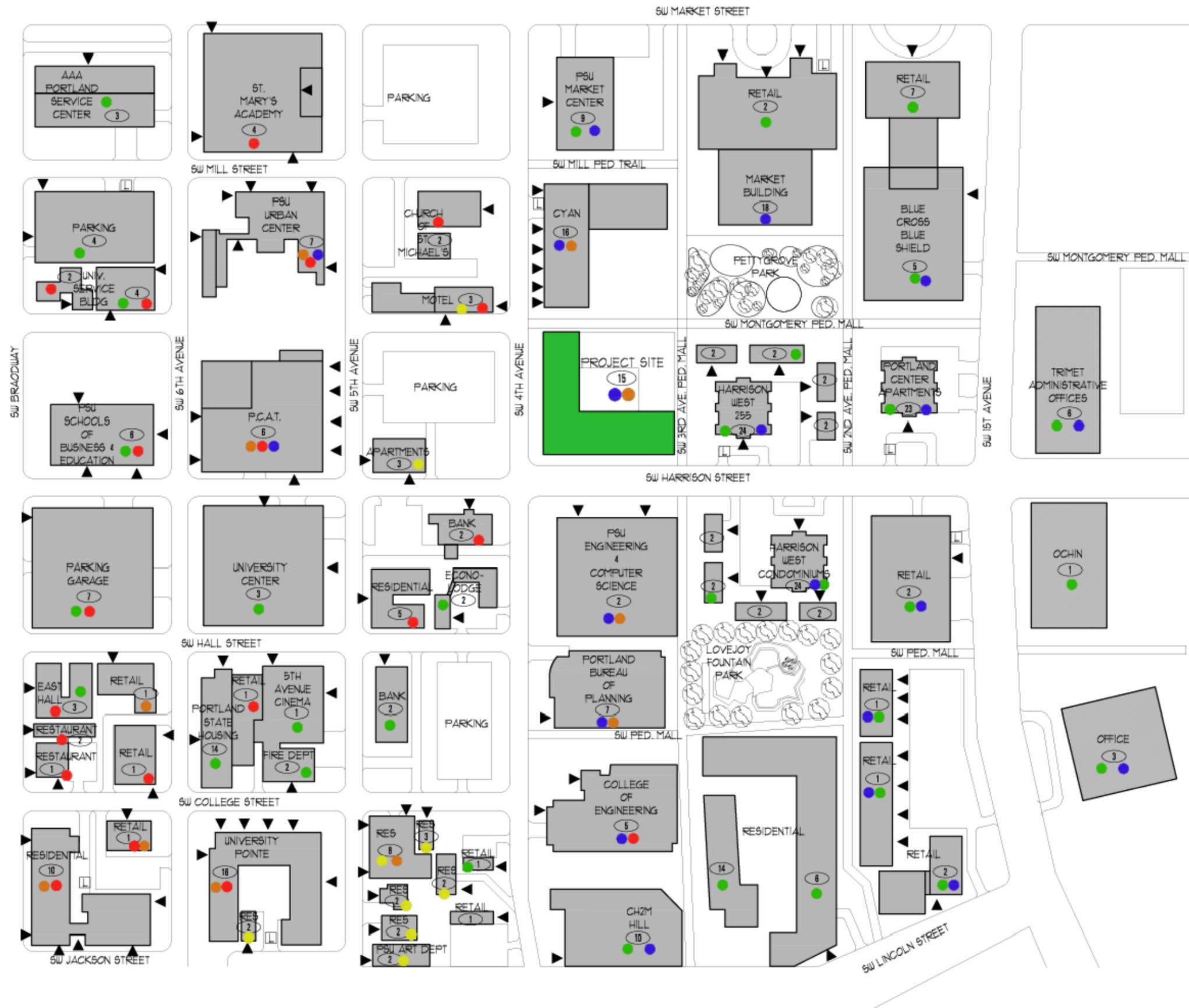
Jane Hansen, ASLA, Principal

Civil:

KPFF Eugene Civil
1201 Oak Street, Suite 100
Eugene, OR 97401

Matt Keenan, PE, Associate

Existing Context 6-Block Vicinity Map



LEGEND	
●	CONCRETE
●	METAL PANEL
●	GLASS
●	MASONRY
●	SIDING
▼	ENTRANCE
⊞	LOADING
⊙	NUMBER OF STORIES
—	CAR ENTRANCE

Existing Context South Auditorium District Vicinity Map



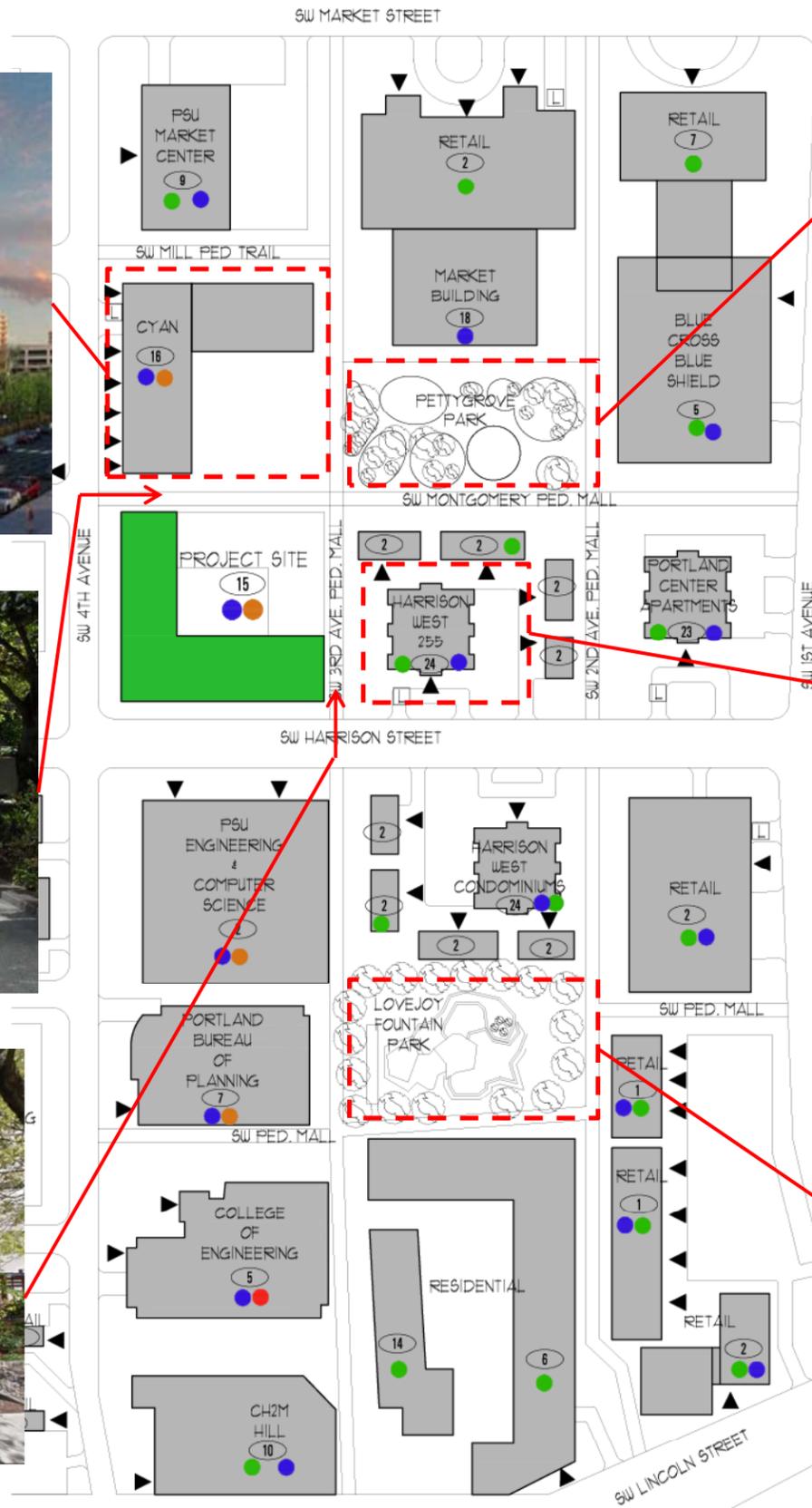
Cyan/PDX



Montgomery Ped Trail, SE view



3rd Ave Ped Trail, NE view



Pettygrove Park



Harrison West Tower



Lovejoy Fountain

LEGEND	
●	CONCRETE
●	METAL PANEL
●	GLASS
●	MASONRY
●	SIDING
▼	ENTRANCE
Ⓛ	LOADING
ⓧ	NUMBER OF STORIES
—	CAR ENTRANCE

Existing Context South Auditorium District Vicinity Map



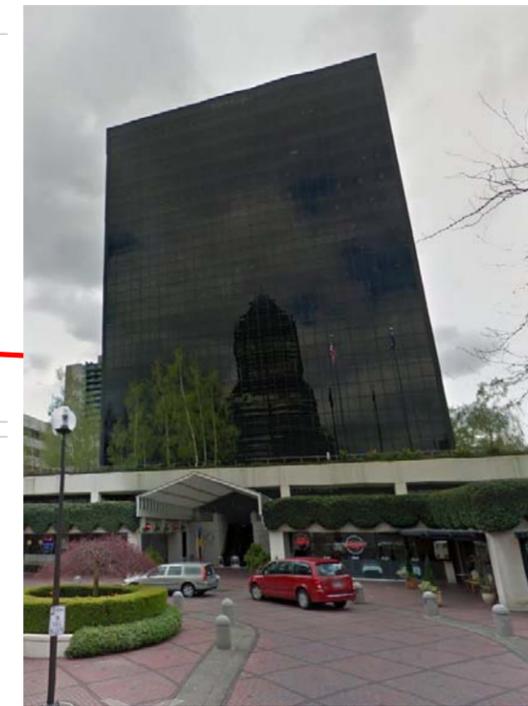
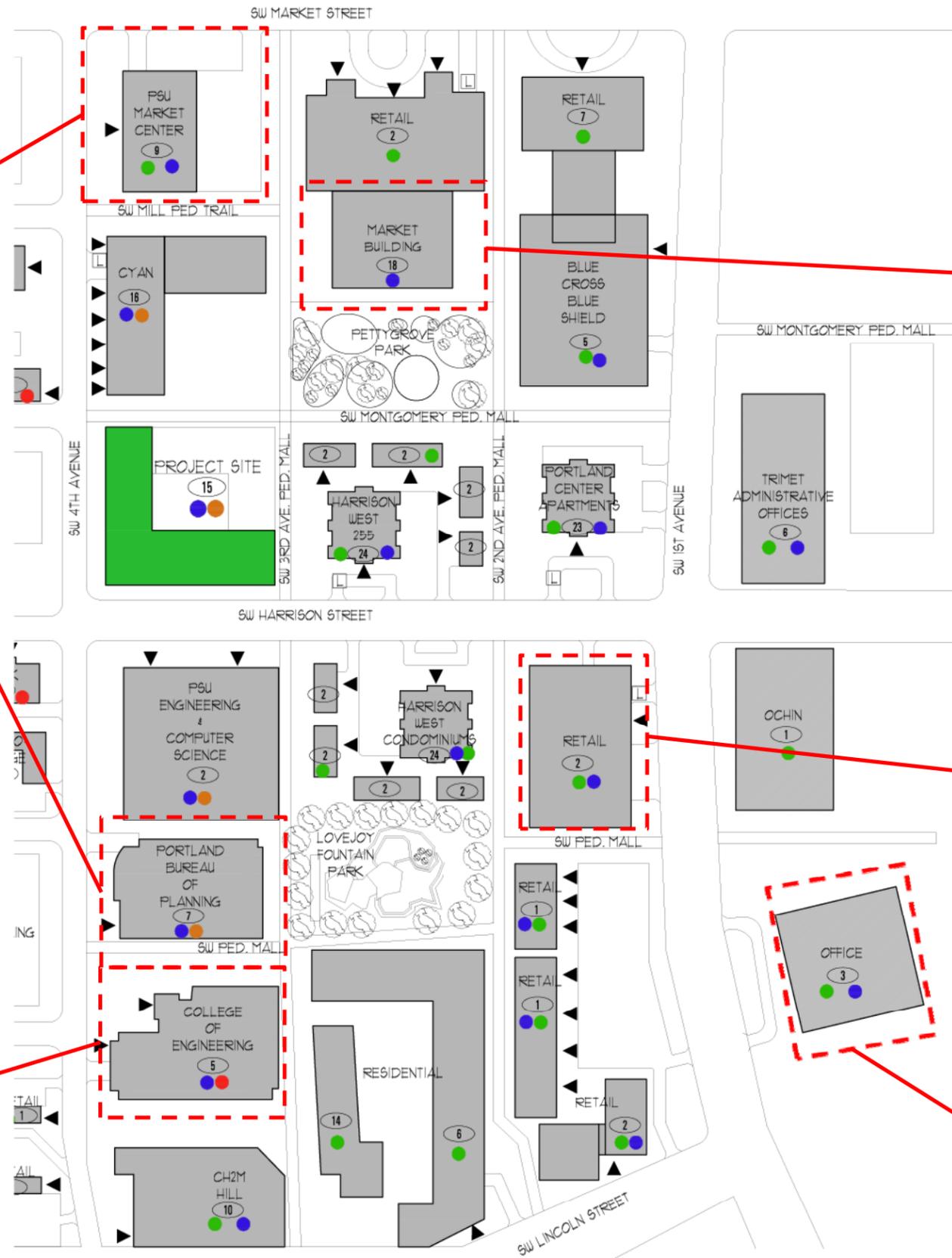
Portland State University, Market Center Building, 4th & Market



City of Portland, Planning Department & Bureau of Development Services, 4th & Hall



Maseeh College of Engineering and Computer Science, 4th & College



Black Box, 200 Market

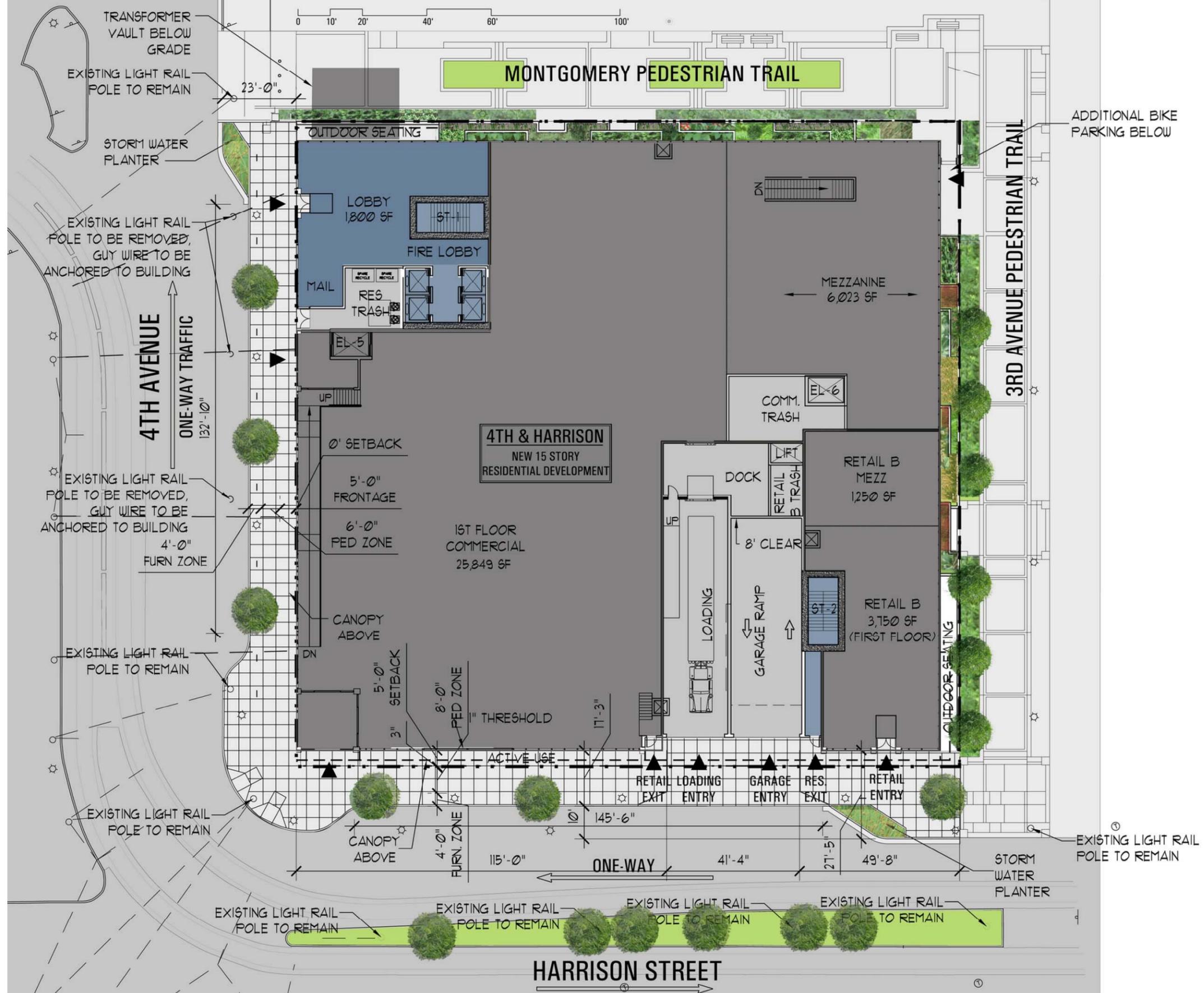


1st & Harrison, Harrison Towers beyond



Make a Wish Foundation, 1st & Lincoln

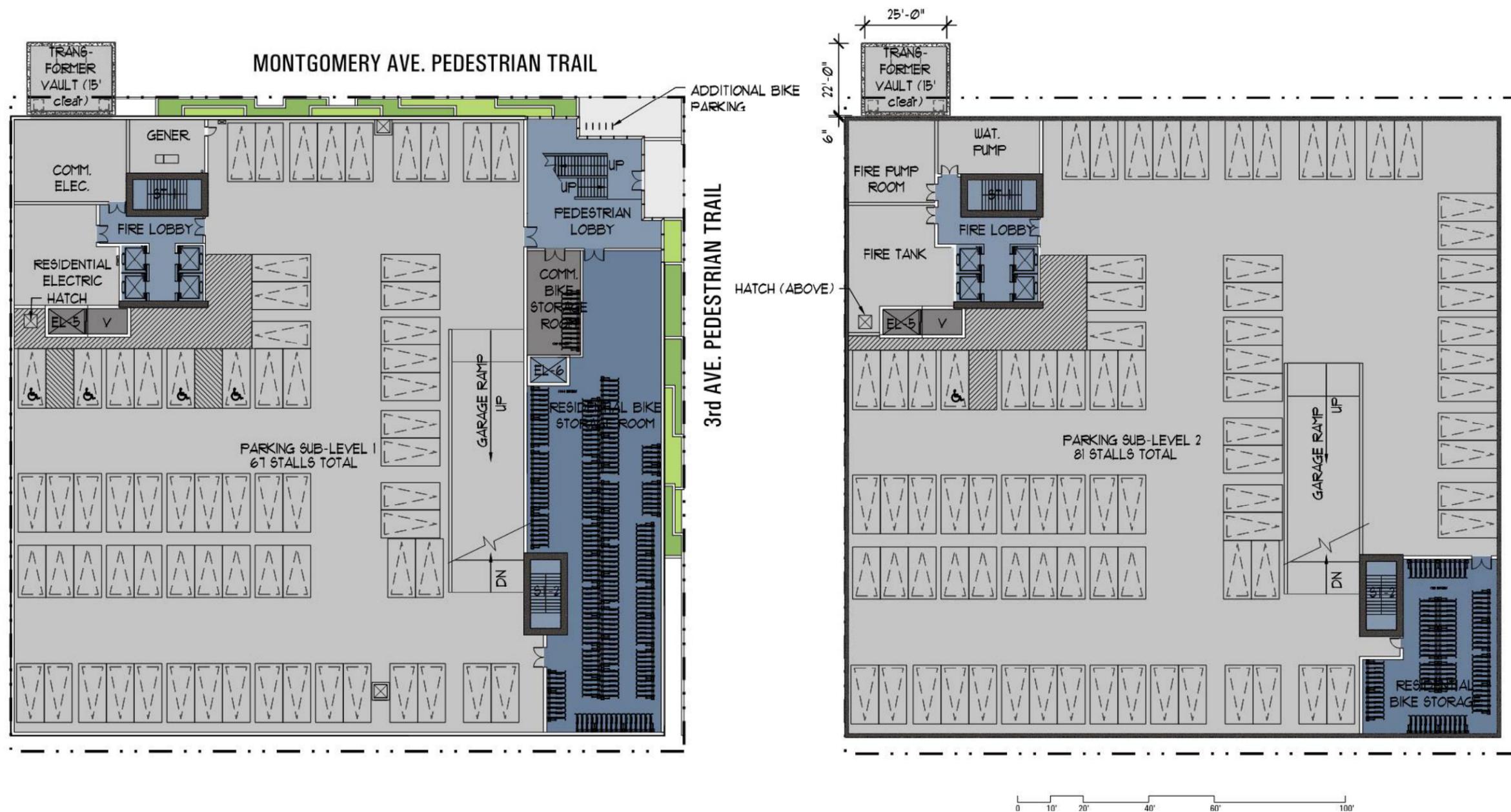
LEGEND	
●	CONCRETE
●	METAL PANEL
●	GLASS
●	MASONRY
●	SIDING
▼	ENTRANCE
⊞	LOADING
ⓧ	NUMBER OF STORIES
—	CAR ENTRANCE



Proposed Site Plan/Ground Level Plan

- 33,000 SF Grocery Store on the 1st floor with access from 4th & Harrison as well as a pedestrian lobby from 3rd & Montgomery
- 5,000 SF Fast Casual Restaurant
- Four active building corners at grade with direct connections to the adjacent exterior space
- Building design influenced by the South Auditorium District's existing buildings
- Sustainable Design Approach

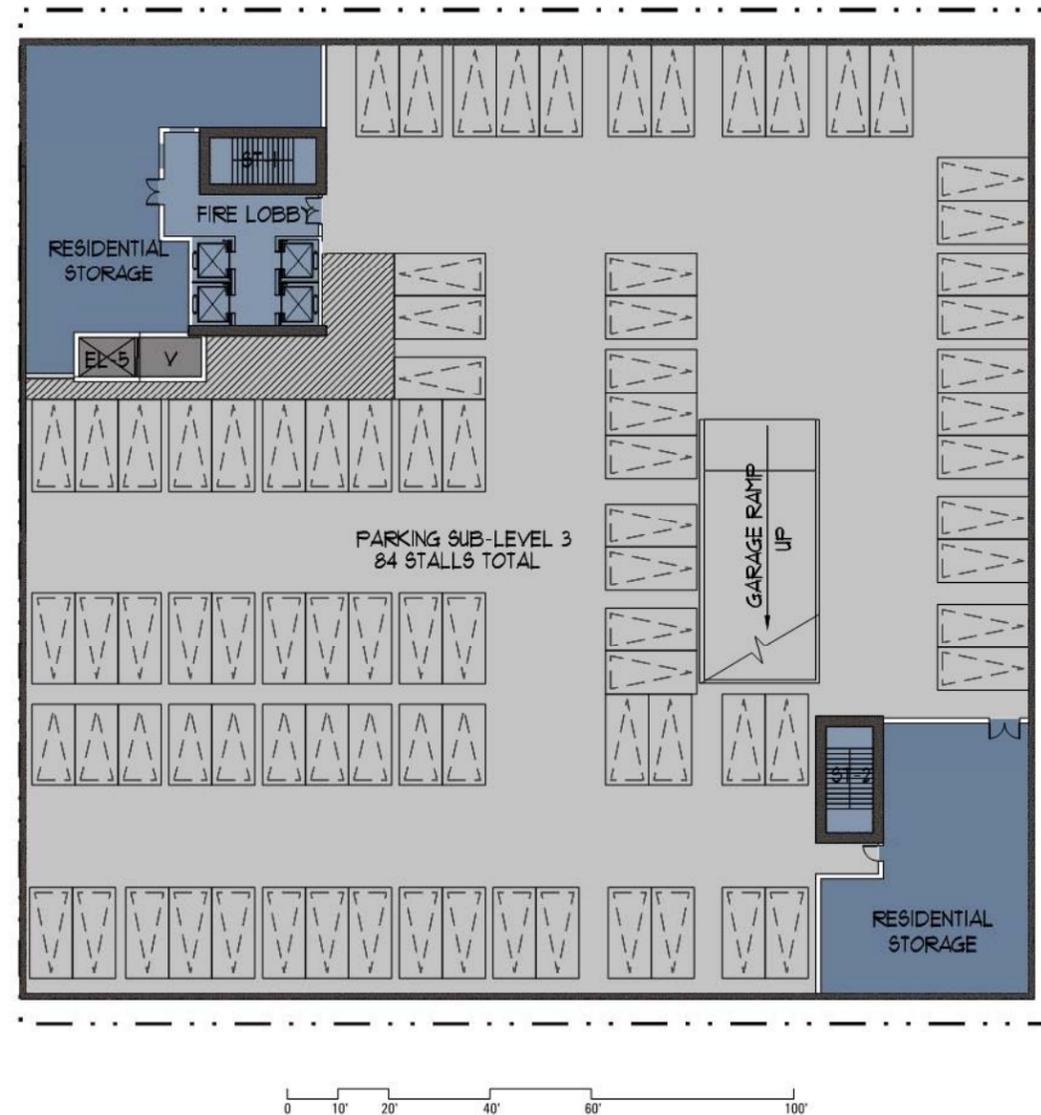
Proposed Lower Level Plans



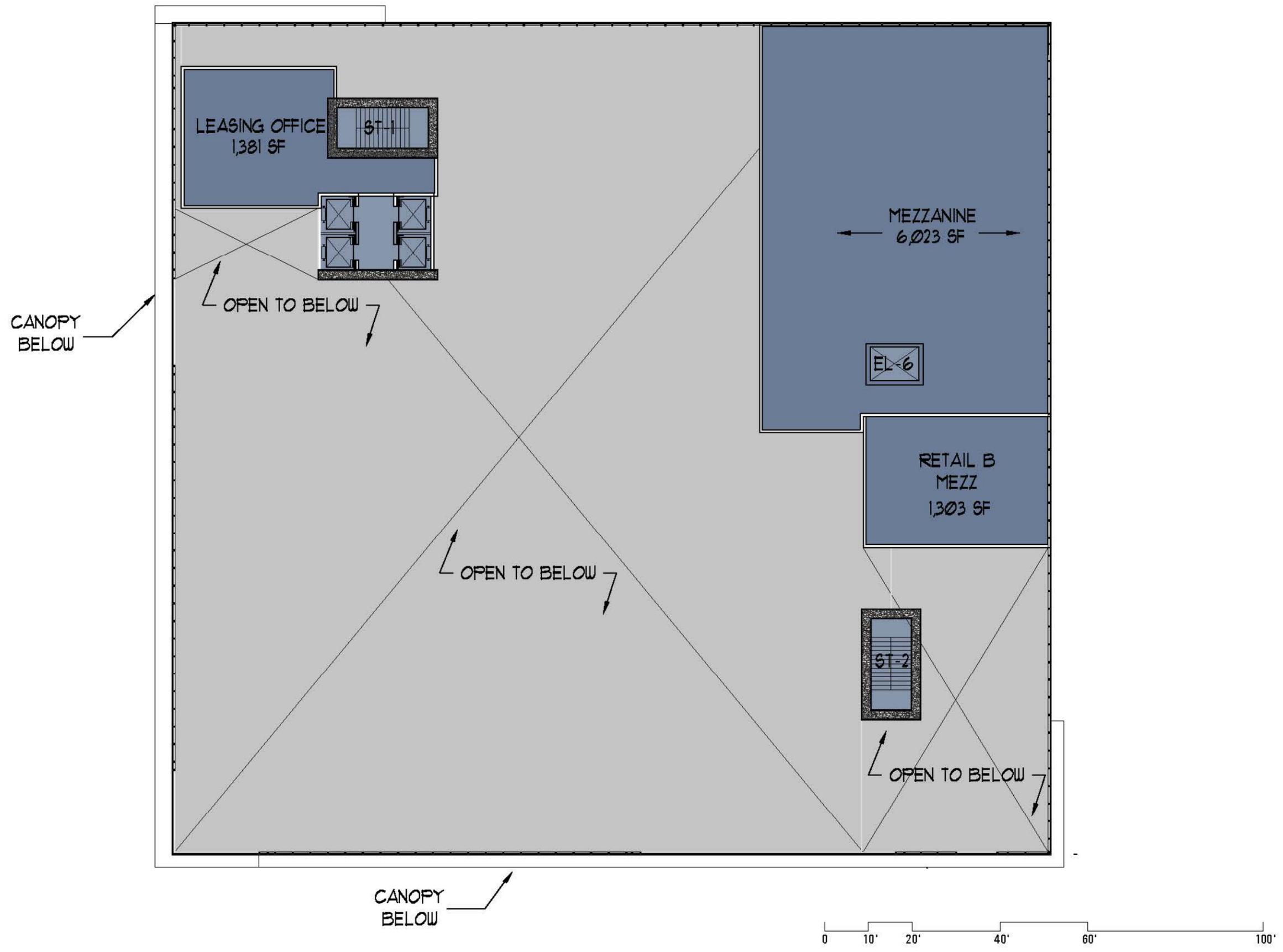
- 151 Below Grade parking stalls:
 Grocer = 66 spaces
 (33,000 SF/1,000) x 2
 Retail B = 5 spaces
 Residential = 80 spaces
- An optional 3rd lower level is proposed – it would add approximately 81 residential parking spaces
- Pedestrian Entrance from 3rd & Montgomery
- Ample bike parking for residents and retail
- The transformer vault is located on Montgomery Ave Pedestrian Trail – it is partially on our property, but not engaging the building. The location has been approved by Pacific Power.

Proposed Optional Lowest Level Plan

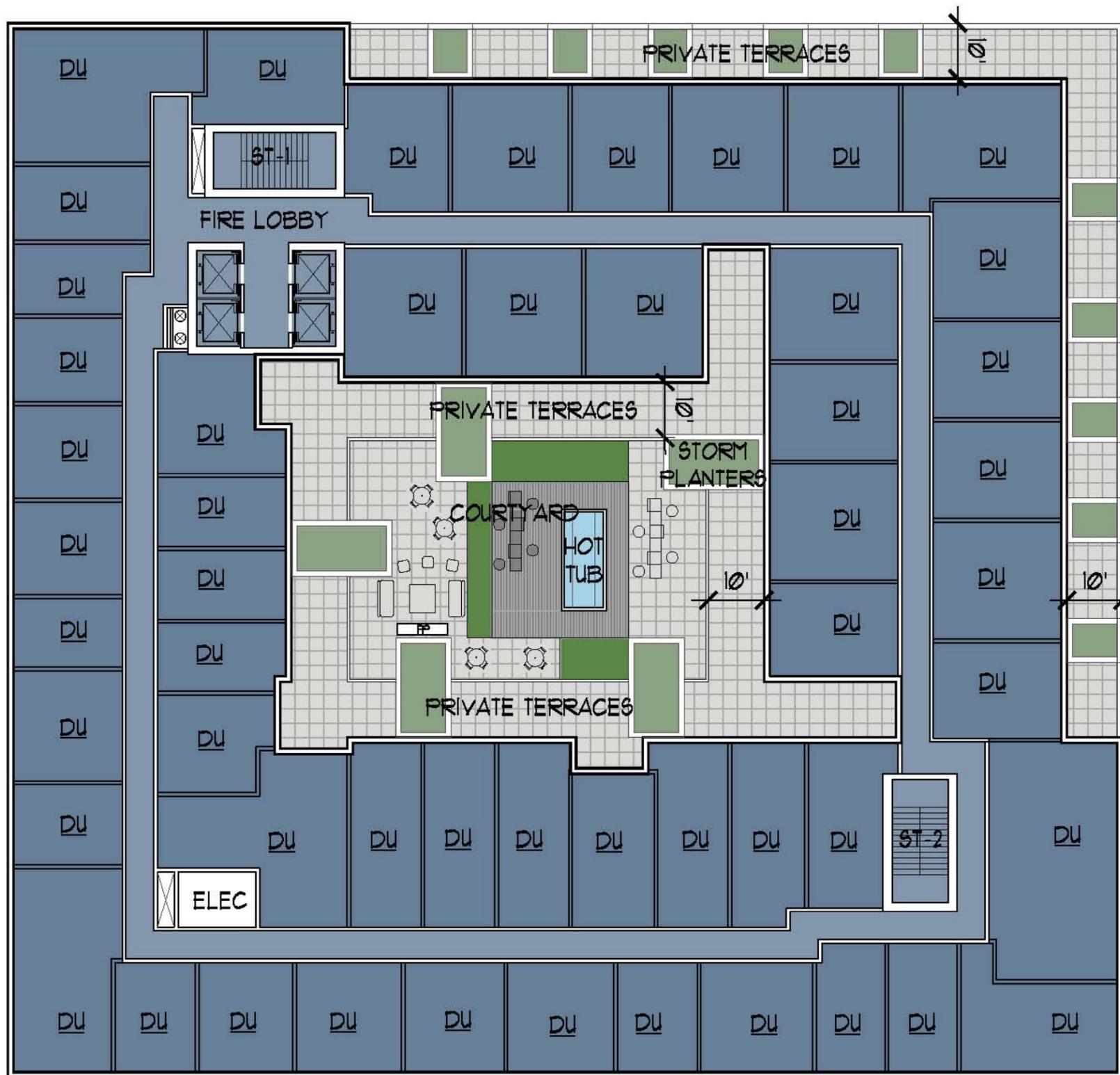
- An optional 3rd lower level is proposed – it would add approximately 81 residential parking spaces



Proposed Mezzanine Plan



Proposed 2nd Floor Plan



- “Townhomes” on floors 2 & 3 along the pedestrian trails are setback 10’ from the base to create a ‘plinth’
- A series of private outdoor terraces along 3rd and Montgomery help connect the building to the park



Proposed 3rd Floor Plan

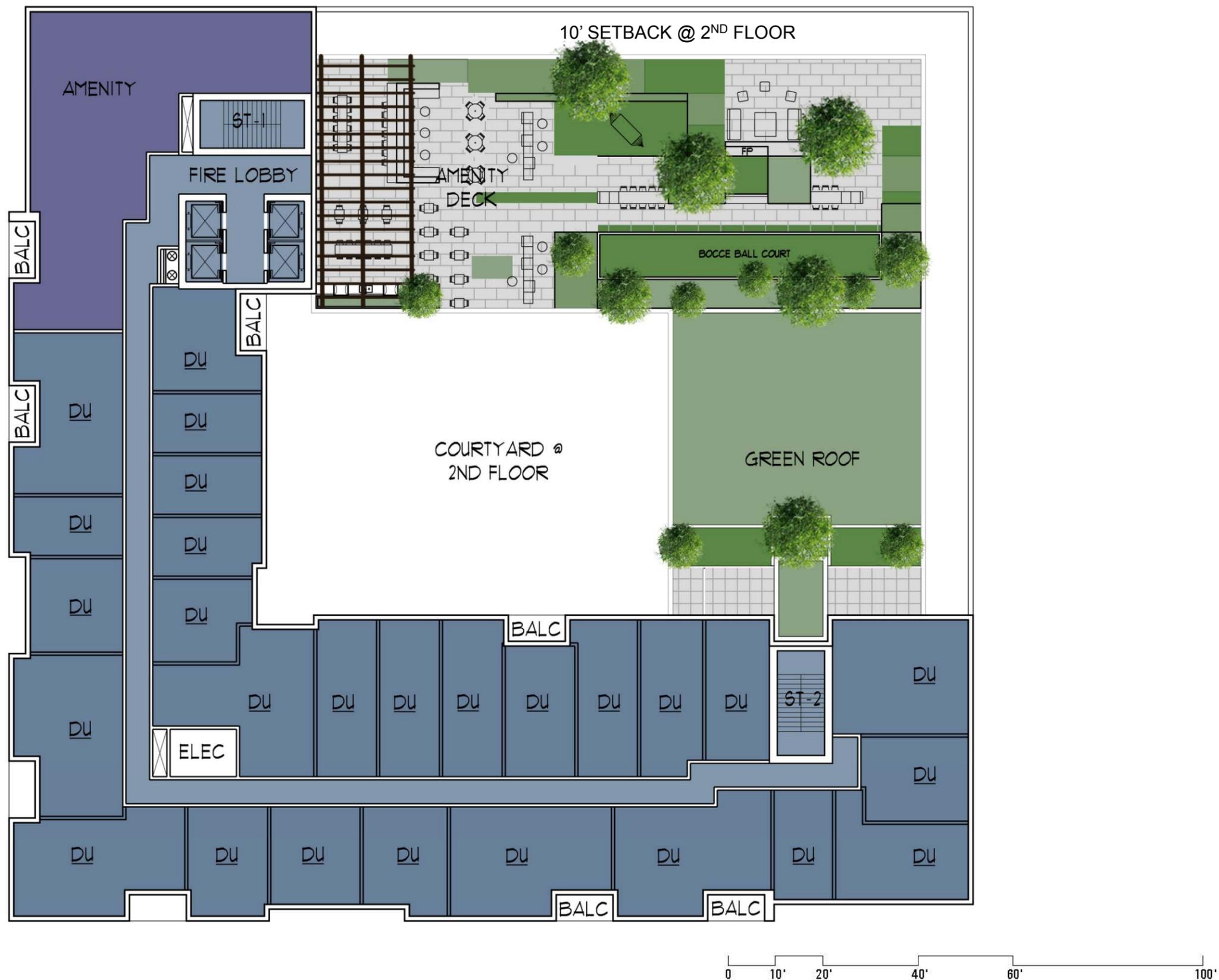


- “Townhomes” on floors 2 & 3 along the pedestrian trails are setback 10’ from the base to create a ‘plinth’
- A series of private outdoor terraces along 3rd and Montgomery help connect the building to the park



Proposed 4th Floor Plan

- 29,000 SF of outdoor space – providing “eyes on the park”
- Active outdoor landscaped amenity space overlooking Pettygrove Park on the 4th floor

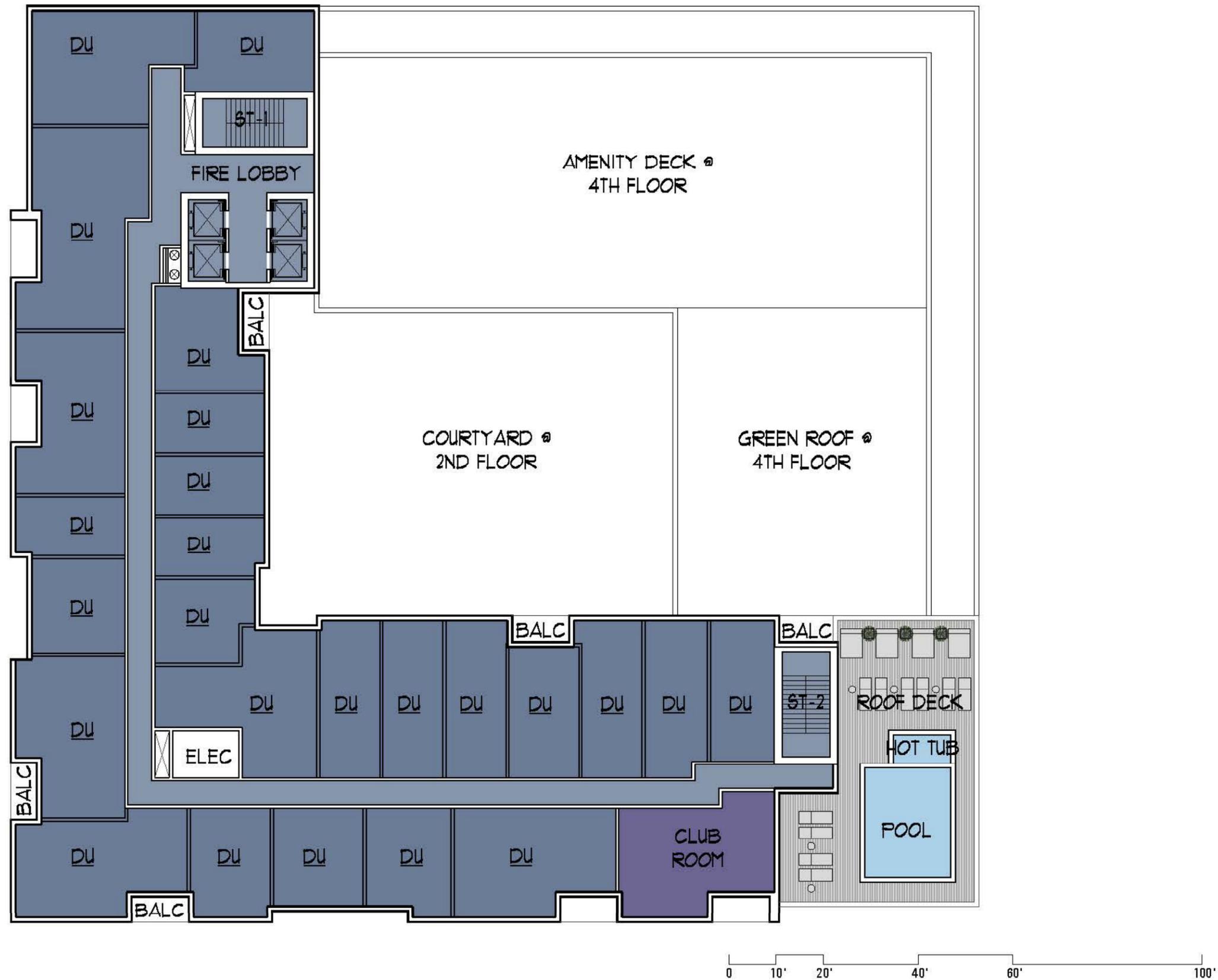


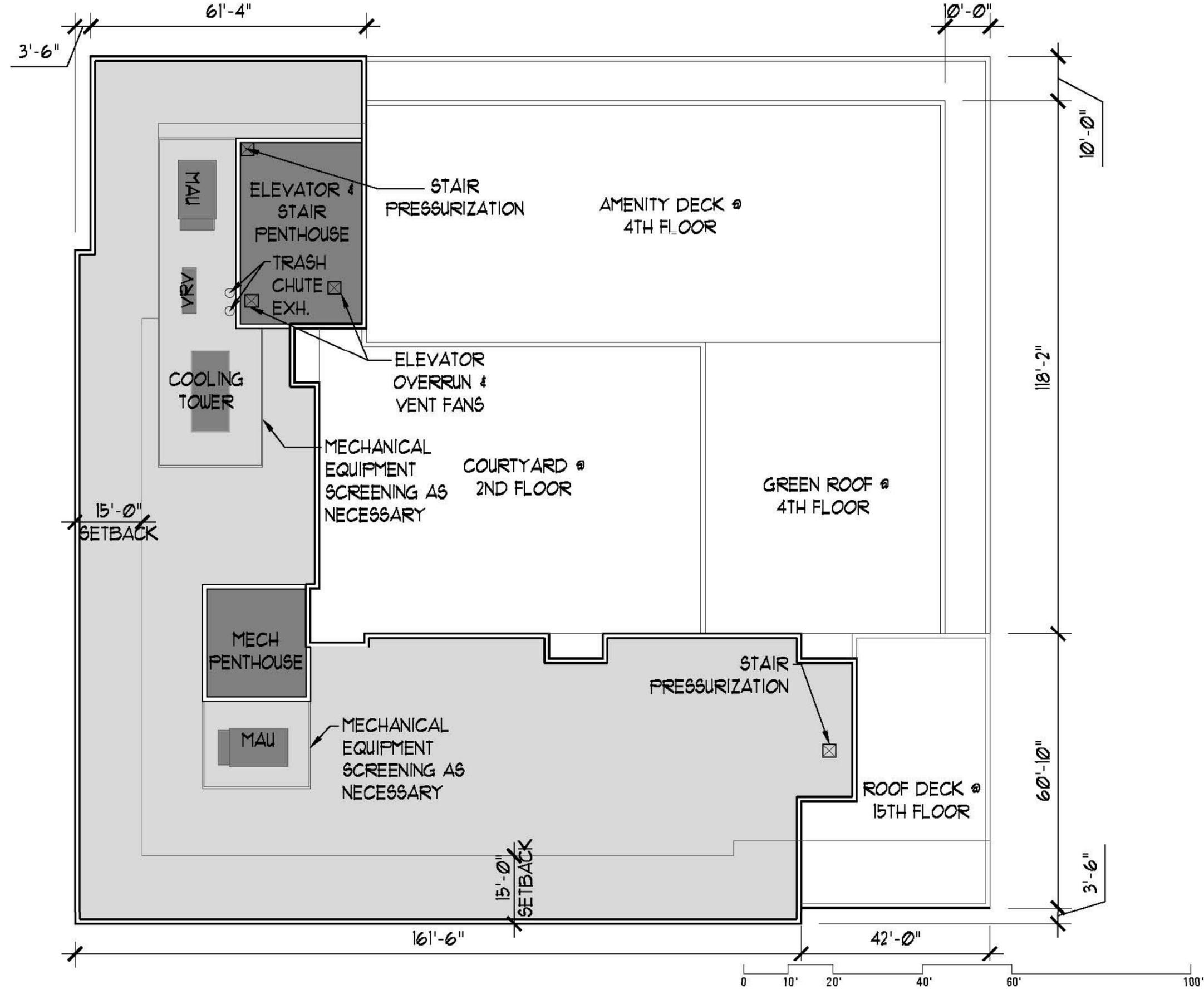
Proposed Typical Floor Plan

- 424 Units ranging in size from studios apartments through 3-bedroom duplex 'townhomes'



Proposed 15th Floor Plan



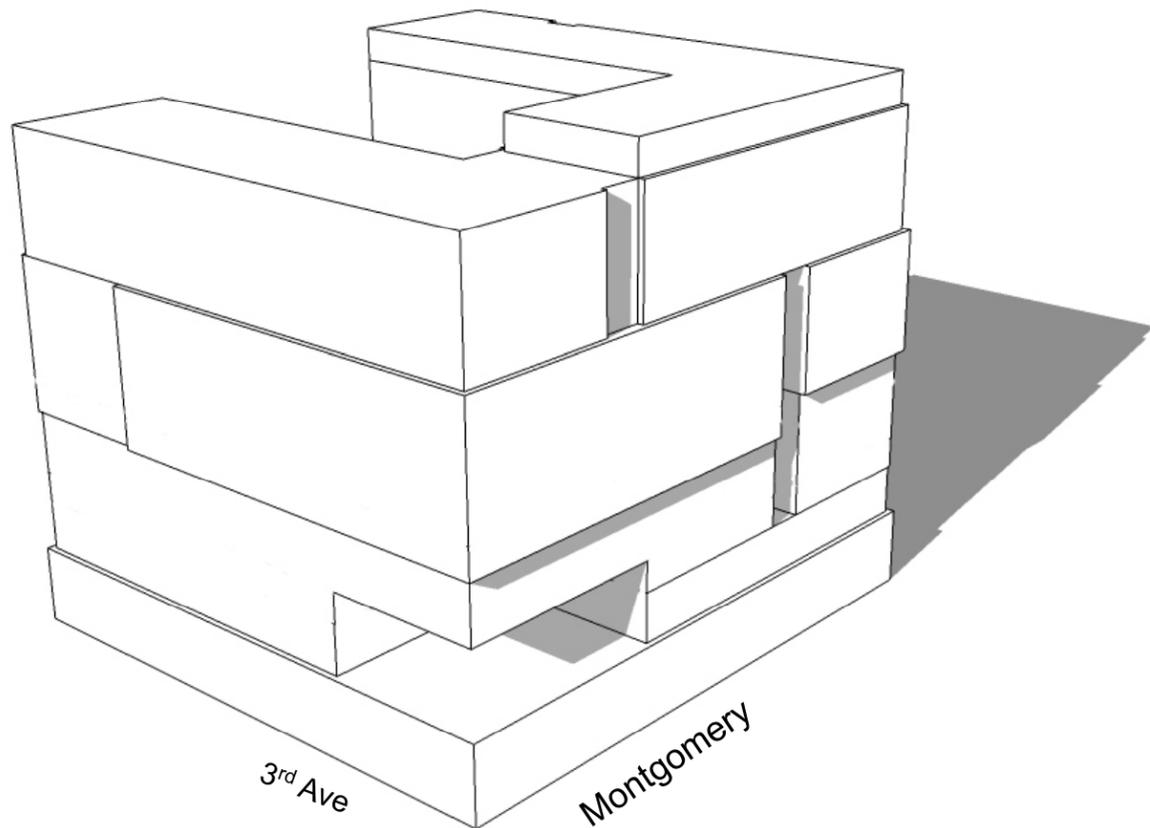


Proposed Roof Plan

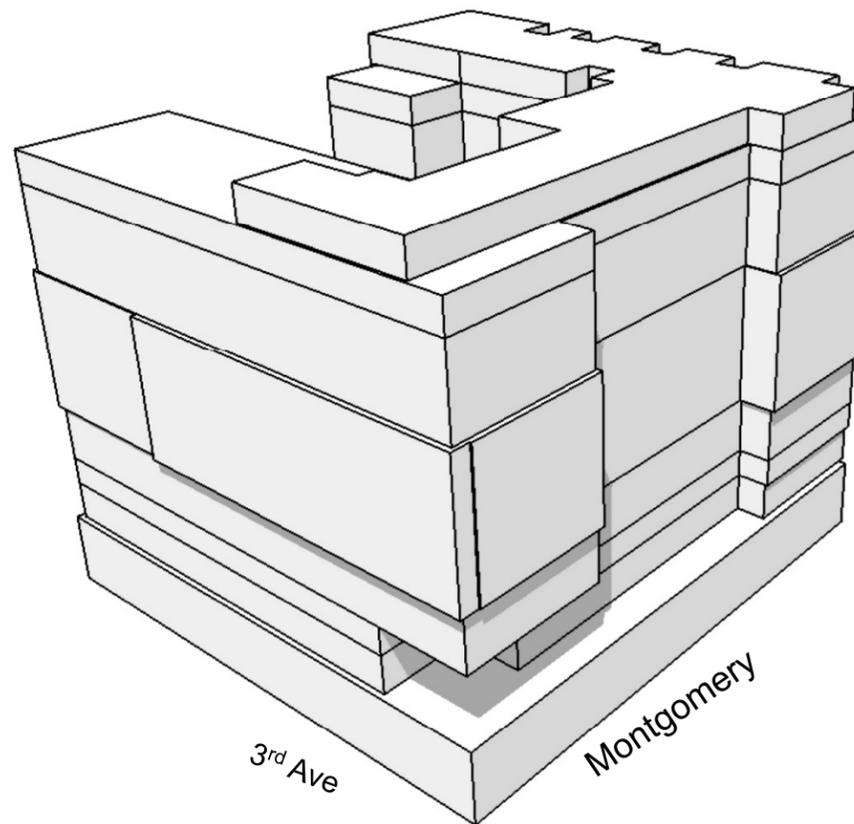
- Roof Area:
 - Upper Roof: 20,350 SF
 - Lower Roof: 18,525 SF
 - Total: 38,875 SF
- Mechanical Area: 2,225 SF
- **10.9% of Upper Roof**
- 5.7% of Total Roof



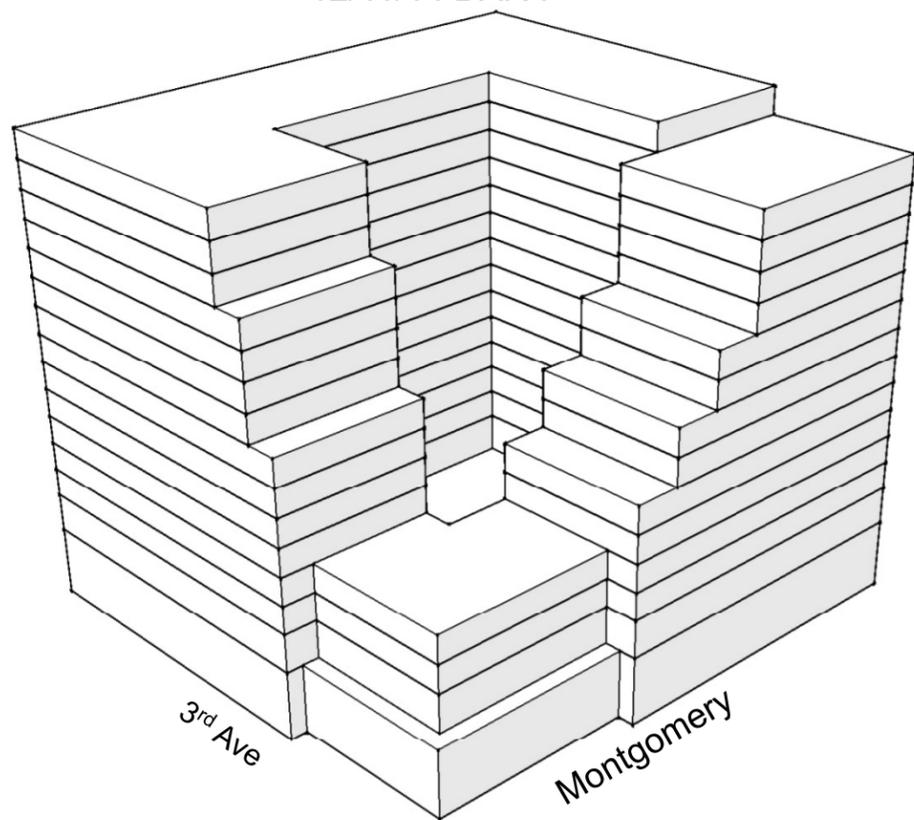
Massing Progression



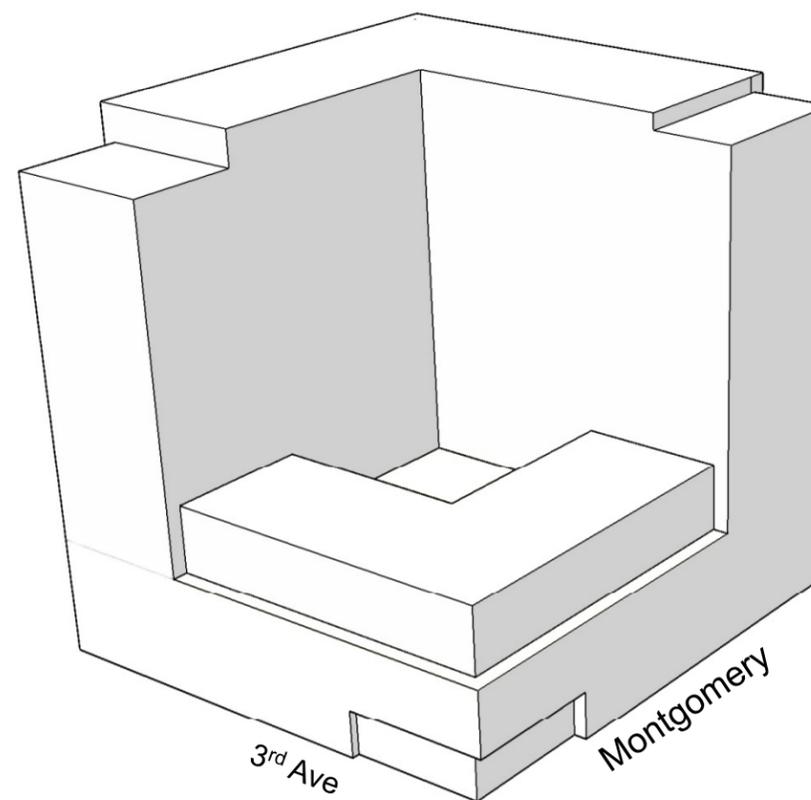
12/11/14 DAR I



2/19/15 DAR II



03/12/15 DAR III

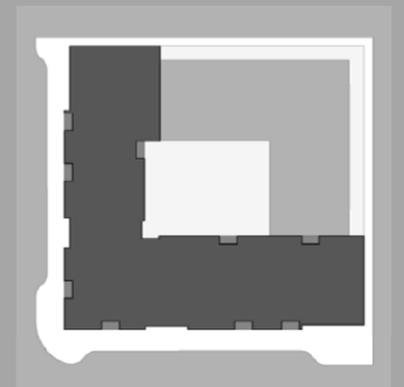


06/18/15 DAR IV

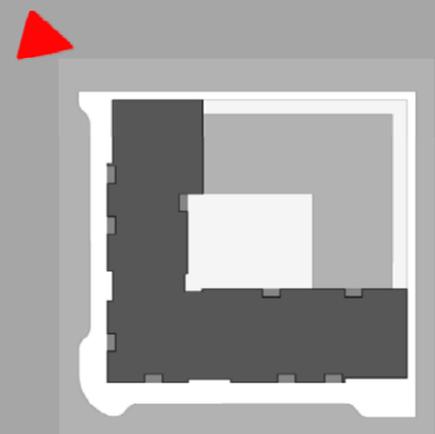
- DAR I: C-shaped building with a courtyard facing Harrison and a 2nd floor active terrace facing Pettygrove Park
- DAR II: H-shaped building with a courtyard facing Harrison and a deeper 2nd floor active terrace facing Pettygrove Park and along Montgomery
- DAR II: A disintegrated C-shaped building with an active terrace Pettygrove Park
- DAR IV: An L-shaped building with the mass located along 4th and Harrison, with a deep 2nd floor terrace along 3rd and Montgomery and an active 4th floor terrace overlooking Pettygrove Park



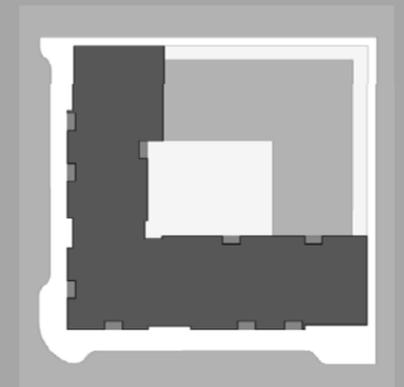
View from 4th &
Harrison



View to
Pettygrove Park
down
Montgomery
Street



View from above
Pettygrove Park



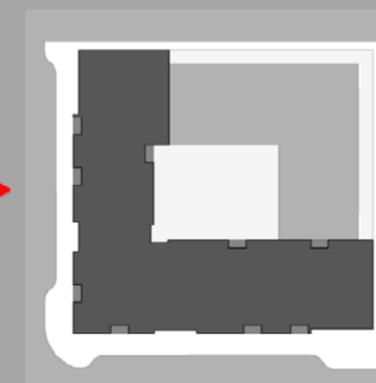
SW 4th Avenue Elevation



Materials:

1. Glass – window wall
2. Glass – punched window
3. Glass – storefront
- 4a. Flat metal panel, color a
- 4b. Flat metal panel, color b
- 5a. Chevron metal panel, color b
- 5b. Perforated chevron metal panel, color b
- 6a. Perforated metal panel, color c
- 6b. Perforated metal panel, color b
7. Metal Canopy, color b
8. Glass & aluminum overhead garage door
9. Composite wood veneer
10. Concrete, vertical board form

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



Harrison St. Elevation



T/PENTHOUSE PARAPET
 EL +182'-0"
 MAX. BLDG. HEIGHT
 EL 169'-3 1/2"
 T/ROOF SLAB
 EL +166'-0"

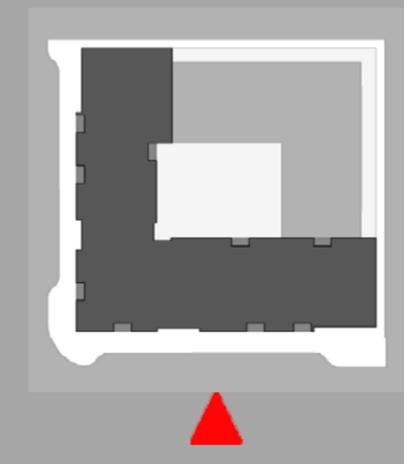
T/TOWNHOMES
 EL +43'-6"

T/ PLINTH
 EL +24'-0"

T/ 1ST FLOOR SLAB
 EL +0'-0"
 ELEVATION DATUM
 EL -5'-8 1/2"
 EL +123.04' SEA LEVEL

- Materials:
1. Glass – window wall
 2. Glass – punched window
 3. Glass – storefront
 - 4a. Flat metal panel, color a
 - 4b. Flat metal panel, color b
 - 5a. Chevron metal panel, color b
 - 5b. Perforated chevron metal panel, color b
 - 6a. Perforated metal panel, color c
 - 6b. Perforated metal panel, color b
 7. Metal Canopy, color b
 8. Glass & aluminum overhead garage door
 9. Composite wood veneer
 10. Concrete, vertical board form

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'

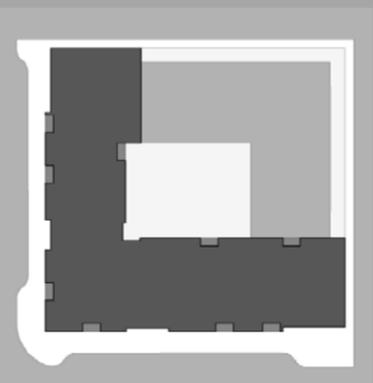


3rd Avenue Elevation



- Materials:
1. Glass – window wall
 2. Glass – punched window
 3. Glass – storefront
 - 4a. Flat metal panel, color a
 - 4b. Flat metal panel, color b
 - 5a. Chevron metal panel, color b
 - 5b. Perforated chevron metal panel, color b
 - 6a. Perforated metal panel, color c
 - 6b. Perforated metal panel, color b
 7. Metal Canopy, color b
 8. Glass & aluminum overhead garage door
 9. Composite wood veneer
 10. Concrete, vertical board form

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



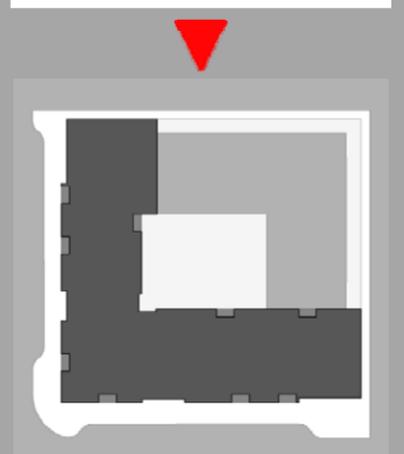
Montgomery St. Elevation



Materials:

1. Glass – window wall
2. Glass – punched window
3. Glass – storefront
- 4a. Flat metal panel, color a
- 4b. Flat metal panel, color b
- 5a. Chevron metal panel, color b
- 5b. Perforated chevron metal panel, color b
- 6a. Perforated metal panel, color c
- 6b. Perforated metal panel, color b
7. Metal Canopy, color b
8. Glass & aluminum overhead garage door
9. Composite wood veneer
10. Concrete, vertical board form

ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'

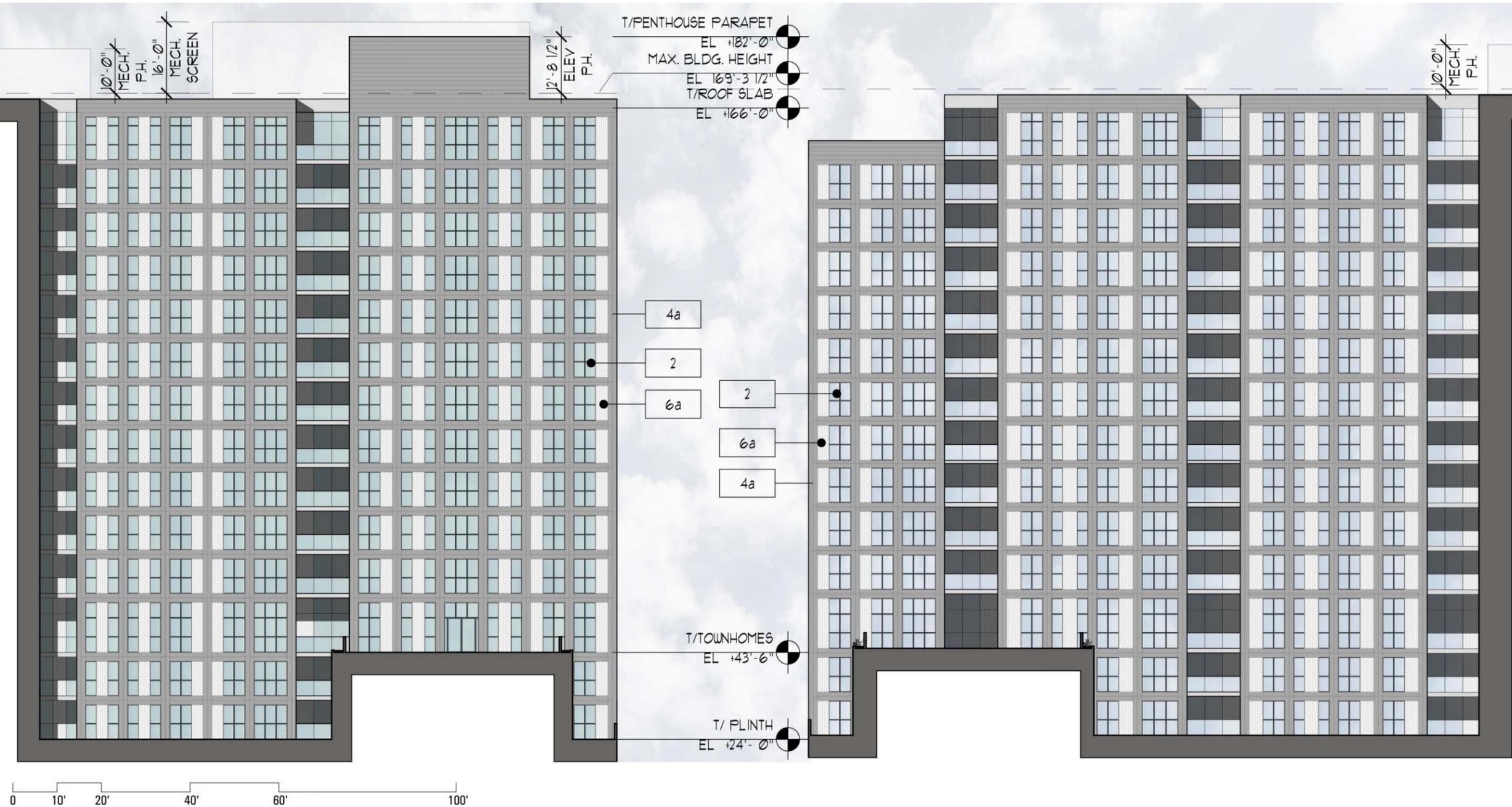
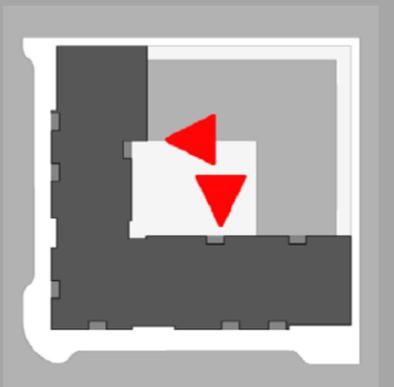


Courtyard Elevations

Materials:

1. Glass – window wall
2. Glass – punched window
3. Glass – storefront
- 4a. Flat metal panel, color a
- 4b. Flat metal panel, color b
- 5a. Chevron metal panel, color b
- 5b. Perforated chevron metal panel, color b
- 6a. Perforated metal panel, color c
- 6b. Perforated metal panel, color b
7. Metal Canopy, color b
8. Glass & aluminum overhead garage door
9. Composite wood veneer
10. Concrete, vertical board form

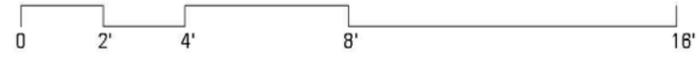
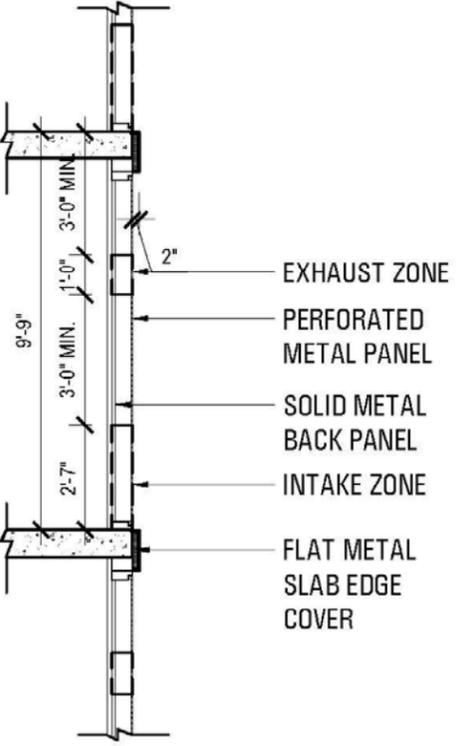
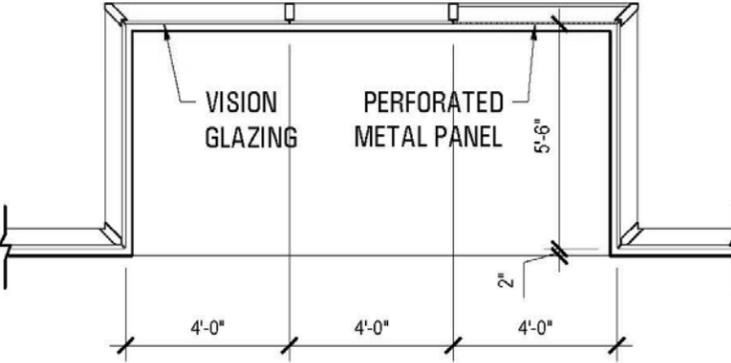
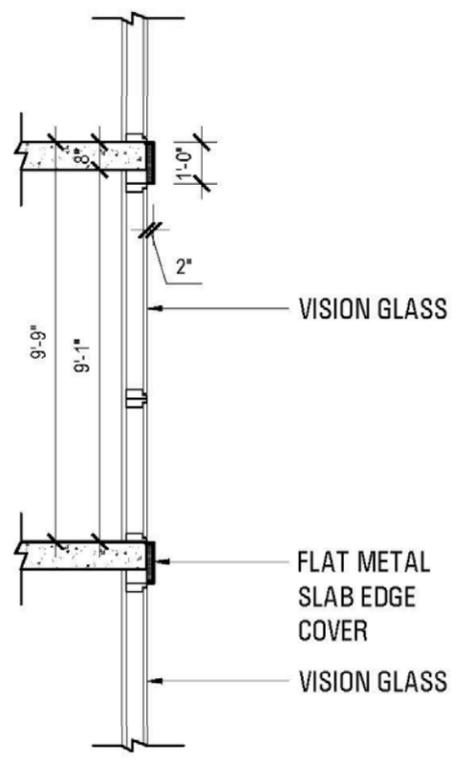
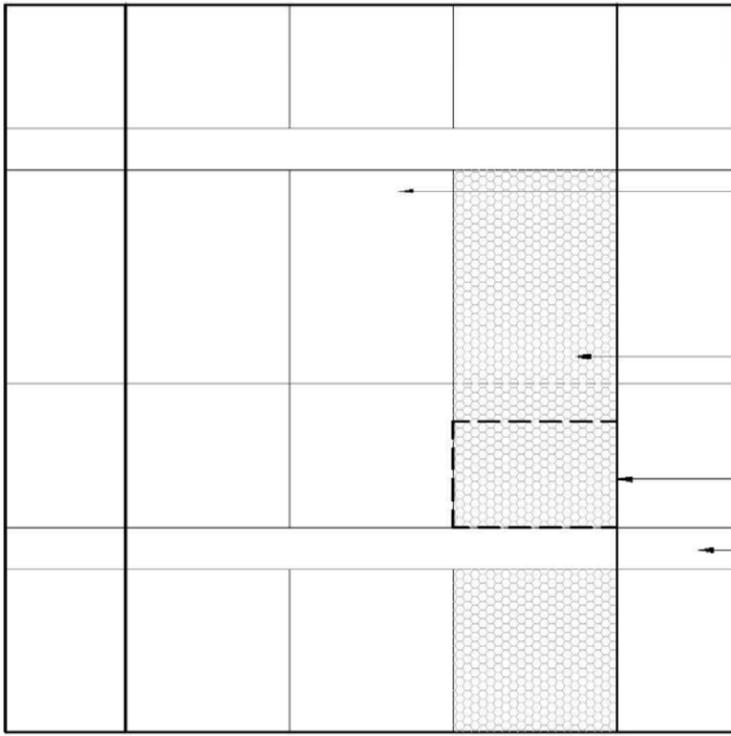
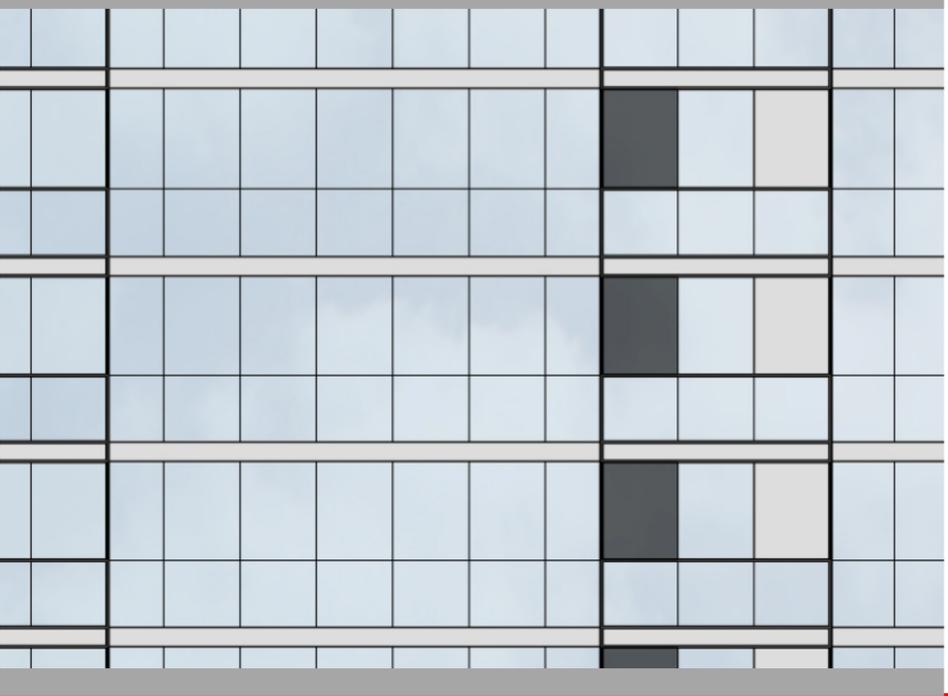
ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



Proposed Exterior Materials

Materials:

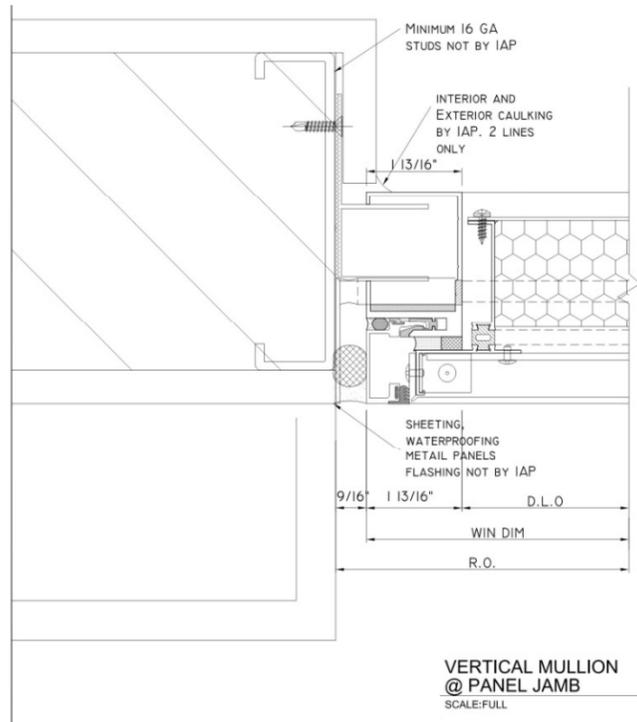
1. Glass: Structurally glazed window wall system with aluminum slab edge covers



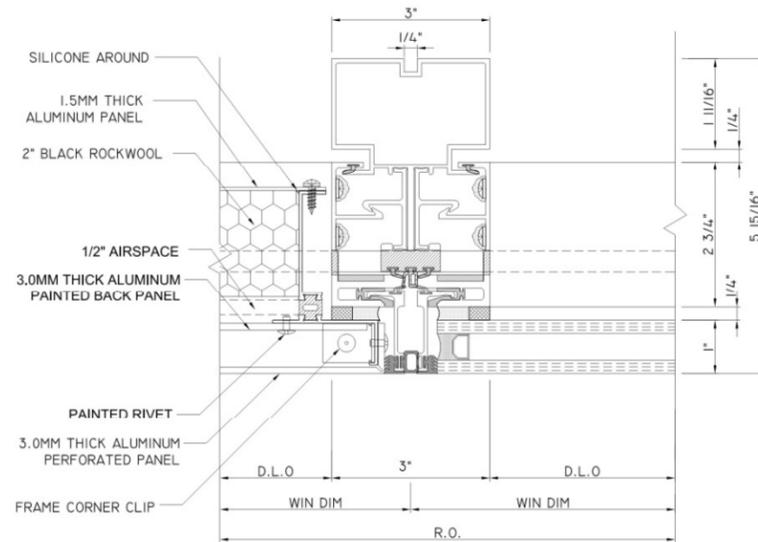
Proposed Exterior Materials

Materials:

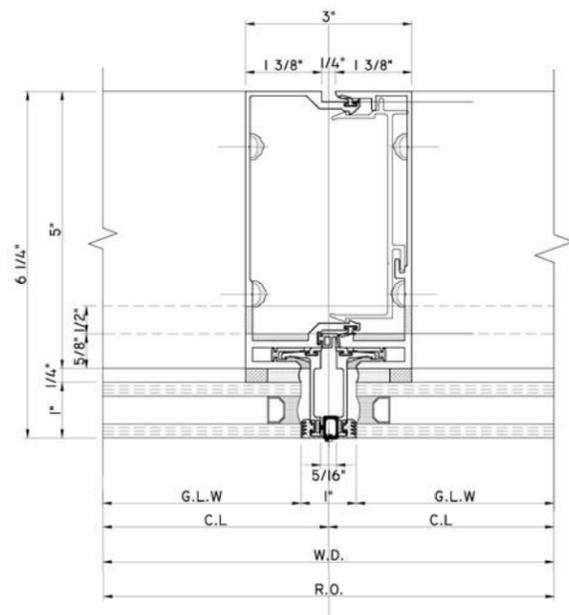
Perforated panel to metal panel, glass to perforated panel, glass to glass, glass corner & slab edge details



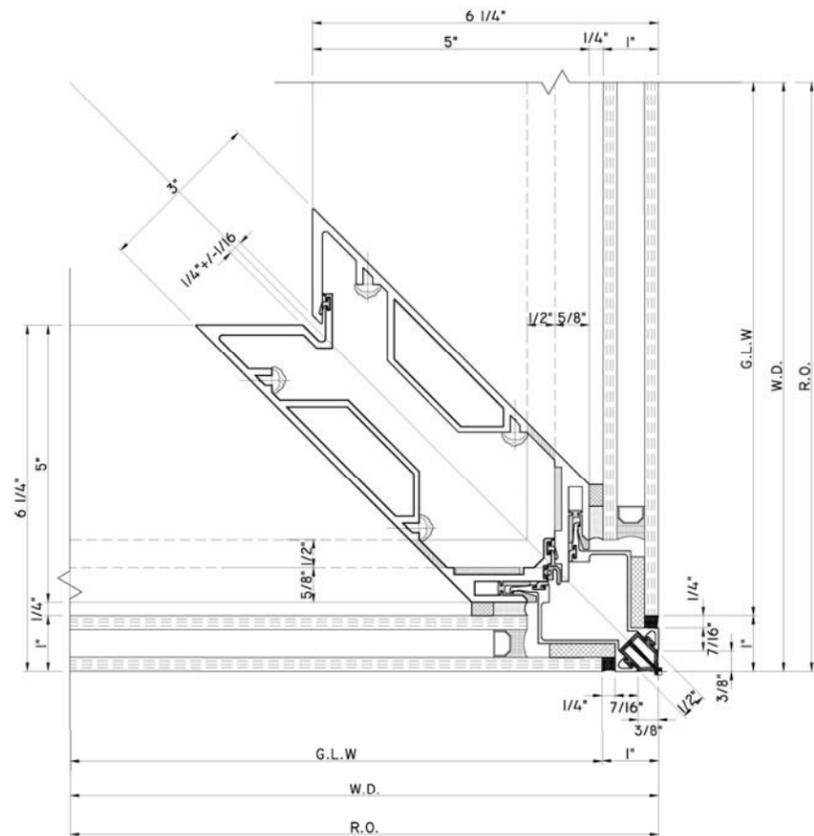
VERTICAL MULLION @ PANEL JAMB
SCALE:FULL



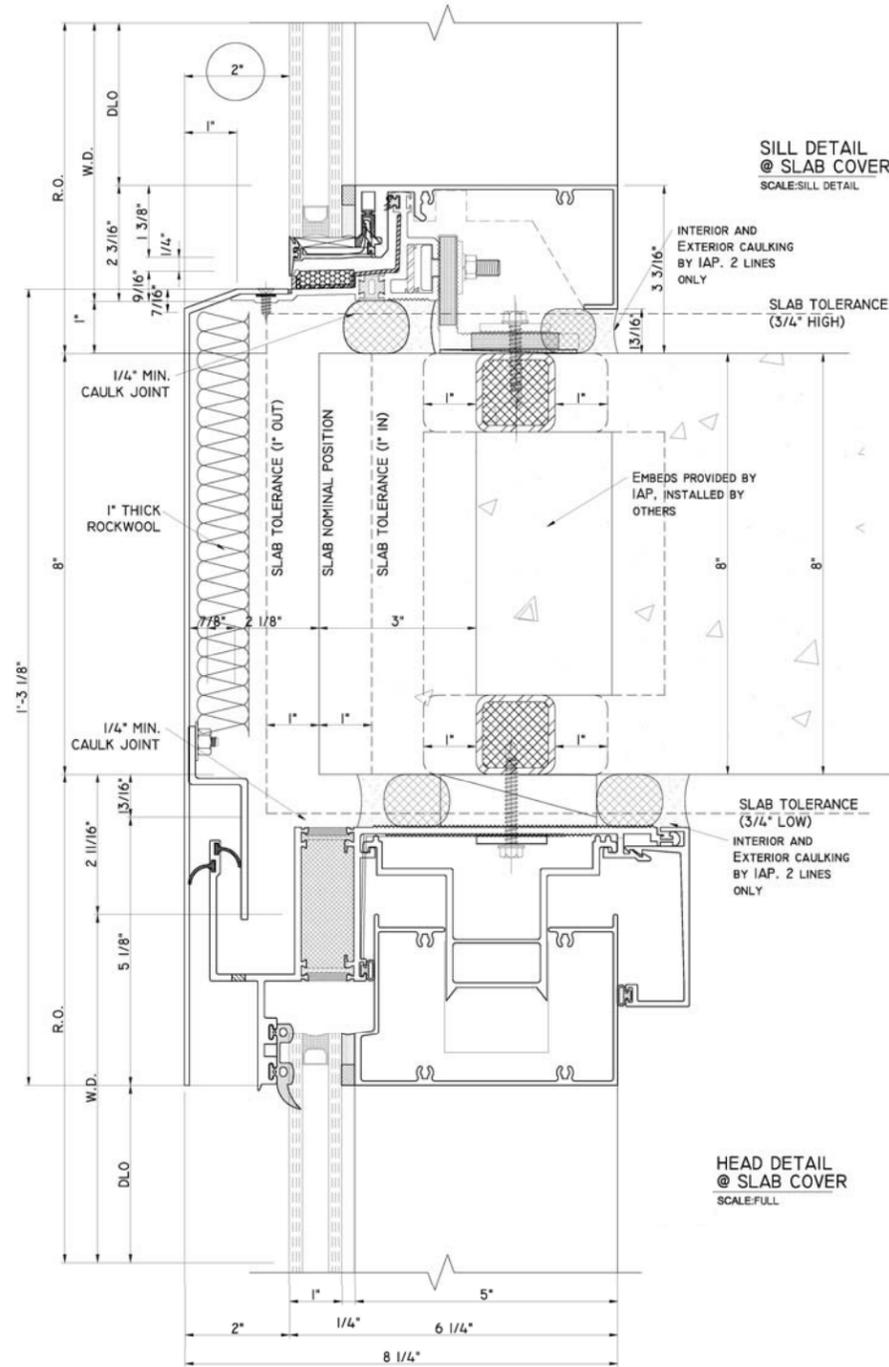
VERTICAL MULLION @ PANEL TO FIX
SCALE:FULL



TYPICAL MULLION
SCALE:FULL



90° CORNER MULLION
SCALE:FULL



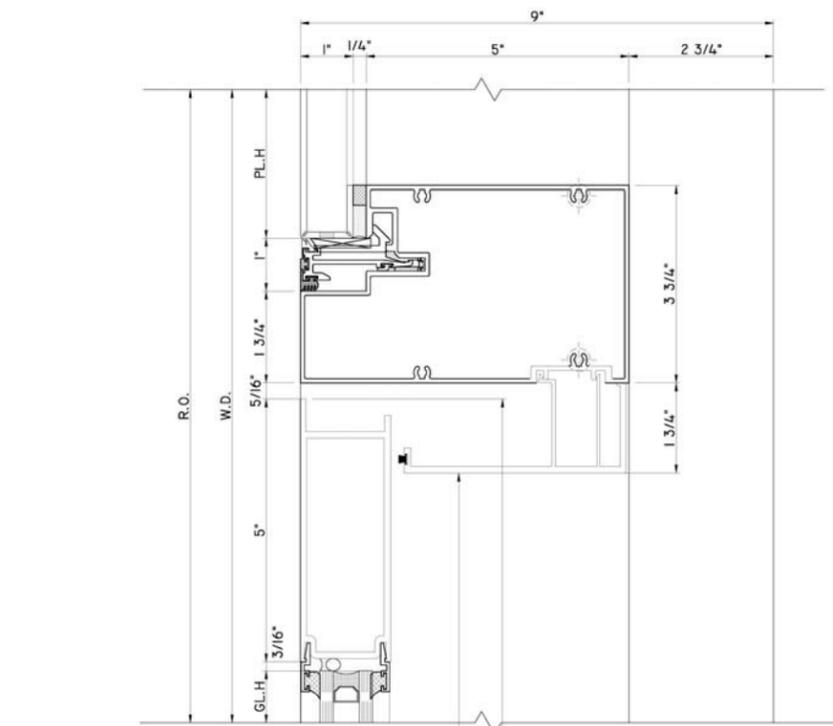
HEAD DETAIL @ SLAB COVER
SCALE:FULL

IAP Enclosure Systems, LLC
1436 west randolph Street
Suite 2W
Chicago, Illinois 60607

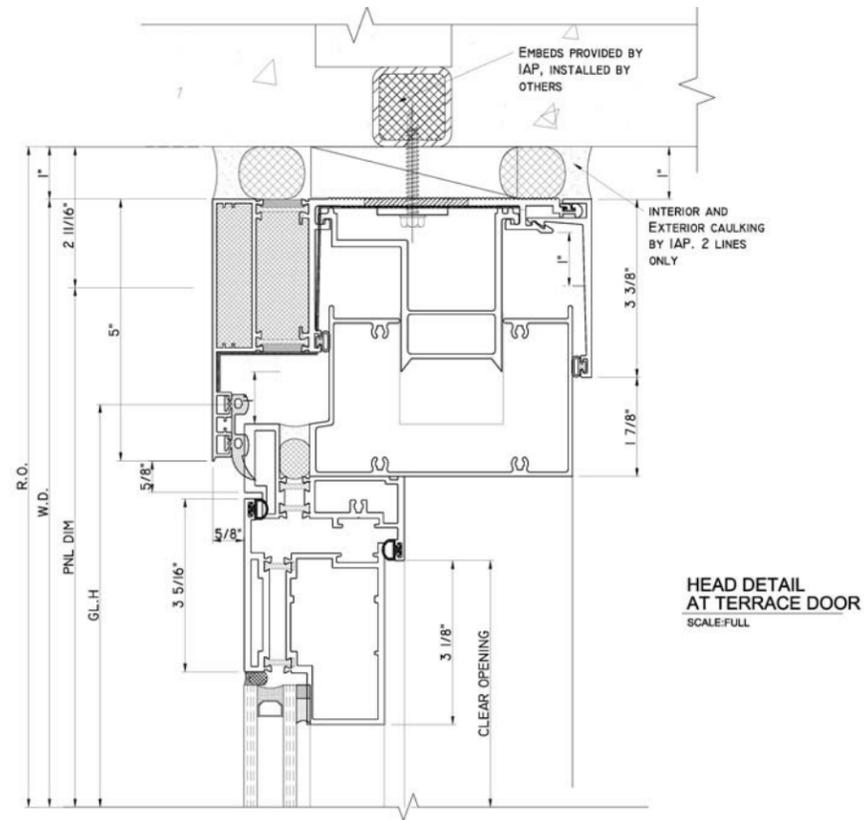
Proposed Exterior Materials

Materials:

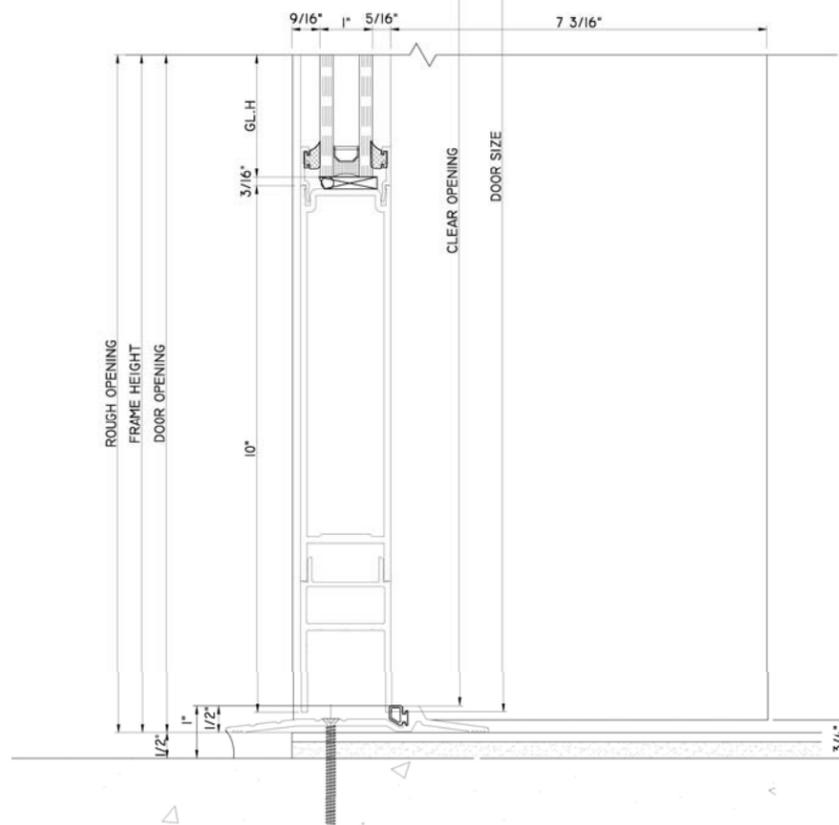
Door details, typical



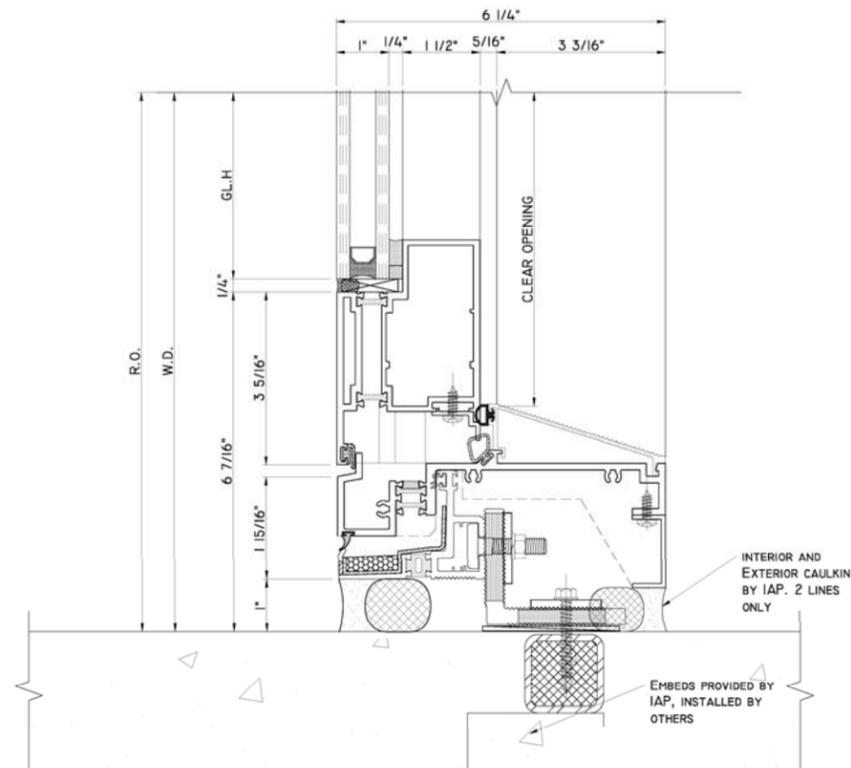
INT HORIZONTAL
FIX TO DOOR
SCALE: FULL



HEAD DETAIL
AT TERRACE DOOR
SCALE: FULL



SILL DETAIL
DOOR BOTTOM RAIL
SCALE: FULL



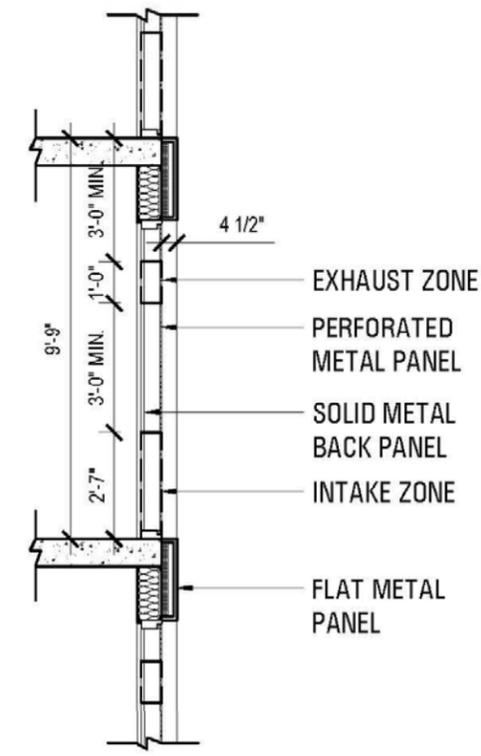
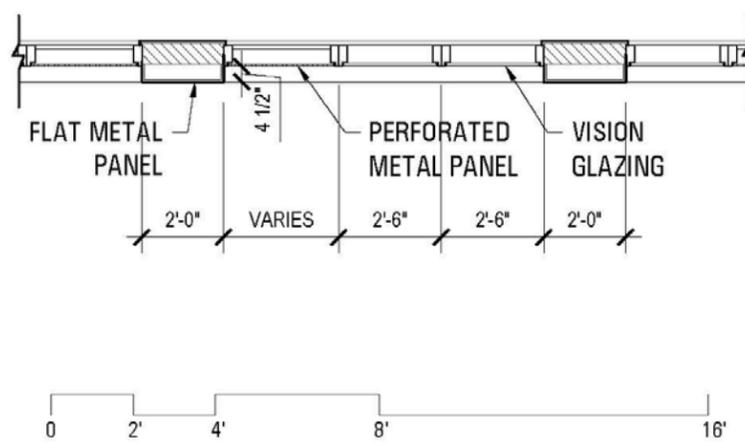
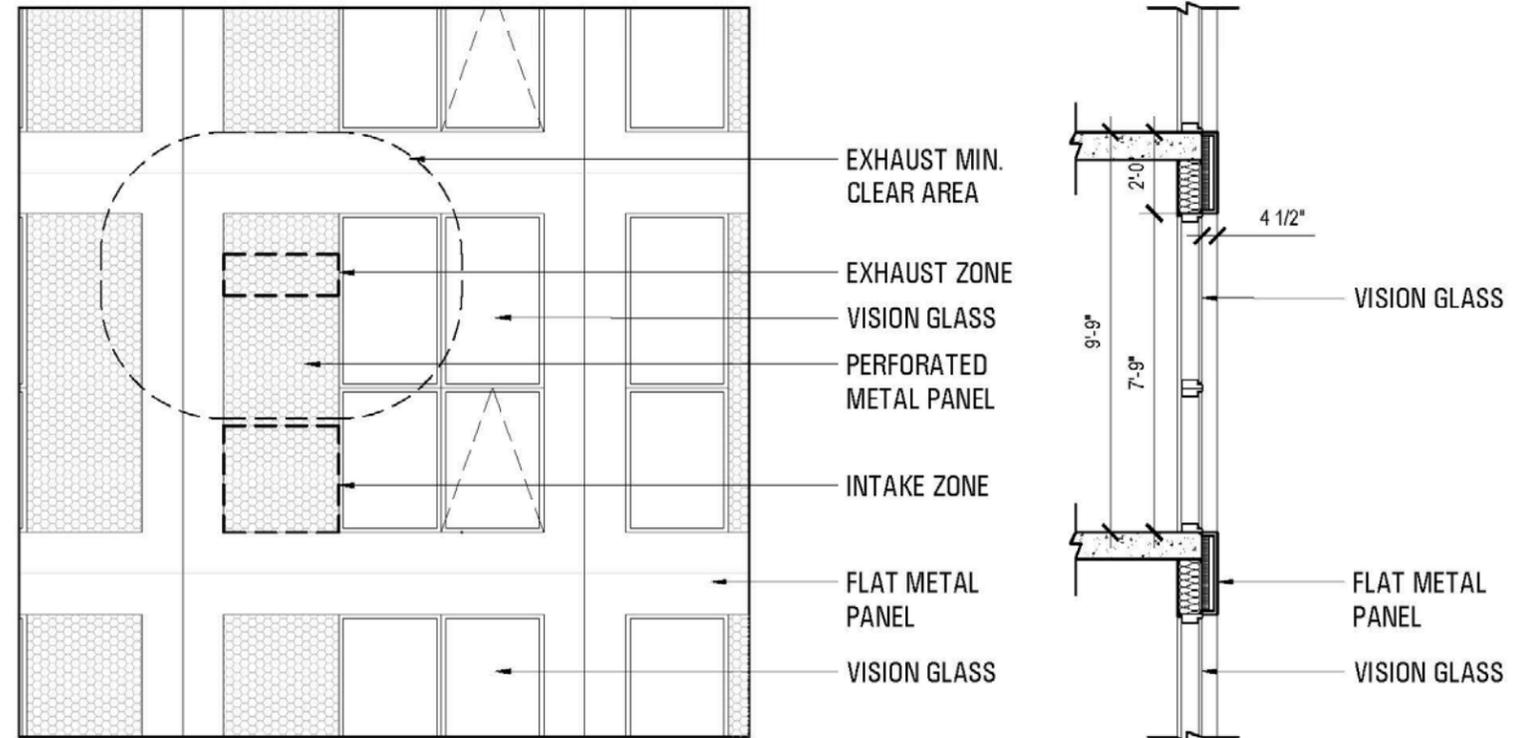
IAP Enclosure Systems, LLC
 1436 west randolph Street
 Suite 2W
 Chicago, Illinois 60607

Proposed Exterior Materials

Materials:

2. Glass: Punched windows with operable sections – recessed behind the frame

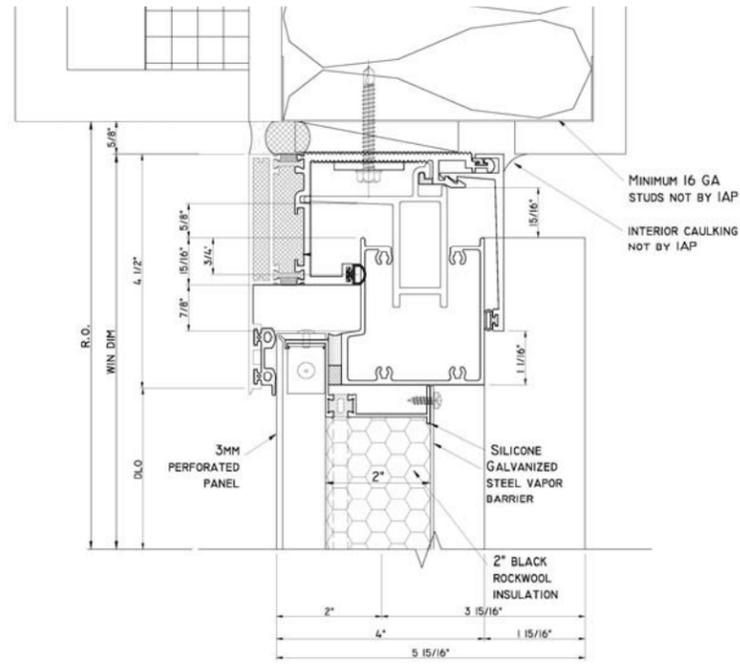
2



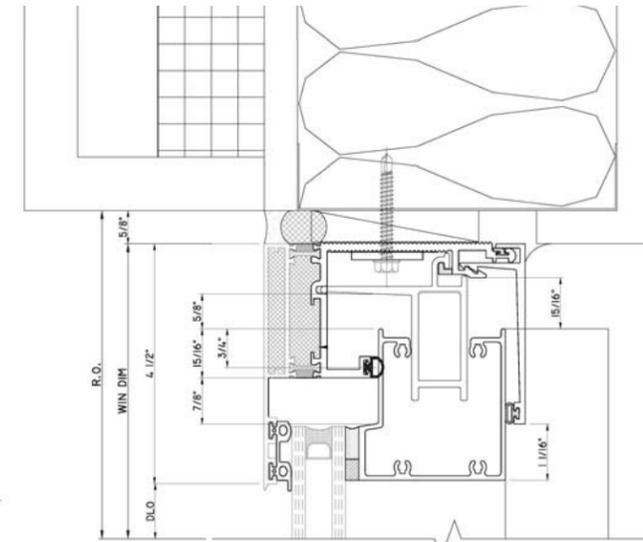
Proposed Exterior Materials

Materials:

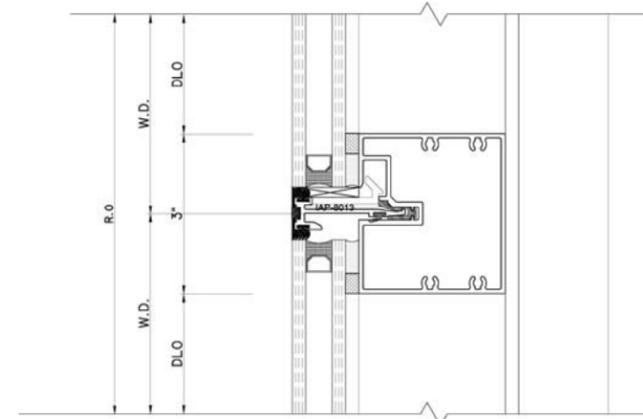
Punched windows and perforated panels inset from the metal panel frame details



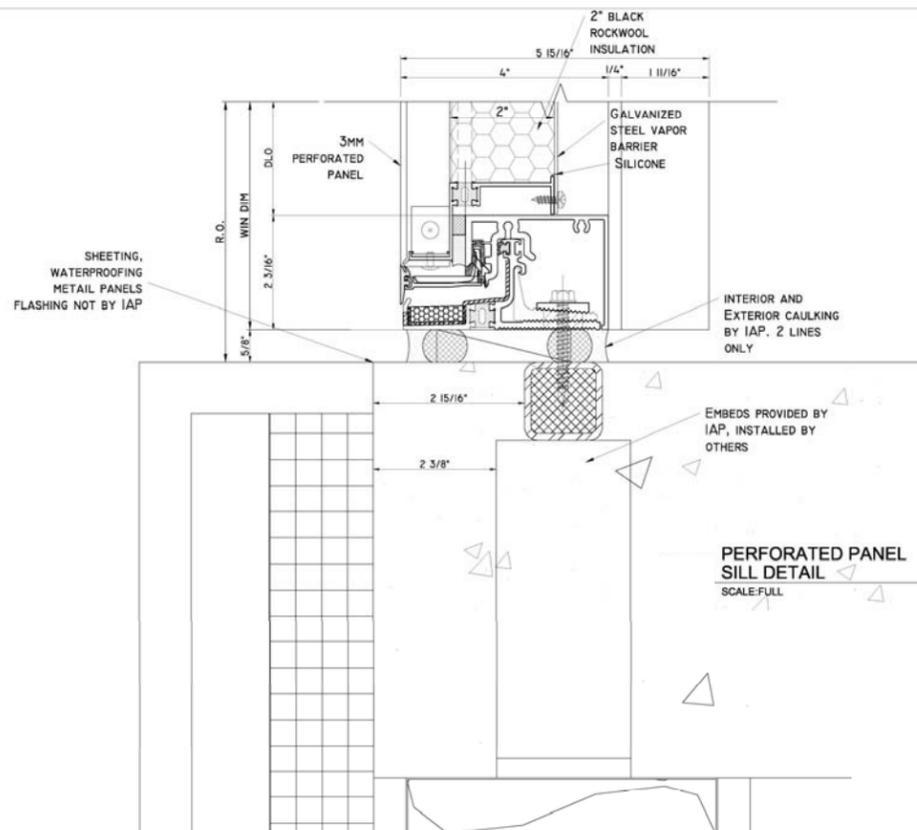
PERFORATED PANEL HEAD DETAIL
SCALE-FULL



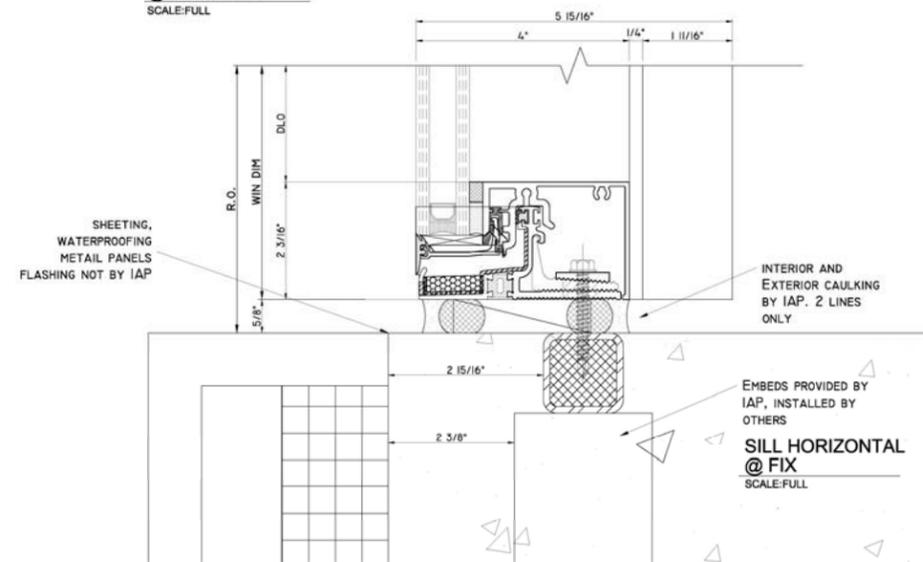
TYPICAL HEAD DETAIL
SCALE-FULL



INTR. HORIZONTAL @ FIX TO FIX
SCALE-FULL



PERFORATED PANEL SILL DETAIL
SCALE-FULL



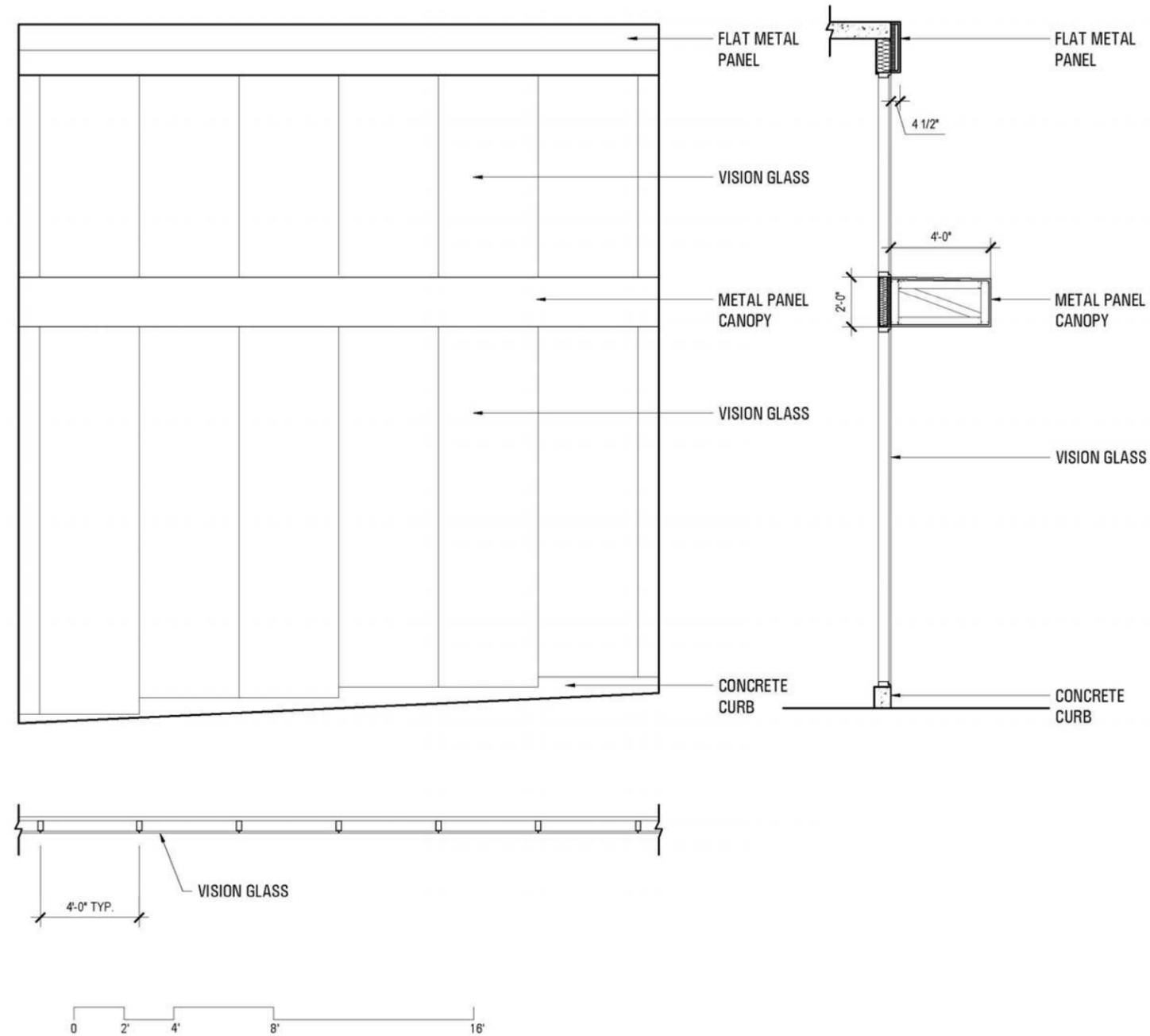
SILL HORIZONTAL @ FIX
SCALE-FULL

IAP Enclosure Systems, LLC
1436 west randolph Street
Suite 2W
Chicago, Illinois 60607

Typical Storefront/Entry

Materials:

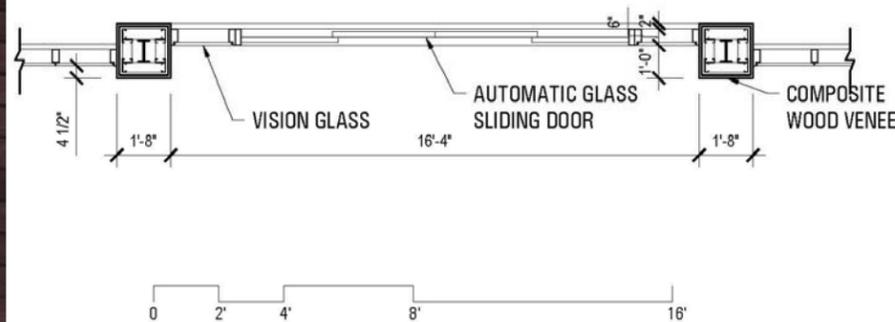
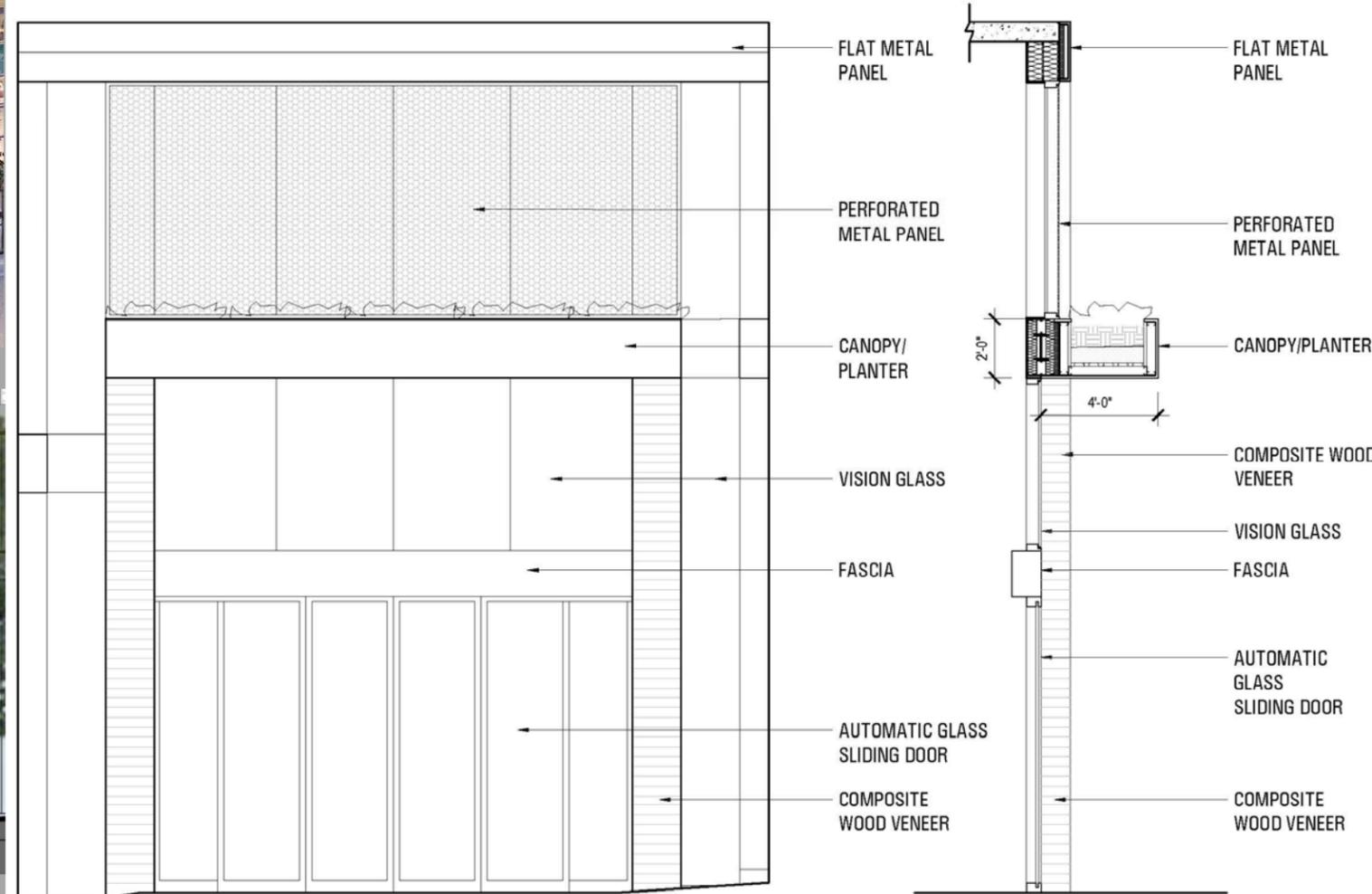
- 3. Glass: Storefront glazing – clear glass, structurally glazed
- 7. Metal Canopy – metal canopy 20 gauge metal to match the light grey metal frame (color b) of the glass box



Typical Storefront/Entry

Materials:

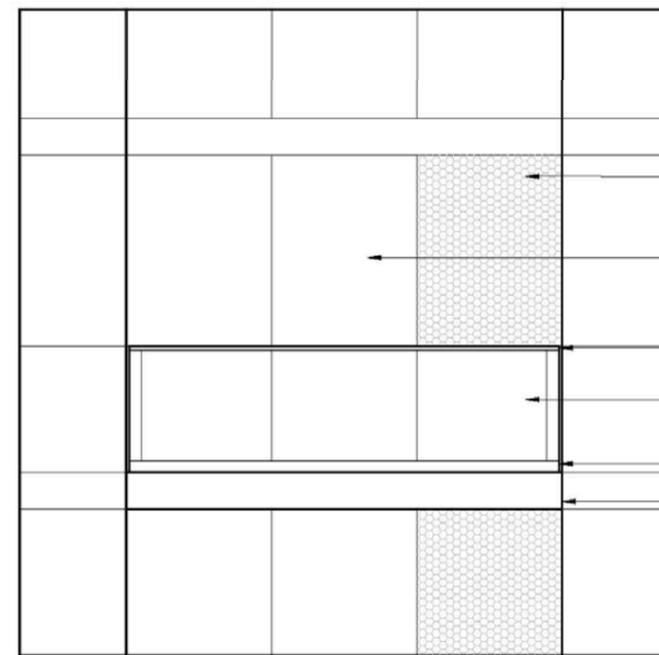
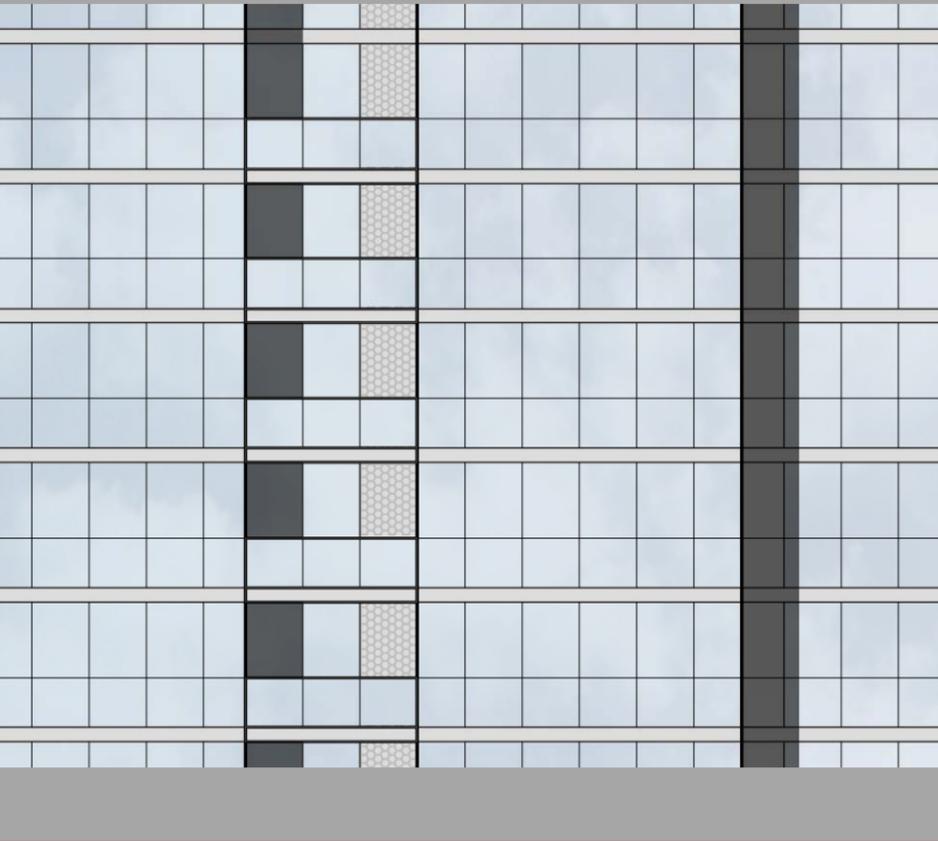
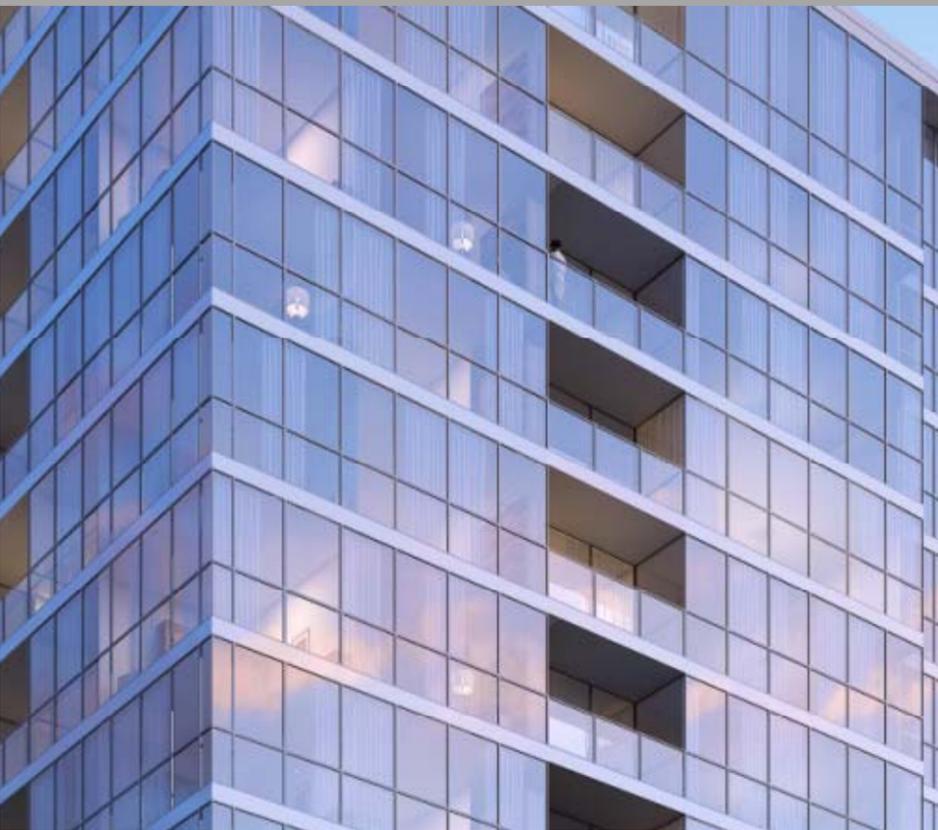
- 3. Glass: Storefront glazing – clear glass, structurally glazed
- 7. Metal Canopy – metal clad canopy 20 gauge to match the light grey metal frame of the glass box. Color b. Canopy to contain planting at the entrances to the grocery store. These canopies will be maintained by the tenant – a signature feature of the grocery chain.
- 9. Composite wood veneer columns



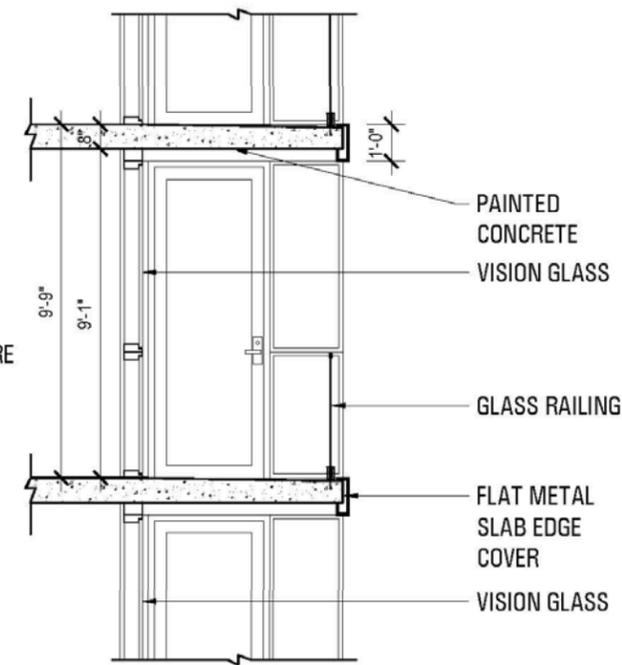
Proposed Balcony Details

Materials:

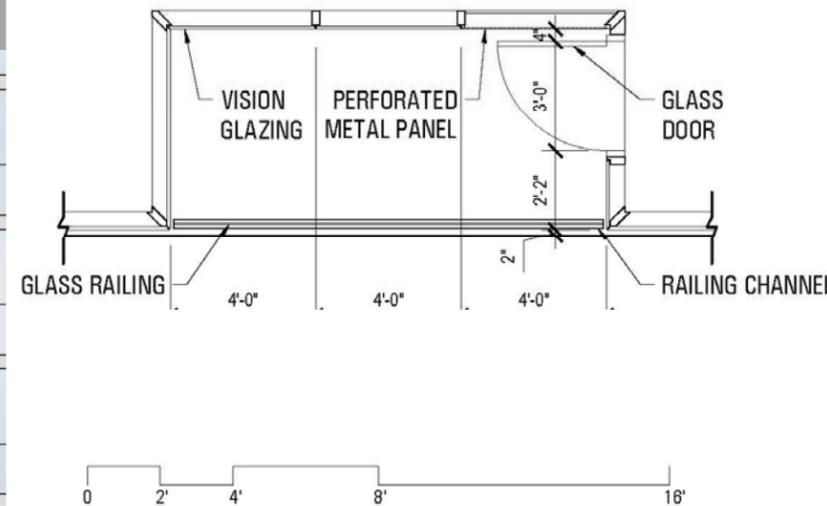
Glass railings by CRL ESR-3269



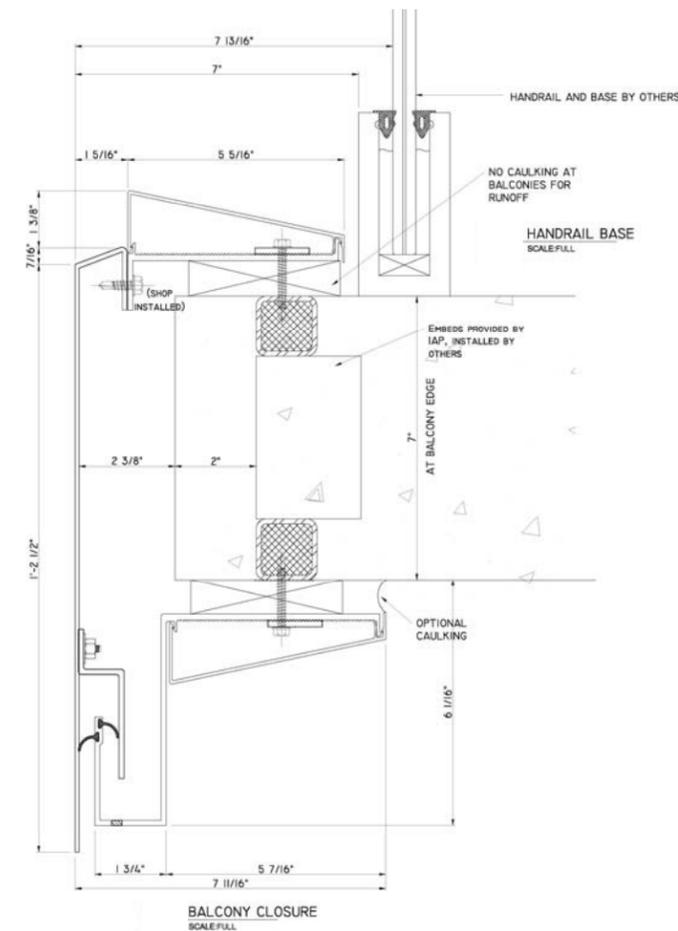
PERFORATED METAL PANEL
VISION GLASS
RAILING HARDWARE
GLASS RAILING
RAILING CHANNEL
FLAT METAL SLAB EDGE COVER



PAINTED CONCRETE
VISION GLASS
GLASS RAILING
FLAT METAL SLAB EDGE COVER
VISION GLASS



0 2' 4' 8' 16'

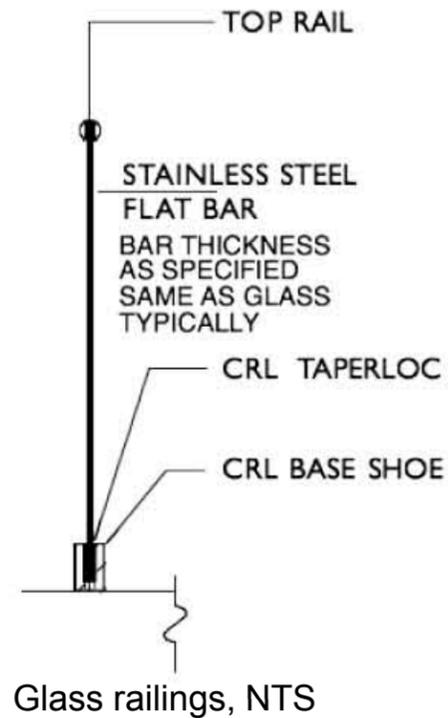
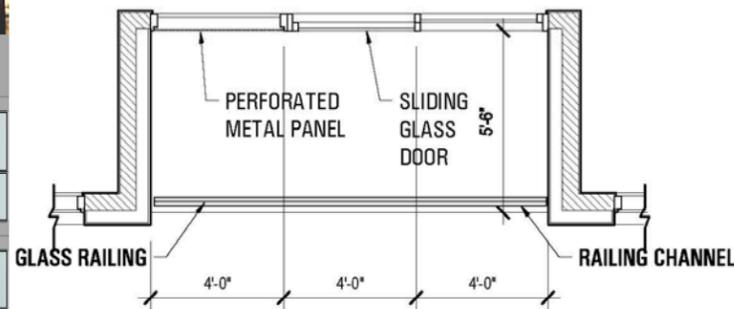
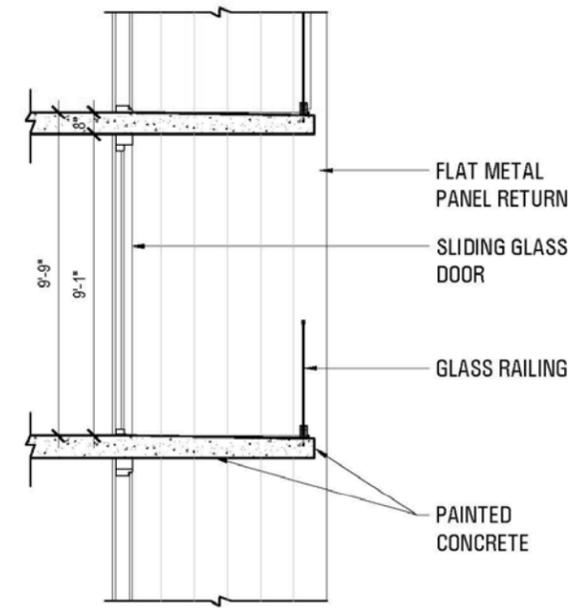
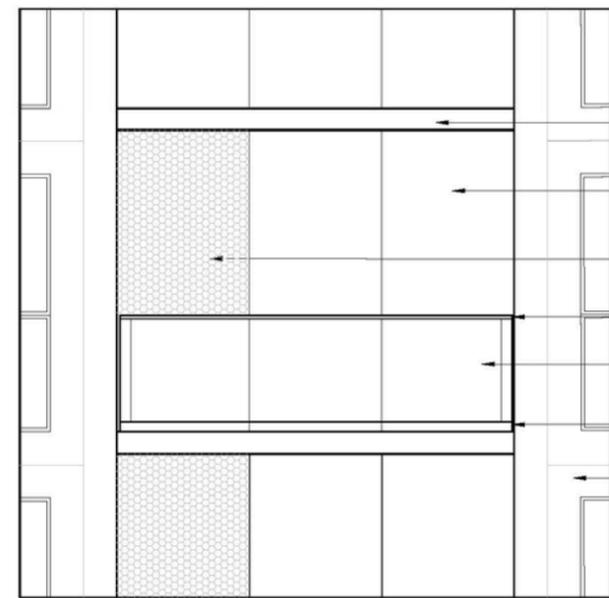


BALCONY CLOSURE SCALEFULL

Proposed Balcony Details

Materials:

Glass railings by CRL ESR-3269, or similar

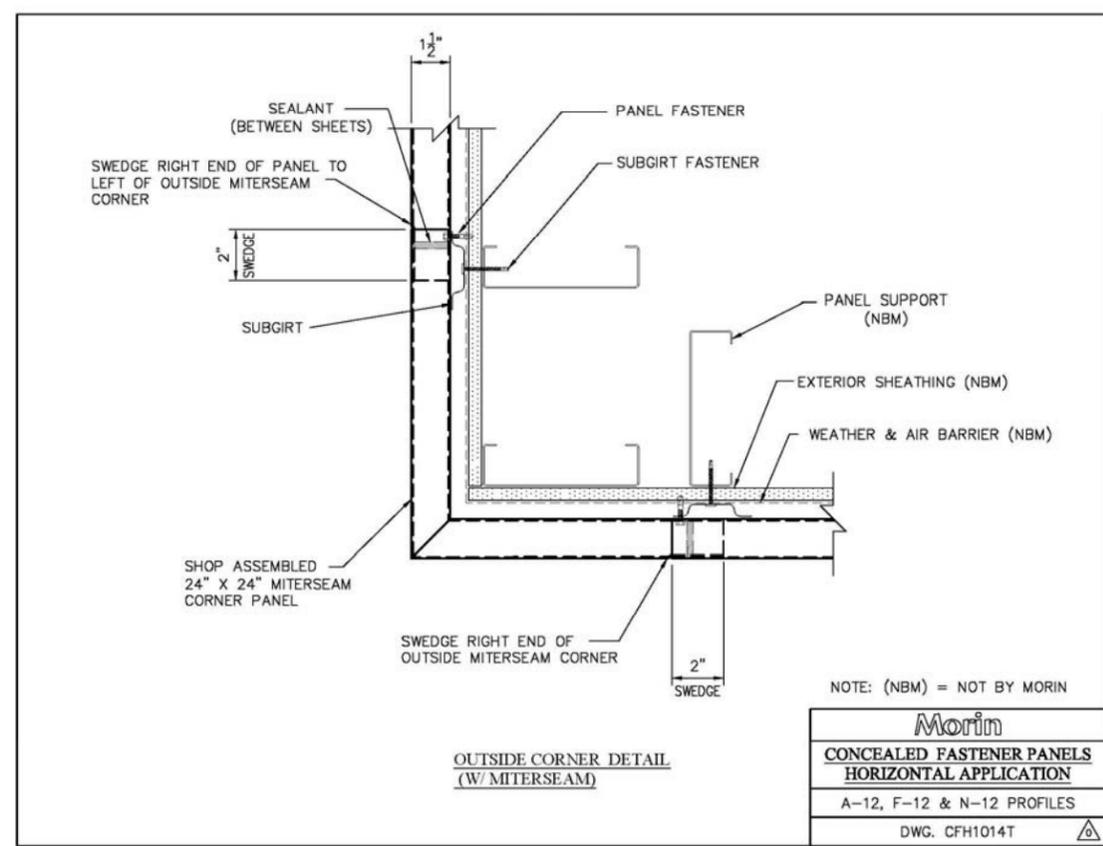
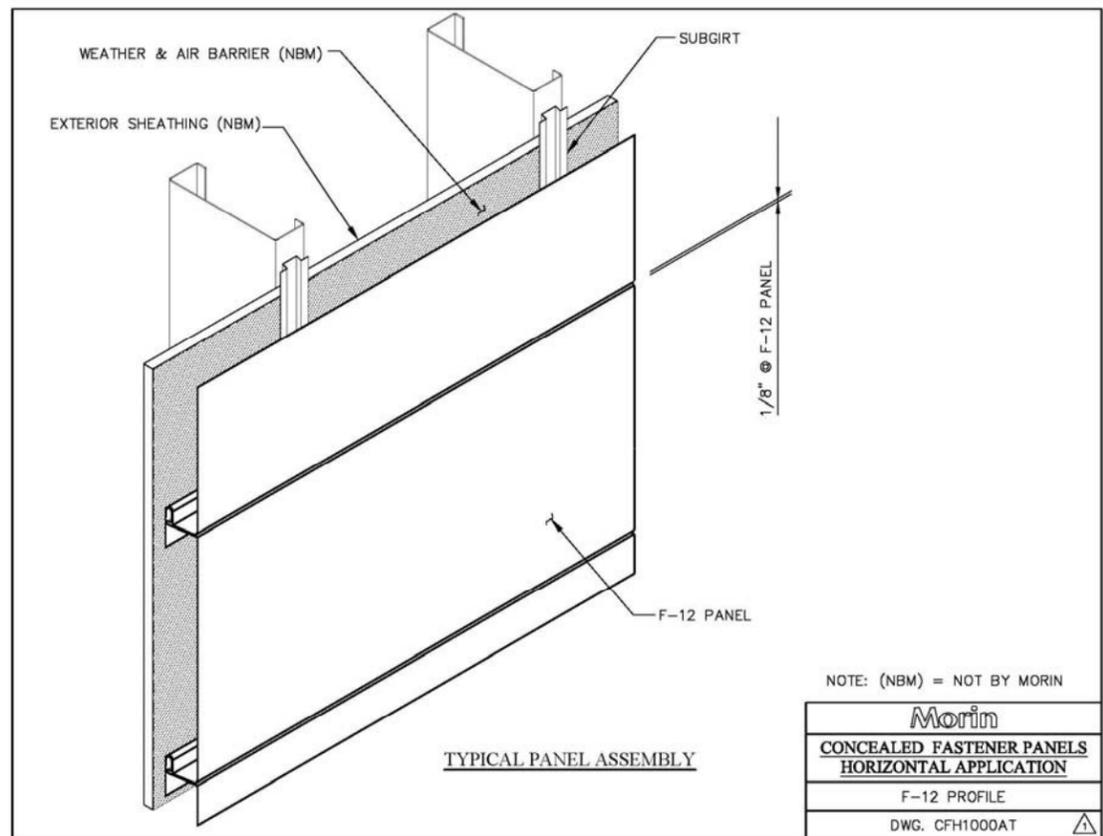
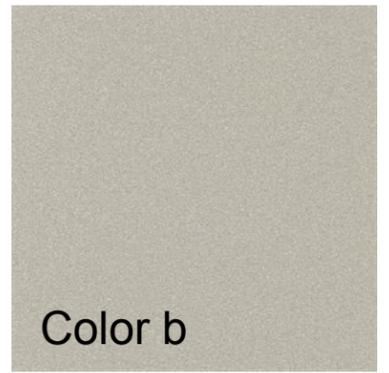
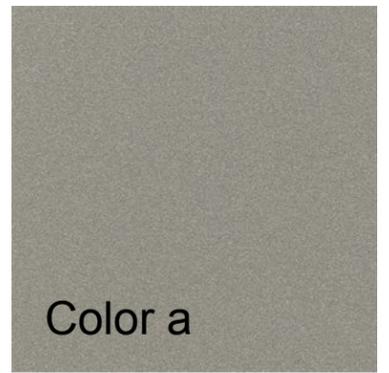
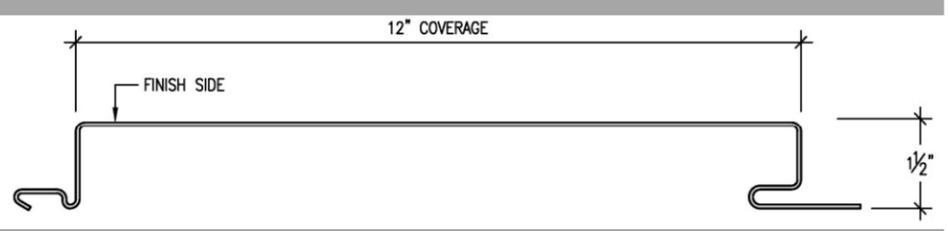


Proposed Exterior Materials

Materials:

4a. Metal Panel: Morin F-12, smooth metal panel frames the large glass box and is used to clad the 2-story townhomes is to be 20 gauge, 12" wide, unbacked panels with a minimal reveal. Sample provided to show shape and gauge. Color a.

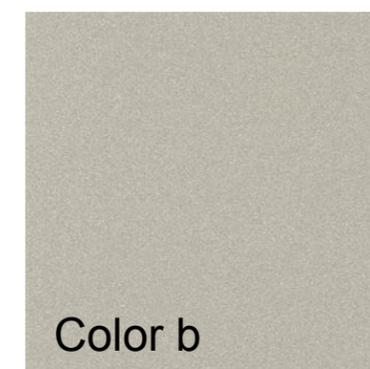
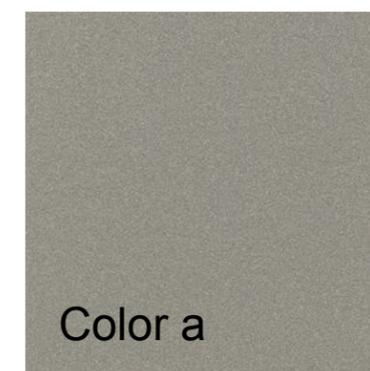
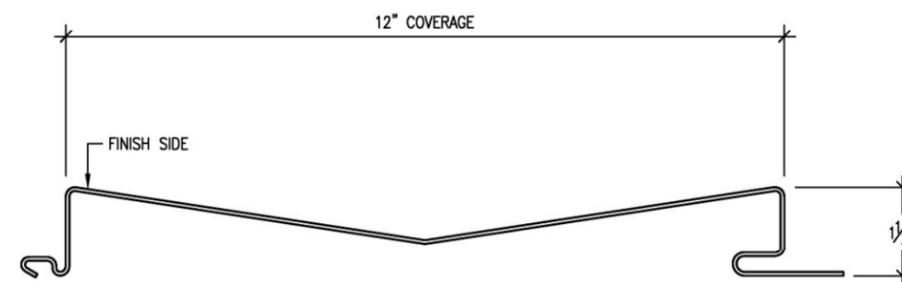
4b. Metal Panel: Morin F-12, smooth metal panel used throughout the framed portion to be 20 gauge, 12" wide, unbacked panels with a minimal reveal. Sample provided to show shape and gauge. Color b.



Proposed Exterior Materials

Materials:

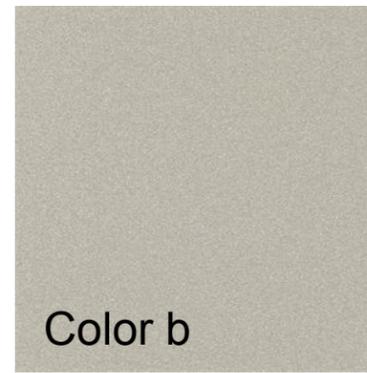
- 5a. Metal Panel (2): Morin W-12, Chevron metal panel, 20 gauge, 12" wide unbacked panels found along retail on 3rd & Montgomery with vision glass throughout. The panels will be vertically oriented (and as shown on the elevations). The sample provided is for shape, size and gauge. Color chips provided for color. Color b.
- 5b. The exact shape, color and gauge panel as 5a will have perforations added to the panel for garage venting and intake.



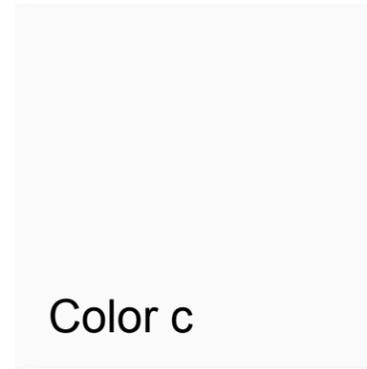
Proposed Exterior Materials

Materials:

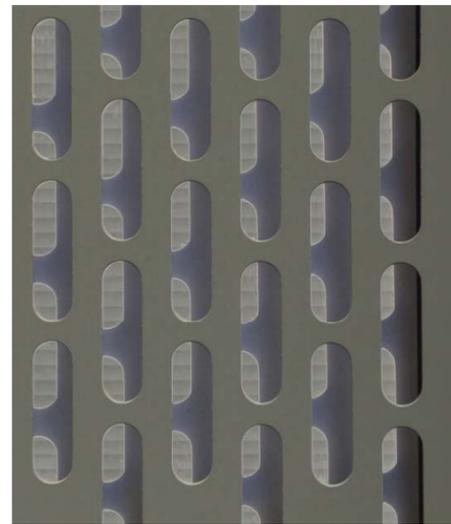
- Perforated Metal Panel: Perforated metal panels will be located in the recesses of the framed portion of the building as well as along the 2-story townhomes. All intake and venting will occur in these locations or through the roof. The sample provided is for gauge and perforation pattern. Color chips provided for color. 6a will be color c. 6b will be color b.



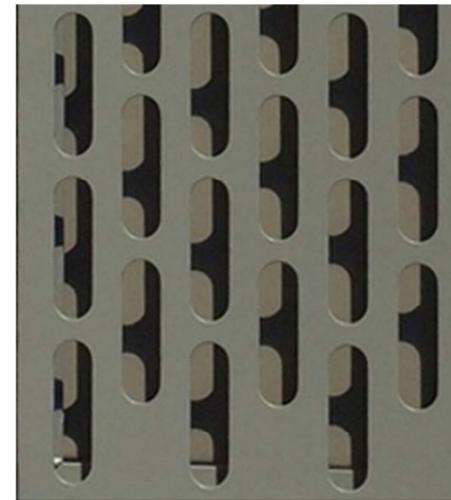
Color b



Color c



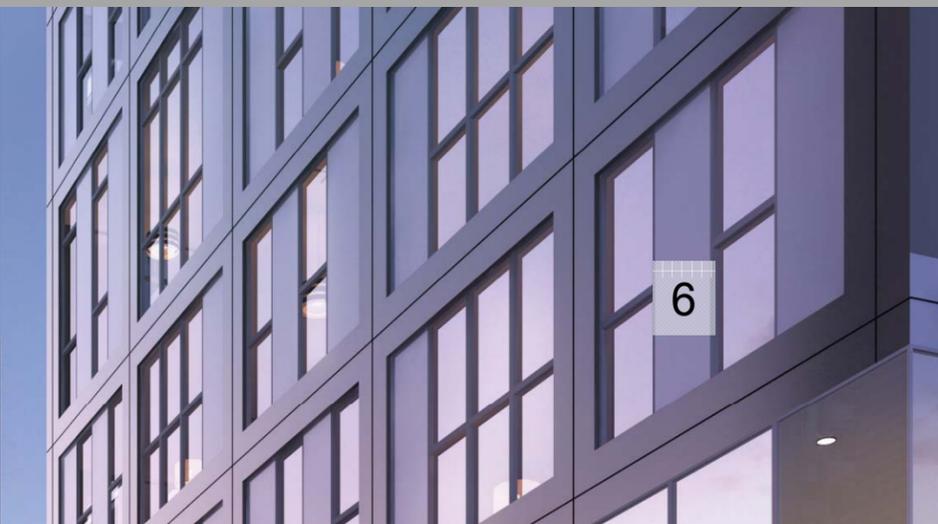
Perforated panel in front of a mechanical system - louver



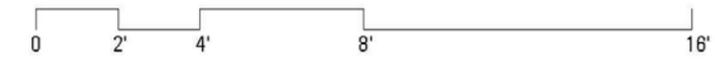
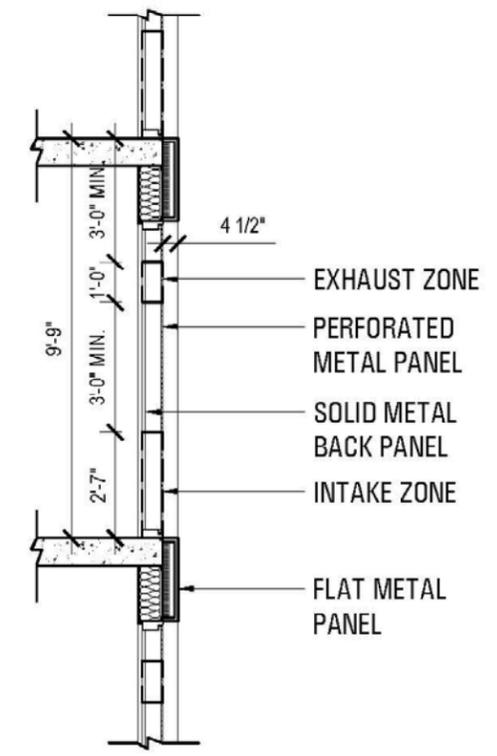
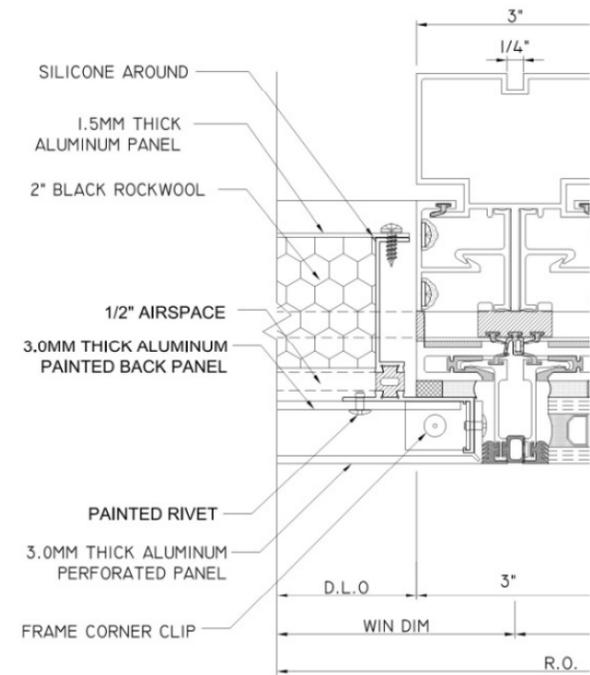
Perforated panel with a metal back pan painted to match. Color b or c



6



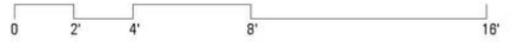
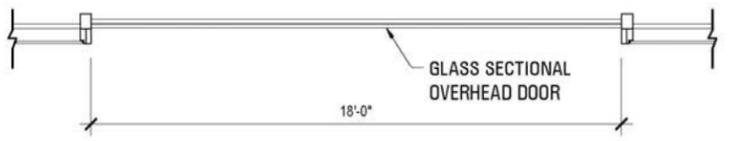
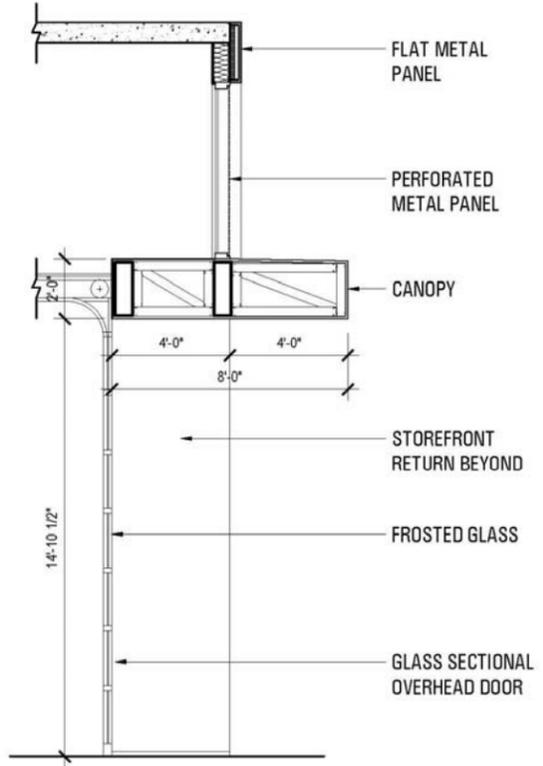
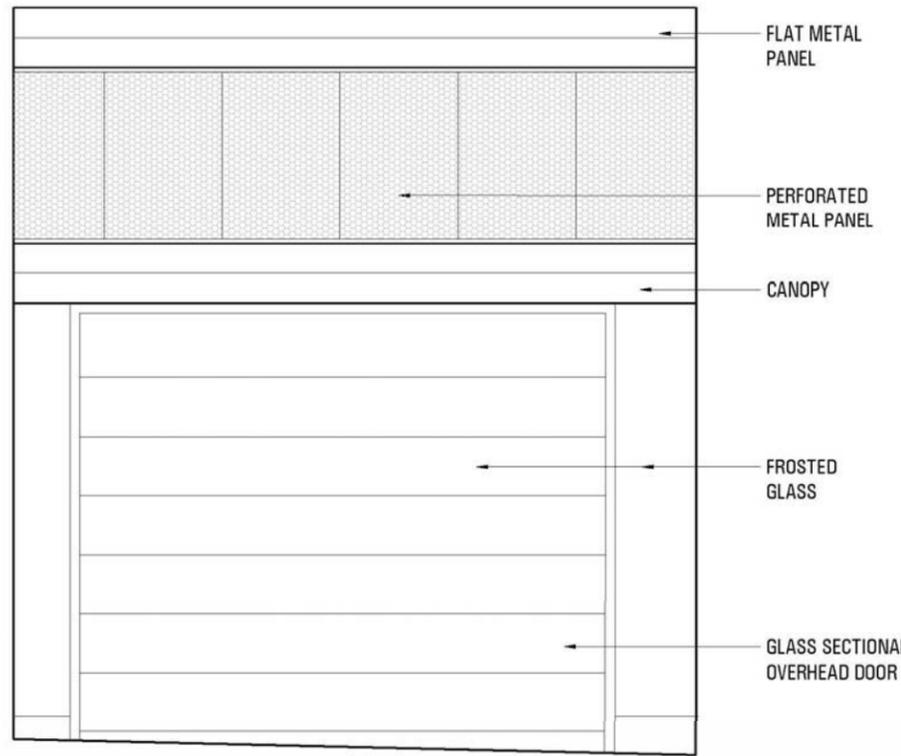
6



Proposed Exterior Materials

Materials:

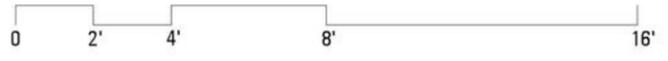
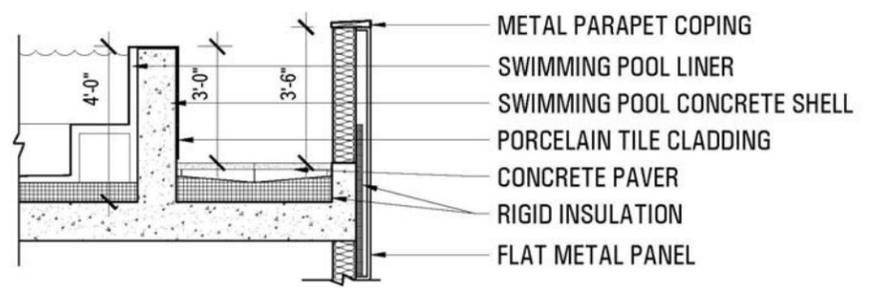
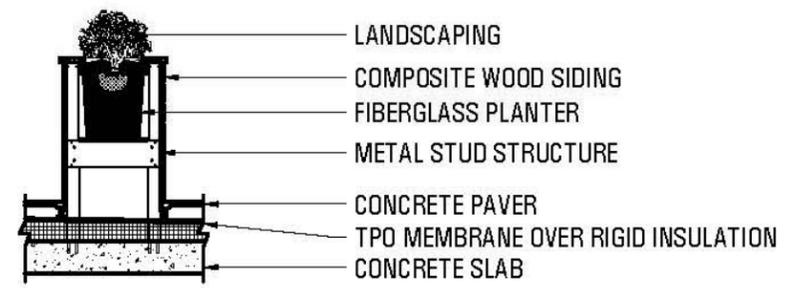
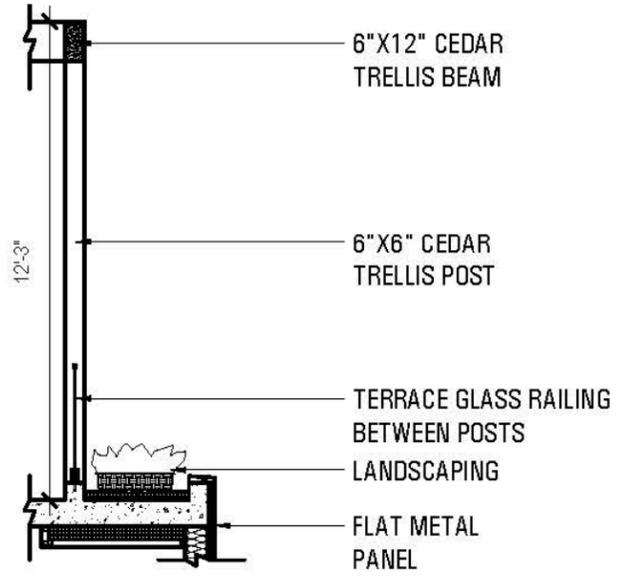
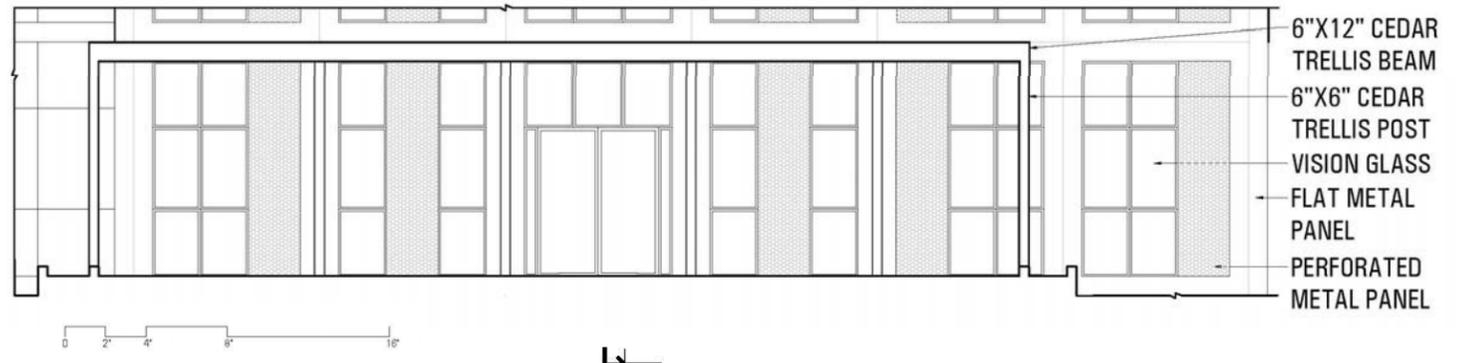
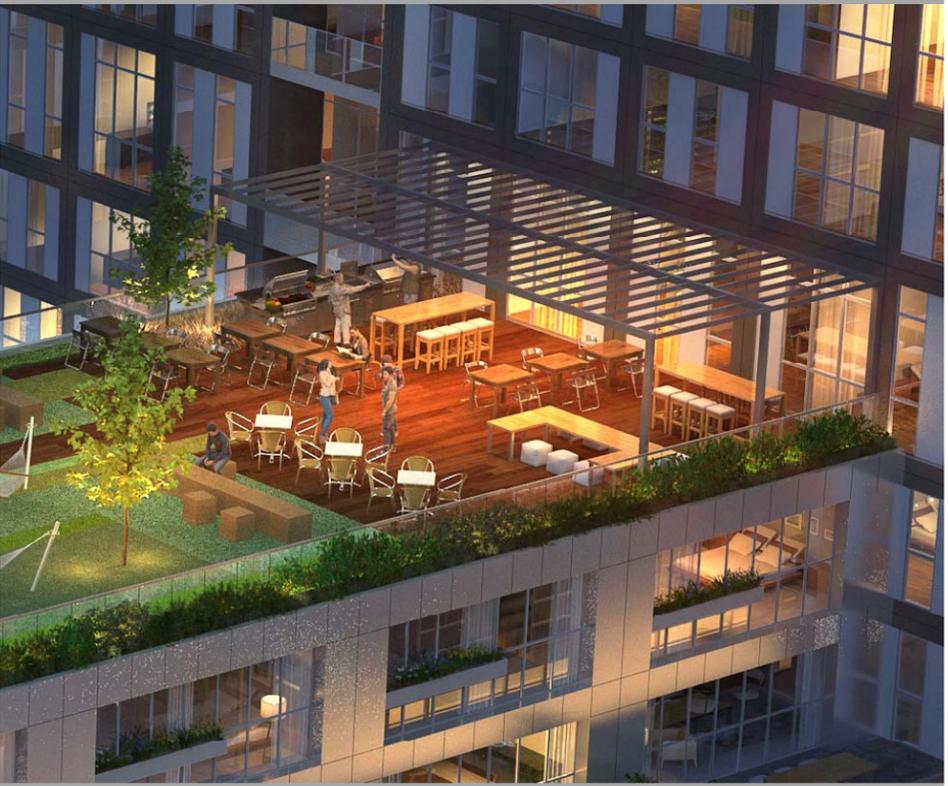
- 8. Glass & Aluminum Overhead door with frosted glass:
C.H.I. Overhead Doors, 3295 or equal



Proposed Exterior Materials

Materials:

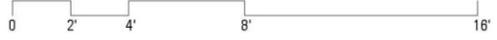
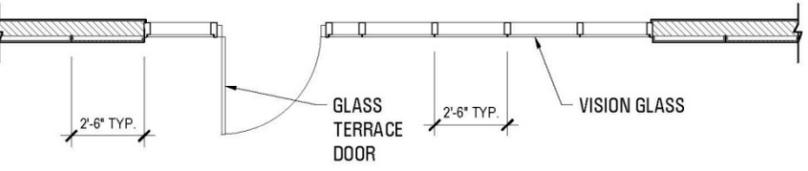
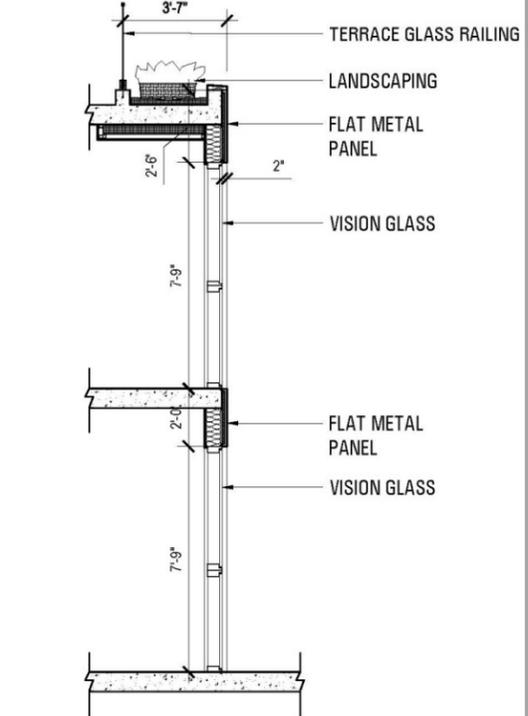
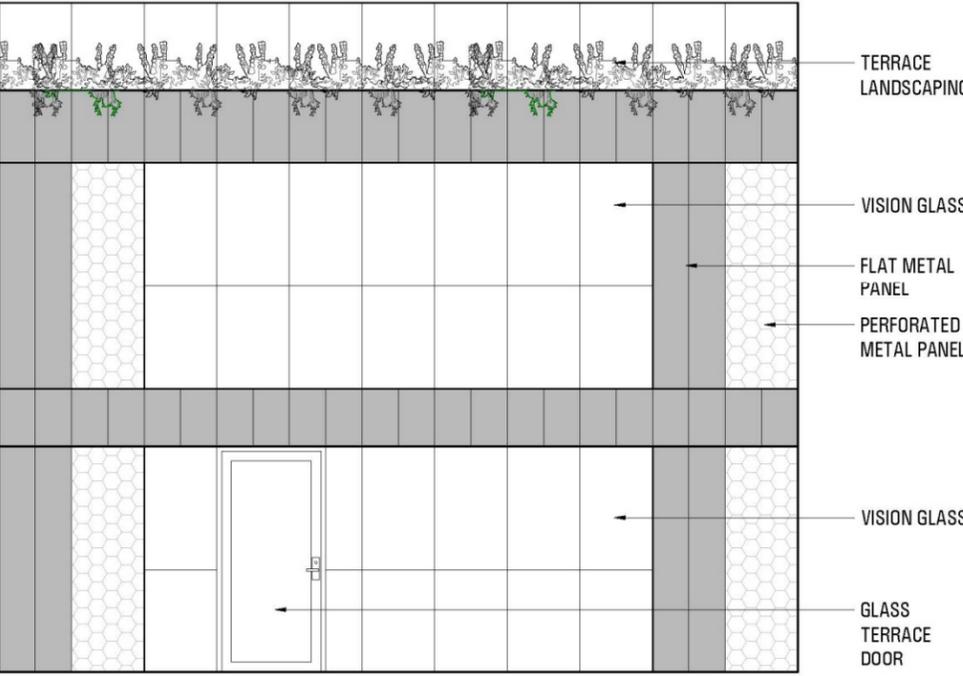
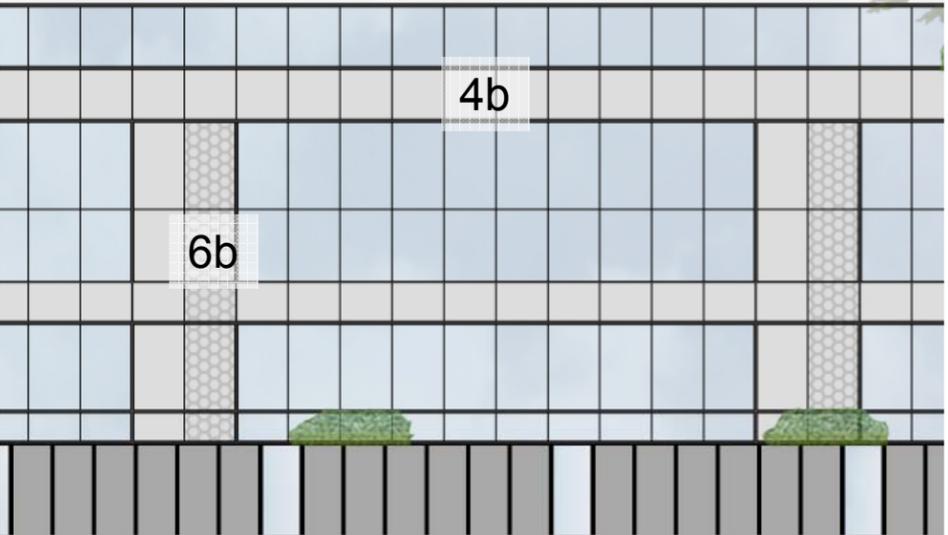
Terrace Trellis, rooftop planter & parapet details



Proposed Exterior Materials

Materials:

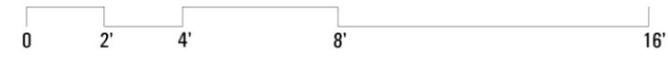
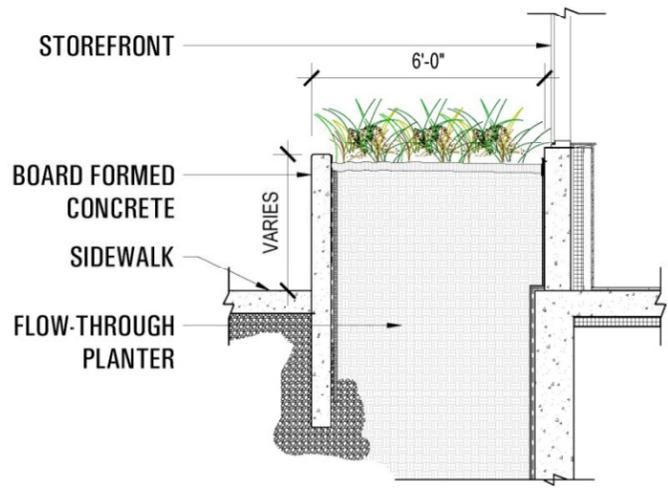
Two-story townhome surrounded by landscape. Flat metal panel to be 4b (color b) and perforated metal panel to be 6b (color b). Glass to match tower – structurally glazed ribbon windows.



Proposed Exterior Materials



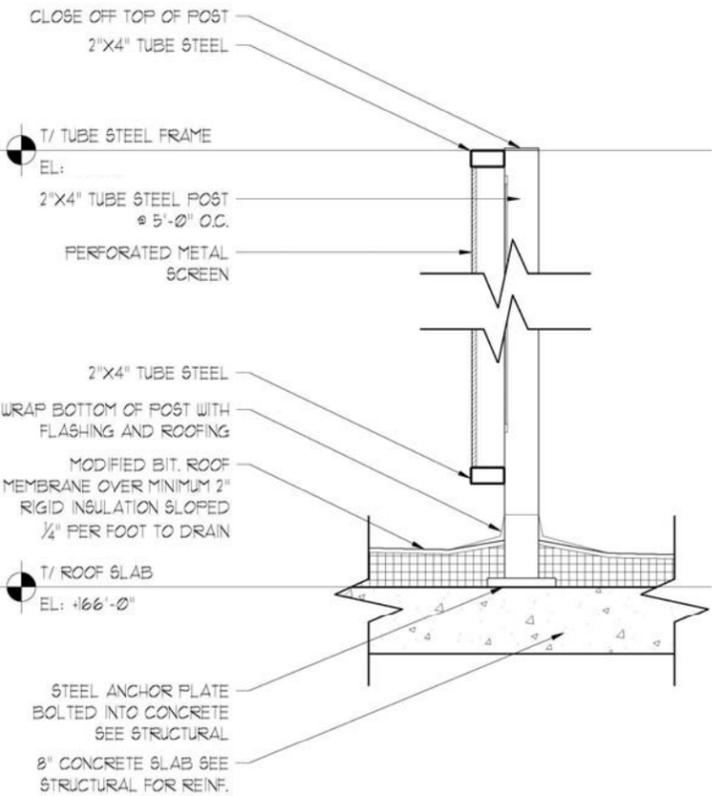
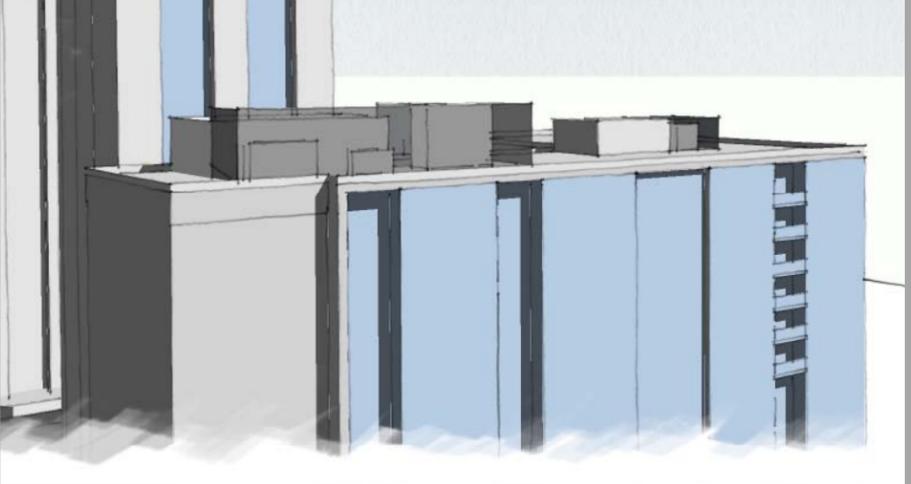
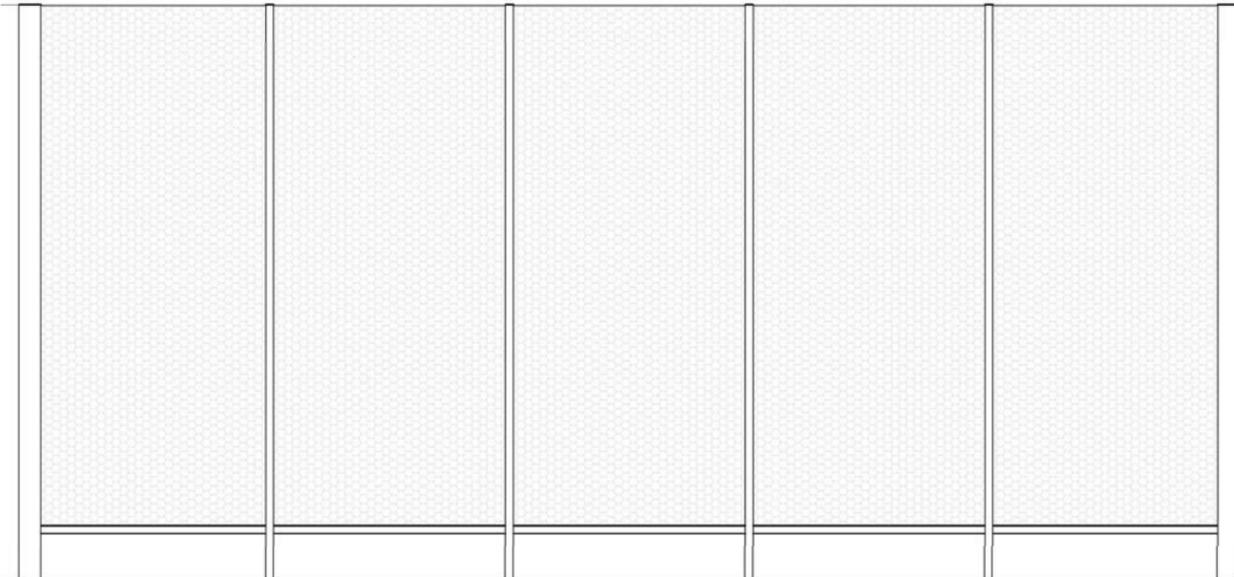
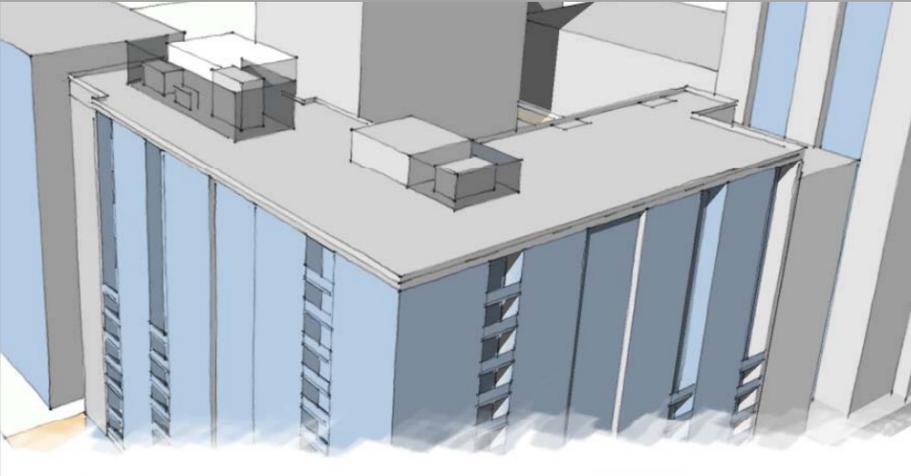
- Materials:
- 10. Vertical board formed concrete planter



Proposed Exterior Materials

Materials:

Roof top mechanical screen – to be perforated metal panel, color 6a



Proposed Exterior Materials

Materials:

Roof top mechanical equipment: MUA unit, Cooling tower & VRV

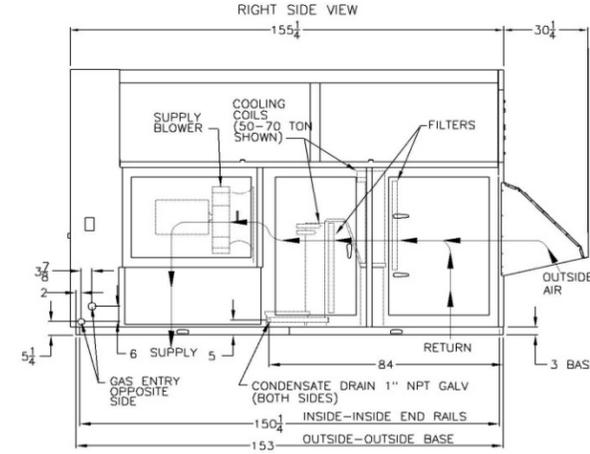
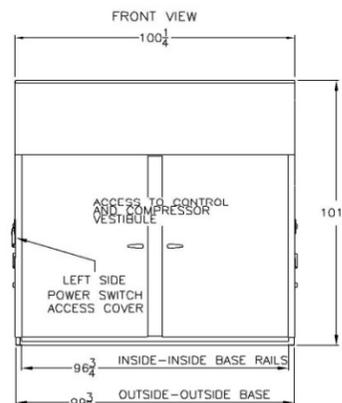
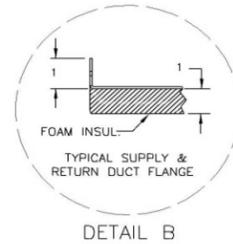
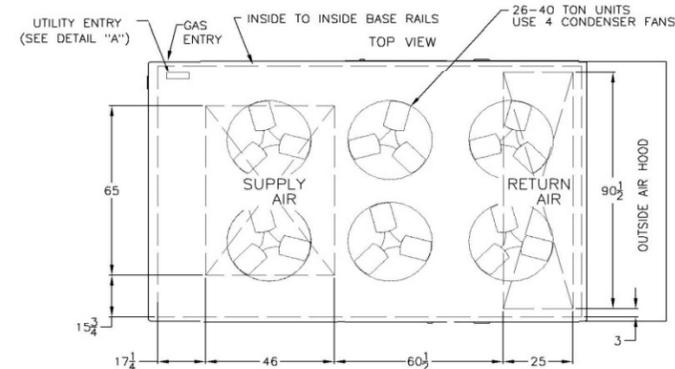
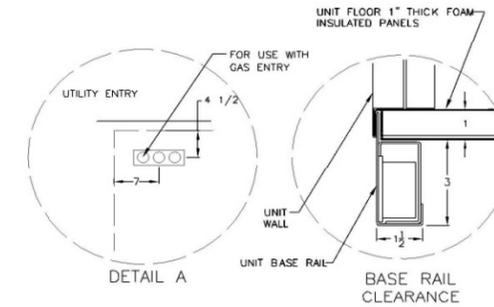
MUA unit

RN UNITS 26-70 TON

100% OUTSIDE AIR
MANUAL FRESH AIR
MOTORIZED OUTSIDE AIR

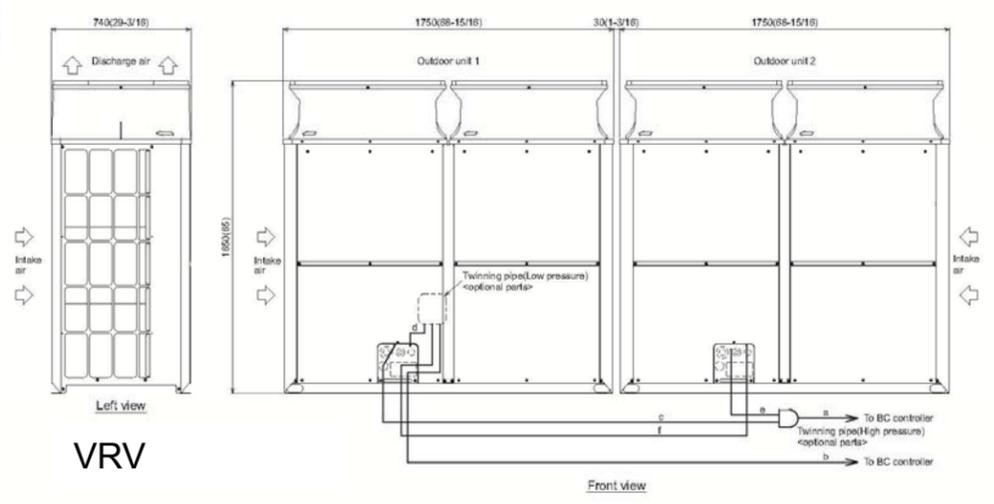
CLEARANCES	
LOCATION	UNIT SIZE
	26-70 TON
RETURN AIR BACK	48
VENT SIDE FRONT	48
LEFT SIDE	48
RIGHT SIDE	70
TOP	UNOBSTRUCTED

NOTE: RIGHT AND LEFT SIDE UNIT CLEARANCES ARE INTERCHANGEABLE ON UNITS THAT DO NOT HAVE THE HYDRONIC HEATING OPTION. (UNITS WITH HYDRONIC HEAT MUST HAVE 70" RIGHT SIDE ACCESS FOR SERVICE.)



RND-00016M NEW 02/11/14 JRL
Date Created/Modified: 9/9/2015 11:29:16 AM Using Ver 4.232 (OSN# 7522416)
Date Printed: 9/9/2015 2:50:52 PM

Outdoor Unit: PURY-P240TSLMU-A (BS) - DIMENSIONS



Unit model	P320	P320	P364	P320	P364	P364
Component unit model	P120	P120	P144	P120	P144	P144
Twining kit	C #19 (59/34)	C #19 (59/34)	C #22 (7/8)	C #19 (59/34)	C #22 (7/8)	C #22 (7/8)
High pressure	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)
Low pressure	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)
Outdoor unit	P320	P320	P364	P320	P364	P364
Component unit model	P158	P158	P158	P158	P158	P158
Twining kit	C #22 (7/8)	C #22 (7/8)	C #22 (7/8)	C #22 (7/8)	C #22 (7/8)	C #22 (7/8)
High pressure	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)
Low pressure	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)
Outdoor unit	P364	P364	P364	P364	P364	P364
Component unit model	P158	P158	P158	P158	P158	P158
Twining kit	C #22 (7/8)	C #22 (7/8)	C #22 (7/8)	C #22 (7/8)	C #22 (7/8)	C #22 (7/8)
High pressure	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)	D - (Note S)
Low pressure	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)	E - (Note S)
Outdoor unit	P364	P364	P364	P364	P364	P364

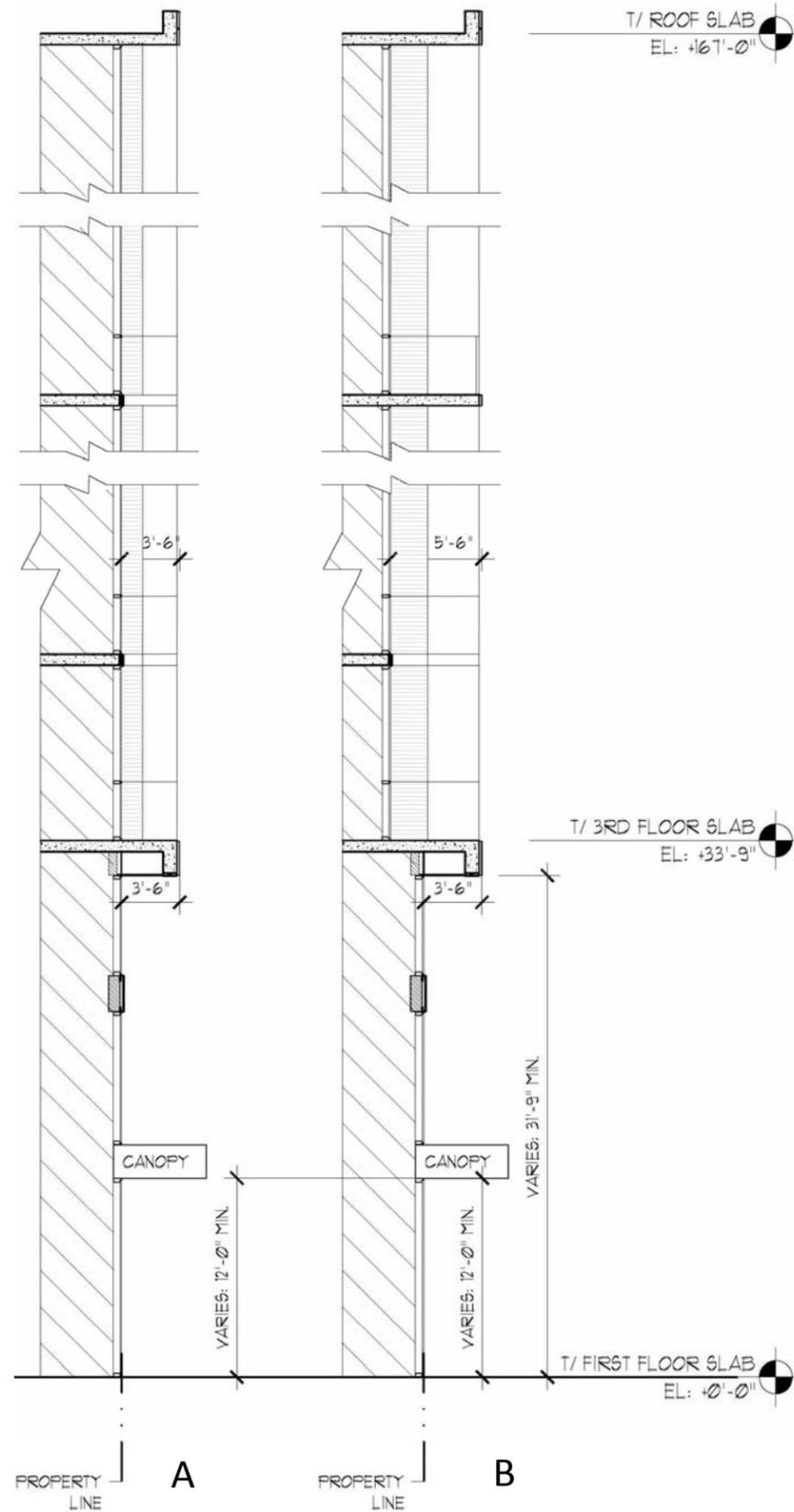
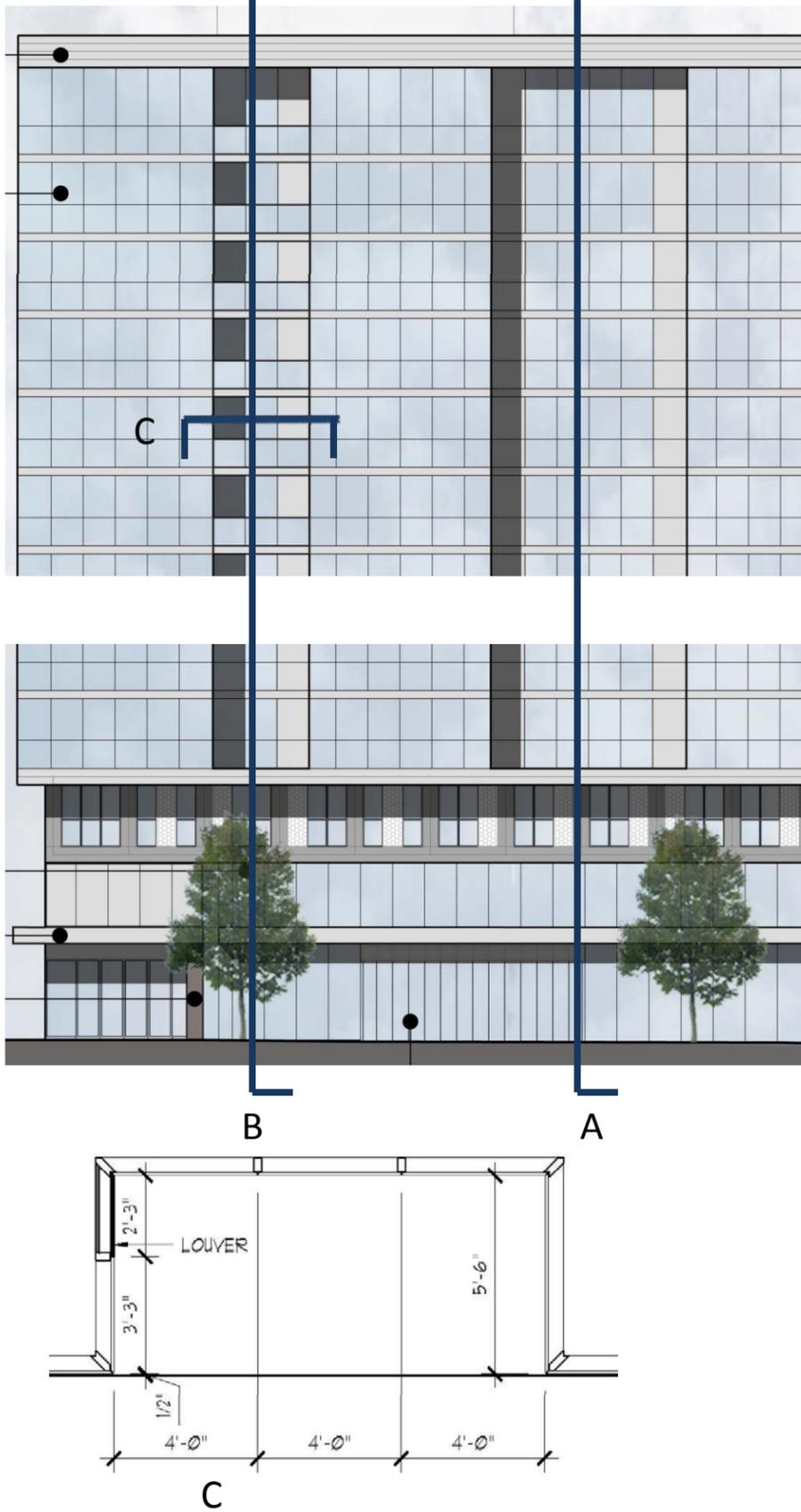
Cooling Tower

CLOSED CIRCUIT COOLER MODEL # **ESWB 9-23H18** SCALE **DWG. # WX809182406-DRA-HF** REV. **2/8/2015** SERIAL #

NOTES:
 1. (M) - FAN MOTOR LOCATION
 2. HEAVIEST SECTION IS COIL SECTION
 3. MPT DENOTES MALE PIPE THREAD
 4. FPT DENOTES FEMALE PIPE THREAD
 5. MAKE-UP WATER PRESSURE: 20 psi (137 kPa) MIN, 50 psi (344 kPa) MAX
 6. UNIT WEIGHT DOES NOT INCLUDE ACCESSORIES (SEE ACCESSORY DRAWING)
 7. DIMENSIONS LISTED AS FOLLOWS: ENGLISH IN [] METRIC (mm) [] APPROXIMATE DIMENSIONS DO NOT USE FOR PRE-FABRICATION OF CONNECTING PIPING.

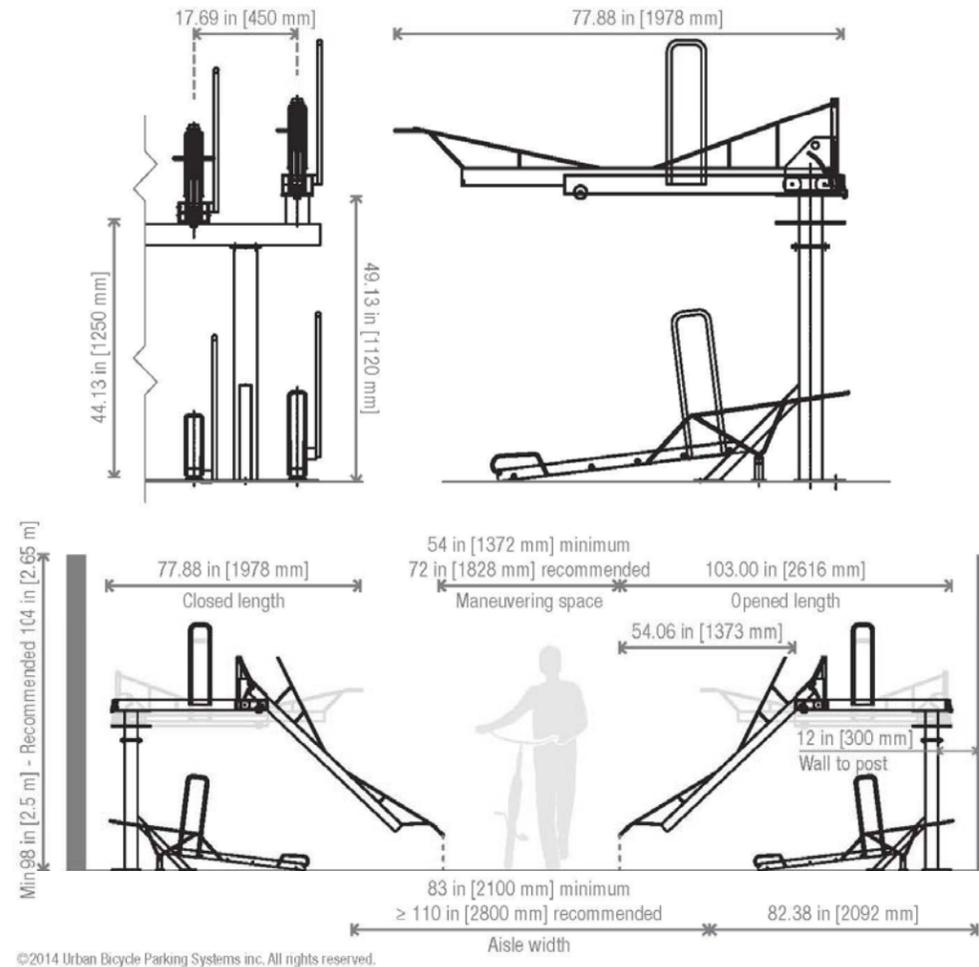
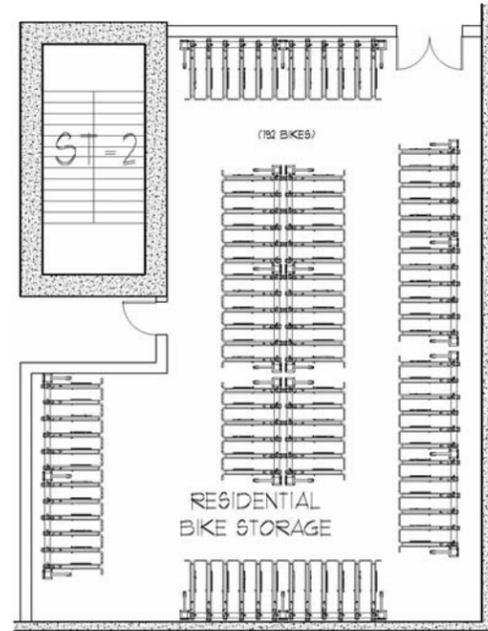
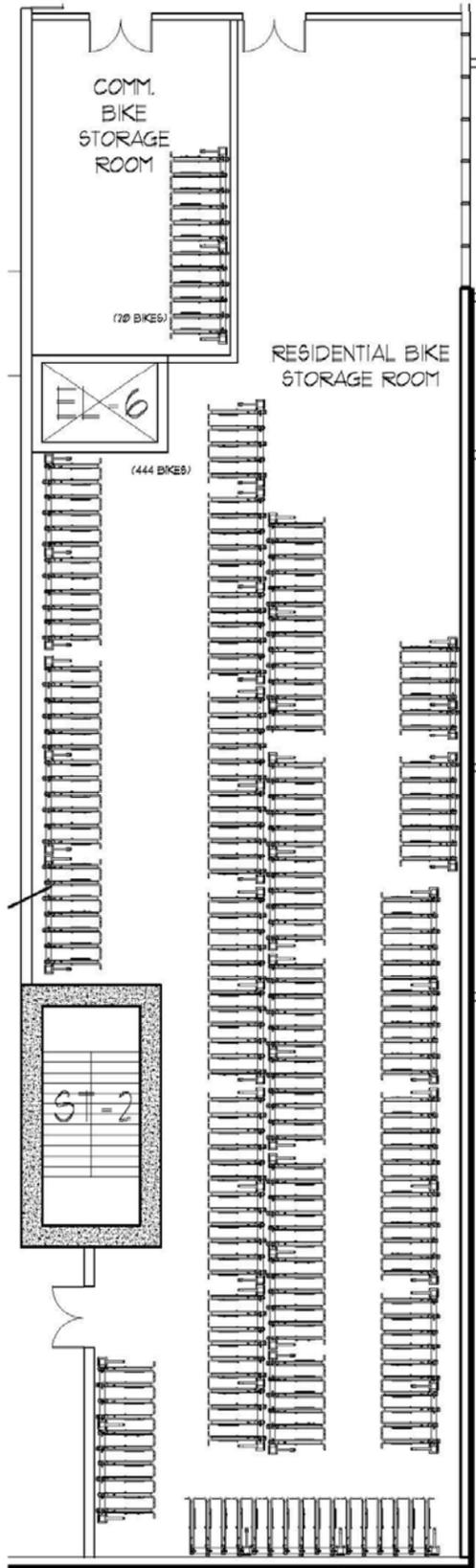
SHIPPING WEIGHT: 20270 lbs[9195] kg OPERATING WEIGHT: 30010 lbs[13615] kg HEAVIEST SECTION WEIGHT: 14780 lbs[6705] kg NO. OF SHIPPING SECTIONS: 2 DRAWN BY: SLR

Proposed Exterior Details



Urban Double Stacker

Model: UB-2500-SM-2WG



Specifications

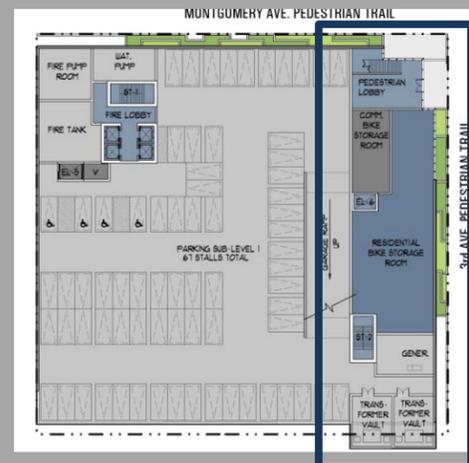
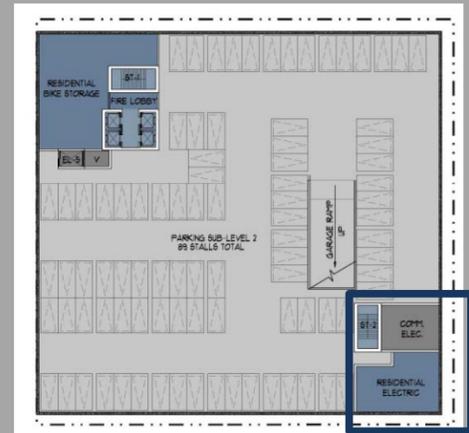
Capacity	
Bicycles per set	2 (one up and one down)
Bicycle spacing	17.69 in [450 mm]
Weight	
Per two bicycle spaces	± 89.65 lbs [40.75 kg]
Materials	
Assembly material	Steel
Available finishes	
	Powder coated (grey)



Bike Parking Long Term

Residential Bike Parking:
425 Units * 1.5 bikes = 636
Required, 636+ Provided

Commercial Bike Parking:
4 Required, 20+ Provided



Loop

Loop design is patent pending.

Loop bike rack is a simple, sweeping circle with a twist. Both functional and sculptural. Cyclists can loop and lock one or two bikes around its shape-shifting cast aluminum ribbon frame. The aluminum casting, finished with Pangard II® powdercoat, is offered in a selection of colors. All units can be installed either as a surface mount or embedded to a concrete surface. Bike racks must be placed 30" apart, and 24" from wall; see installation guide. Meets APBP guidelines.

Metal Finishes

All metal is finished with Pangard II®, offered exclusively by Landscape Forms, a 19-step program of cleaning, priming, and powdercoating that resists rusting, chipping, peeling and fading to produce the finest metal finish available for site furniture. In addition, Pangard II® contains no heavy metals and is free of Hazardous Air Pollutants. Call for standard color chart.

Recycled Content

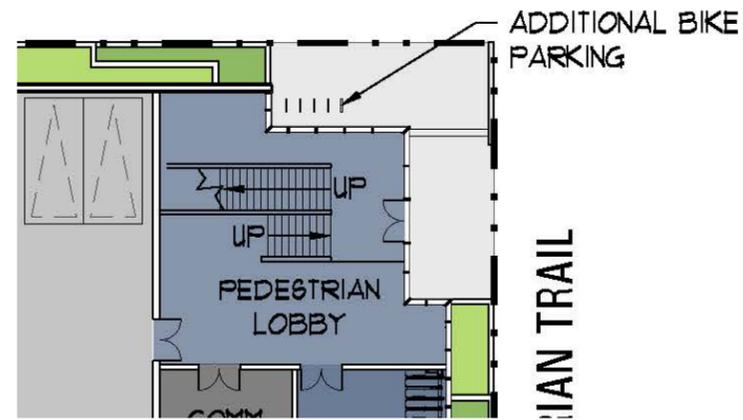
- Loop has a recycled content of 97%, and is 100% recyclable.

Dimensions

- 14"d x 31"h x 36"l

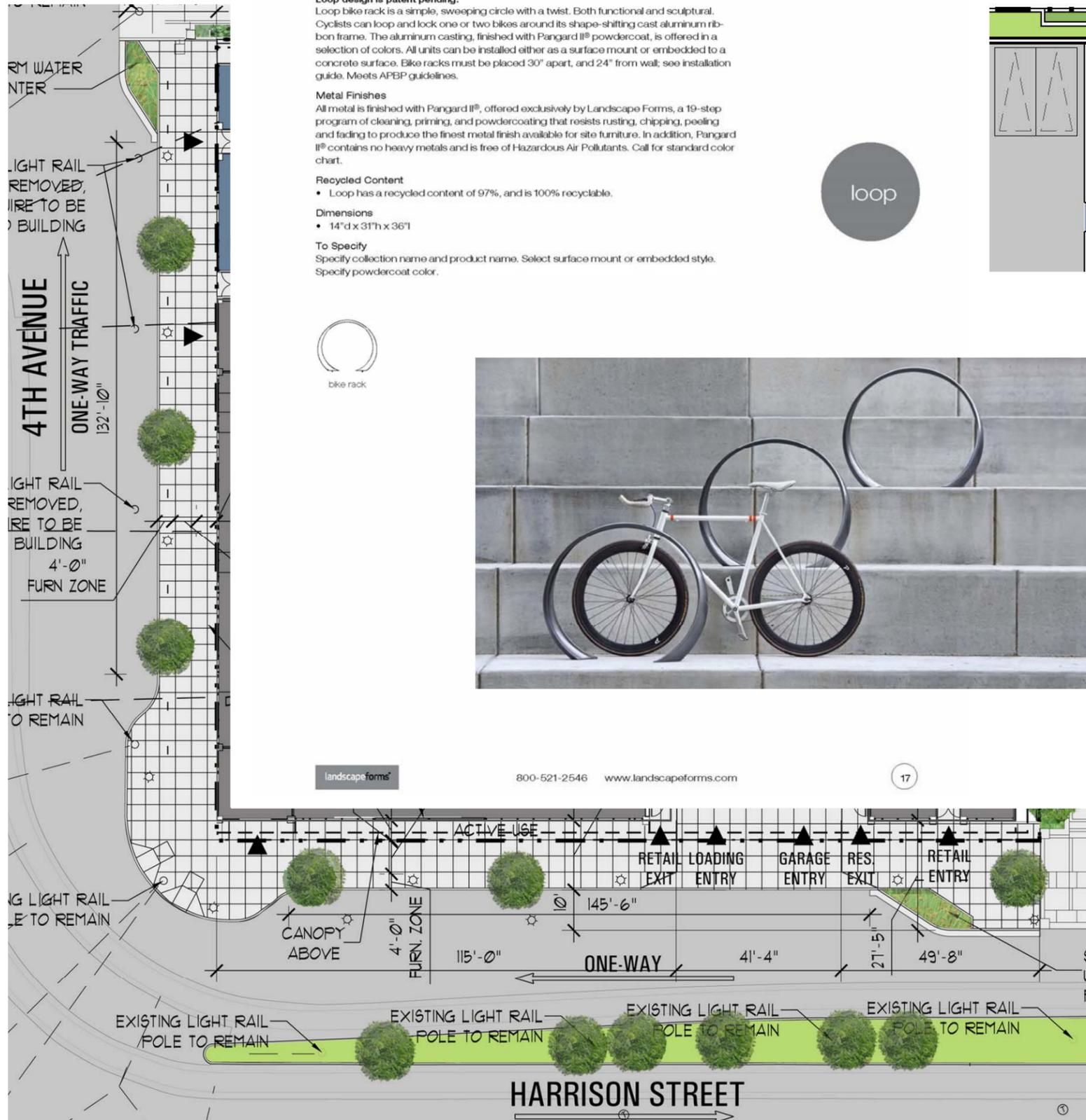
To Specify

Specify collection name and product name. Select surface mount or embedded style. Specify powdercoat color.



loop

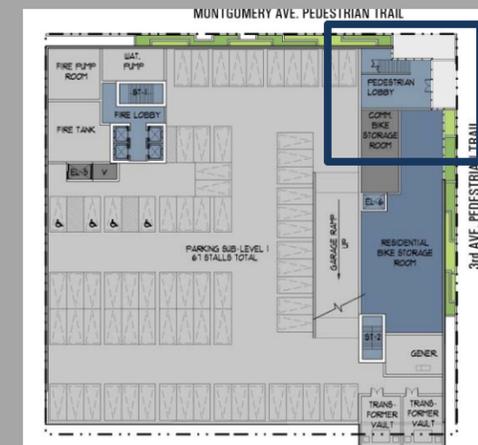
The Loop bike rack is a simple, sweeping circle with a twist. Cyclists can loop and lock one bike or two around its shape-shifting cast aluminum ribbon frame. Functional and sculptural, it meets a growing need for secure bicycle docking in recreational spaces and "complete streets," carrying on the 35 Collection mission to support social activity in outdoor space.



Bike Parking Short Term

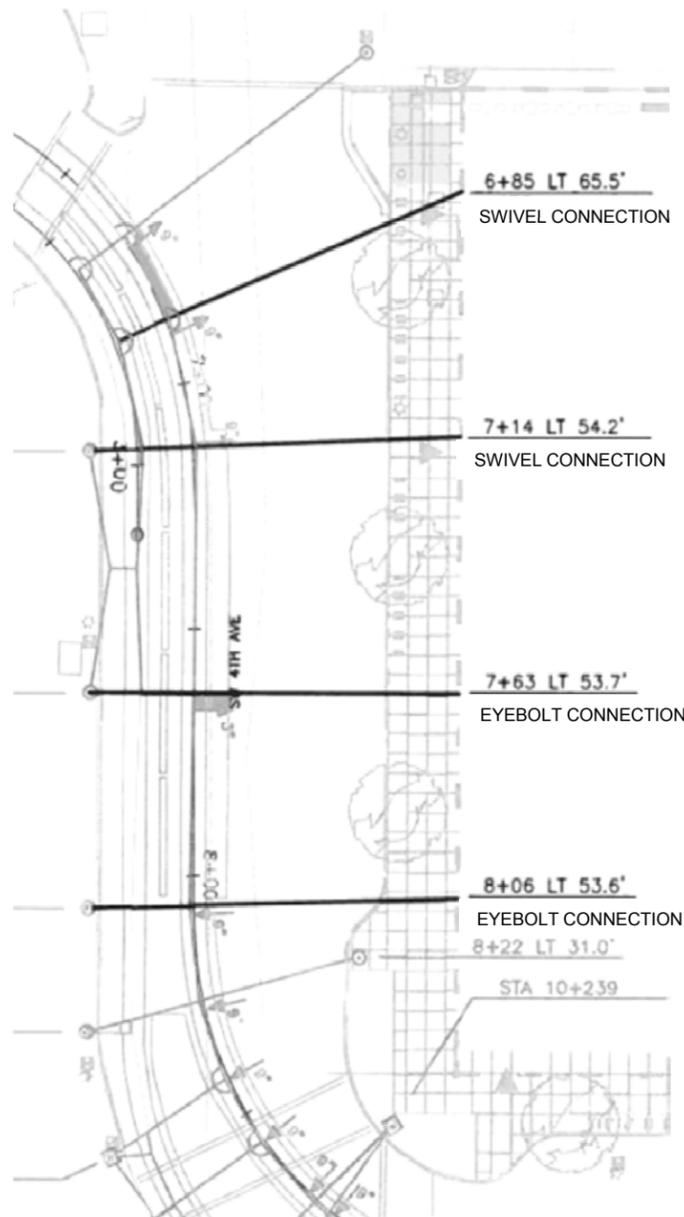
Residential Bike Parking:
425 Units / 20 = 22
22 spaces Provided

Commercial Bike Parking:
8 Provided

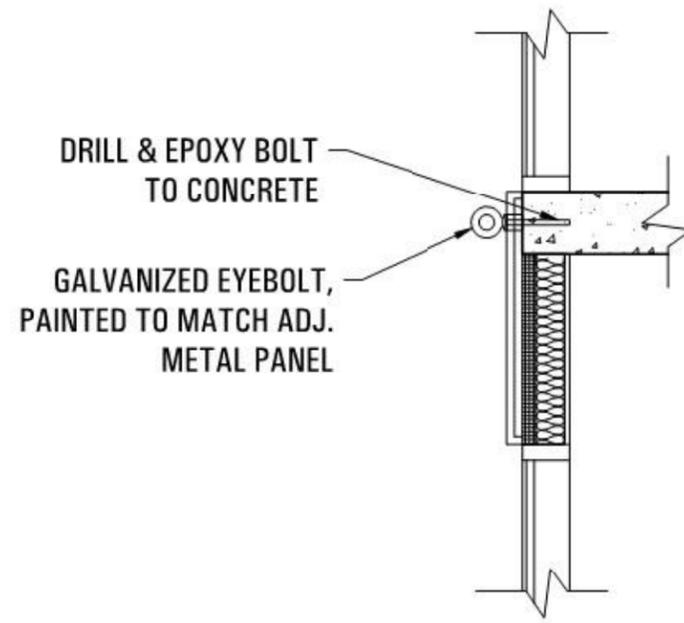


Catenary Light details

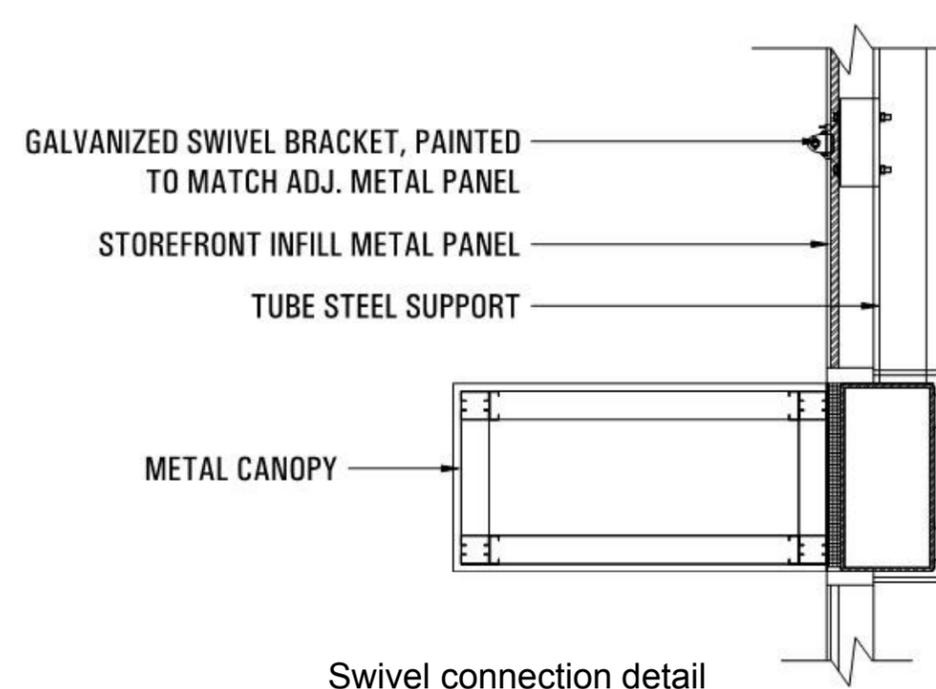
Three poles to be removed and wires to be connected to the building



Wire attachment locations



Eye bolt connection detail

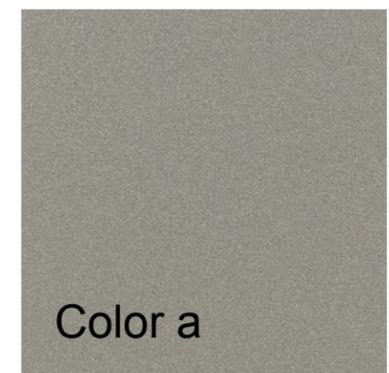
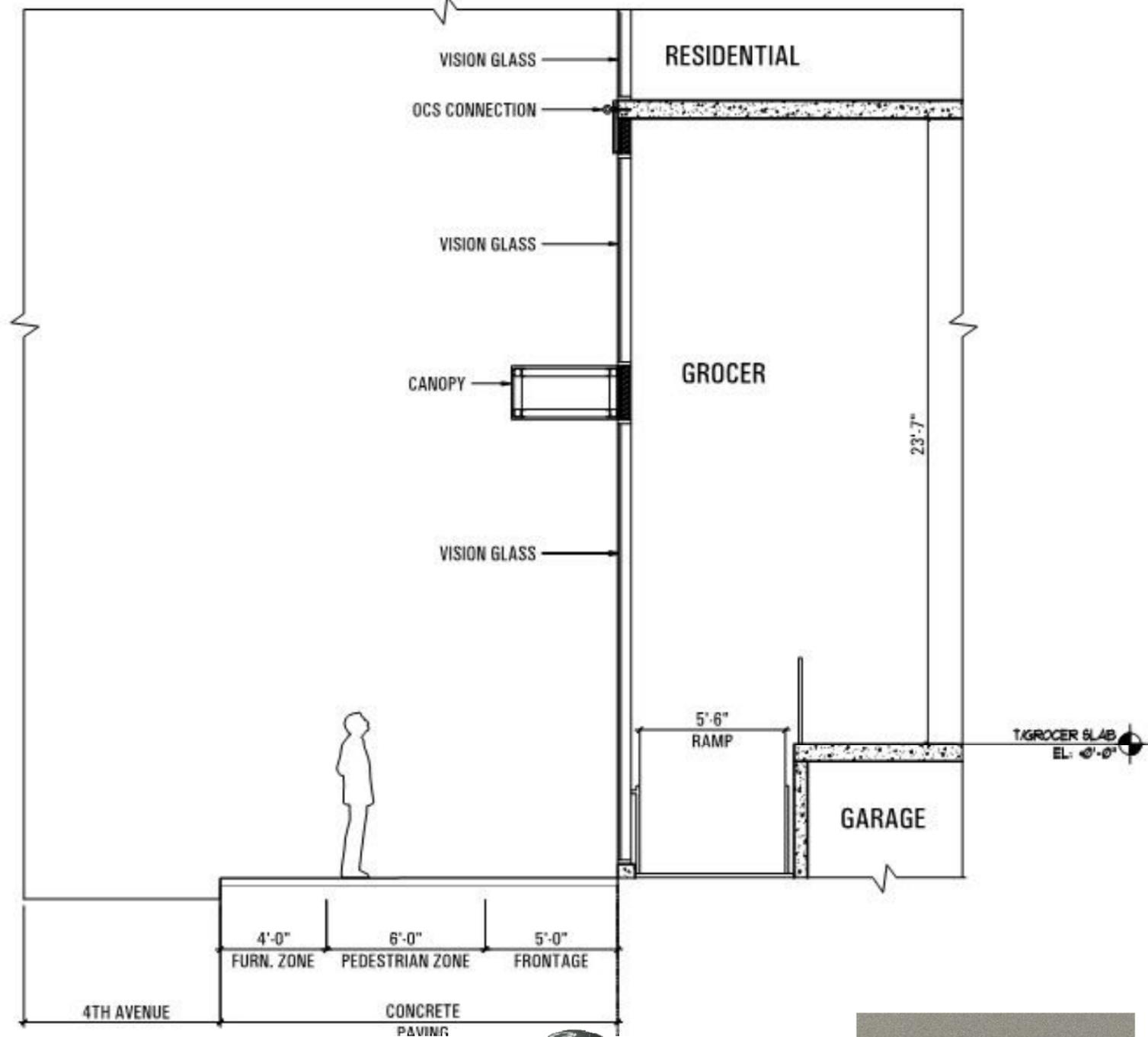
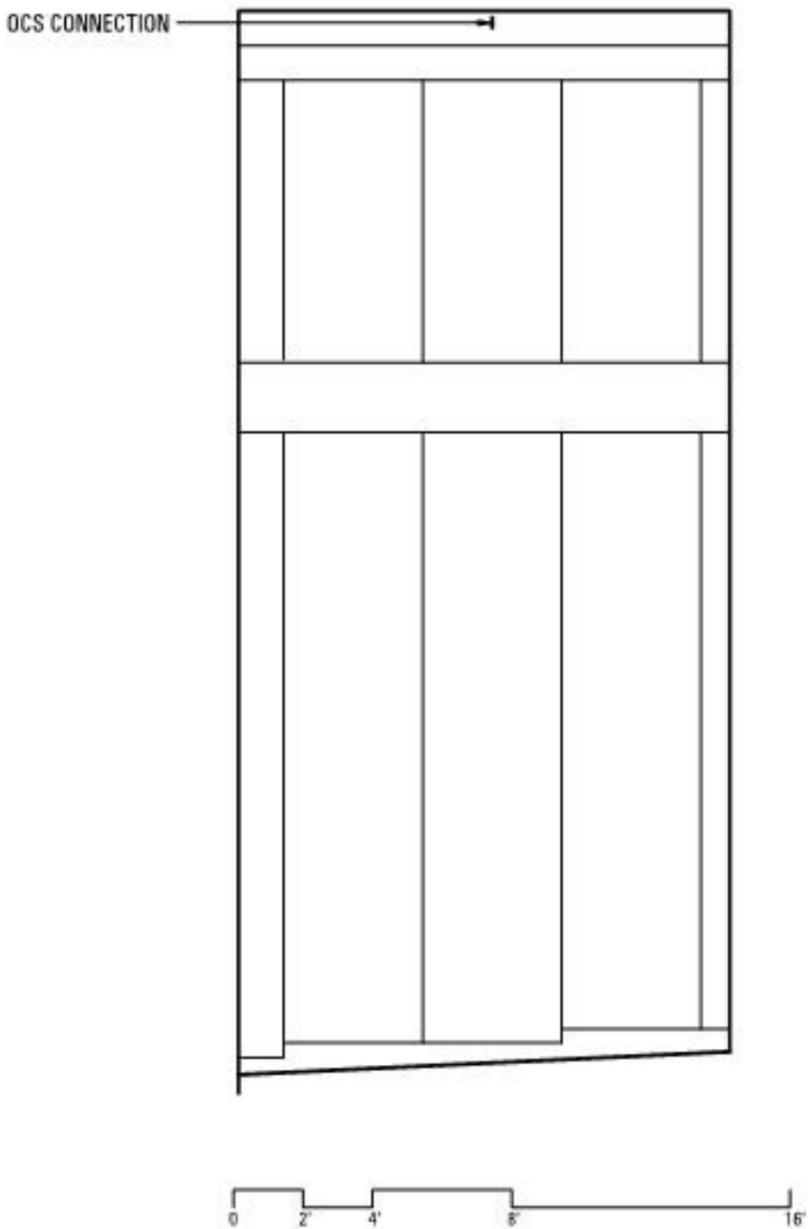


Swivel connection detail



Catenary Light details

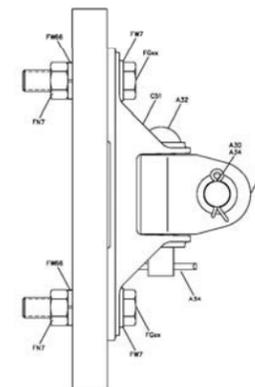
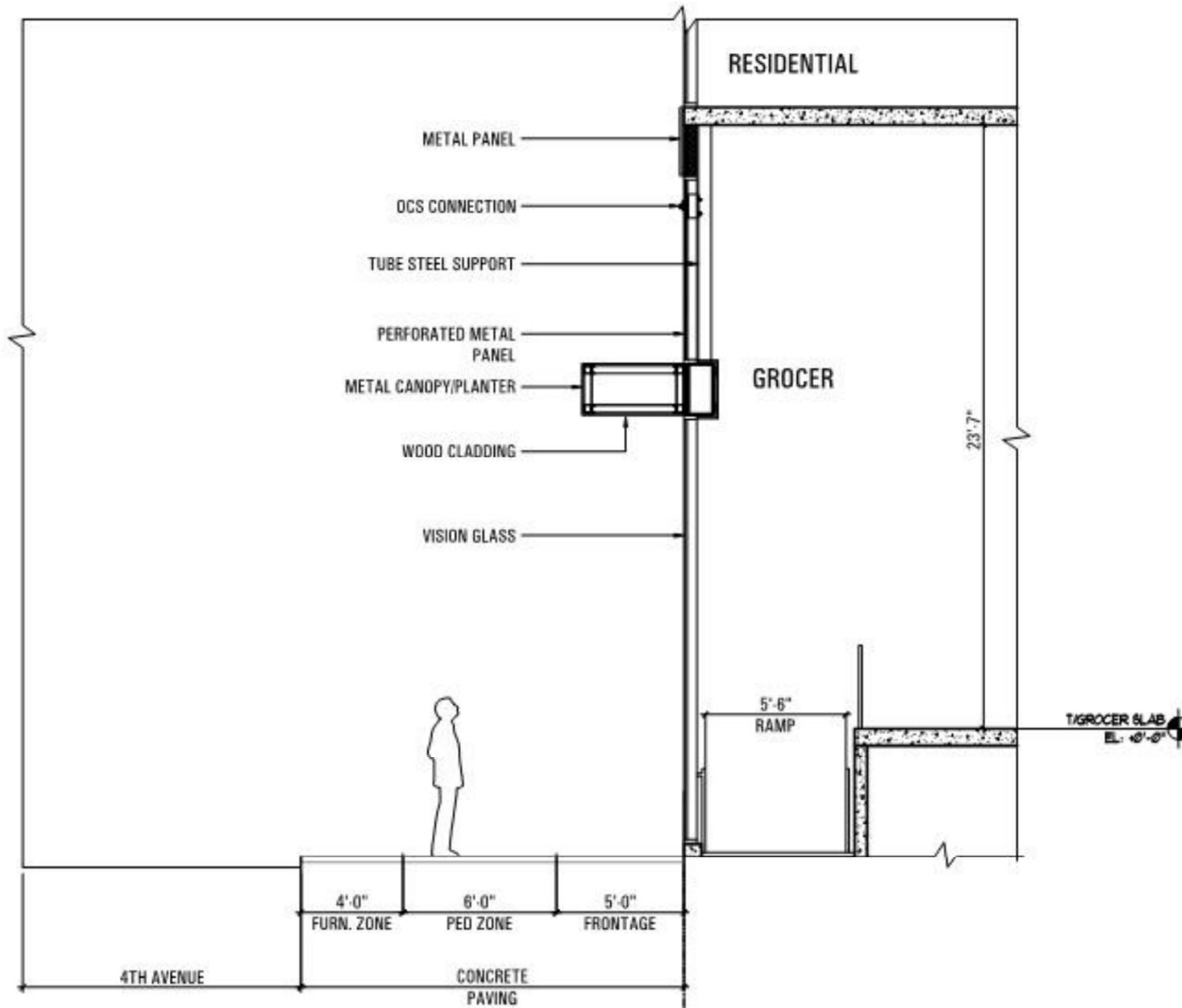
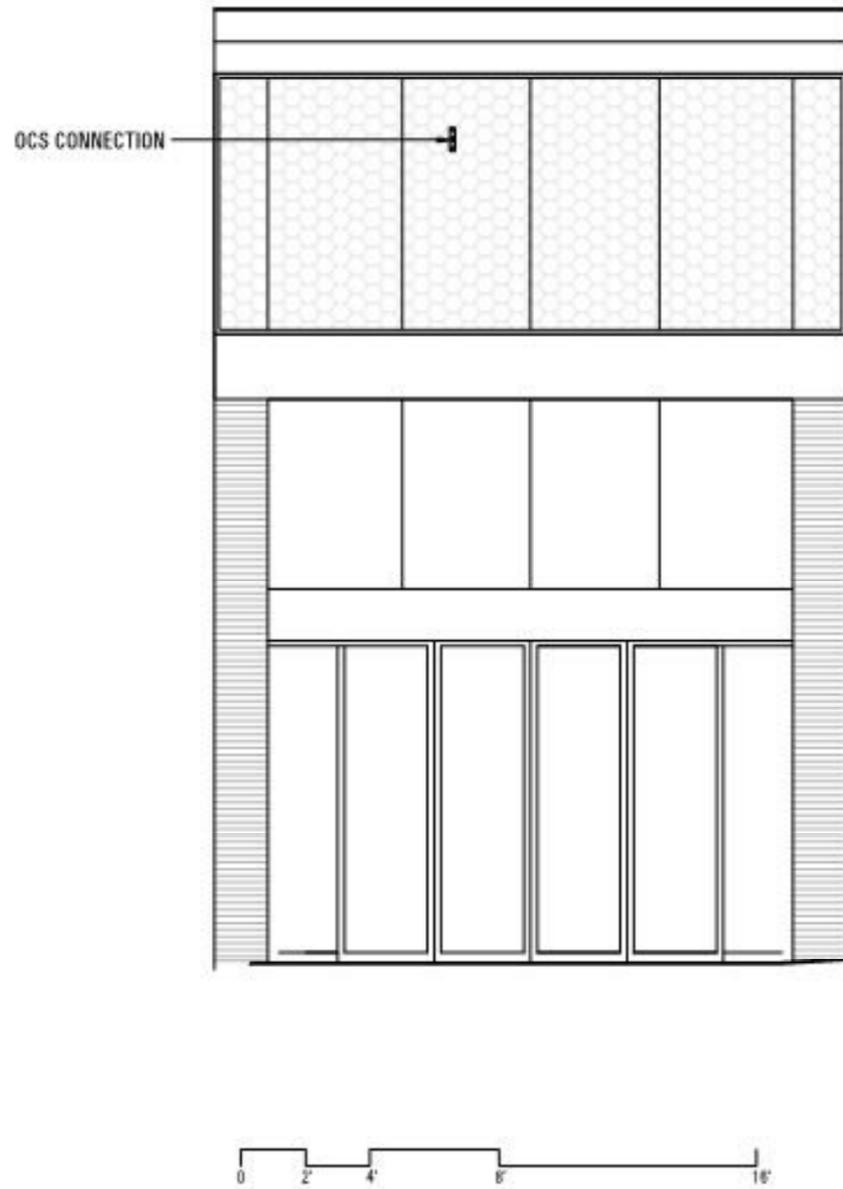
Three poles to be removed and wires to be connected to the building



Section II: Design Proposal

Catenary Light details

Three poles to be removed and wires to be connected to the building



LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	HOUSING	LENS	LOUVER	REFLECTOR	DISTRIBUTION	MOUNTING	FINISH	IP RATING	BALLAST	LAMP(S)	POLE	MANUFACTURERS	NOTES
SP1	EXTERIOR ARCHITECTURAL SITE LUMINAIRE	NOMINAL 3/4" SQUARE BY 43/8" HIGH HIGH ACRYLIC REFRACTOR	TEMPERED GLASS			TWO SIDES	POLE MOUNT	AS SELECTED BY ARCHITECT	WET	ELECTRONIC	ONE 32 WATT T8 FLUORESCENT		SELUX MTR SQUARE COLUMN	REFER TO LIGHTING PLANS FOR LAMP POSITION
LT-08	RECESSED SQUARE LED LAMP ADJUSTABLE DOWNLIGHT	10"X10"X5.5" RECESSED ENCLOSURE WITH 2 INCH SQUARE OPENING	NONE	NONE	NONE			BLACK LUMINAIRE BLACK LAMPS	WET	ELECTRONIC	1000 LUMEN LED		JUNO ACULUX, IC210LGA	PROVIDE INLINE CURRENT LIMITING FUSE AS REQUIRED ON LIGHTING PLANS.

NOTES:

Site and Building Lighting

Downlighting will be located at each entrance in the canopies
 Bollard lights will be located in the outdoor terrace on the 4th floor

Aculux
 Precision-Engineered Lighting

PRODUCT DESCRIPTION
 Recessed LED multi-lamp luminaire with 1-3/8" regressed pinhole square aperture delivers up to 880 lumens per head and is available with optical distributions approximating that of MR16 halogen lamps. Fixture has deep source regression for low aperture brightness. Low profile housing is available in IC rated or non-IC rated configurations, depending on lumen packages and number of heads.

PRODUCT SPECIFICATIONS

LED Light Engine Consistent fixture to fixture color consistency within a 2-step MacAdam ellipse • 2700K, 3000K, 3500K, or 4000K color temperatures are available with 80 CRI minimum • 2700K and 3000K also available with 90 CRI minimum.

Modular Optics Available with field interchangeable optics in 18" Spot, 24" Narrow Flood, 35" Flood, and 45" wide flood distributions.

Adjustability Patent pending Acu-Aim™ precision geared hot-aiming achieves 365° rotation, 40° tilt with any ceiling thickness from 1/2" to 1" • Acu-Aim™ translates light engine forward as it is aimed off nadir, ensuring maximum light and low brightness • Black aiming mechanism preserves dark aperture.

Reflector Die cast trim in white or black with black shield that eliminates visibility into housing.

Trims Style Self Flanged and Flush Mount styles are available • For flush mount installations in drywall ceilings, specify the FMASQ2 adapter • For flush mount installations in solid ceiling materials such as wood, stone, or tile ceilings, no flush mount adapter is required.

LED Driver Choice of two drivers to accommodate voltages from 120-277 volts AC at 50/60Hz • Dedicated 120V (1) driver is dimmable with most incandescent, magnetic low voltage, and electronic low voltage dimmers • Universal Voltage (U) driver is dimmable with most 0-10V protocol dimmers • For a list of compatible dimmers, refer to [ACULUX DIM](#) • Power Factor > 0.9 • Field replaceable from above or below ceiling.

Life Rated for 50,000 hrs at 70% lumen maintenance.

Warranty 5 years from date of purchase on LED components • Standard Juno Lighting Group product guarantee terms and conditions apply.

Codes/Labels UL and cUL listed for damp locations depending on trim • IC rated new construction fixture meets energy code Air Leakage requirements per ASTM E283 • ENERGY STAR® with all color temperatures with 80 CRI and spot, narrow flood, and flood optics • Chicago Plenum (CCEA) is standard on single head and available as an option on 2 or 3 head units • Union made.

New Construction Mounting Features patented (US Patent 8,038,113) Pro-VI™ bar hanger system, permitting quick placement of housing with 24" on-center joists or suspended ceilings • Also features vertically adjustable mounting brackets (butterfly brackets).

Wiring Housings includes multiple 1/2" knockouts and is compatible with rigid conduit and flexible supply • All housings supplied with quick connect electrical connectors.

Ceiling Thickness 1/2" - 1 1/2" ceiling standard • Vertical aiming in ceiling 1" to 1 1/2" is reduced from 40° to 25°.

Dimensions:
 10.00" x 5.12"

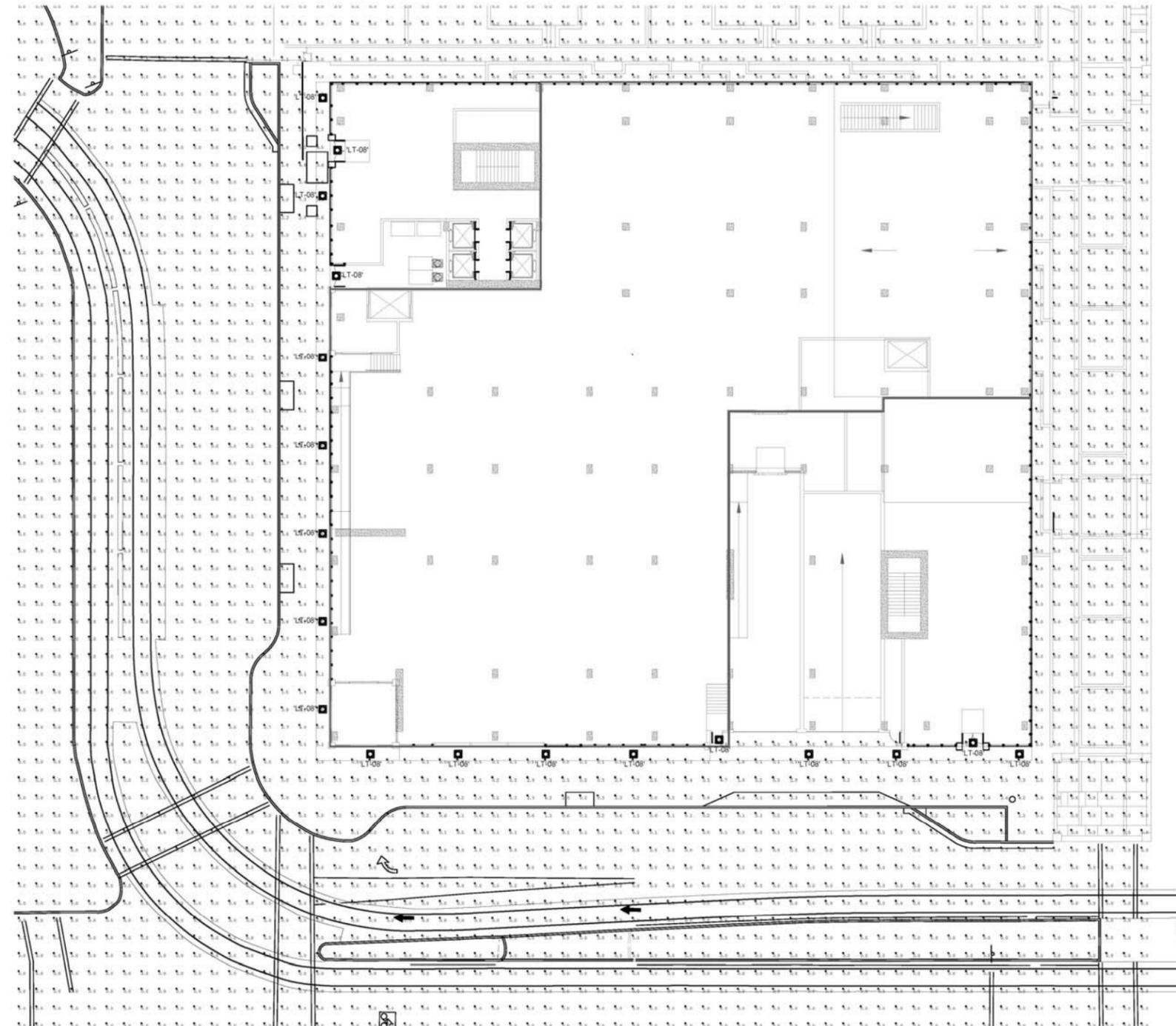
SELF FLANGED INSTALLATION

# of Heads	Cutout Size (A)	Trim Dimension (B)	Dimension (C)
1	27/8" x 27/8"	3.410" x 3.410"	161/8"
2	27/8" x 77/8"	3.410" x 8.410"	18"
3	27/8" x 127/8"	3.410" x 13.410"	23"

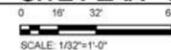
FLUSH MOUNT INSTALLATION

# of Heads	Cutout Size (A)	Trim Dimension (B)	Dimension (C)
1	3" x 3"	2.875" x 2.875"	161/8"
2	3" x 8"	2.875" x 7.875"	18"
3	3" x 13"	2.875" x 12.875"	23"

REV-11/14



1 SITE PLAN - PHOTOMETRICS



LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	HOUSING	LENS	LOUVER	REFLECTOR	DISTRIBUTION	MOUNTING	FINISH	IP RATING	BALLAST	LAMP(S)	POLE	MANUFACTURERS	NOTES
SP1	EXTERIOR ARCHITECTURAL SITE LUMINAIRE	NOMINAL 8-INCH SQUARE BY 48-INCH HIGH ACRYLIC REFRACTOR	TEMPERED GLASS			TWO SIDES	POLE MOUNT	AS SELECTED BY ARCHITECT	WET	ELECTRONIC	ONE 32 WATT T8 FLUORESCENT		SELUX MTR SQUARE COLUMN	REFER TO LIGHTING PLANS FOR LAMP POSITION
LT-08	RECESSED SQUARE LED LAMP ADJUSTABLE DOWNLIGHT	15"X15"X5.5" RECESSED ENCLOSURE WITH 2 INCH SQUARE OPENING	NONE	NONE	NONE			BLACK LUMINAIRE, BLACK LAMPS	WET	ELECTRONIC	1000 LUMEN LED		JUNO ACULUX, IC210L5QA	PROVIDE IN-LINE CURRENT LIMITING FUSE AS REQUIRED ON LIGHTING PLANS.

NOTES:

Site and Building Lighting

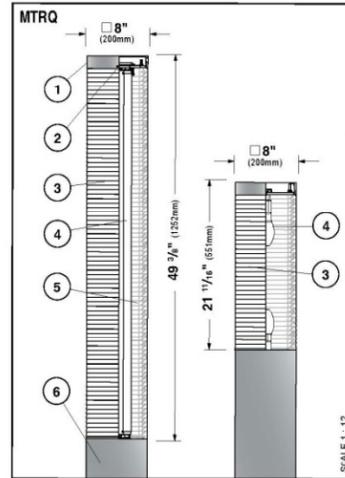
Downlighting will be located at each entrance in the canopies
 Bollard lights will be located in the outdoor terrace on the 4th floor

MTR Square Column **selux**

Project: _____
 Type: _____ Qty: _____

Series: _____ Height: _____ Lamping: _____ Finish: _____ Voltage: _____ Options: _____

Series	Height	Lamping	Finish	Voltage	Options
MTRQ	12 12 ft. 14 14 ft. 16 16 ft.	Metal Halide 2H050 (2x)50w 2H070 (2x)70w	Fluorescent 1T8 (1x)FO32T8 2T8 (2x)FO32T8 3T8 (3x)FO32T8 4T8 (4x)FO32T8	WH White BK Black BZ Bronze SV Silver SP Specify Premium Color	120 277 347 US HS ¹ House Side Shield REC GFCI Receptacle CWB ² Cold Weather Ballast EB ³ Electronic Ballast

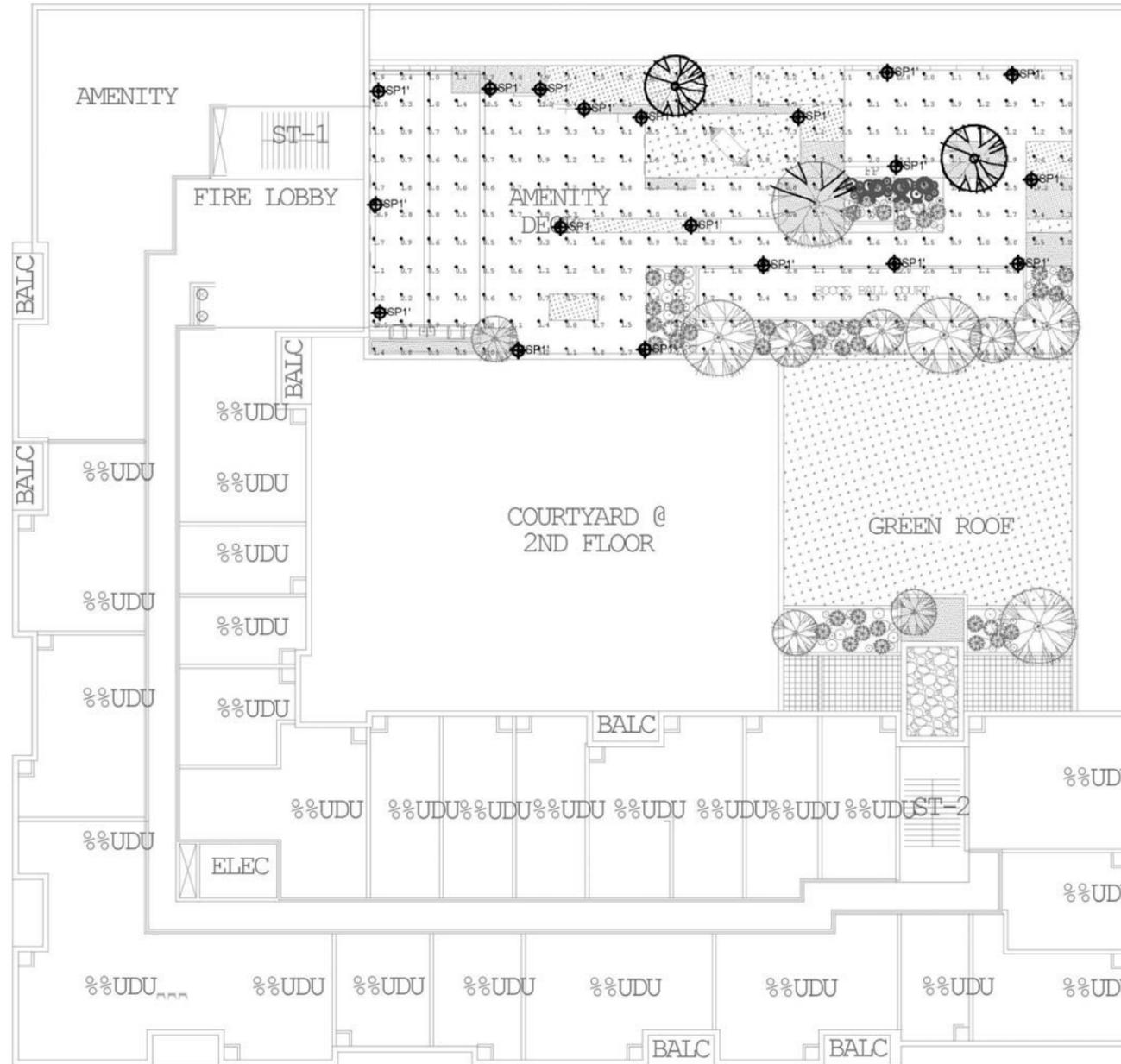


- 1. Fixture Cover** - Die-cast, aluminum cover, with smooth crisp form to reflect and complement the thick-walled, column design. Removes by loosening four vandal-resistant, stainless steel screws for easy access to lamp chamber.
- 2. Gasketing** - Continuous gaskets provide weather-proofing, dust, and insect control at base of column, fixture cover, and between MTR rings.
- 3. Shielding** - Consists of 7 7/8" (200mm) square injection-molded acrylic multi-prisms for total reflection (MTR). MTR rings have a wall thickness of .50" and are patterned after the light-bending characteristics of a prism.
- 4. Lamping** - One, two, three or four FO32T8 (32 watts each) fluorescent lamps on removable gear tray, mounted vertically, or two coated, medium base ED-17 metal halide up to 70w. Lamps provided by others.
- 5. Diffusing Cylinder** - Satine acrylic cylinder (fluorescent) or satine glass cylinder (MH) between lamps and MTR rings to diffuse lamp image for maximum performance and visual comfort.
- 6. Column** - Extruded low-copper aluminum, 7 7/8" square, including handholes for access to gear tray and mounting plate.
- 7. Column Fitter** - Die-cast aluminum fitter, with built-in gasketing ridges, for smooth transition to column.
- 8. Ballast (not shown)** - Electronic ESB, high power factor, class "P" type "A" sound rating. Minimum lamp starting temperature 0° F (-20° C). Cold Weather Ballast option (minimum lamp starting temp -20° F/-20° C) available. Consult factory for more detailed ballast information.

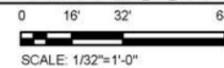
Selux Corp. © 2013
 TEL (845) 834-1400
 FAX (845) 834-1401
 www.selux.us
 MTRQ-0513-01 (ps-v1.0)

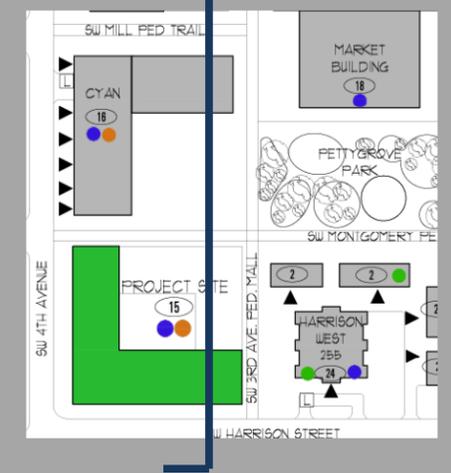
NRTL Listed (i.e. UL, CSA)
 Union Made Affiliated
 with IBEW Local 382
 IP54

In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

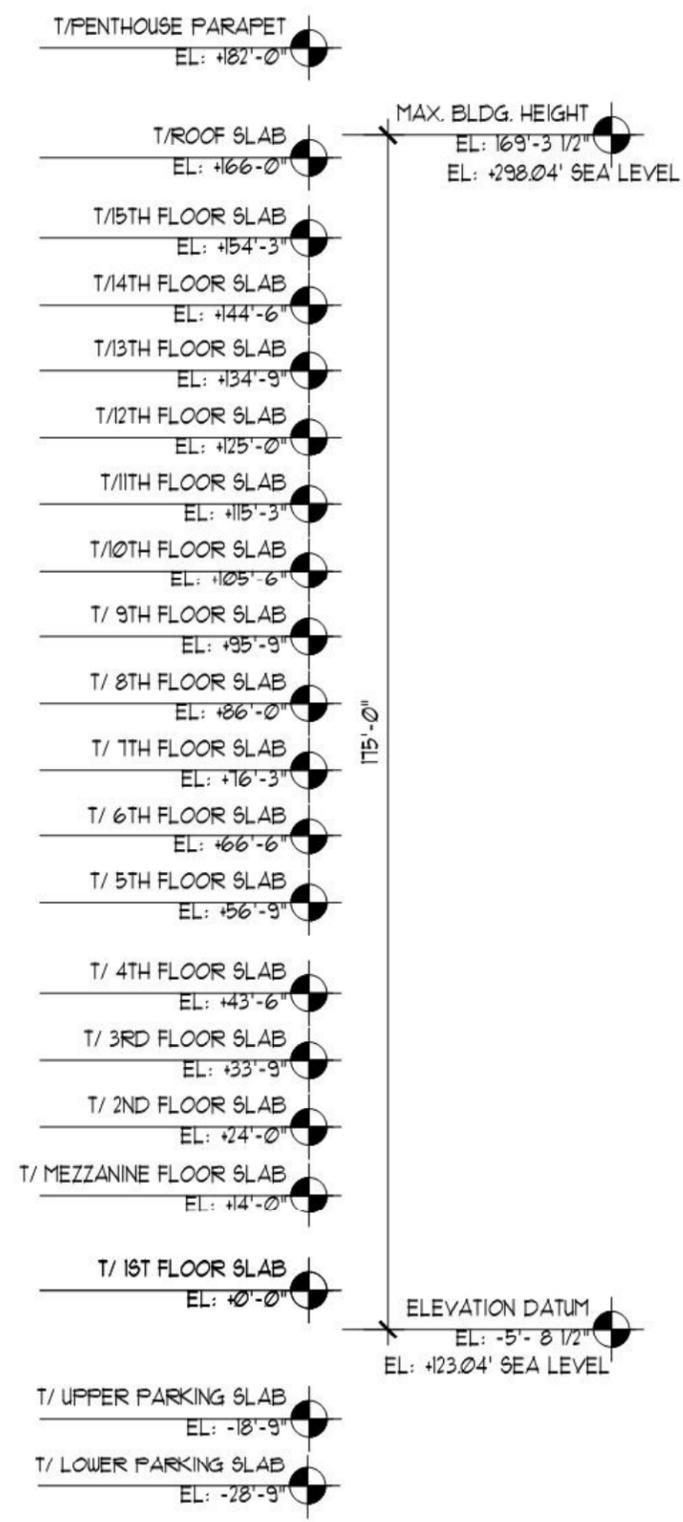
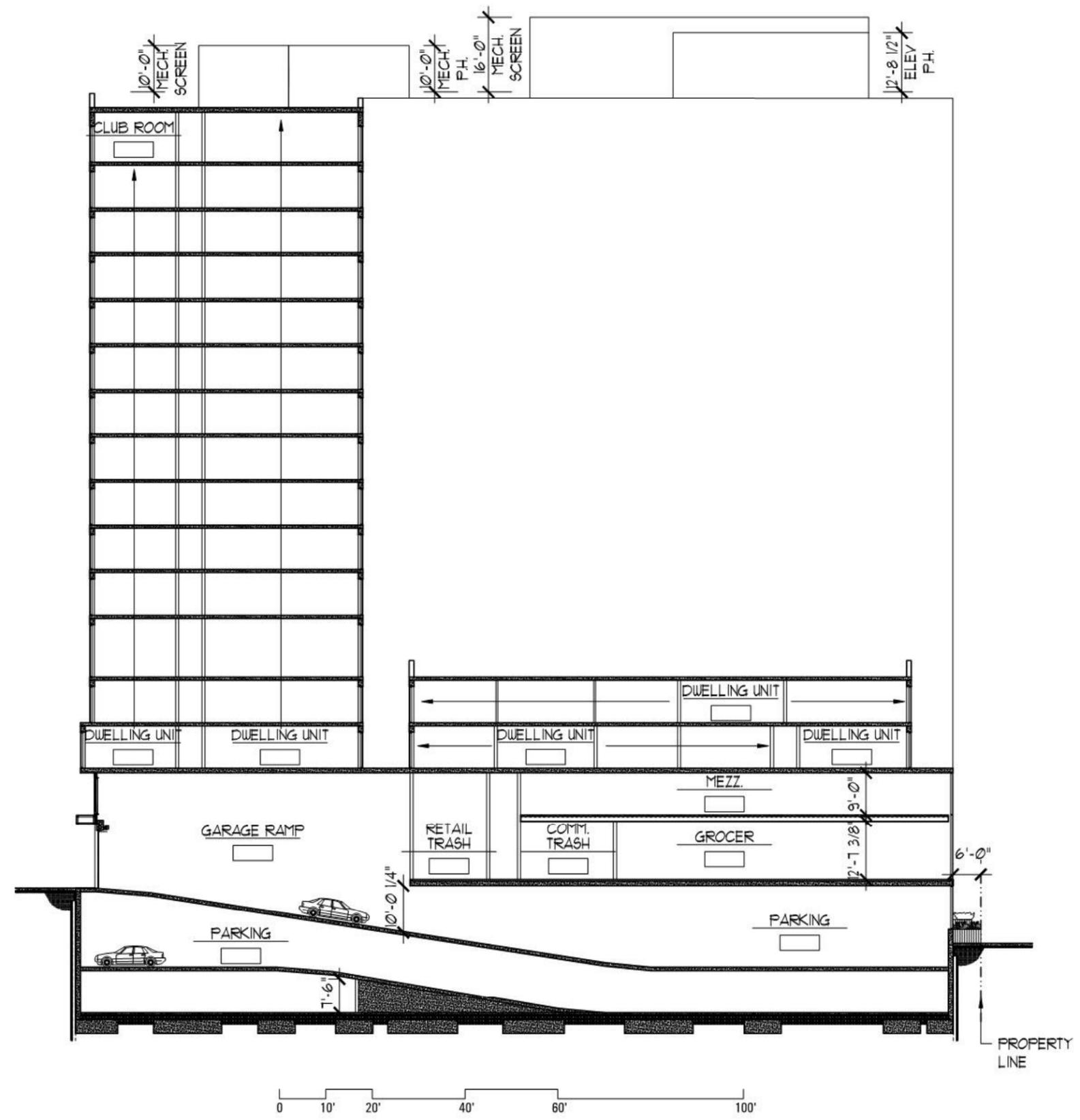


1 4TH FLOOR TERRACE - PHOTOMETRICS

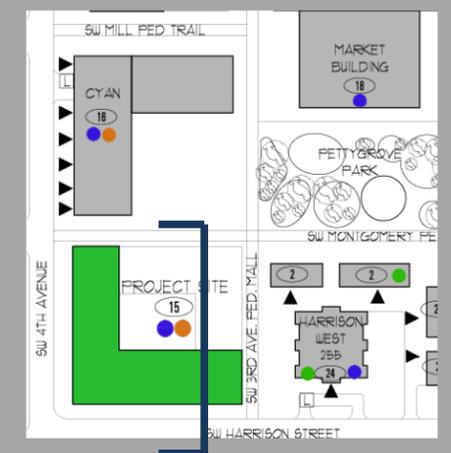




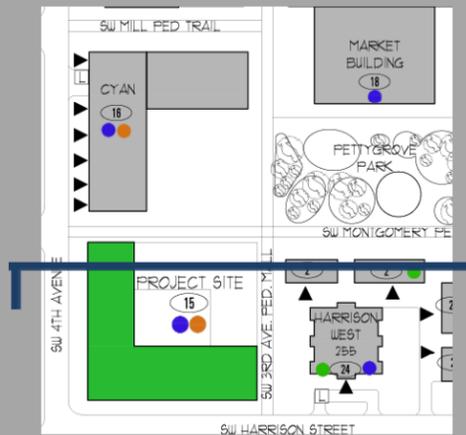
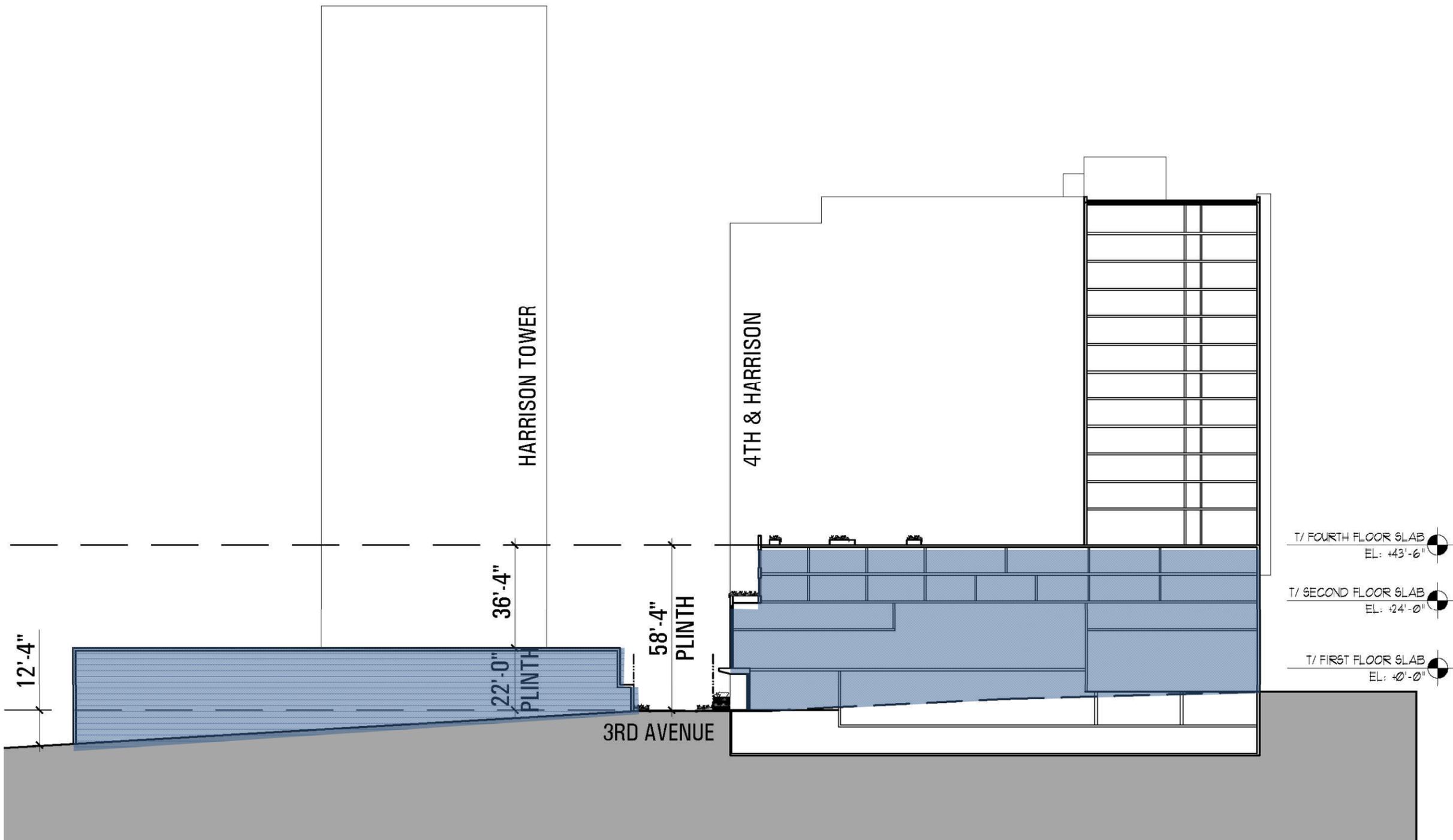
Building & Site Sections



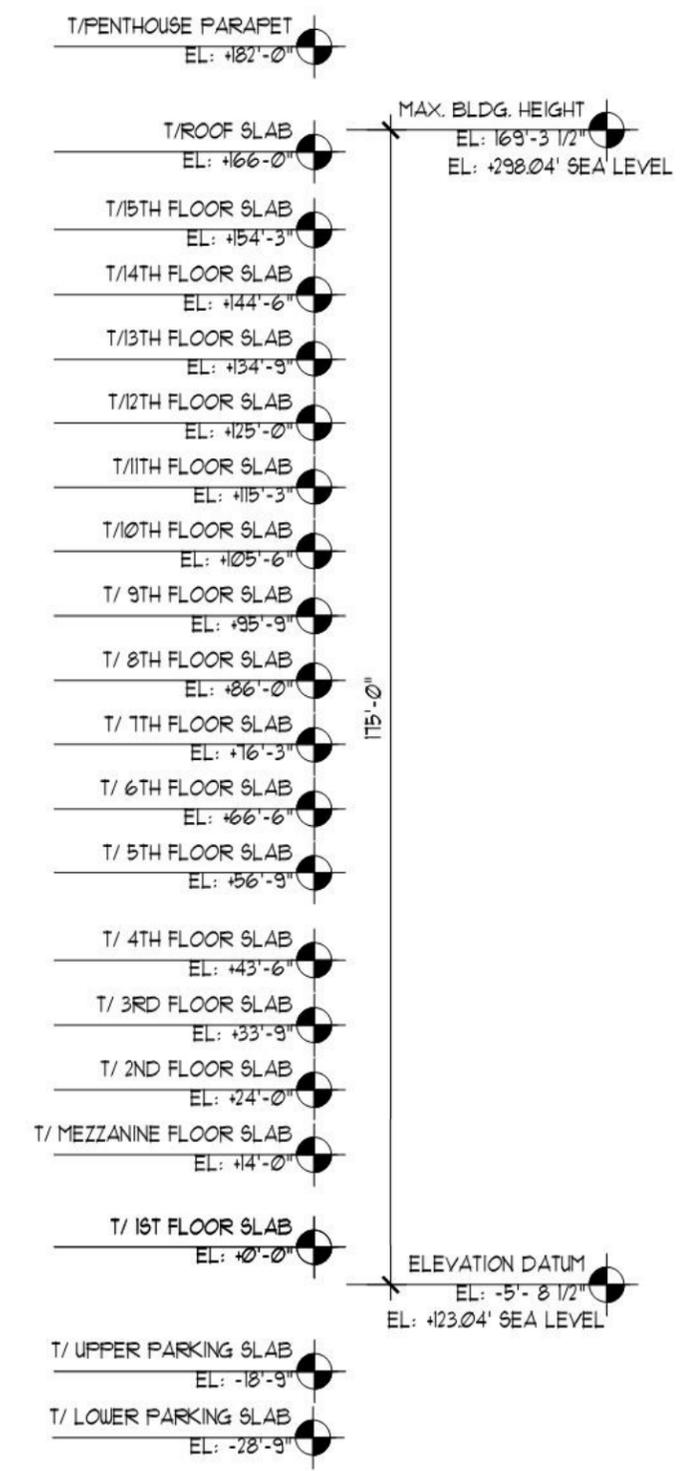
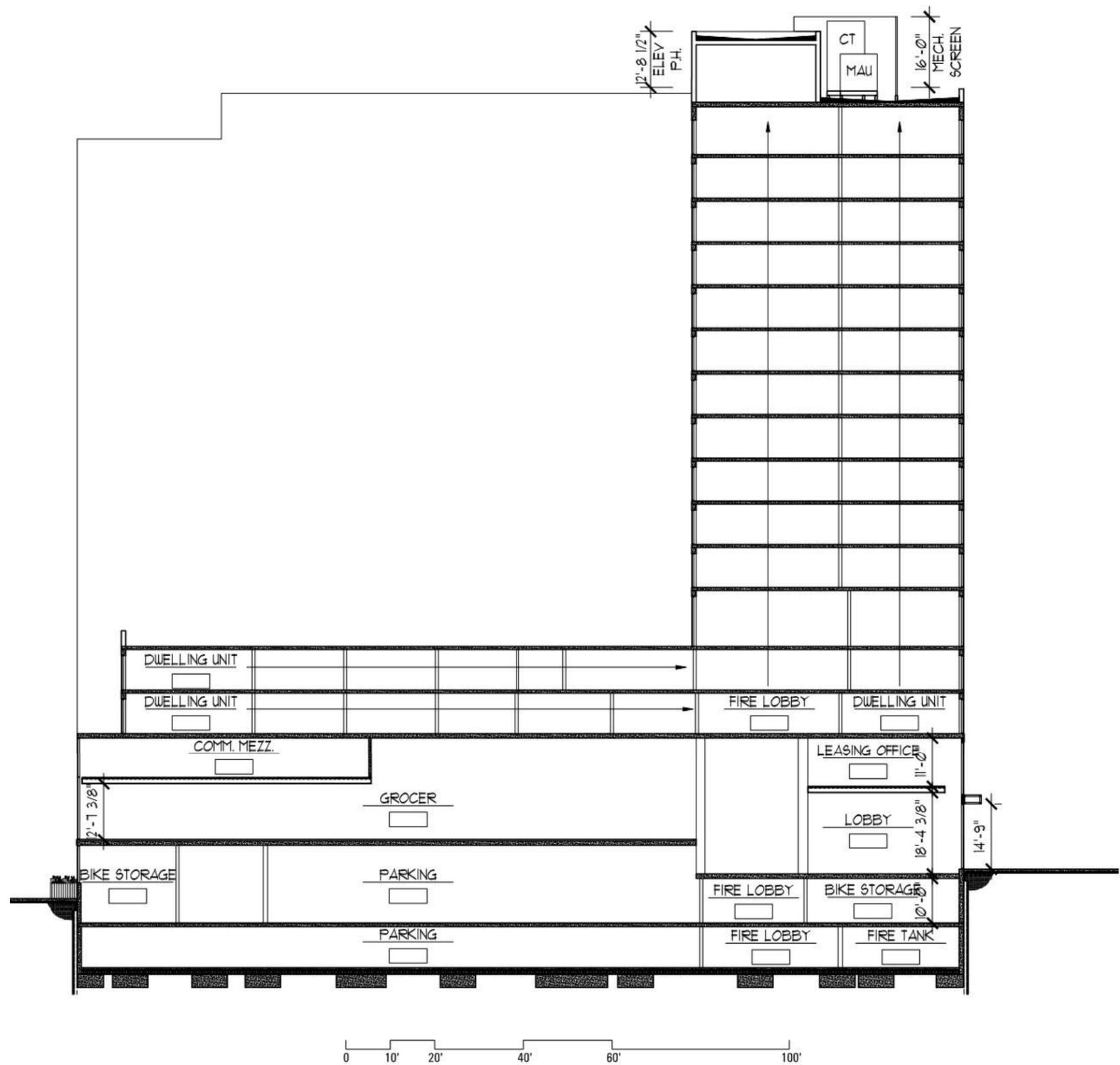
ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'



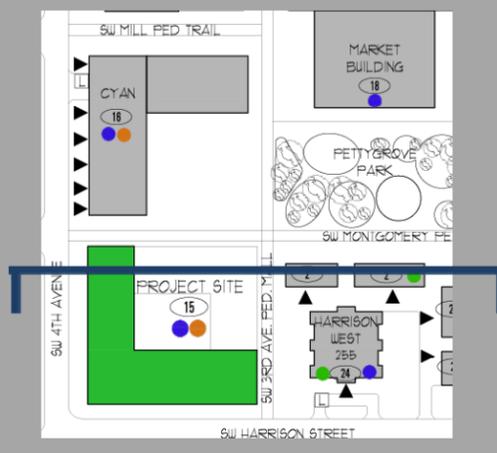
Building & Site Sections

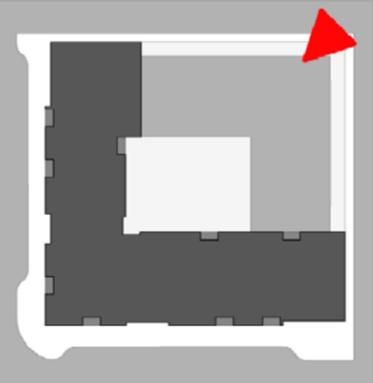


Building & Site Sections

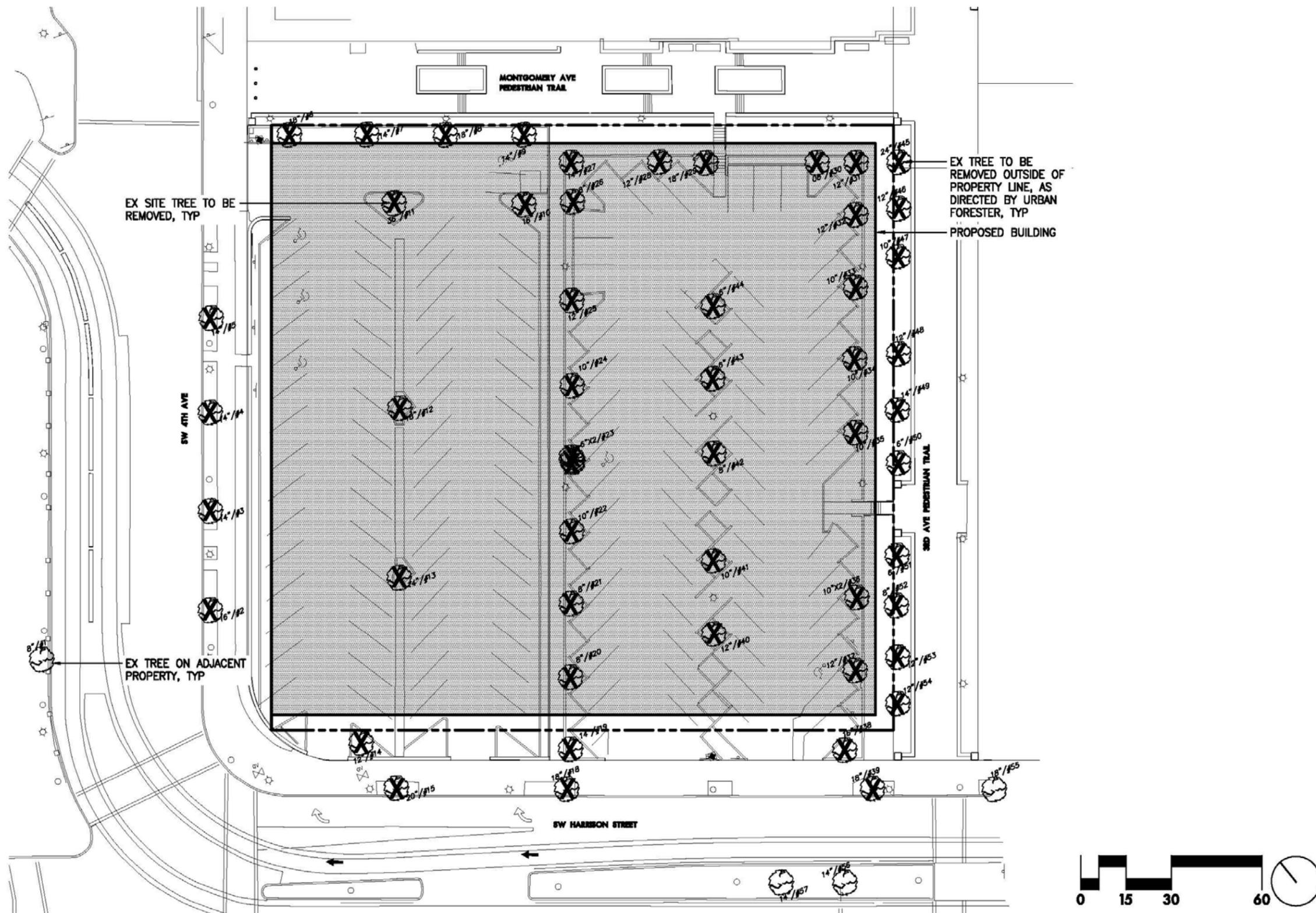


ELEVATION DATUM	
LOWEST GRADE	EL: +113.04'
ELEVATION DATUM	EL: +123.04'
DATUM = LOWEST GRADE + 10'-0"	
BUILDING 0,0	EL: +128.75'
BUILDING HEIGHT	EL: +298.04'





Tree Removal Plan



Tree Removal Legend and Notes

TREE REMOVAL CHART

TREE NUMBER	SPECIES	DBH INCHES	NOTES
EXISTING TREES WITHIN THE RIGHT OF WAY			
2	European Birch	16	Nuisance List
3	European Birch	14	Nuisance List
4	European Birch	14	Nuisance List
5	European Birch	14	Nuisance List
6	Red Norway Maple	18	Nuisance List
7	Red Norway Maple	14	Nuisance List
8	Red Norway Maple	18	Nuisance List
9	Red Norway Maple	14	Nuisance List
15	Norway Maple	20	Nuisance List
18	Norway Maple	18	Nuisance List
39	Norway Maple	18	Nuisance List
45	Norway Maple	24	Nuisance List
46	Norway Maple	12	Nuisance List
47	Norway Maple	10	Nuisance List
48	Norway Maple	12	Nuisance List
49	Norway Maple	14	Nuisance List
50	Norway Maple	6	Nuisance List
51	Norway Maple	6	Nuisance List
52	Norway Maple	8	Nuisance List
53	Norway Maple	12	Nuisance List
54	Norway Maple	12	Nuisance List

TREE REMOVAL CHART

TREE NUMBER	SPECIES	DBH INCHES	NOTES
EXISTING SITE TREES			
10	Oak	16	
11	Oak	36	
12	Oak	18	
13	Oak	14	
14	Purple Leaf Plum	12	
19	Norway Maple	14	Nuisance List
20	London Plane	8	
21	London Plane	8	
22	London Plane	10	
23	London Plane	(2) X 6	
24	London Plane	10	
25	London Plane	12	
26	London Plane	8	
27	London Plane	14	
28	London Plane	12	
29	London Plane	18	
30	London Plane	8	
31	London Plane	12	
32	London Plane	12	
33	London Plane	10	
34	London Plane	10	
35	London Plane	10	
36	London Plane	10	
37	London Plane	12	
38	London Plane	16	
40	Horse Chestnut	12	
41	Horse Chestnut	10	
42	Horse Chestnut	8	
43	Horse Chestnut	6	
44	Horse Chestnut	6	

NOTES

1. THIS PLAN IS BASED ON A SURVEY BY CENTERLINE CONCEPTS LAND SURVEYING, INC. DATED 01/08/2015. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT ALL TREES ON ADJACENT PROPERTIES TO REMAIN, INCLUDING BARK AND ROOT ZONES.

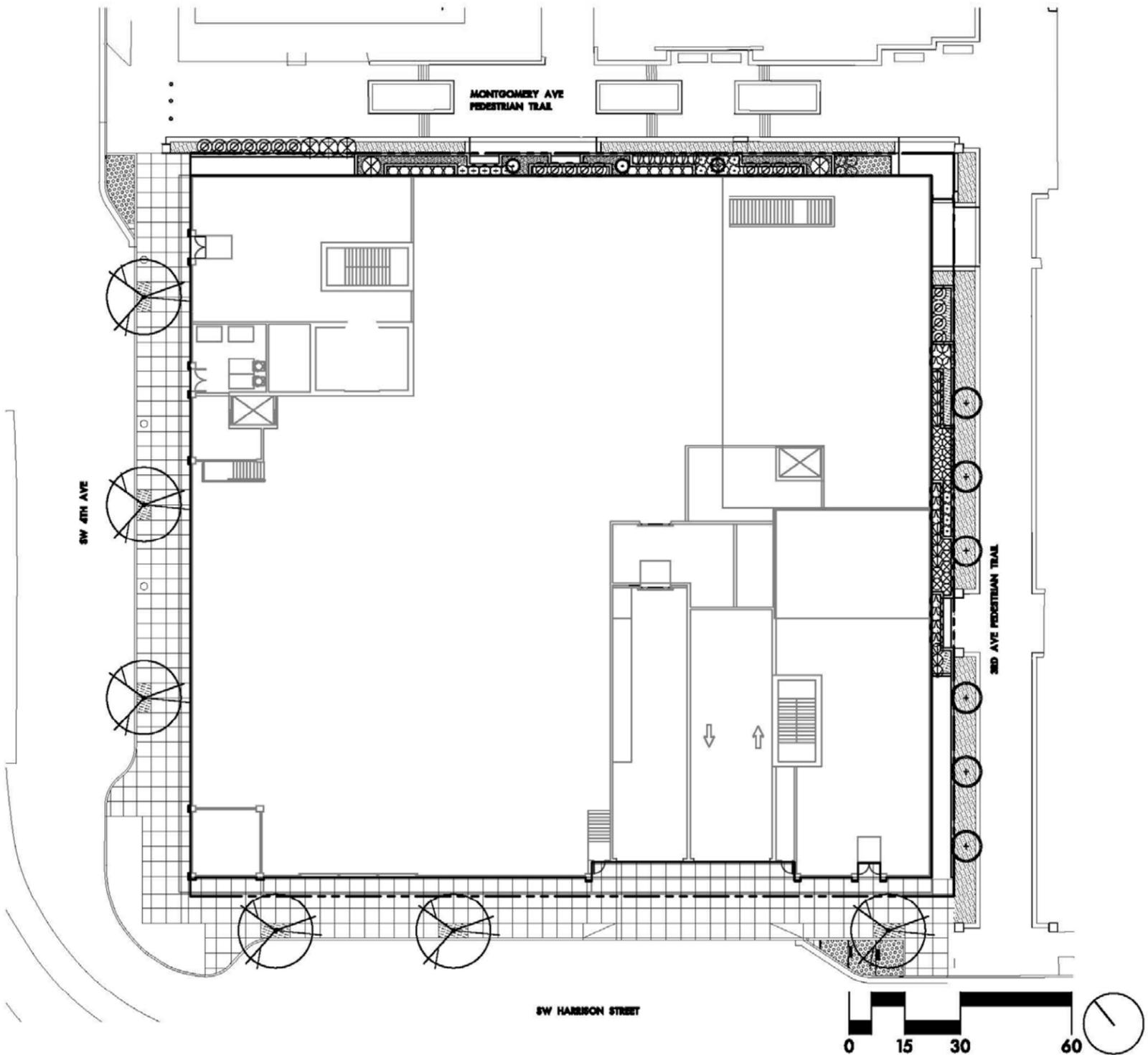
TREE REMOVAL LEGEND

- PROPERTY LINE
-  EXISTING DECIDUOUS TREE, TO BE REMOVED
-  EXISTING DECIDUOUS TREE, TO BE PROTECTED

ABBREVIATIONS

- DBH DIAMETER AT BREAST HEIGHT
- EX EXISTING
- TYP TYPICAL

Site Planting Plan



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES				
	<i>Chamaecyparis obtusa</i> 'Gracilis'	Slender Hinoki False Cypress	2.5" CAL./B&B	AS SHOWN
	TBD by Urban Forester	TBD	2.5" CAL./B&B	AS SHOWN
	<i>Zelkova serrata</i> 'Musashino' (Or as TBD by Urban Forester)	Musashino Columnar Zelkova	2.5" CAL./B&B	AS SHOWN
SHRUBS, GRASSES AND GROUNDCOVERS				
	<i>Cephalotaxus harringtonia</i>	Japanese Plum Yew	#5/CONT.	48" O.C.
	<i>Cornus alba</i> 'Sibirica'	Red Twig Dogwood	#5/CONT.	42" O.C.
	<i>Cotoneaster</i> x 'Hessei'	Hessei Cotoneaster	#2/CONT.	24" O.C.
	<i>Liriope gigantea</i>	Giant Lilyturf	#1/CONT.	12" O.C.
	<i>Mahonia</i> x <i>media</i> 'Charity'	Charity Mahonia	#5/CONT.	36" O.C.
	<i>Miscanthus sinensis</i> 'Adagio'	Adagio Maiden Grass	#3/CONT.	36" O.C.
	<i>Pachysandra terminalis</i>	Japanese Spurge	#1/CONT.	12" O.C.
	<i>Polystichum munitum</i>	Western Sword Fern	#3/CONT.	30" O.C.
	<i>Rhododendron catawbiense</i> 'Album'	White Catawba Rhododendron	#5/CONT.	60" O.C.
	<i>Sarcococca ruscifolia</i>	Sweet Box	#3/CONT.	36" O.C.
	<i>Skimmia japonica</i>	Japanese Skimmia	#3/CONT.	36" O.C.
	<i>Trachelospermum jasminoides</i> 'Madison'	Madison Star Jasmine	#2/CONT.	36" O.C.
STORMWATER PLANTING				
	<i>Cornus sericea</i> 'Kelseyi'	Dwarf Red Osier Dogwood	#5/CONT.	24" O.C.
	<i>Eleocharis macrostachya</i>	Pale Spikerush	#1/CONT.	12" O.C.
	<i>Juncus patens</i>	California Gray Rush	#1/CONT.	12" O.C.

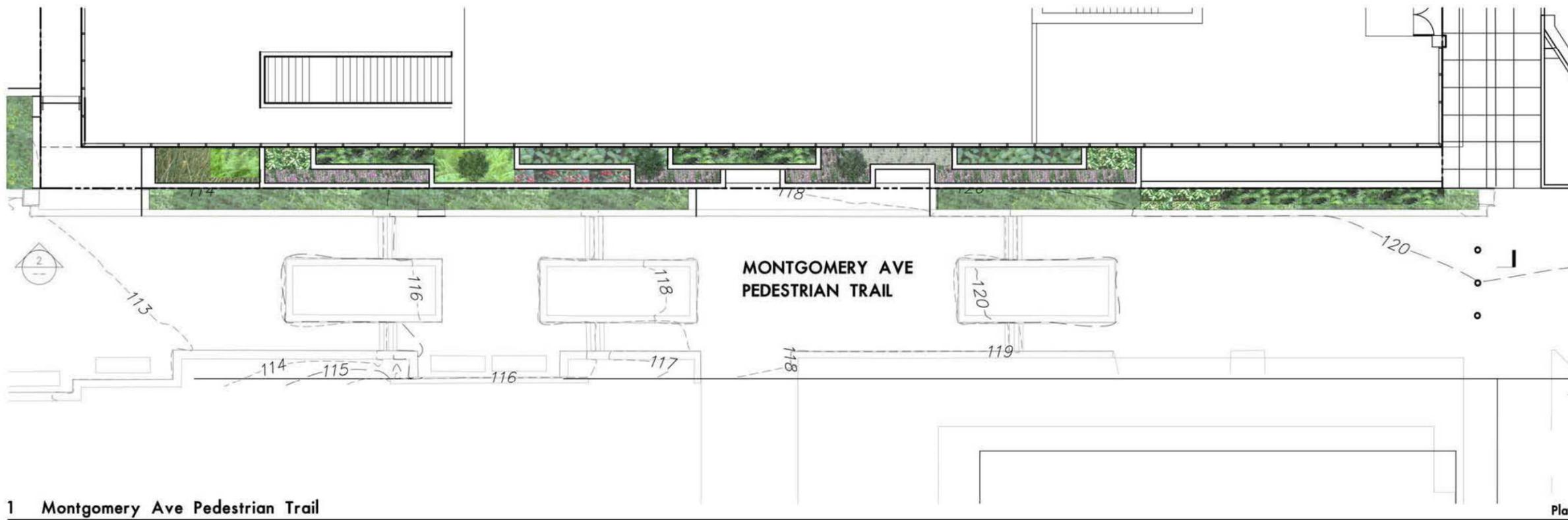
PLANTING NOTES

- THIS PLAN IS BASED ON A SURVEY BY CENTERLINE CONCEPTS LAND SURVEYING, INC. DATED 01/08/2015. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
- ALL PLANT MATERIAL IN AT-GRADE PLANTERS TO BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

ABBREVIATIONS

- B&B BALLED & BURLAPPED
- CAL CALIPER
- CONT CONTAINER
- O.C. ON CENTER
- TBD TO BE DETERMINED
- # CONTAINER SIZE

Montgomery Avenue Pedestrian Trail



1 Montgomery Ave Pedestrian Trail



2 Montgomery Ave Pedestrian Trail

Montgomery Avenue Plant Palette



Chamaecyparis obtusa 'Gracilis'
Slender Hinoki False Cypress



Cephalotaxus harringtonia
Japanese Plum Yew



Sarcococca rusdifolia
Fragrant Sweet Box



Skimmia japonica
Japanese Skimmia



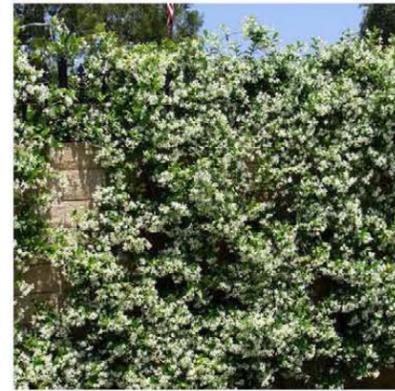
Polystichum munitum
Western Sword Fern



Rhododendron catawbiense 'Album'
White Catawba Rhododendron



Liriope gigantea
Giant Lilyturf



Trachelospermum jasminoides 'Madison'
Madison Star Jasmine



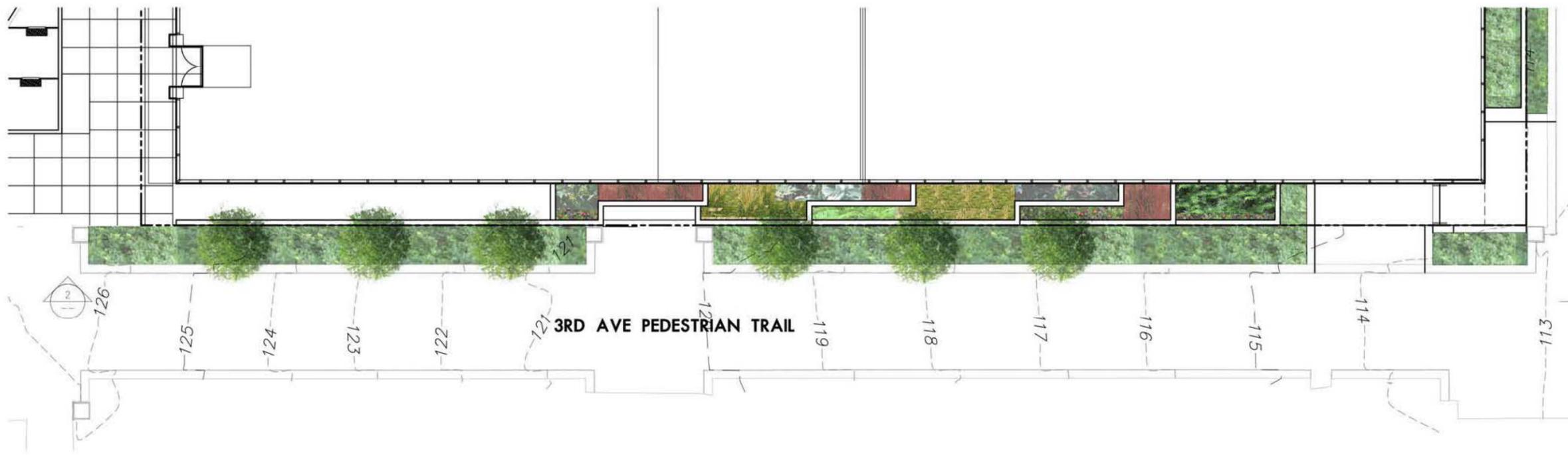
Pachysandra terminalis
Japanese Spurge

4th and Harrison

Plant Palette - Montgomery Pedestrian Trail

lango.hansen LANDSCAPE ARCHITECTS PC

3rd Avenue Pedestrian Trail



1 3rd Ave Pedestrian Trail

Plan



2 3rd Ave Pedestrian Trail

Elevation

3rd Avenue Plant Palette



Zelkova serrata 'Musashino'
Musashino Columnar Zelkova



Cornus alba 'Sibirica'
Red Twig Dogwood



Miscanthus sinensis 'Adagio'
Adagio Maiden Grass



Cephalotaxus harringtonia
Japanese Plum Yew



Polystichum munitum
Western Sword Fern



Mahonia x media 'Charity'
Charity Mahonia



Cotoneaster x 'Hessei'
Hessei Cotoneaster



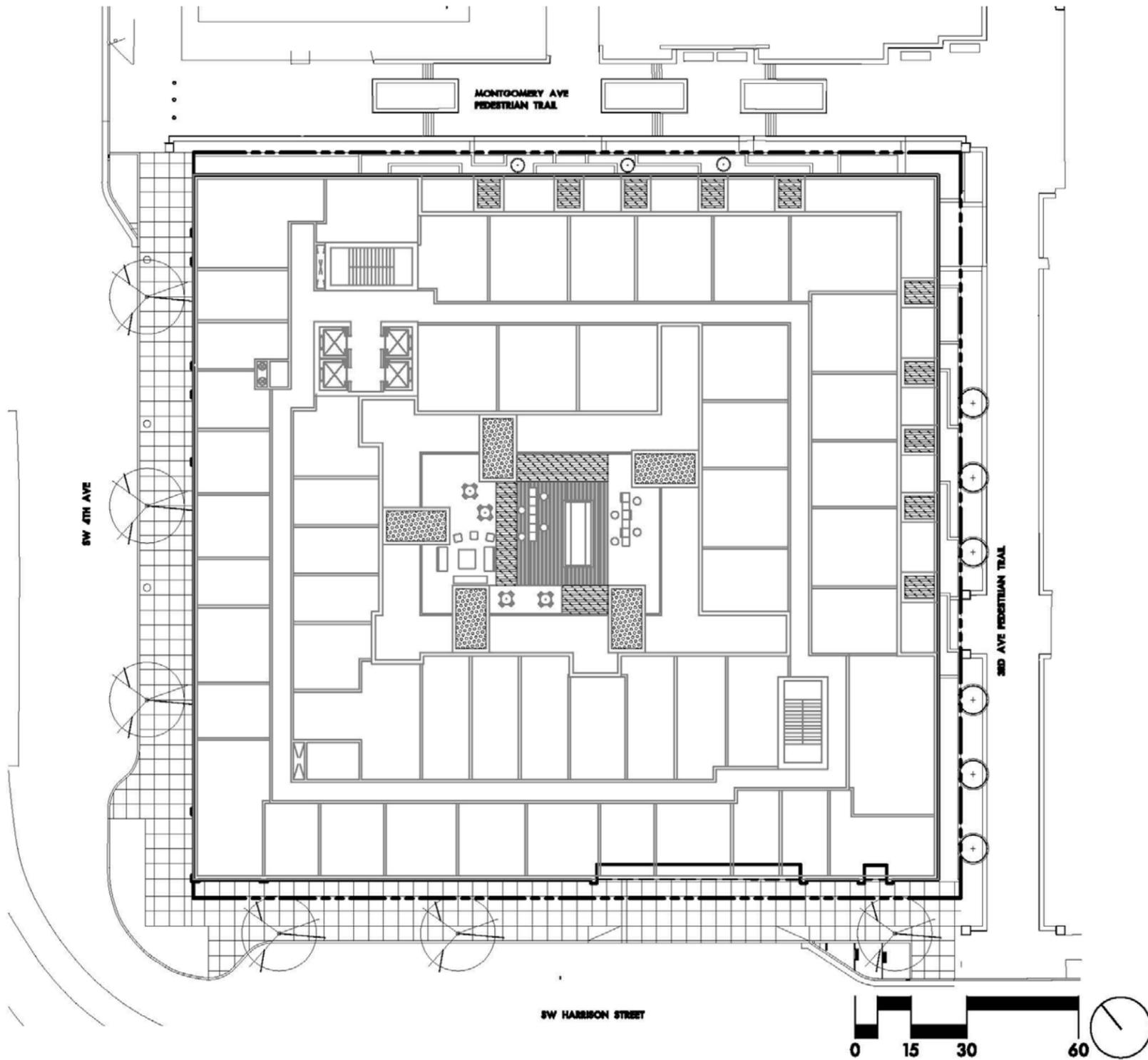
Pachysandra terminalis
Japanese Spurge

4th and Harrison

Plant Palette - 3rd Avenue Pedestrian Trail

lango.hansen LANDSCAPE ARCHITECTS PC

2nd Floor Planting Plan

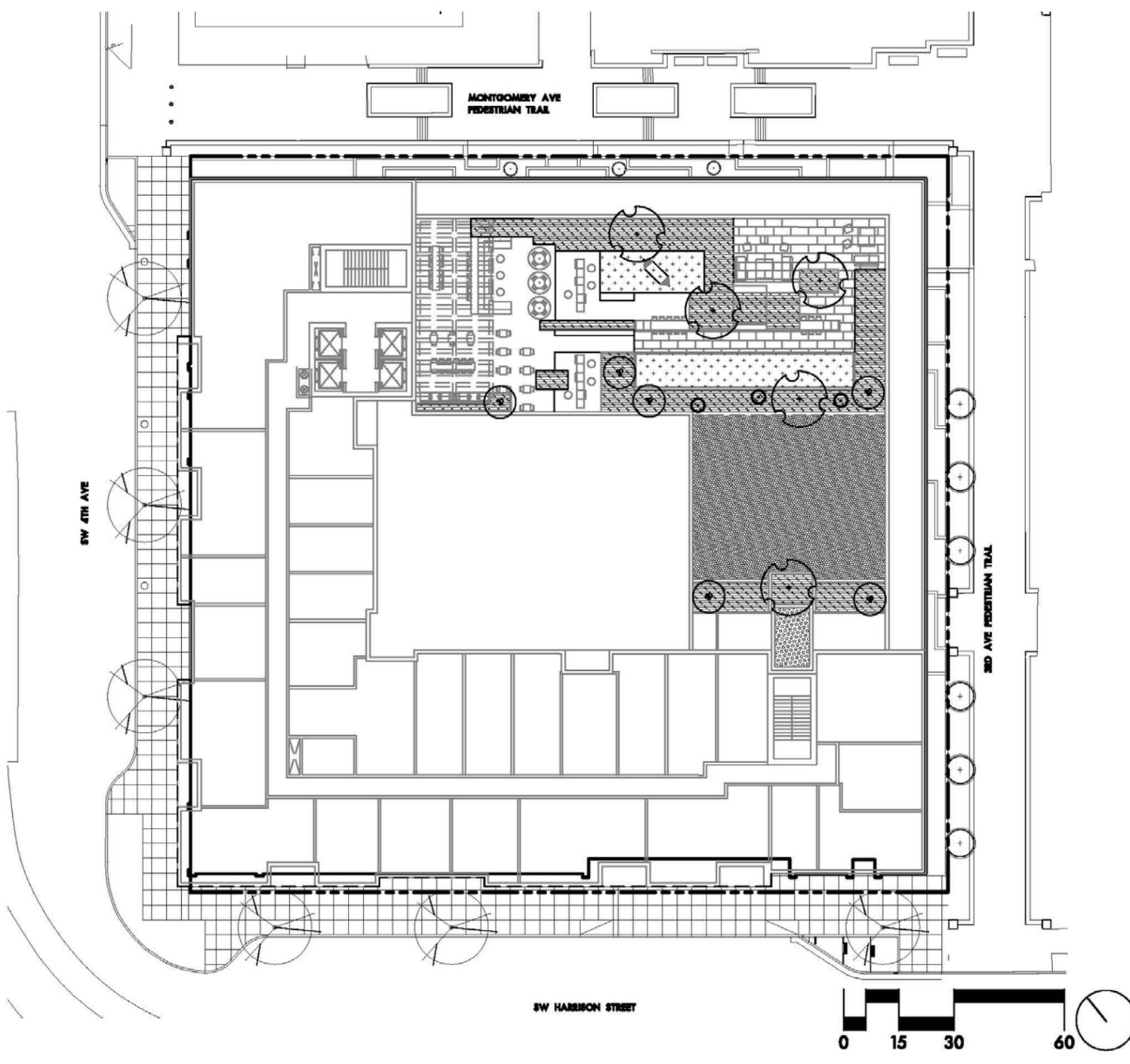


PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
SHRUBS, GRASSES AND GROUNDCOVERS				
[Symbol]	<i>Abelia x 'Rose Creek'</i>	Rose Creek Abelia	#5/CONT.	36" O.C.
[Symbol]	<i>Carex marrovii 'Ice Dance'</i>	Ice Dance Japanese Sedge	#1/CONT.	12" O.C.
[Symbol]	<i>Heuchera 'Electric Lime'</i>	Electric Lime Coral Bells	#1/CONT.	12" O.C.
[Symbol]	<i>Liriope gigantea</i>	Giant Lilyturf	#1/CONT.	18" O.C.
[Symbol]	<i>Podocarpus lawrencei 'Blue Treasure'</i>	Blue Treasure Mountain Plum Pine	#5/CONT.	30" O.C.
[Symbol]	<i>Polystichum munitum</i>	Western Sword Fern	#5/CONT.	36" O.C.
[Symbol]	<i>Sarcococca ruscifolia</i>	Sweet Box	#5/CONT.	36" O.C.
STORMWATER PLANTING				
[Symbol]	<i>Asarum caudatum</i>	Wild Ginger	#1/CONT.	12" O.C.
[Symbol]	<i>Carex elata 'Bowles Golden'</i>	Bowles Golden Sedge	#1/CONT.	12" O.C.
[Symbol]	<i>Cornus sericea 'Kelsey'</i>	Dwarf Red Osier Dogwood	#5/CONT.	24" O.C.
[Symbol]	<i>Fragaria chiloensis</i>	Beach Strawberry	#1/CONT.	12" O.C.
[Symbol]	<i>Juncus patens</i>	California Gray Rush	#1/CONT.	12" O.C.
[Symbol]	<i>Ligularia stenocephala 'The Rocket'</i>	Rocket Ligularia	#5/CONT.	24" O.C.

FOR NOTES AND ABBREVIATIONS SEE SITE PLANTING PLAN

4th Floor Planting Plan



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES				
	<i>Acer circinatum</i>	Vine Maple	1.5" CAL./B&B	AS SHOWN
	<i>Acer palmatum 'Seiryu'</i>	Seiryu Japanese Maple	2.5" CAL./B&B	AS SHOWN
	<i>Chamaecyparis obtusa 'Gracilis'</i>	Slender Hinoki False Cypress	2.5" CAL./B&B	AS SHOWN
SHRUBS, GRASSES AND GROUNDCOVERS				
	<i>Abelia x 'Rose Creek'</i>	Rose Creek Abelia	#5/CONT.	36" O.C.
	<i>Amsonia x 'Blue Ice'</i>	Blue Star Flower	#1/CONT.	12" O.C.
	<i>Armeria maritima 'Rubrifolia'</i>	Red Leaf Thrift	#1/CONT.	12" O.C.
	<i>Carex marrowii 'Ice Dance'</i>	Ice Dance Japanese Sedge	#1/CONT.	12" O.C.
	<i>Carex testacea</i>	New Zealand Orange Sedge	#5/CONT.	30" O.C.
	<i>Euonymus fortunei 'Ivory Jade'</i>	Ivory Jade Wintercreeper	#5/CONT.	42" O.C.
	<i>Heuchera x 'Electric Lime'</i>	Electric Lime Coral Bells	#1/CONT.	12" O.C.
	<i>Lavandula stoechas 'Otto Quast'</i>	Otto Quast Spanish Lavender	#5/CONT.	24" O.C.
	<i>Liriope gigantea</i>	Giant Lilyturf	#1/CONT.	18" O.C.
	<i>Miscanthus sinensis 'Little Kitten'</i>	Little Kitten Dwarf Maidenhair	#5/CONT.	36" O.C.
	<i>Podocarpus lawrencei 'Blue Treasure'</i>	Blue Treasure Mountain Plum Pine	#5/CONT.	30" O.C.
	<i>Polystichum munitum</i>	Western Sword Fern	#5/CONT.	36" O.C.
	<i>Rosmarinus officinalis 'Tuscan Blue'</i>	Tuscan Blue Rosemary	#5/CONT.	30" O.C.
	<i>Sarcococca ruscifolia</i>	Sweet Box	#5/CONT.	36" O.C.
	<i>Thymus pseudolanuginosus</i>	Woolly Thyme	#1/CONT.	12" O.C.
STORMWATER PLANTING				
	<i>Asarum caudatum</i>	Wild Ginger	#1/CONT.	12" O.C.
	<i>Carex elata 'Bowles Golden'</i>	Bowles Golden Sedge	#1/CONT.	12" O.C.
	<i>Cornus sericea 'Kelsey'</i>	Dwarf Red Osier Dogwood	#5/CONT.	24" O.C.
	<i>Fragaria chiloensis</i>	Beach Strawberry	#1/CONT.	12" O.C.
	<i>Juncus patens</i>	California Gray Rush	#1/CONT.	12" O.C.
	<i>Ligularia stenocephala 'The Rocket'</i>	Rocket Ligularia	#5/CONT.	24" O.C.
GREEN ROOF				
	Sedum Mat	Sedum Mat		
TURF				
	Artificial Turf	Forever Lawn		

FOR NOTES AND ABBREVIATIONS SEE SITE PLANTING PLAN

2nd and 4th Floors Plant Palette



Chamaecyparis obtusa 'Gracilis'
Slender Hinoki False Cypress



Acer circinatum
Vine Maple



Sarcococca ruscifolia
Fragrant Sweet Box



Podocarpus lawrencei 'Blue Treasure'
Blue Treasure Mountain Plum Pine



Thymus pseudolanuginosus
Woolly Thyme



Lavandula stoechas 'Otto Quast'
Otto Quast Spanish Lavender



Acer palmatum 'Seiryu'
Seiryu Japanese Maple



Liriope gigantea
Giant Lilyturf



Euonymus fortunei 'Ivory Jade'
Ivory Jade Wintercreeper



Abelia x 'Rose Creek'
Rose Creek Abelia



Heuchera 'Electric Lime'
Electric Lime Coral Bells



Carex testacea
New Zealand Orange Sedge



Miscanthus sinensis 'Little Kitten'
Little Kitten Dwarf Maidenhair Grass



Rosmarinus officinalis 'Tuscan Blue'
Tuscan Blue Rosemary



Armeria maritima 'Rubrifolia'
Red Leaf Thrift



Carex morrowii 'Ice Dance'
Ice Dance Japanese Sedge



Amsonia x 'Blue Ice'
Blue Star Flower

4th and Harrison

Plant Palette - 2nd and 4th Floors

lango.hansen LANDSCAPE ARCHITECTS PC

Stormwater Planting and Green Roof Plant Palette



Eleocharis macrastachya
Pale Spikerush



Cornus sericea 'Kelseyi'
Kelsey Dwarf Red Osier Dogwood



Juncus patens
California Gray Rush



Ligularia stenocephala 'The Rocket'
Rocket Ligularia



Carex elata 'Bowles Golden'
Bowles Golden Sedge



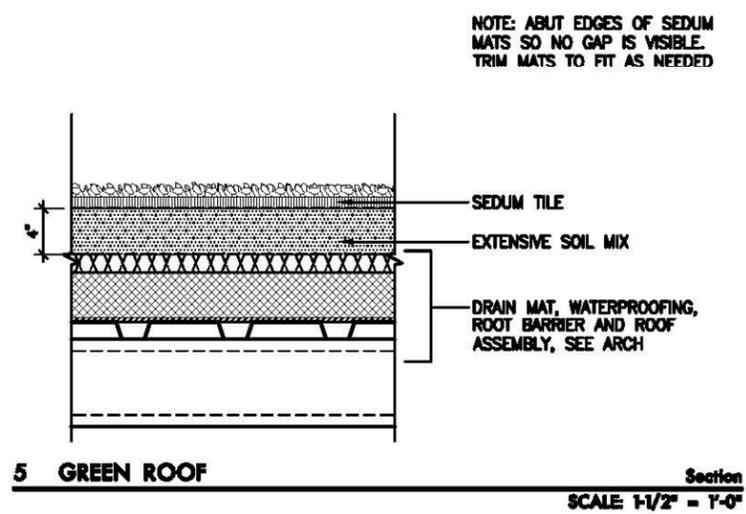
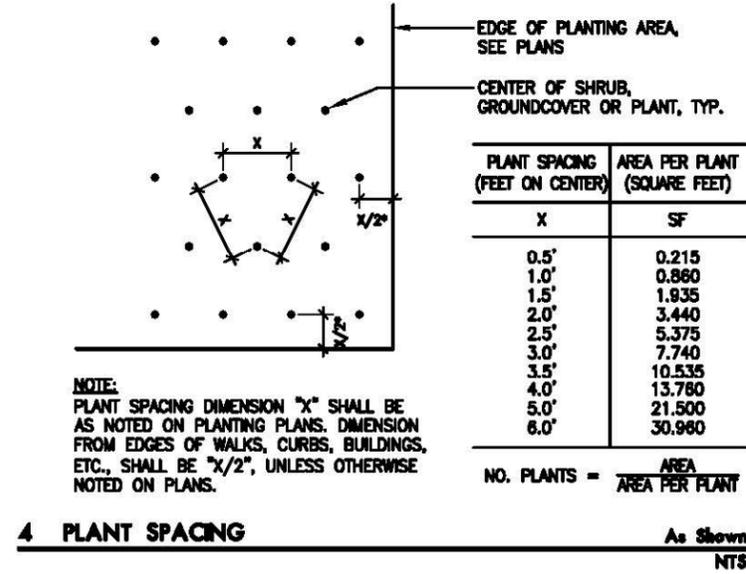
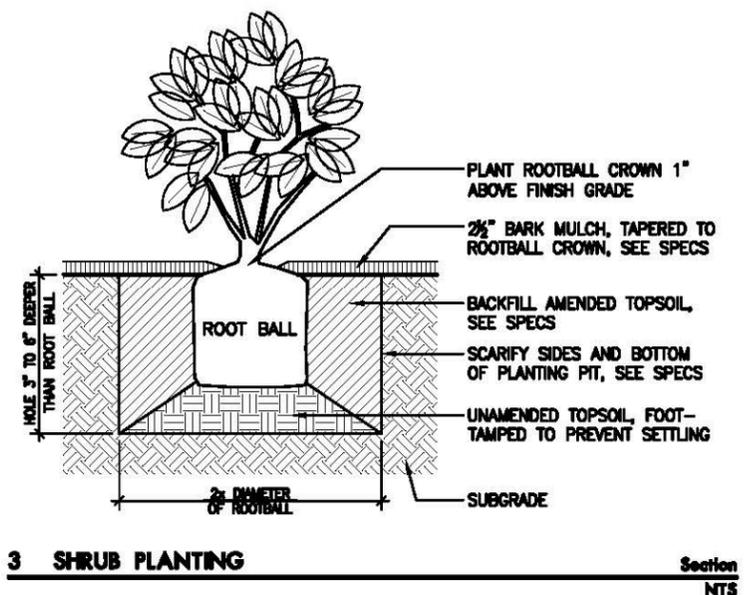
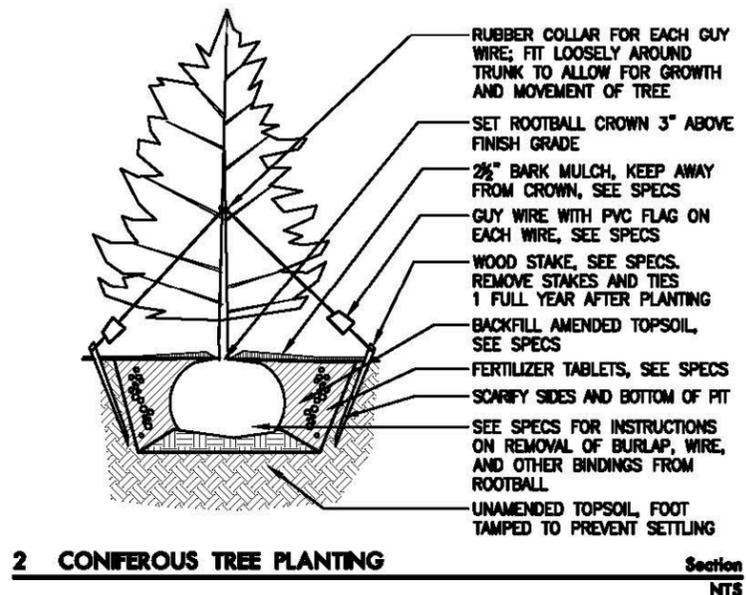
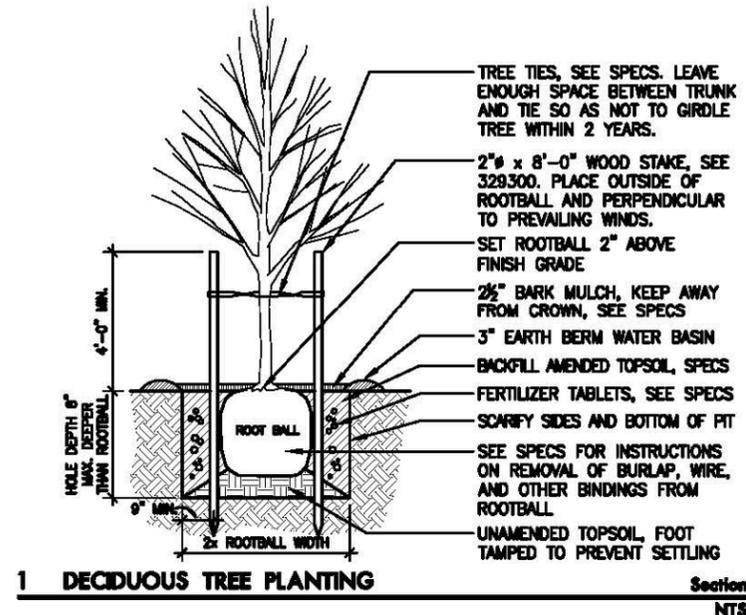
Asarum caudatum
Wild Ginger



Fragaria chiloensis
Beach Strawberry



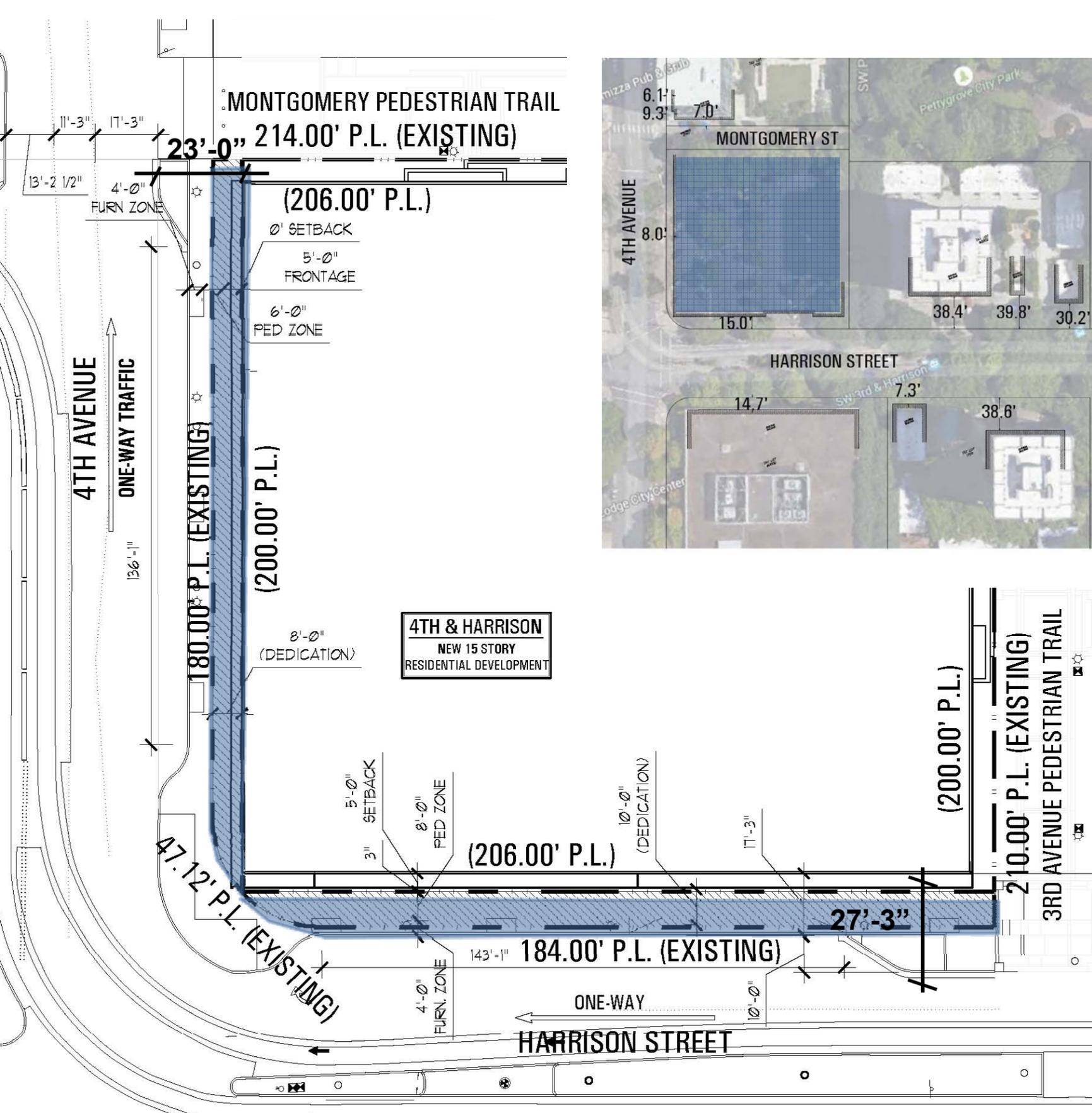
Sedum Mat - Green Roof



0 NOT USED Section SCALE

Setback Precedence & Dedication

- 15' setbacks along Harrison are present at 4th, 1st and Naito Pkwy
- These buildings create a 'gateway' into the superblocks
- Along 4th, the building sets back 8', and the Cyan sets back 6' - this helps to continue the urban edge



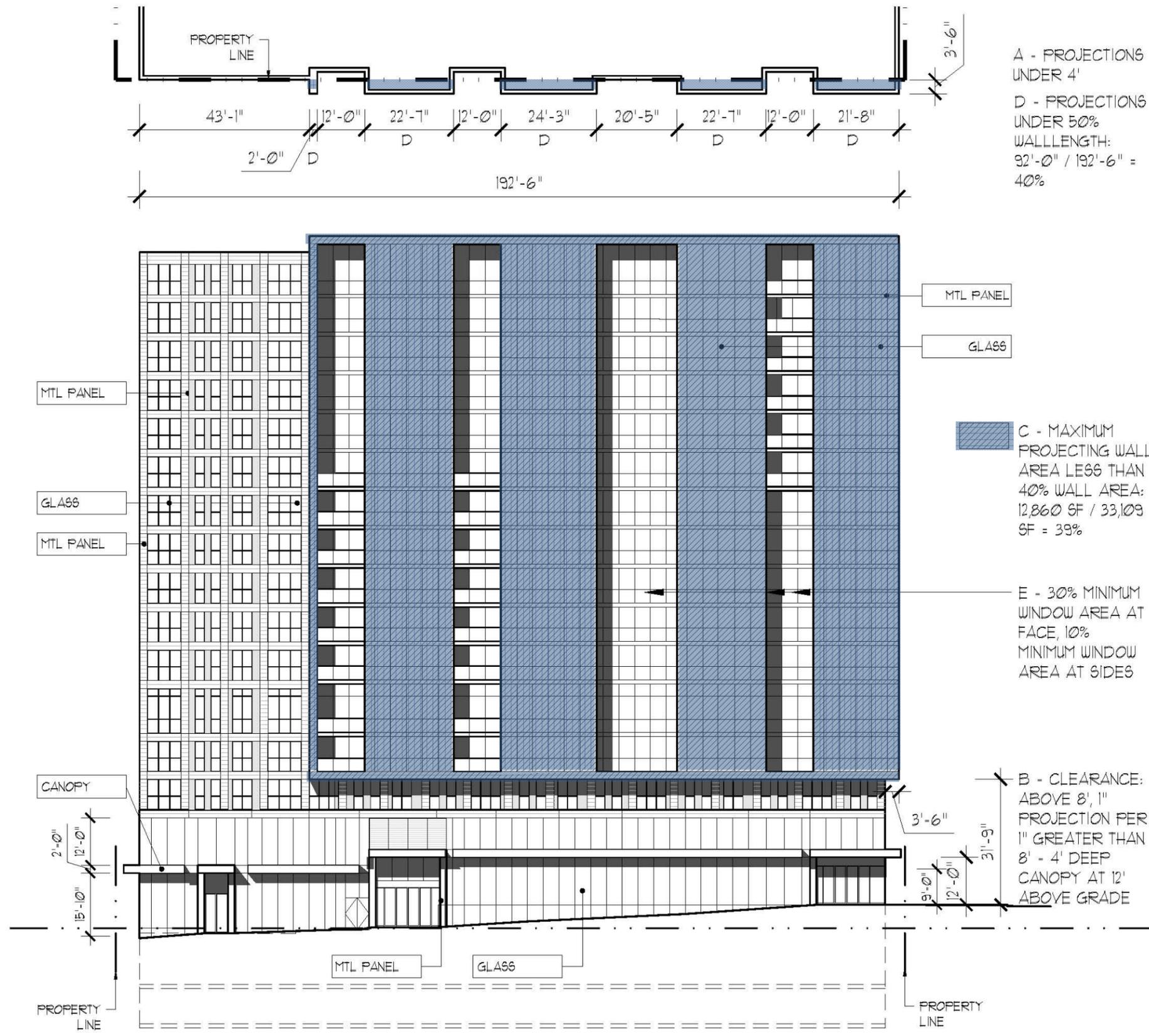
Projection Study

Window Projections into the Public Right-of-Way

Modification Requested:

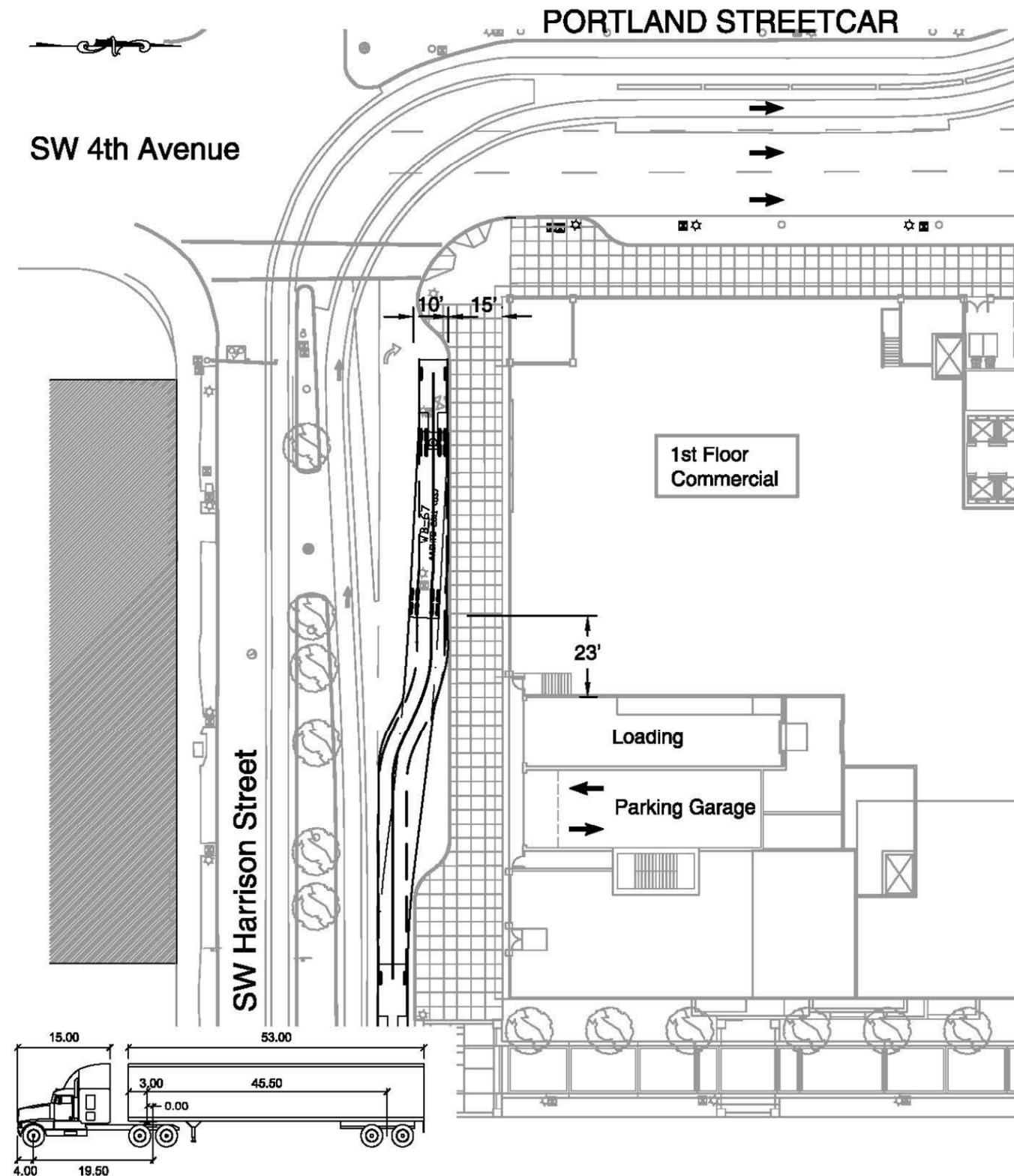
F. Maximum width of 12' for each projecting window element

Items A – E & G provided



Traffic Study
Curb Side
Loading Area
SW Harrison St.

WB-67 Autoturn
Analysis



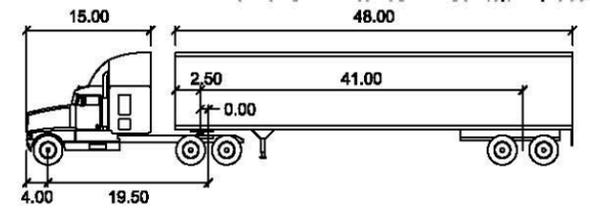
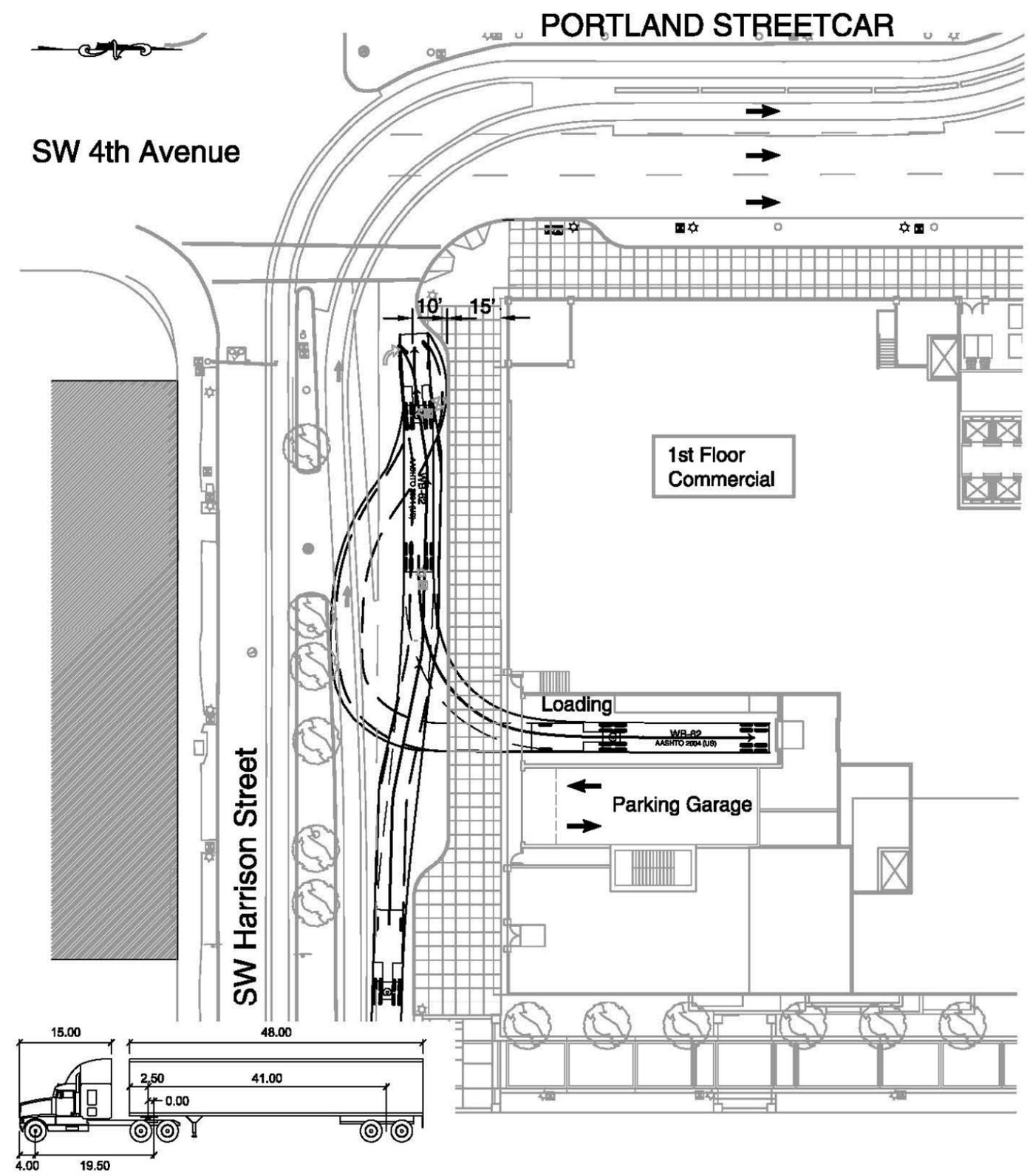
WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



Traffic Study
Loading Dock
SW Harrison St.

WB-62 Autoturn
Analysis

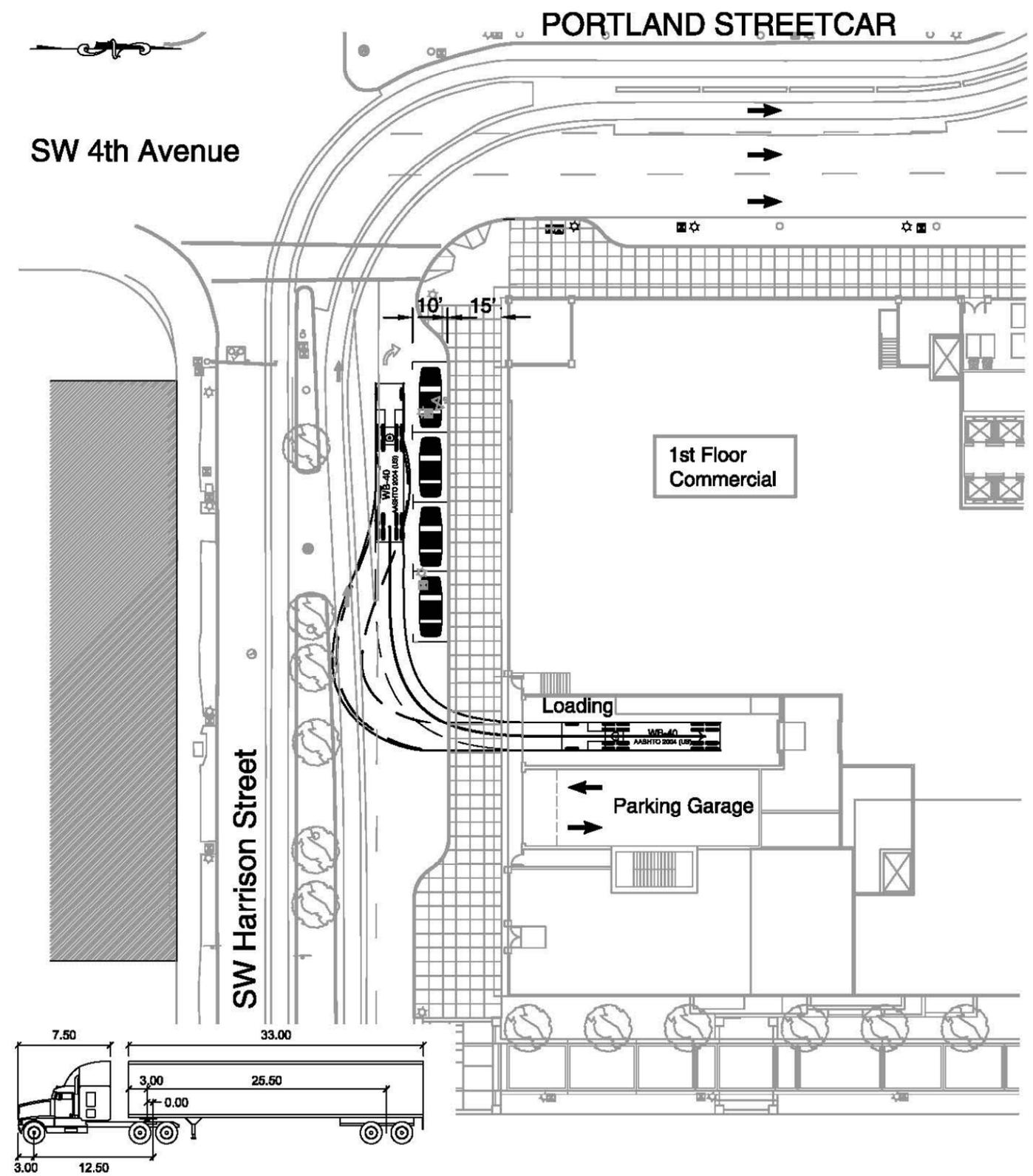


WB-62		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



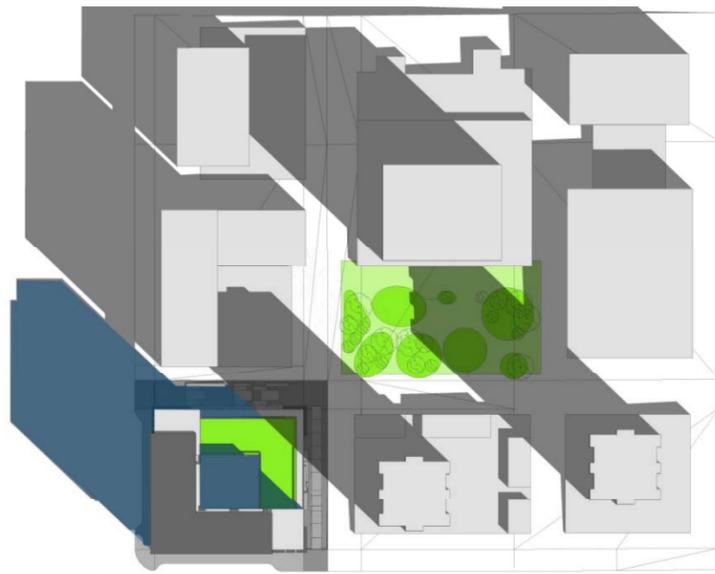
Traffic Study
Loading Dock
SW Harrison St.

WB-40 Autoturn
Analysis

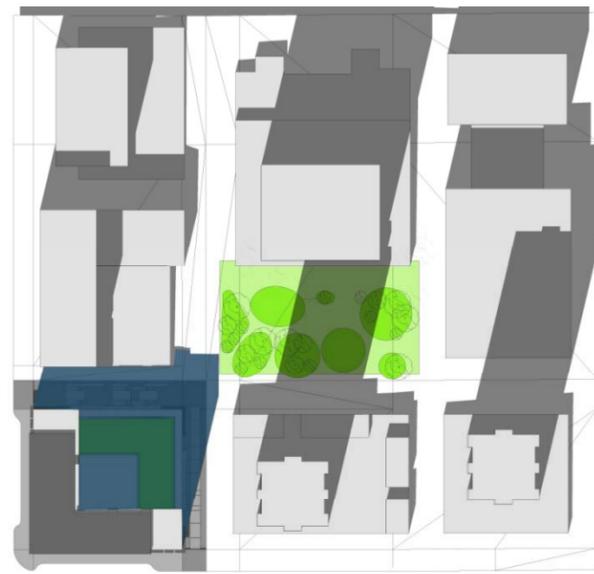


WB-40		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

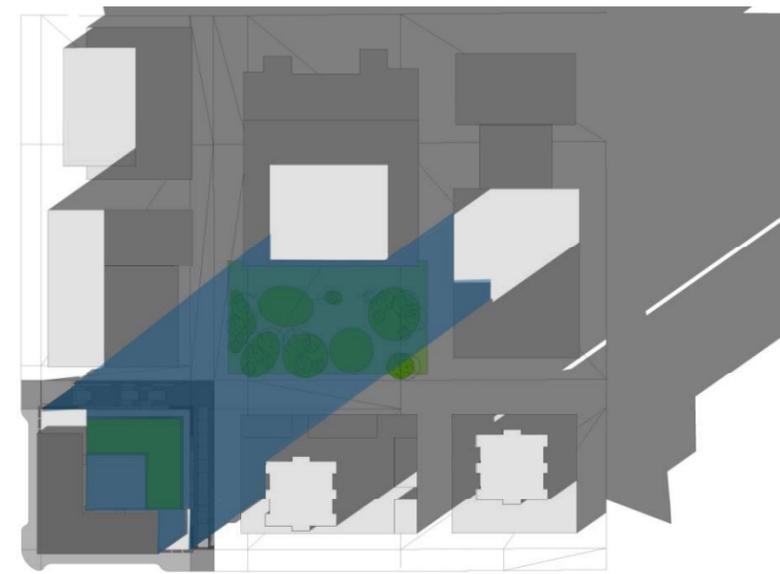




NOON



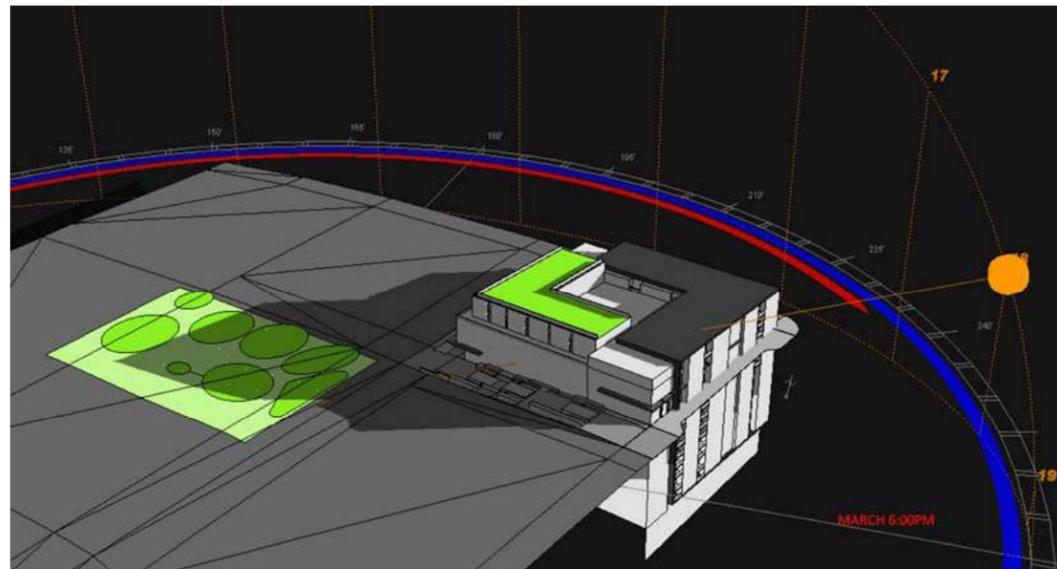
3 PM



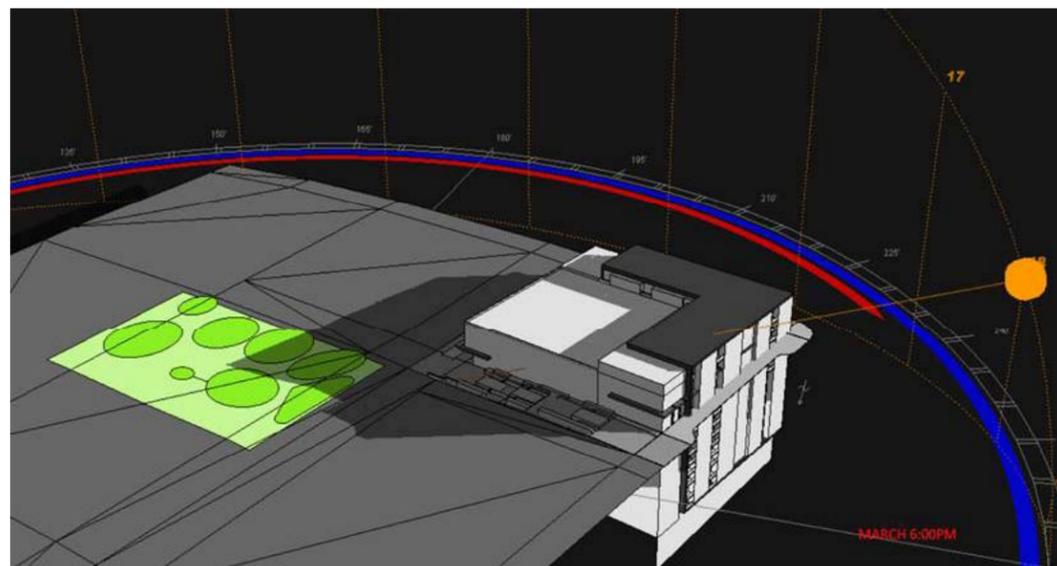
6 PM



Proposed Design



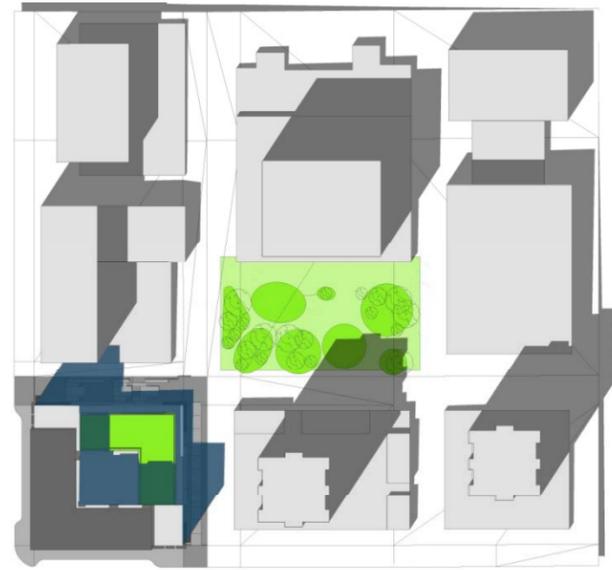
3-Story Bldg



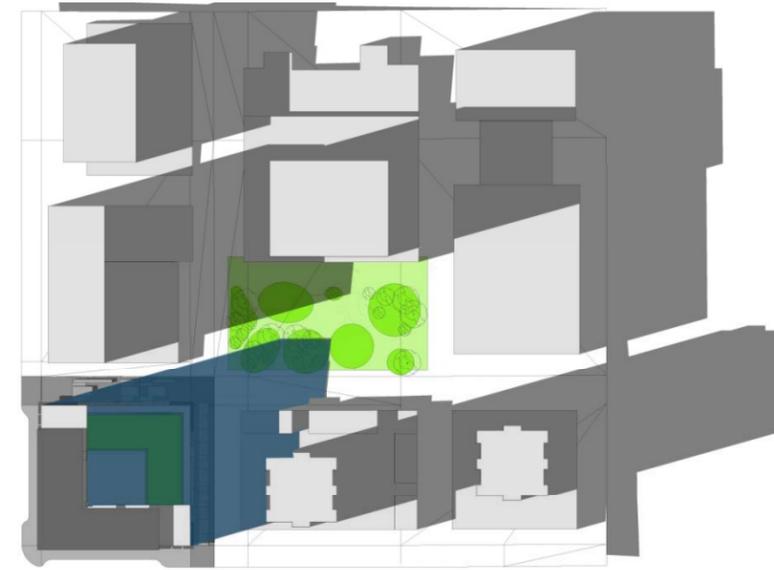
1- Story Bldg



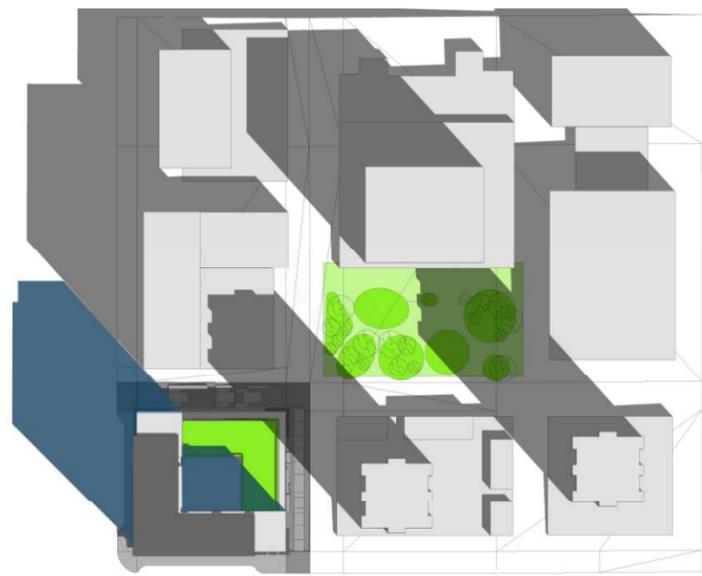
NOON



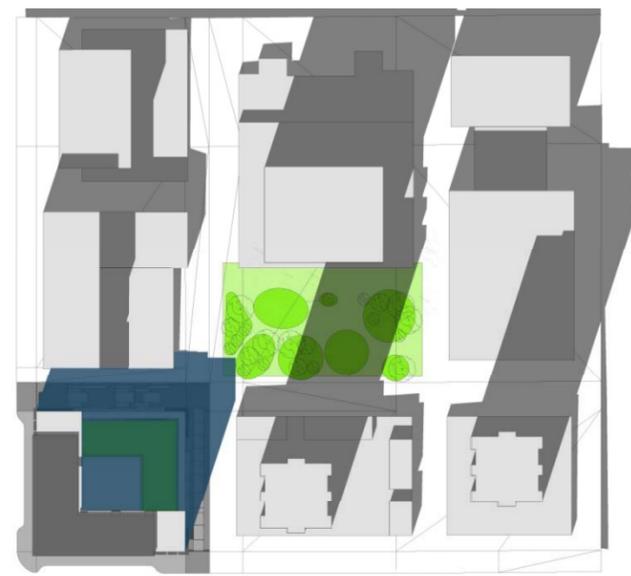
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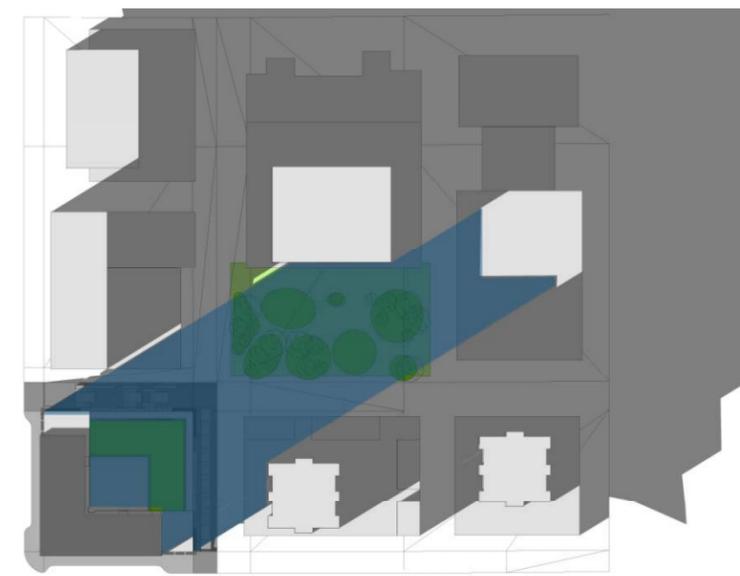
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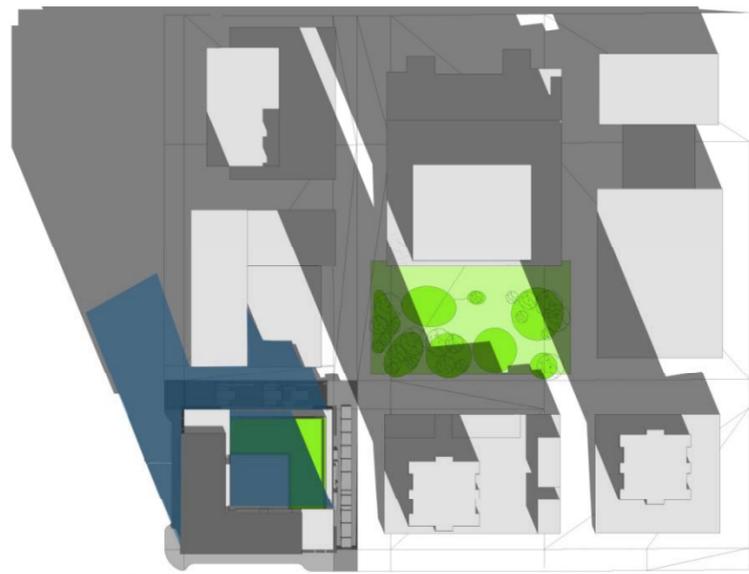
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3 PM



6 PM



NOON



3 PM

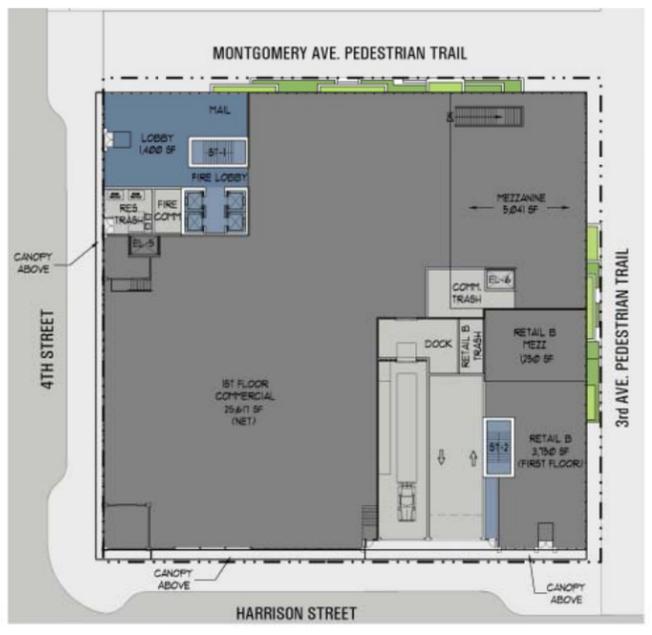
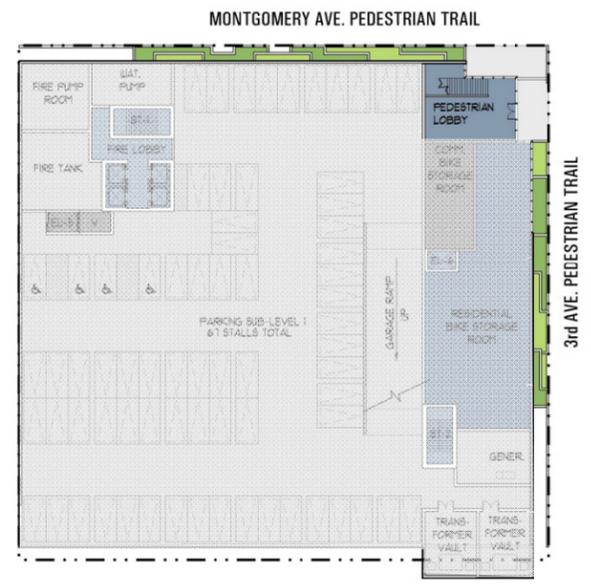
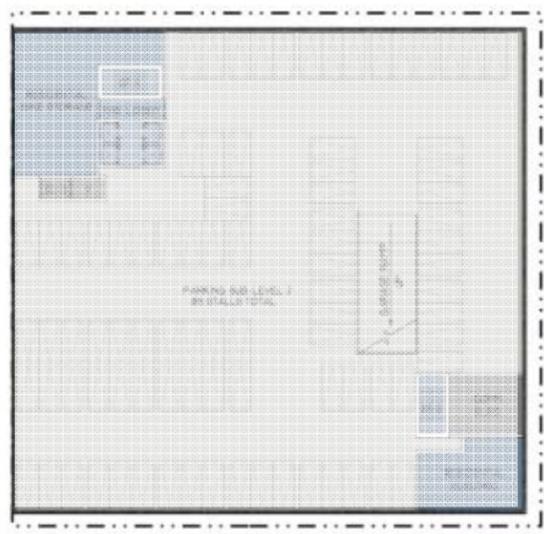


6 PM

FAR Calculations

FAR SUMMARY

SUB BASEMENT 1:	671 SF
GROUND FLOOR: (including mezzanine)	45,888 SF
2 ND & 3 RD FLOORS (EA):	29,136 SF
4 TH – 14 TH FLOORS (EA):	20,100 SF
15 TH FLOOR:	17,508 SF
TOTAL FLOOR AREA:	343,439 SF
SITE AREA:	44,746 SF
SITE AREA: (AFTER DEDICATION):	41.200 SF
ALLOWABLE FAR:	9:1
PROPOSED PROJECT FAR: (PRE DEDICATION):	7.68:1
PROPOSED PROJECT FAR: (AFTER DEDICATION)	8.33:1



Ground Floor Window Areas

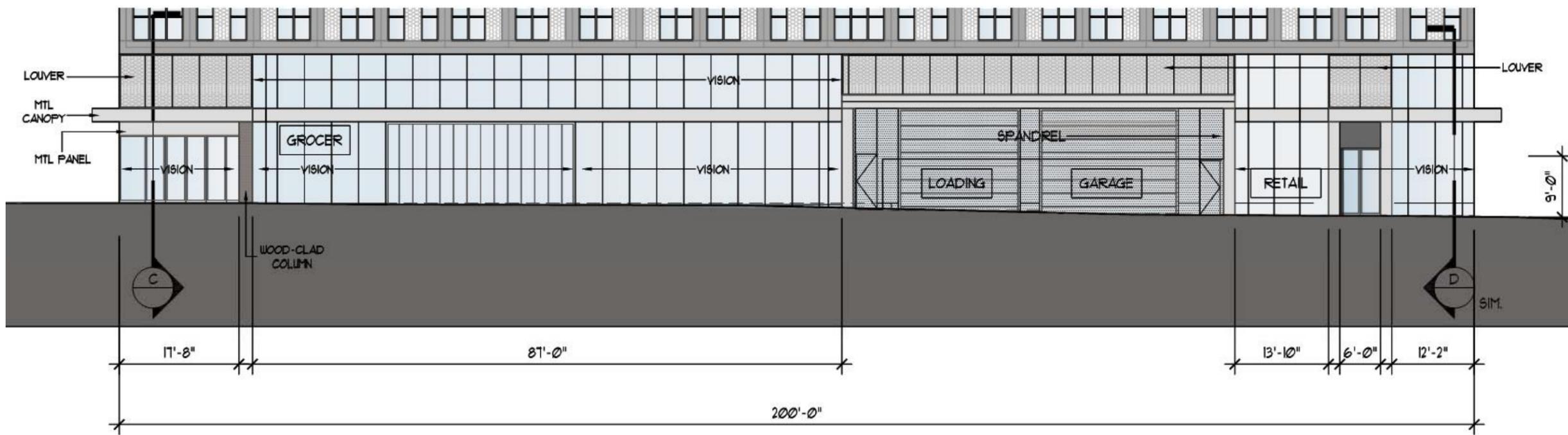
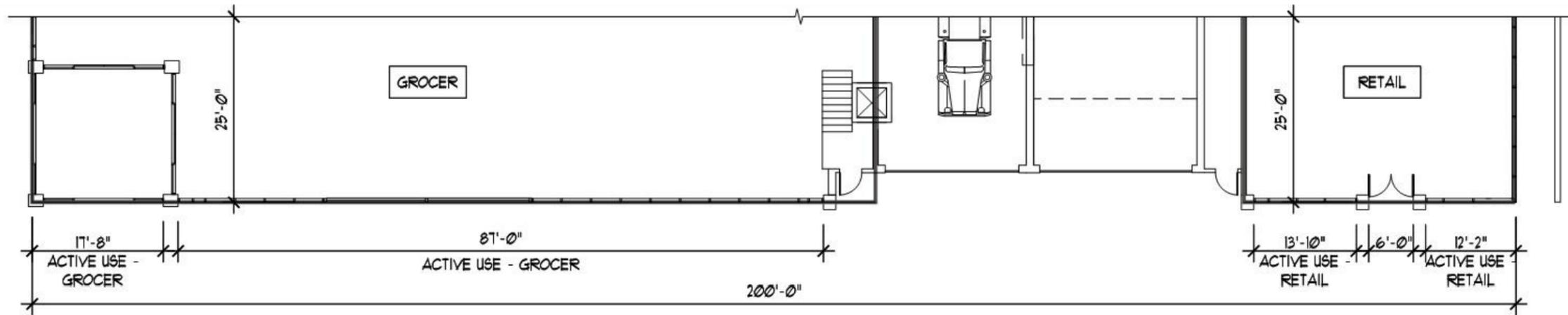
SW Harrison Street

Ground Floor Window Length:
 Total Length: 200'
 Window Length Required: 100'
 Window Length Provided: 136'-8"

Ground Floor Window Area:
 Total Area: 1,800 SF
 Window Area Required: 450 SF
 Window Area Provided: 1,230 SF

Ground Floor Active Use (25'
 deep, 12' high ceilings*):
 Total Length: 200'
 Window Length Required: 100'
 Window Length Provided: 136'-8"

*See sections on the following pages



SW Harrison Street

Ground Floor Window Areas

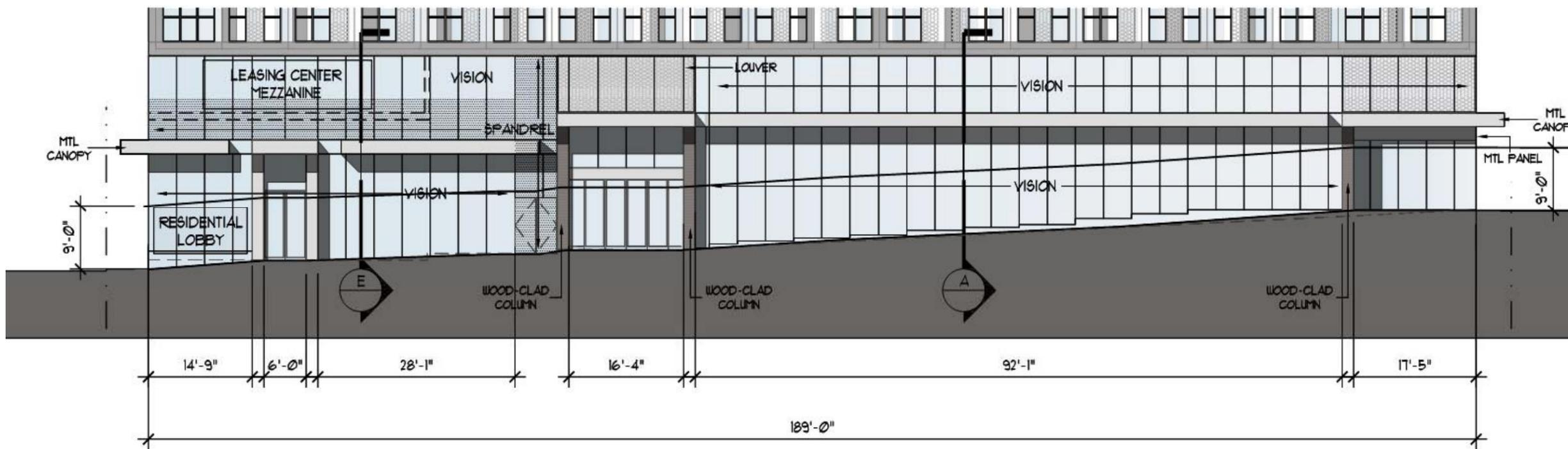
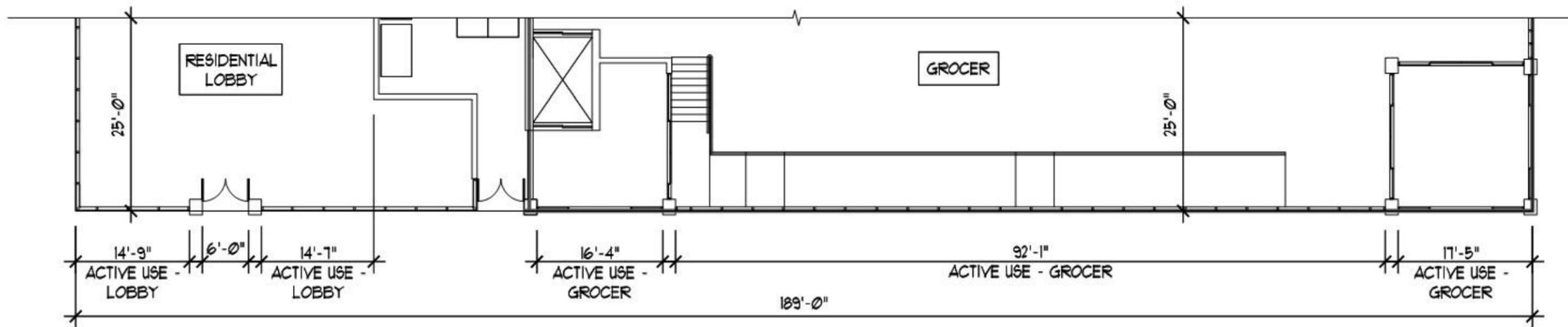
SW 4th Avenue

Ground Floor Window Length:
 Total Length: 189'
 Window Length Required: 94'-6"
 Window Length Provided: 174'-8"

Ground Floor Window Area:
 Total Area: 1,703 SF
 Window Area Required: 426 SF
 Window Area Provided: 1,535 SF

Ground Floor Active Use (25'
 deep, 12' high ceilings*):
 Total Length: 189'
 Window Length Required: 94'-6"
 Window Length Provided: 161'-2"

*See sections on the following pages



SW 4th Avenue

Ground Floor Window Areas

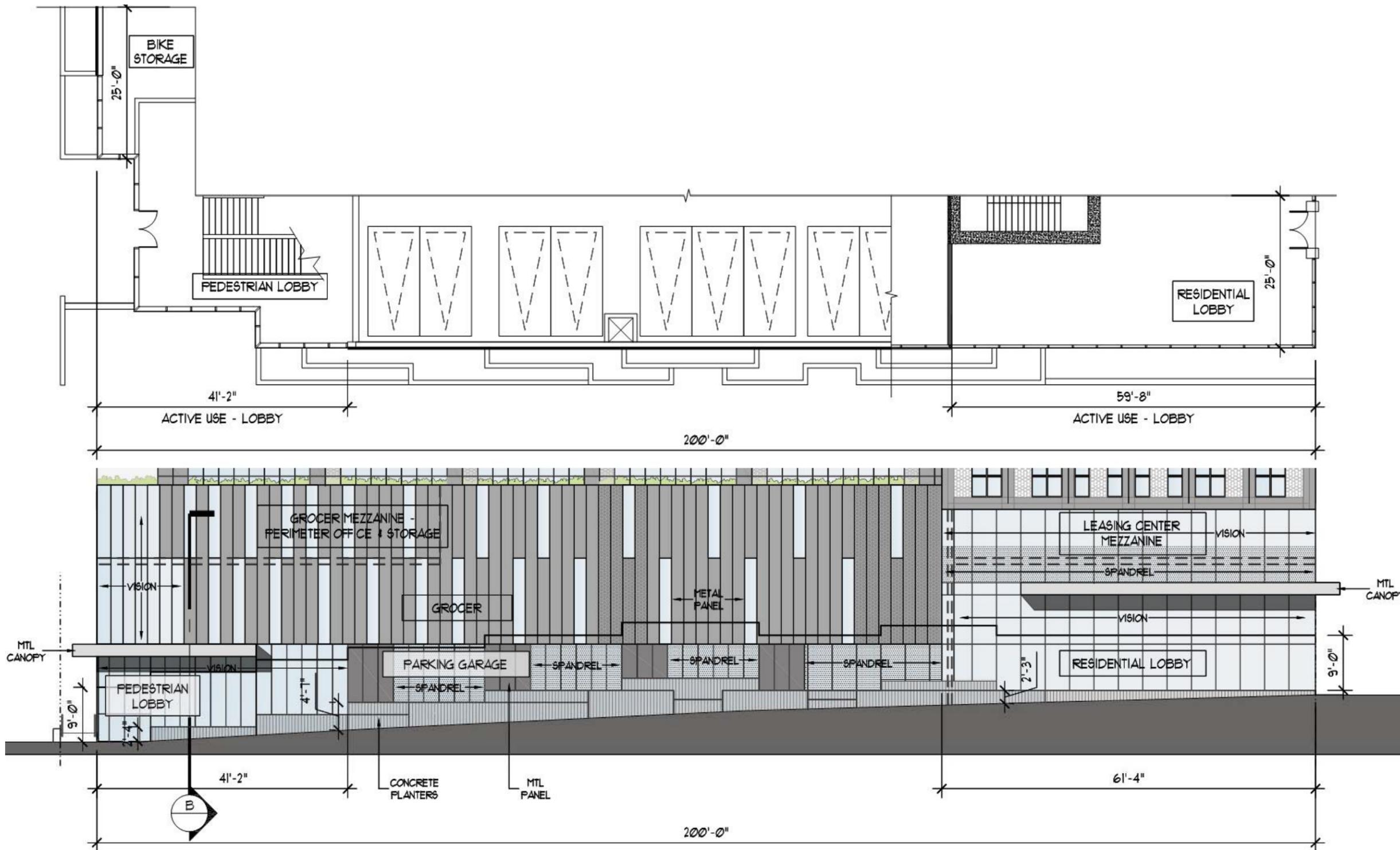
Montgomery Avenue

Ground Floor Window Length:
 Total Length: 200'
 Window Length Required: 100'
 Window Length Provided: 102'-6"

Ground Floor Window Area:
 Total Area: 1,800 SF
 Window Area Required: 450 SF
 Window Area Provided: 923 SF

Ground Floor Active Use (25' deep, 12' high ceilings*):
 Total Length: 200'
 Window Length Required: 100'
 Window Length Provided: 100'-10"

*See sections on the following pages



Montgomery Avenue

Ground Floor Window Areas

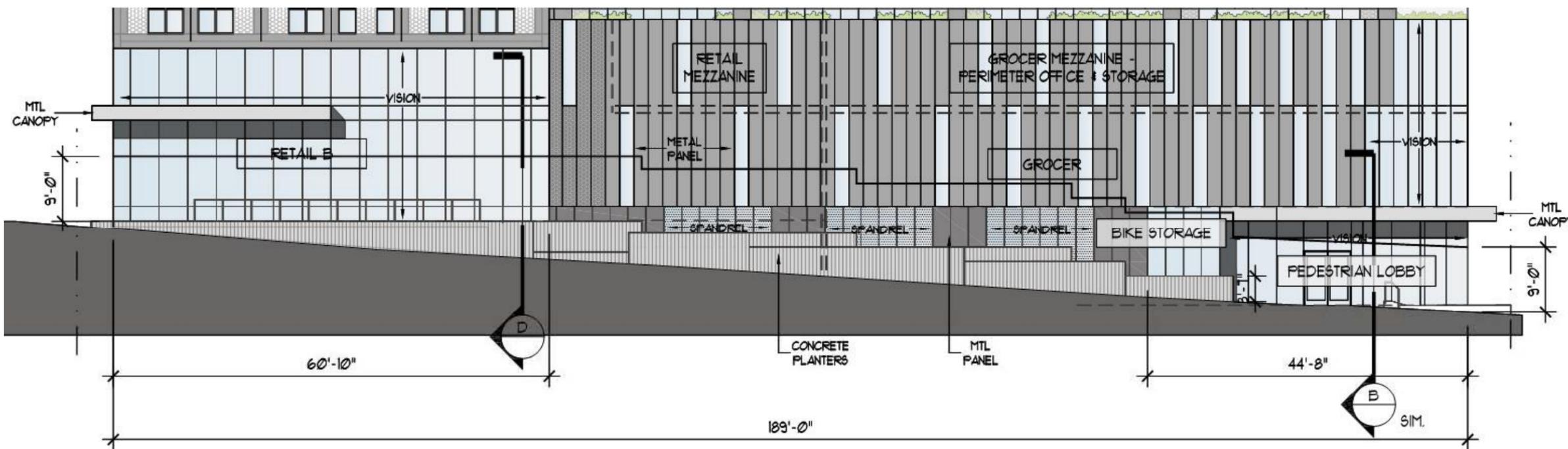
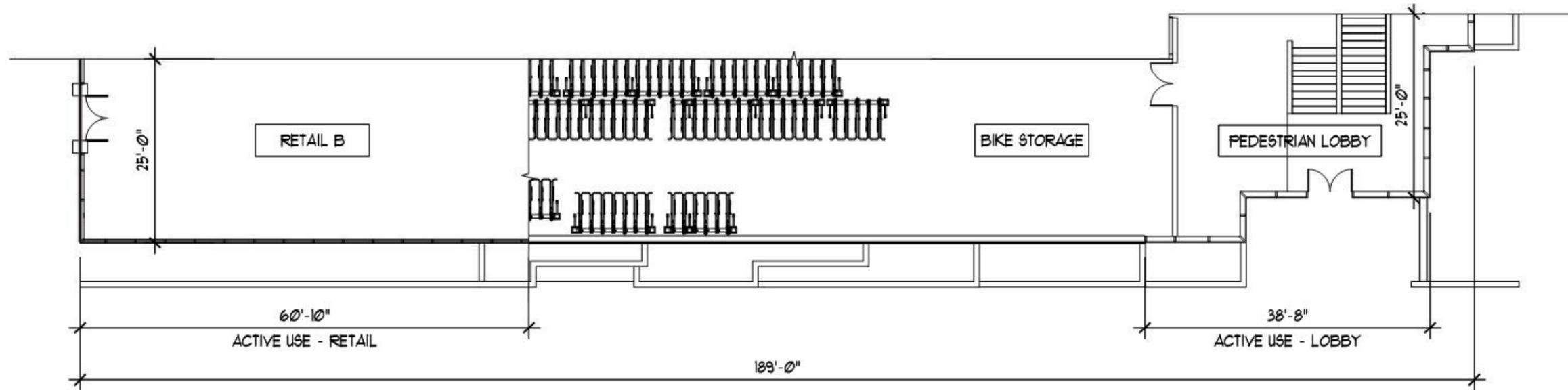
3rd Avenue

Ground Floor Window Length:
 Total Length: 189'
 Window Length Required: 94'-6"
 Window Length Provided: 105'-6"

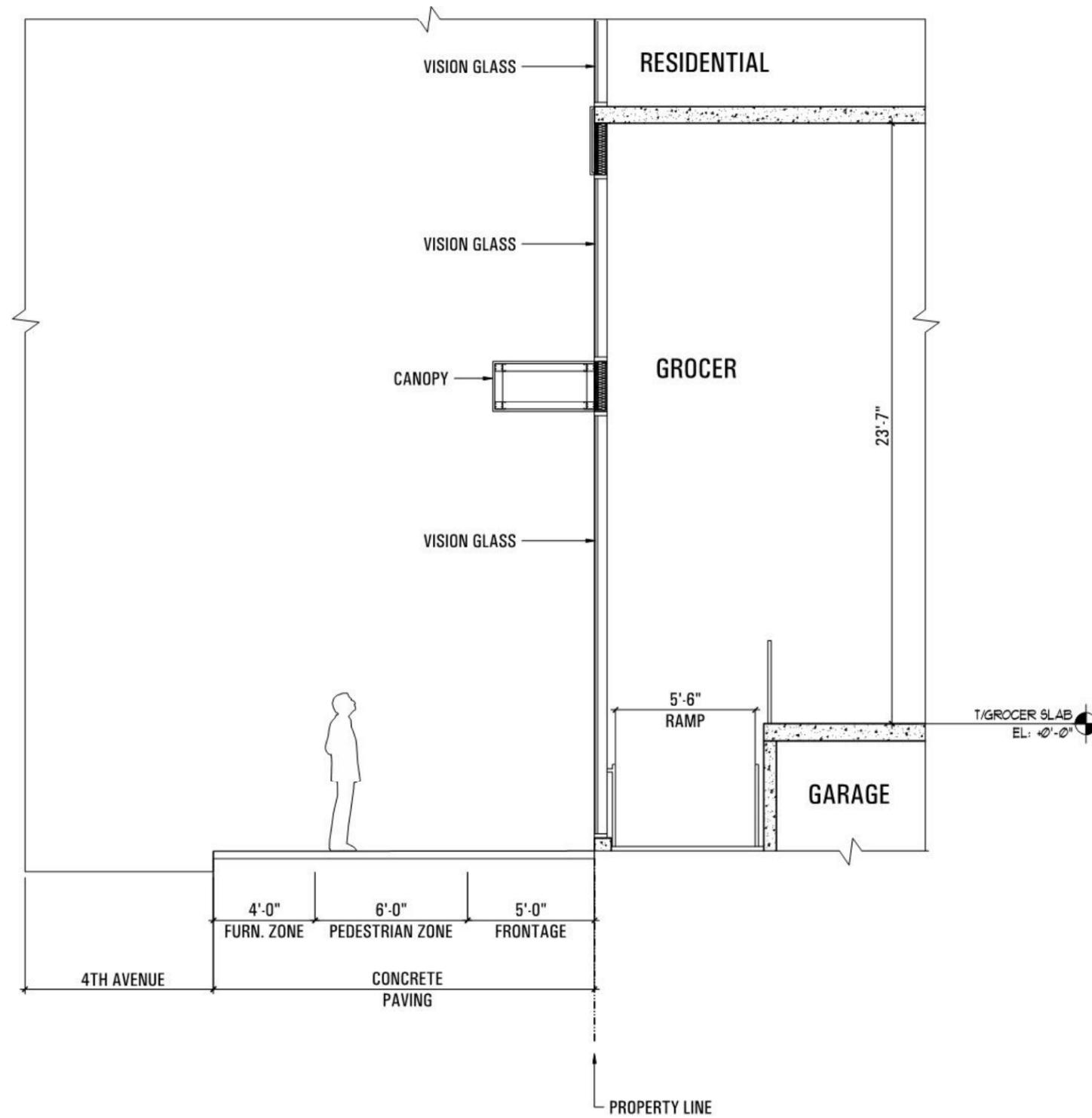
Ground Floor Window Area:
 Total Area: 1,704 SF
 Window Area Required: 426 SF
 Window Area Provided: 942 SF

Ground Floor Active Use (25'
 deep, 12' high ceilings*):
 Total Length: 189'
 Window Length Required: 94'-6"
 Window Length Provided: 99'-6"

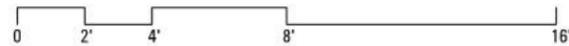
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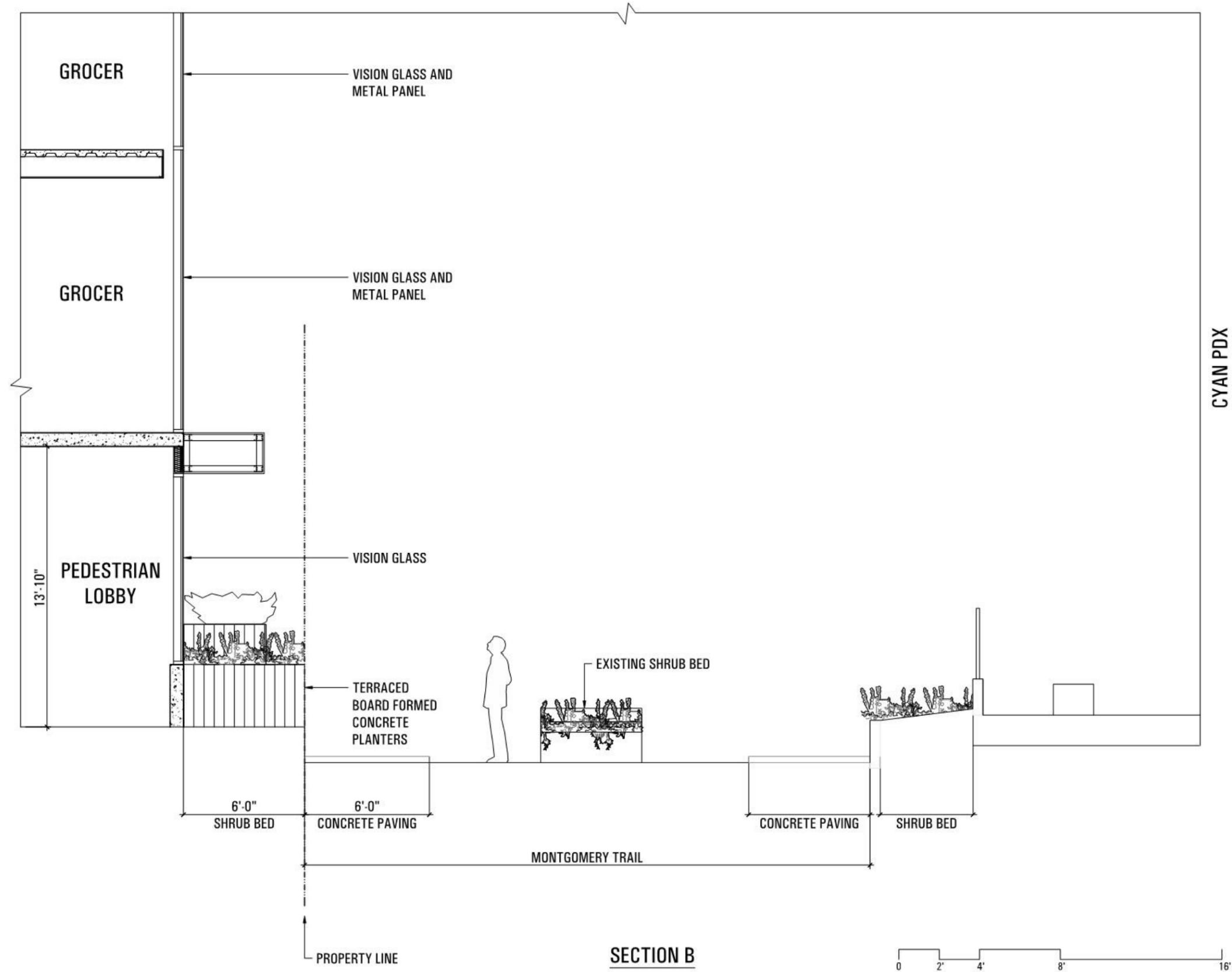


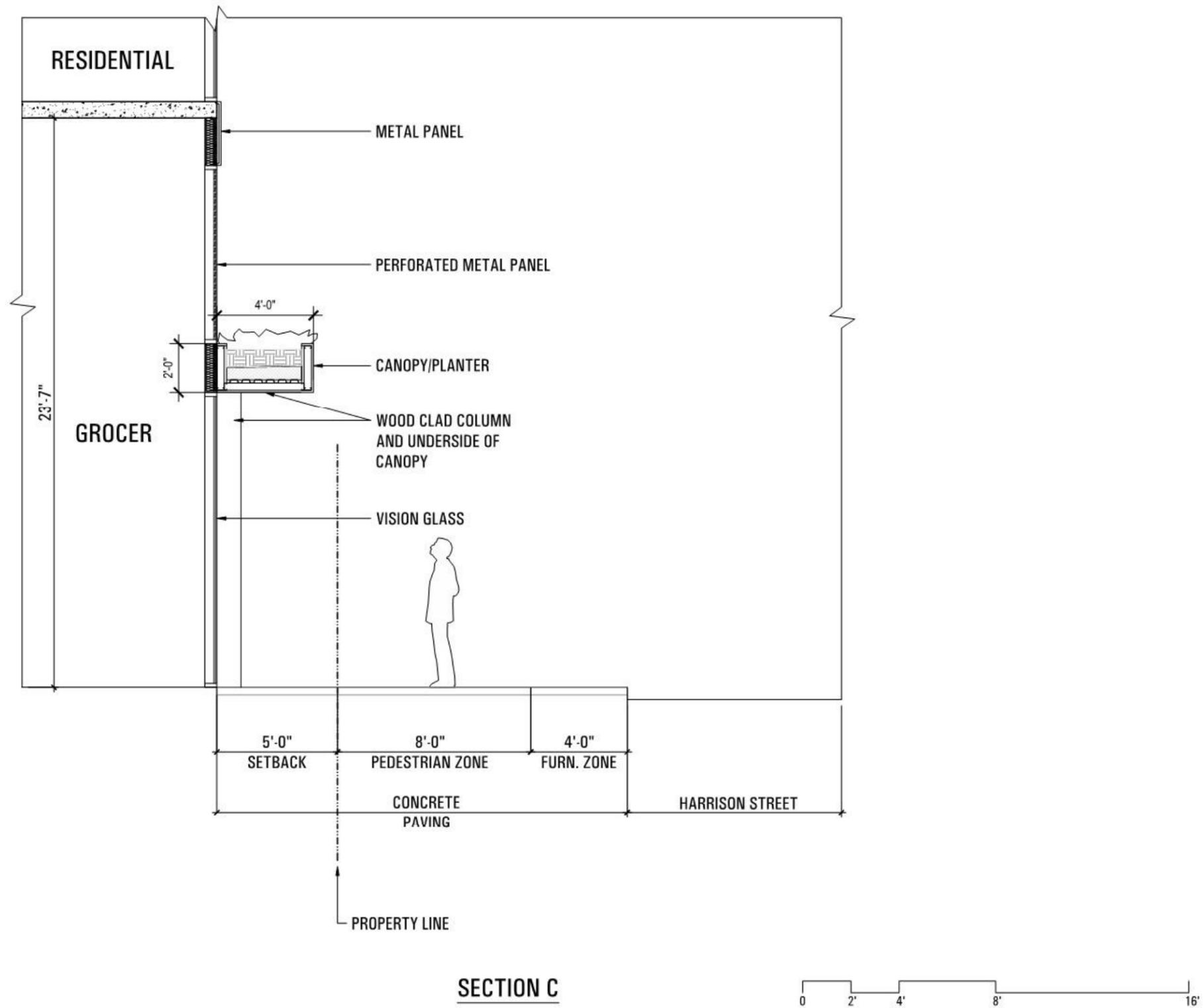
3rd Avenue

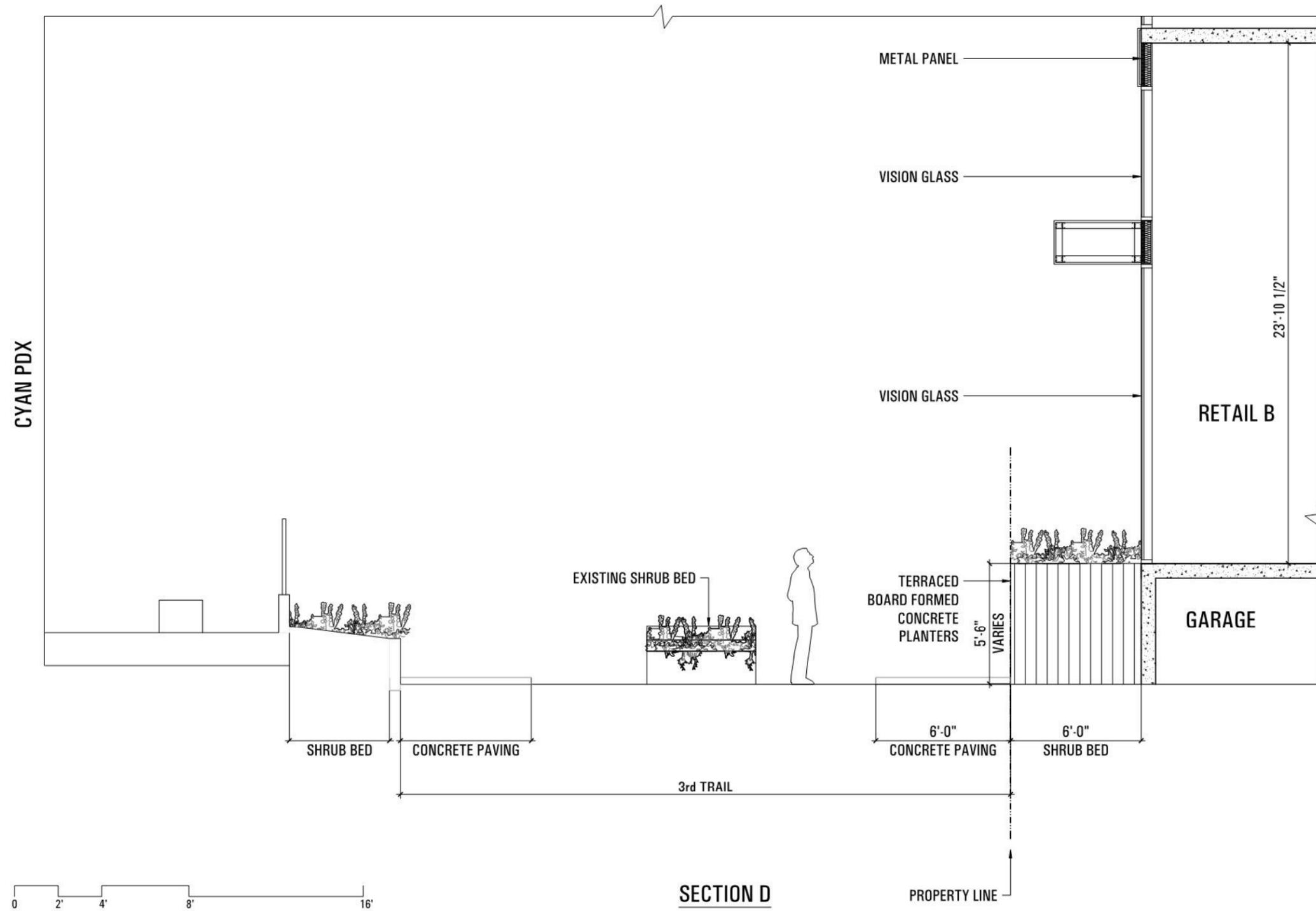


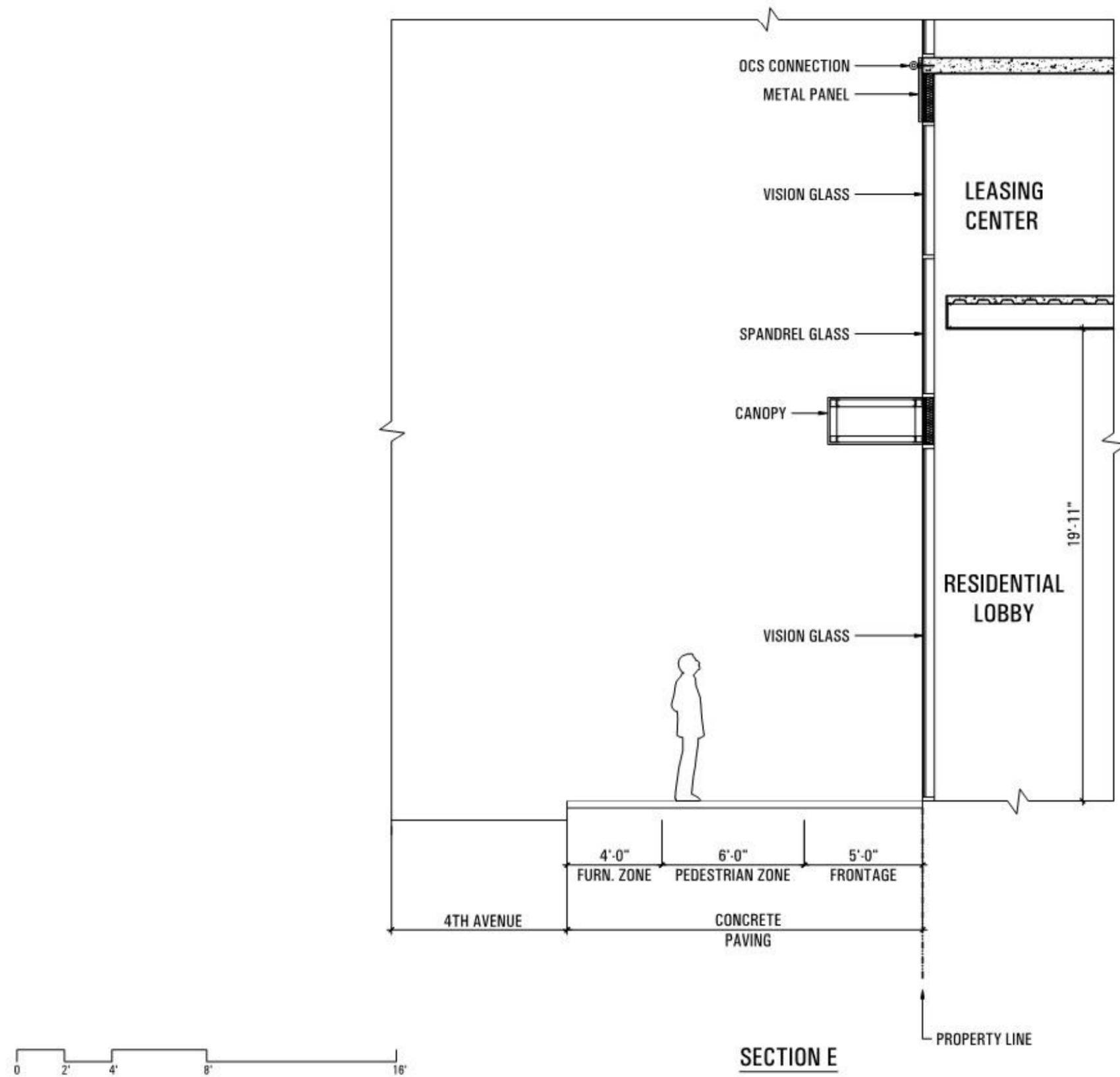
SECTION A





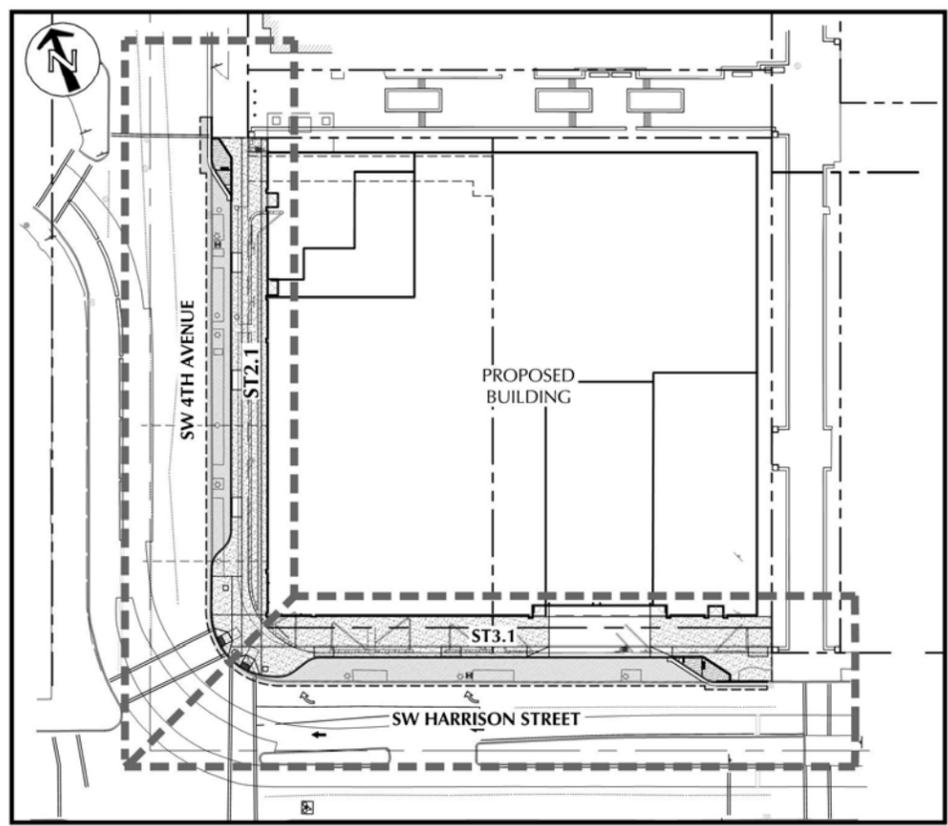




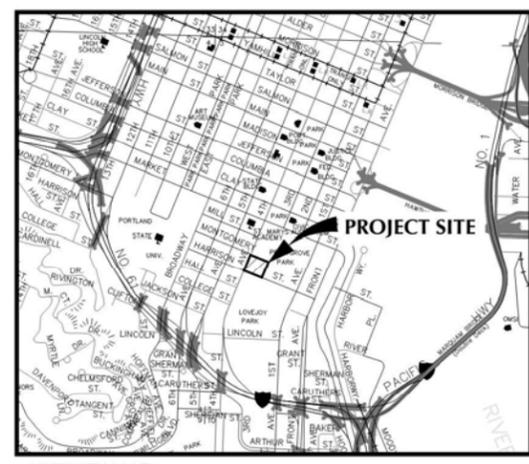


PUBLIC STREET IMPROVEMENTS FOR SW 4TH AVE. AND SW HARRISON ST. RESIDENTIAL DEVELOPMENT

PROPOSED	DESCRIPTION	EXISTING
	WALL	
	CONCRETE SIDEWALK	
	CURB LINE	
	SAWCUT LINE	
	TREE	
	STORM SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	CATCH BASIN	
	SANITARY SEWER MANHOLE	
	WATER VALVE	
	WATER METER	
	FIRE HYDRANT	
	BOLLARD	
	GAS VALVE	
	GAS METER	
	SIGN	
	MAILBOX	
	UTILITY POLE	
	LIGHT POLE	
	ELECTRIC METER	
	PAYSTATION	
	ELECTRIC BOX	
	STREET CAR POLE	
	UTILITY AND LIGHT POLE	
	GUY WIRE	
	TRAFFIC SIGNAL POLE	
	ELECTRICAL POWER PEDESTAL	
	COMMUNICATIONS PEDESTAL	
	COMMUNICATIONS MANHOLE	
	OVERHEAD LINE	
	GAS LINE	
	ELECTRICAL LINE	
	COMMUNICATIONS LINE	
	SANITARY SEWER LINE	
	STORM DRAIN LINE	
	WATER LINE	
	FENCELINE	
	RIGHT-OF-WAY LINE	
	ELECTRIC PANEL	
	UTILITY RISER	
	MONITORING WELL	
	WATER SPIGOT	
	ELECTRIC MANHOLE	
	TRANSFORMER	



SITE MAP
SCALE: 1" = 30'



VICINITY MAP
SCALE: 1" = 600'

PROJECT CONTACTS

OWNER:
CORE SPACES
2234 WEST NORTH AVENUE
CHICAGO, ILLINOIS 60647
PHONE: 773-227-2850
CONTACT: CHAD MATESI

ARCHITECT:
HARTSHORNE PLUNKARD
ARCHITECTURE
232 N. CARPENTER ST.
CHICAGO, ILLINOIS 60607
PHONE: 312-226-4488 x134
CONTACT: MEGAN ZACK
E-MAIL: mzack@harchitecture.com

CIVIL ENGINEER/PROJECT MANAGER:
KPF CONSULTING ENGINEERS
CONTACT: MATT KEENAN
1201 OAK STREET, SUITE 100
EUGENE, OR 97401
PHONE: 541-684-4902
E-MAIL: matt.keenan@kpfcivil.com

STORMWATER NARRATIVE

PUBLIC: THE HIGH POINT OF THE PUBLIC RIGHT-OF-WAY IS AT THE INTERSECTION OF 4TH AND HARRISON. FROM THIS CORNER, THE RUNOFF WILL FLOW ALONG THE GUTTERS OF 4TH AND HARRISON TO FLOW-THROUGH PLANTERS ON EACH OF THE STREETS. THE PLANTERS WILL OVERFLOW PAST THE WATER QUALITY EVENT AND DRAIN TO EXISTING CATCH BASINS IN THE RIGHT-OF-WAY. DUE TO SOIL CONDITIONS, INFILTRATION WOULD NOT BE OPTIMAL. FLOW CONTROL IS NOT REQUIRED AS THE RUNOFF WILL BE COLLECTED BY A STORM ONLY SYSTEM.

PRIVATE: THE ON-SITE STORM RUNOFF WILL BE TREATED BY FLOW-THROUGH PLANTERS. INFILTRATION PLANTERS ARE NOT POSSIBLE DUE TO SETBACK REQUIREMENTS AND SOIL CONDITIONS. ALL THE ROOF RUNOFF WILL BE COLLECTED AND PIPED TO PLANTERS WITHIN A TERRACE ON THE SECOND FLOOR. THE LIMITED IMPERVIOUS AREA ON THE SECOND FLOOR TERRACE WILL BE COLLECTED AND PIPED TO A FLOW-THROUGH PLANTER AT THE NORTHEAST CORNER OF THE SITE. ALL OF THE STORM RUNOFF WILL BE COLLECTED BY A PUBLIC STORM-ONLY MAIN AT THE NORTHEAST CORNER OF THE SITE.

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.
Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS	NOTICE TO EXCAVATORS:
NW NATURAL GAS M-F 7am-6pm 503-226-4211 Ext.4313 AFTER HOURS 503-226-4211	ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).
PGE 503-464-7777	
CENTURYLINK 1-800-573-1311	
CITY BUREAU OF MAINTENANCE 503-823-1700	
CITY WATER 503-823-4874	
VERIZON 1-800-483-1000	

ABBREVIATIONS

AC	ASPHALT CONCRETE	MIN	MINIMUM
BLDG	BUILDING	OVH/OH	OVERHEAD
BOW	BACK OF WALK	PC	POINT OF CURVATURE
CB	CATCH BASIN	R	RIM
CL	CENTERLINE	RD	ROOF DRAIN
CO	CLEANOUT	R.O.W	RIGHT-OF-WAY
CONC.	CONCRETE	SD	STORM DRAIN
COP	CITY OF PORTLAND	SDMH	STORM DRAIN MANHOLE
D/W	DRIVEWAY	SHT	SHEET
DIA/ø	DIAMETER	STD	STANDARD
DIP	DUCTILE IRON PIPE	TC	TOP OF CURB
EXIST./EX	EXISTING	TC	TOP OF GROUND
FG	FINISH GRADE	TP	TOP OF PAVEMENT
FL	FIRE HYDRANT	TYP	TYPICAL
FL	FLOWLINE	UNO	UNLESS NOTED OTHERWISE
G	GUTTER	W	WATER
GB	GRADE BREAK	WM	WATER METER
IE	INVERT ELEVATION	WV	WATER VALVE
MH	MANHOLE		

SHEET INDEX

SHEET COUNT	SHEET NUMBER	SHEET DESCRIPTION
1	ST0.1	COVER SHEET
2	ST0.2	GENERAL NOTES
3	ST0.3	COMPOSITE SITE PLAN
4	ST0.4	DEMOLITION PLAN
5	ST1.1	TYPICAL SECTIONS
6	ST2.1	SW 4TH AVE PLAN AND PROFILE
7	ST3.1	SW HARRISON ST PLAN AND PROFILE
8	ST4.1	CURB RAMP & STORMWATER PLANTER DETAILS

	DESIGNED BY _____ DATE APPROVED _____ CAD BY _____ DIV. ENGINEER _____ CHECKED BY _____ RES. REVIEWER _____ PLOT REVIEWER _____		APPROVALS: BES CHIEF ENGINEER _____ REG. PROF. ENGR. 16301PE PBOB PRINCIPAL ENGINEER _____ REG. PROF. ENGR. 18914PE PBOB CITY ENGINEER _____ REG. PROF. ENGR. 51538PE	BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER	PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER	 <p style="font-size: small;">1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpf.com</p>	<div style="border: 1px solid black; padding: 5px; transform: rotate(-45deg); display: inline-block;"> CONCEPT NOT FOR CONSTRUCTION </div> <p>PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT)</p> <p style="text-align: center;">COVER SHEET</p>	BES JOB NO. EP186 PBOB JOB NO. TH0251 SHEET NO. ST0.1 1 of 8
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Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

GENERAL NOTES

1. ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE "ENGINEER OF RECORD". IF ERRORS OR OMISSIONS ARE FOUND AFTER THE PERMIT HAS BEEN ISSUED, THE PERMITTEE OR ITS CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD (JOSH LIGHTHIPE OF KPFF CONSULTING ENGINEERING AT 503-542-3840) TO HAVE THE CORRECTIONS MADE. ALL CHANGES WILL REQUIRE THE APPROVAL OF THE CITY ENGINEER PRIOR TO THE WORK BEGINNING.
 2. THE CONTRACTOR SHALL HAVE AT ALL TIMES ON-SITE, THE APPROVED CONSTRUCTION DRAWINGS & SPECIAL SPECIFICATIONS, CITY OF PORTLAND STANDARD SPECIFICATIONS & STANDARD DRAWINGS, AND ALL OTHER APPLICABLE SPECIFICATIONS BOOKS AND MANUALS.
 3. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE DRAWINGS AND THE APPLICABLE REQUIREMENTS OF THE 2010 EDITION OF THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS AND ALL REVISIONS AND SPECIAL SPECIFICATIONS.
 4. ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING [503.232.1987]. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL [811 OR 1.800.332.2344].
 5. REMOVE AND DISPOSE (AT A PROPER LOCATION OR LANDFILL) ALL MATERIALS EXCAVATED FROM WORK IN THE RIGHT-OF-WAY. FOR DISPOSAL ON PRIVATE PROPERTY, SECURE A FILL PERMIT, PRIOR TO BEGINNING WORK FROM THE BUREAU OF DEVELOPMENT SERVICES (BDS). PROVIDE A COPY OF THE APPROVED FILL PERMIT TO THE STREET CONSTRUCTION INSPECTOR.

FOR UNANTICIPATED CONTAMINATED MEDIA ENCOUNTERED, THE PERMITTEE/APPLICANT OR ITS AGENT SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE MANAGEMENT, AND DISPOSAL OF CONTAMINATED MEDIA ENCOUNTERED. THE PERMITTEE IS ALSO RESPONSIBLE FOR ALL RESULTANT DELAYS.
 6. UTILITIES SHOWN ON THESE PLANS ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY AND ARE NOT AUTHORIZED FOR INSTALLATION UNDER THE PUBLIC STREET IMPROVEMENT PERMIT. PRIVATE AND PUBLIC UTILITY COMPANIES ARE REQUIRED TO SECURE SEPARATE UTILITY PERMITS FROM THE PBOT FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 7. STREET FURNISHINGS ARE SHOWN FOR REFERENCE ONLY. THE INSTALLATION OF ALL STREET FURNITURE INCLUDING BUT NOT LIMITED TO BENCHES, NON CITY INSTALLED BIKE RACKS, GARBAGE CANS, ELECTRICAL SYSTEMS (CONDUIT, CONDUCTORS, OUTLETS), AND PUBLIC ART, ARE NOT AUTHORIZED UNDER THIS PERMIT. A SEPARATE REVOCABLE PERMIT IS REQUIRED.
 8. THE PERMITTEE OR ITS AGENT SHALL SCHEDULE AN IN-FIELD PRECONSTRUCTION MEETING WITH THE OWNER, DESIGN ENGINEER, STREET PERMIT MANAGER, STREET INSPECTOR, AND AFFECTED UTILITY REPRESENTATIVES BEFORE COMMENCING WORK. NOTIFY THE STREET PERMIT MANAGER 4 BUSINESS DAYS PRIOR TO MEETING (SEE PERMIT COVER SHEET FOR CONTACT INFORMATION).
 9. THE DATUM FOR THIS SURVEY IS BASED UPON CITY OF PORTLAND BENCHMARK NUMBER 3438, BEING A BRASS DISC ON TOP OF CURB AT THE S.W. CORNER OF THE INTERSECTION OF S.W. MARKET STREET AND S.W. 2ND AVENUE. THE ELEVATION IS 79.451', COP DATUM.
 10. WATER SERVICES ARE BEING CONSTRUCTED UNDER SEPARATE PERMIT, AS APPROVED BY THE WATER BUREAU.
- STREET PAVEMENT**
11. STATIONING IS BASED UPON STREET CENTERLINE UNLESS OTHERWISE SPECIFIED.
 12. ALL MANHOLE LIDS AND VALVE BOXES SHALL BE ADJUSTED TO FINISHED STREET OR SIDEWALK GRADE.
 13. THE PBOT INSPECTOR WILL DETERMINE THE EXACT LIMITS OF SKIN PATCHING - LEVEL 2 ASPHALT CONCRETE (SEE PERMIT BOOK FOR APPROVED ASPHALT MIXES).
 14. ALL SAWCUTS SHALL BE STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING PAVEMENT AND NEW PAVEMENT AND ALL NEW PAVEMENT JOINTS SHALL BE SAND SEALED.
 15. EXISTING PAVEMENT SECTION WIDTHS OF 2 FEET OR LESS BETWEEN PROPOSED SAWCUT AND EXISTING PAVEMENT EDGE (I.E. UTILITY TRENCH REPAIR), SHALL BE RESTORED PER STD. DWG. P-505
 16. PAVEMENT SECTION SHALL BE AS SHOWN ON THE STREET TYPICAL SECTION(S) OR MATCH EXISTING PAVEMENT IF EXISTING HAS A THICKER SECTION.
- CURBS, SIDEWALKS, AND DRIVEWAYS**
17. UTILITY LIDS, MANHOLE COVERS, VALVE COVERS ARE NOT ALLOWED IN THE THROUGH PEDESTRIAN ZONE. THEY MAY BE PLACED IN THE SIDEWALK FURNISHING OR BUILDING ZONE IF THE PROPER UTILITY PERMIT HAS BEEN SECURED FROM PBOT.
 18. FULL HEIGHT CURBS SHALL BE CONSTRUCTED AT ALL LOCATIONS UNLESS A NEW DRIVEWAY IS CONSTRUCTED AT THE SAME TIME AS THE CURB. THE STREET INSPECTOR MAY ALLOW EGRESS AND INGRESS OVER THE CURB IF WOODEN CURB RAMPS ARE USED.
 19. ALL SIDEWALK CONTRACTION JOINTS SHALL BE TO THE 1/2 OF THE DEPTH OF THE SIDEWALK AND TO A NOMINAL WIDTH OF 1/8" AS PER SECTION 00759.49 - "CONTRACTION JOINTS" OF THE STANDARD CONSTRUCTION SPECIFICATION. THE JOINTS SHALL HAVE A NOMINAL RADIUS OF 1/4".
 20. APPROVED CONCRETE MIXES AND SUPPLIERS WILL BE SUPPLIED TO THE CONTRACTOR AT THE PRE-CONSTRUCTION CONFERENCE.
 21. USE ONLY APPROVED DETECTABLE WARNING DEVICES. THESE CAN BE FOUND IN THE CITY'S CONSTRUCTION PRODUCTS LIST.

TRAFFIC AND PARKING CONTROL

22. THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN FOR WORK IN THE RIGHT-OF-WAY TO THE STREET PERMIT MANAGER FOR APPROVAL 10 CALENDAR DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL NOT REMOVE OR COVER ANY TRAFFIC CONTROL SIGNS, PAVEMENT STRIPING OR MARKINGS, OR BARRIERS THAT ARE NOT IDENTIFIED ON THE APPROVED TEMPORARY TRAFFIC CONTROL PLAN.
 23. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY TEMPORARY TRAFFIC CONTROL DEVICES (INCLUDING BUT NOT LIMITED TO THE FOLLOWING - SIGNS, STRIPING, AND BARRICADES) UNTIL THE PERMANENT TRAFFIC CONTROL DEVICES ARE INSTALLED.
 24. SIGNS AND SIGN POSTS REMOVED BY THE PERMITTEE OR ITS AGENT SHALL BE DELIVERED TO THE BUREAU OF MAINTENANCE, ALBINA YARD. CONTACT JIM BUHLER AT 503-823-4056 TO ARRANGE A DELIVERY TIME. REMOVE ALL SIGNS, CONCRETE AND DEBRIS FROM THE POST PRIOR TO DELIVERY.
 25. WHEN WORK INTERFERES WITH THE OPERATION OF A TRIMET BUS OR BUS STOP, CONTACT TRIMET (SHIRLEY BLOOM OR KELLEY BURNES, TRI-MET OPERATIONS AT 503-962-8117) A MINIMUM OF 10 CALENDAR DAYS PRIOR TO CLOSING OR DISRUPTING TRIMET'S OPERATION.
 26. NOTIFY THE TRAFFIC ENGINEER, JENNIE TOWER AT 503-823-7738, 10 CALENDAR DAYS PRIOR TO INSTALLING PERMANENT TRAFFIC CONTROL SIGNING, PAVEMENT STRIPING & MARKINGS, AND BARRIERS.
 27. THE CONTRACTOR SHALL INSTALL OR REINSTALL ALL TRAFFIC CONTROL SIGNING, PAVEMENT STRIPING AND MARKINGS, AND PERMANENT BARRICADES. THE FOLLOWING ODOT AND CITY OF PORTLAND STANDARD DRAWINGS ARE APPLICABLE TO THE SIGNING AND STRIPING: REFERENCE DETAILS P-400, P-406, P-410, P-412, P-413, TM-503
 28. ALL STRIPING AND MARKING MATERIALS SHALL BE ON THE CITY'S APPROVED CPL. ALL MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURERS APPROVED APPLICATION PROCEDURE.
 29. THE CONTRACTOR SHALL REPAIR OR REPLACE CROSSWALK STRIPING DAMAGED OR REMOVED DUE TO CONTRACTOR'S OPERATION. CROSSWALK STRIPING MATERIAL SHALL BE TYPE "B-HS" THERMOPLASTIC. USE DETAIL BLOCK CW-SC ON STD. DRAWING NO P-434.
- TREES**
30. ALL TREE REMOVAL SHALL COMPLY WITH THE FEDERAL MIGRATORY BIRD TREATY ACT. SEE THE SPECIAL PROVISIONS FOR REQUIREMENTS PRIOR TO CUTTING OF ANY TREE.
 31. TREE ROOT INSPECTION IS REQUIRED!! CONTACT LUKE MILLER WITH URBAN FORESTRY AT (503) 823-4025 PRIOR TO ANY EXCAVATION ADJACENT TO TREES. A TREE INSPECTION SHALL BE MADE BEFORE CUTTING OF ANY ROOTS.
 32. FOR ALTERNATE TREE SPECIES OR ALTERNATE TREE PLANTING LOCATION APPROVAL (PRIOR TO PLANTING), CONTACT LUKE MILLER WITH URBAN FORESTRY AT 503-823-4025.

EROSION CONTROL

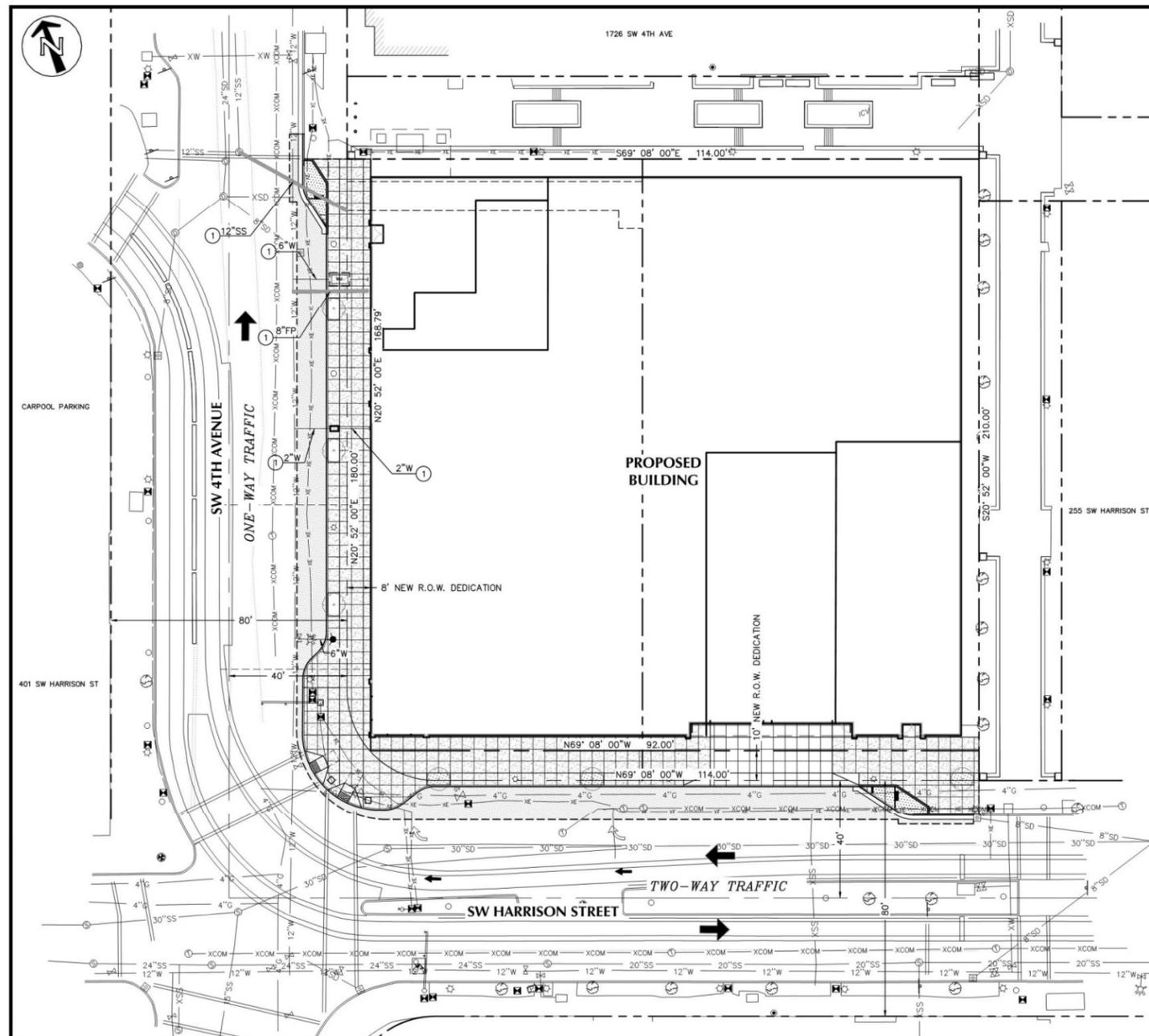
33. EROSION/SEDIMENTATION CONTROL (ESC) IS REQUIRED ON THIS PROJECT. IMPLEMENTATION OF THE ESC AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE OR ITS AGENT UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED. THE PERMITTEE OR ITS AGENT SHALL PROVIDE INLET PROTECTION TO DOWNSTREAM INLETS FROM THE SITE PER THE EROSION CONTROL MANUAL [MARCH 2008]. CATCH BASIN AND STORM DRAIN INLET PROTECTION SHALL BE INSTALLED PER DETAIL DRAWINGS 4.3-B AND 4.3-G.

STREET LIGHTING

34. CONTACT CITY OF PORTLAND STREET LIGHTING DESIGN DAN SPOEISTRA, 503-823-4111, TO COORDINATE LIGHTING REMOVAL AND INSTALLATION.
35. IF UNDERGROUND CONDUITS AND WIRES FOR STREET LIGHT INSTALLATION IS REQUIRED OR IS DESIRED, THE PERMITTEE IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, AND COORDINATION OF INSTALLATION WITH THE APPROPRIATE UTILITY.

CONSTRUCTED BY _____		DESIGNED BY _____	DATE APPROVED _____		APPROVALS:	BUREAU OF ENVIRONMENTAL SERVICES	PORTLAND OFFICE OF TRANSPORTATION			PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT)	BES JOB NO. EP186
PROJECT COMPLETED _____		CAD BY _____	DIV. ENGINEER _____		BES CHIEF ENGINEER _____ REG. PROF. ENGR. 16301PE	DAN SALTZMAN COMMISSIONER	SAM ADAMS MAYOR				PBOT JOB NO. TH0251
MAP CORRECTED BY _____		CHECKED BY _____	BES REVIEWER _____		PBOT PRINCIPAL ENGINEER _____ REG. PROF. ENGR. 18914PE	WILLIAM F. RYAN, P.E. CHIEF ENGINEER	STEVE TOWNSEN, P.E. CITY ENGINEER				SHEET NO. ST0.2
CHECKED BY _____			PBOT REVIEWER _____		PBOT CITY ENGINEER _____ REG. PROF. ENGR. 51538PE						2 of 8
NO.	DATE	DESCRIPTION	APPD.								
REVISIONS		FINAL MAP DATA									

Composite Site Plan



- ⊗ KEY NOTES
- 1 UTILITY INSTALLED UNDER BUILDING PERMIT. SEE BUILDING PERMIT PLANS FOR UTILITY DESIGN.

COMPOSITE SITE PLAN (EX. AND PROP. CONDITIONS)
SCALE: 1" = 20'

FILE: ST0.3 - COMPOSITE PLAN.DWG ST0.3 10/19/2015 1:50:36 PM - AFISHER

DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER CHECKED BY: _____ BES REVIEWER PLOT REVIEWER: _____			APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER		 <small>1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpff.com</small>	CONCEPT NOT FOR CONSTRUCTION	PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) COMPOSITE SITE PLAN		BES JOB NO. EP186
CONSTRUCTED BY: _____ PROJECT COMPLETED: _____ MAP CORRECTED BY: _____ CHECKED BY: _____ FINAL MAP DATA													PBOT JOB NO. TH0251

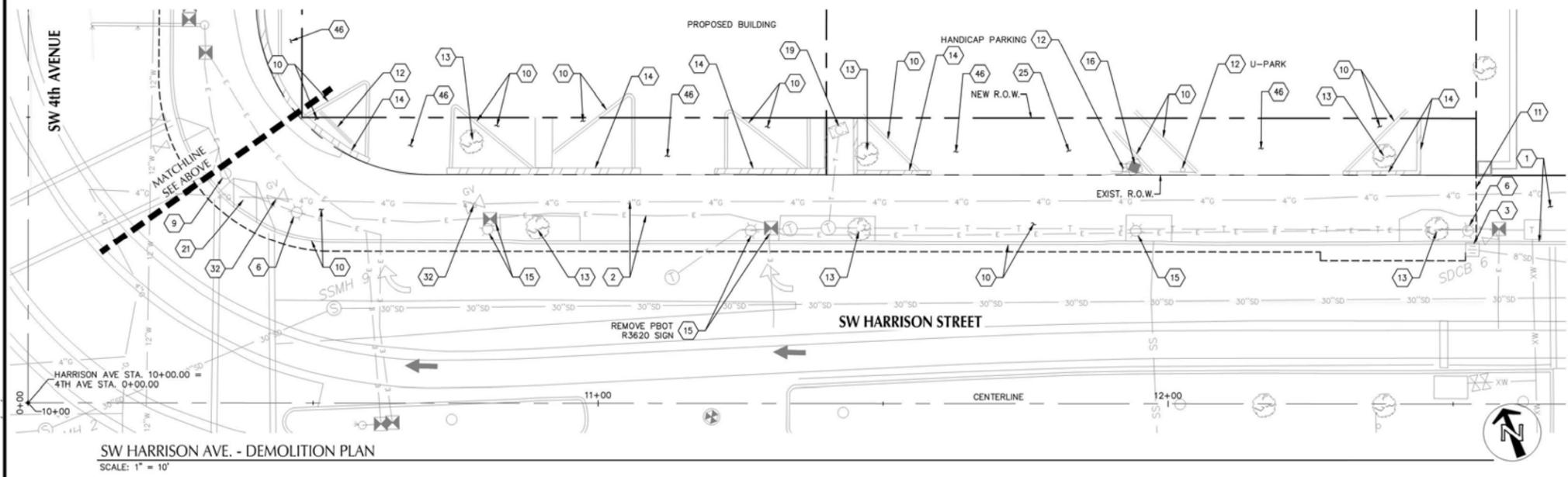
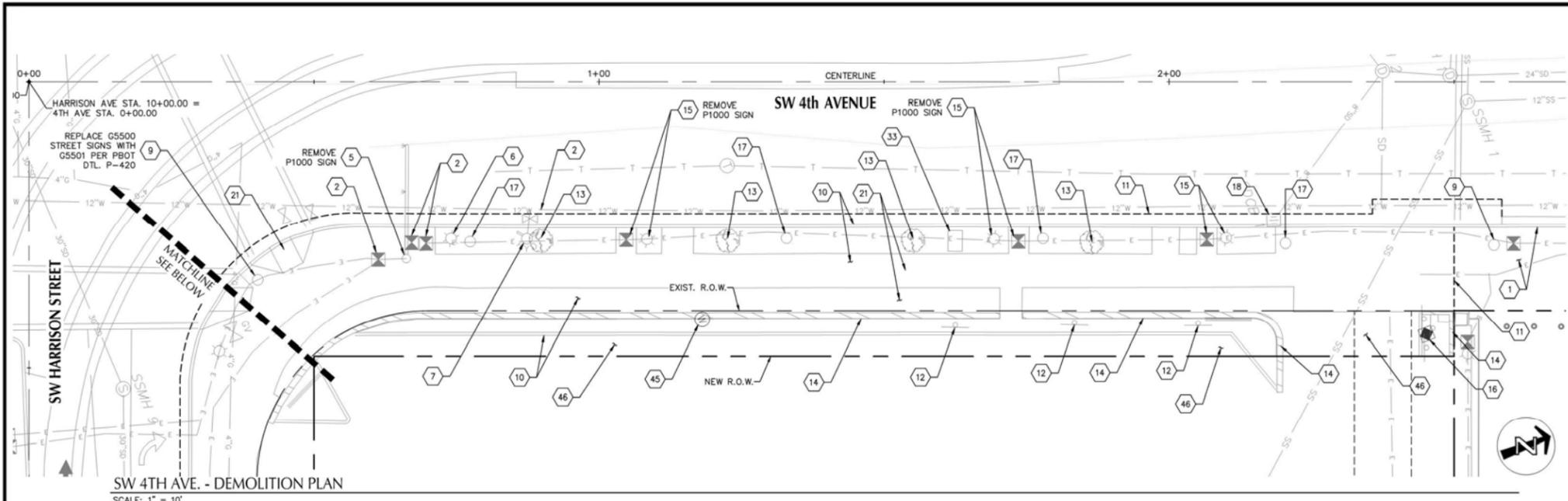


Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

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Right-of-Way Demolition Plan

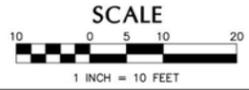


SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
- ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE 2010 CITY OF PORTLAND STANDARD SPECIFICATIONS.

KEY NOTES

- PROTECT EXISTING CURB AND SIDEWALK
- PROTECT EXISTING UTILITY
- PROTECT EXISTING CATCH BASIN
- PROTECT EXISTING TREE
- PROTECT EXISTING TRAFFIC SIGNAL POLE
- PROTECT EXISTING STREET LIGHT
- RELOCATE EXISTING FIRE HYDRANT PER SEPARATE BDS PERMIT.
- PROTECT EXISTING CATENARY POLE
- REMOVE EXISTING CURB AND SIDEWALK
- SAWCUT AND REMOVE EXISTING PAVEMENT
- REMOVE SIGN. REMOVE PIPE POST.
- REMOVE EXISTING TREE.
- REMOVE EXISTING CONCRETE WALL.
- REMOVE AND SALVAGE EXISTING STREET LIGHT AND CONTROL BOX.
- REMOVE EXISTING PARKING PAY STATION.
- REMOVE AND SALVAGE EXISTING CATENARY POLE BY OTHERS.
- REMOVE EXISTING CATCH BASIN AND CAP PIPE.
- REMOVE EXISTING TELEPHONE PEDESTAL.
- ADJUST EXISTING UTILITY STRUCTURE TO FINISH GRADE
- ADJUST EXISTING VAULT LID AND MANHOLES.
- REMOVE EXISTING RAMP
- REMOVE EXISTING WATER STRUCTURE
- REMOVE EXISTING AC PAVEMENT



NO.	DATE	DESCRIPTION	APPD.
REVISIONS			
FINAL MAP DATA			



DESIGNED BY	DATE APPROVED
CAD BY	DIV. ENGINEER
CHECKED BY	BES REVIEWER
	PBOT REVIEWER

APPROVALS:	
BES CHIEF ENGINEER	REG. PROF. ENGR. 16301PE
PBOT PRINCIPAL ENGINEER	REG. PROF. ENGR. 18914PE
PBOT CITY ENGINEER	REG. PROF. ENGR. 51538PE

BUREAU OF ENVIRONMENTAL SERVICES		PORTLAND OFFICE OF TRANSPORTATION	
DAN SALTZMAN	COMMISSIONER	SAM ADAMS	MAYOR
WILLIAM F. RYAN, P.E.	CHIEF ENGINEER	STEVE TOWNSEN, P.E.	CITY ENGINEER

CONCEPT NOT FOR CONSTRUCTION

PUBLIC IMPROVEMENTS
SW 4TH AVE AND SW HARRISON ST
(RESIDENTIAL DEVELOPMENT)

RIGHT-OF-WAY
DEMOLITION PLAN

BES JOB NO.	EP186
PBOT JOB NO.	TH0251
SHEET NO.	ST0.4
	4 of 8

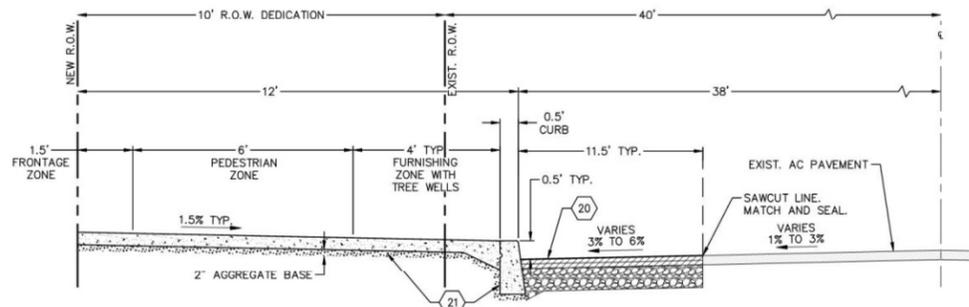


Section V: Civil

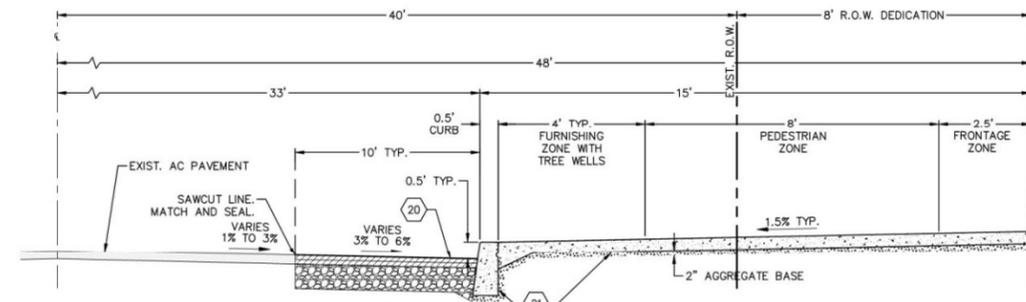
NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

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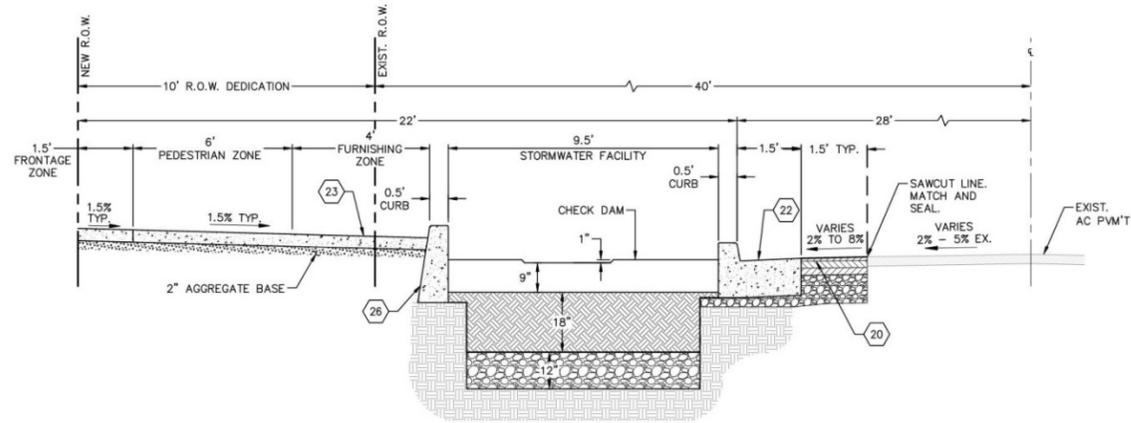
Typical Sections



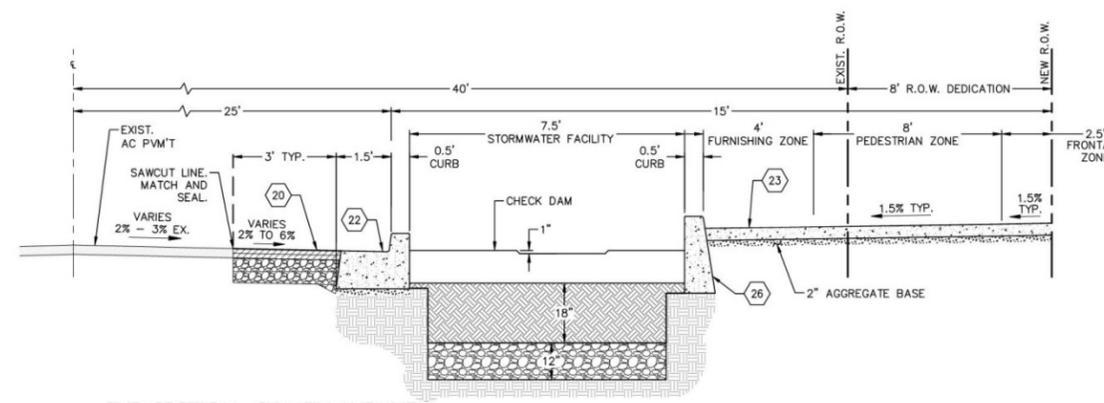
3 TYP. SECTION - SW HARRISON STREET
STA 10+69.9 TO 12+13.3
SCALE: NTS



1 TYP. SECTION - SW 4TH AVENUE
STA 0+90.2 TO 2+24.7
SCALE: NTS



4 TYP. SECTION - SW HARRISON STREET
STA 12+31.7 TO 12+40.4
SCALE: NTS



2 TYP. SECTION - SW 4TH AVENUE
STA 2+41.9 TO 2+49.5
SCALE: NTS

- KEY NOTES**
- 20 PAVEMENT REPAIR PER DETAIL P-506/ST3.1. USE 3" LEVEL 2 MMAC OVER 8" AGGREGATE OR MATCH EXISTING WHICHEVER IS GREATER
 - 21 STANDARD MONOLITHIC CURB AND SIDEWALK WITH 4" CURB EXPOSURE (UNO) PER DETAIL P-551/ST3.1.
 - 22 18" THICKENED CURB AND GUTTER PER PBOT STANDARD DTL P-540/STX.X.
 - 23 SIDEWALK PER DETAIL P-551/ST3.1.
 - 26 PLANTER WALL PER DETAIL 2/STX.X.

DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER CHECKED BY: _____ BES REVIEWER PLOT REVIEWER			APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER			CONCEPT NOT FOR CONSTRUCTION	PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) TYPICAL SECTIONS		BES JOB NO. EP186 PBOT JOB NO. TH0251 SHEET NO. ST.1.1 5 of 8
CONSTRUCTED BY: _____ PROJECT COMPLETED: _____ MAP CORRECTED BY: _____ CHECKED BY: _____ FINAL MAP DATA			REVISIONS:										

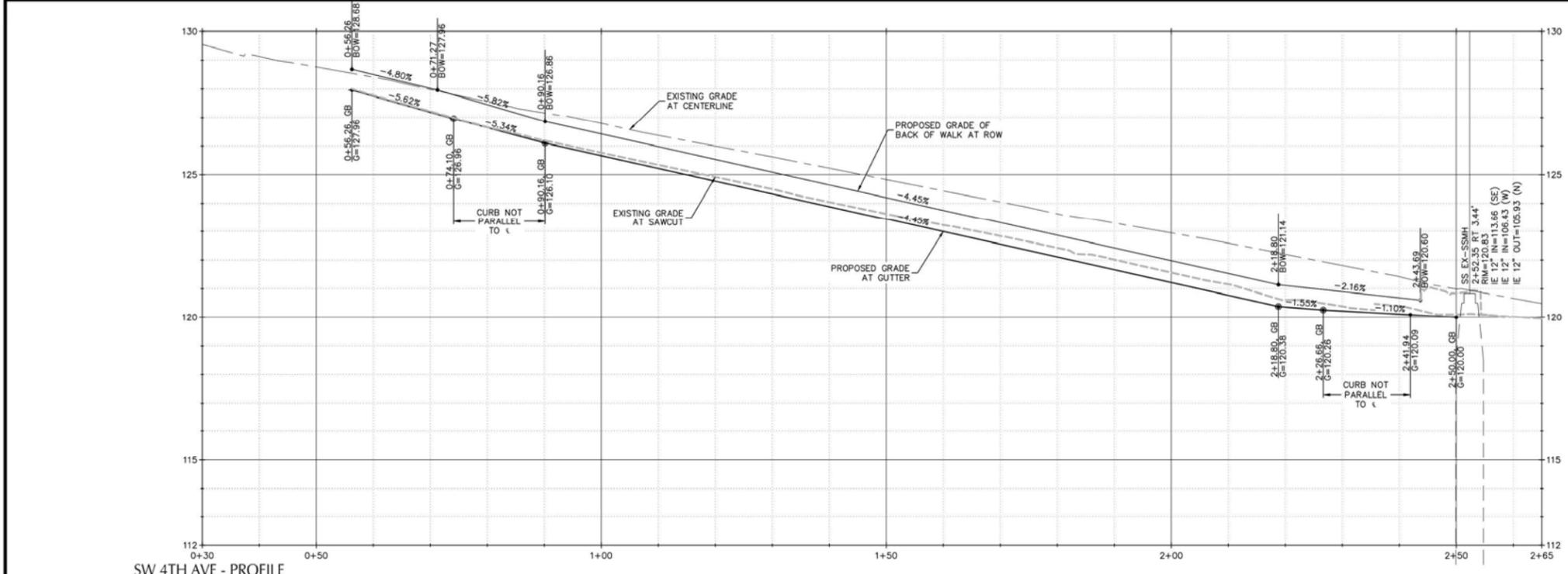


Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

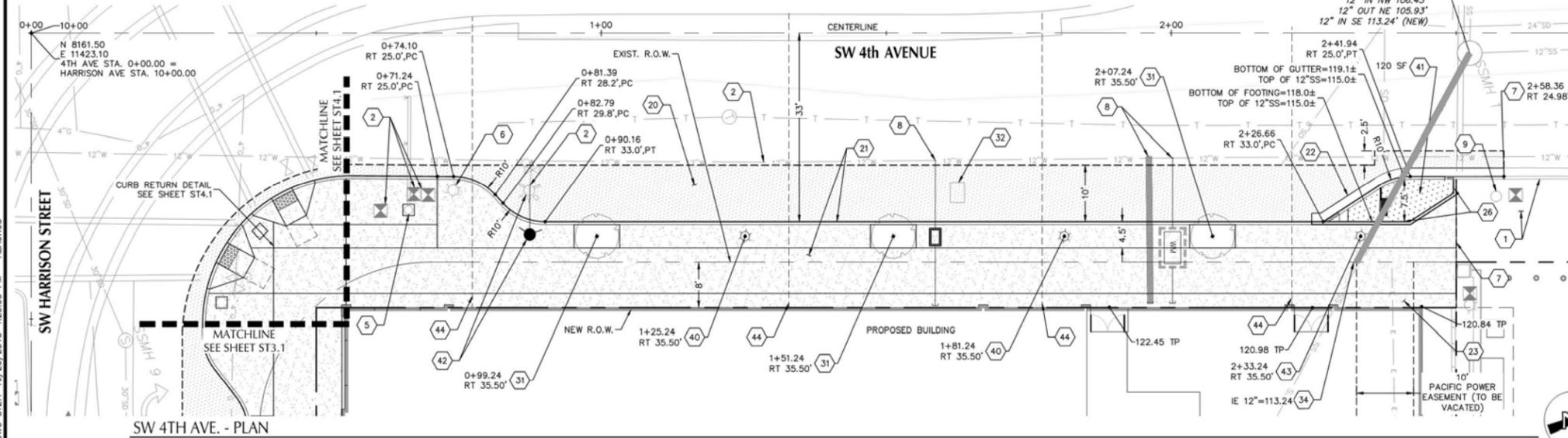
LU 15-209034 DZM, AD
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SW 4th Avenue Plan & Profile



- SHEET NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
 - ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE 2010 CITY OF PORTLAND STANDARD SPECIFICATIONS.
 - REPLACE ALL DAMAGED STRIPING PER PBOT STANDARDS.
- KEY NOTES**
- PROTECT EXISTING CURB AND SIDEWALK
 - PROTECT EXISTING UTILITY
 - PROTECT EXISTING TRAFFIC SIGNAL POLE
 - PROTECT EXISTING STREET LIGHT
 - MATCH EXISTING CURB AND SIDEWALK AT NEAREST SCORE JOINT.
 - WATER SERVICE METER AND FIRE LINE TO BE INSTALLED BY WATER BUREAU UNDER SEPARATE BDS PERMIT. CONNECT TO EXISTING 12" W. PROVIDE 8" FIRE PROTECTION, (1) 4" DOMESTIC WATER SERVICE, AND (1) 2" DOMESTIC WATER SERVICE. 4" WATER METER IN UV-687 VAULT.
 - PAVEMENT REPAIR PER PBOT STANDARD DTL P-506 AND TYPICAL SECTIONS ON SHEET ST1.1.
 - CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK PER PBOT STANDARD DTL P-551.
 - 18" THICK CURB AND GUTTER PER PBOT STANDARD DTL P-540.
 - SIDEWALK PER PBOT STANDARD DETAIL P-551.
 - PLANTER WALL.
 - INSTALL STREET TREE PER PBOT STANDARD DTL P-581. TREE SHALL BE PER URBAN FORESTER'S APPROVAL.
 - ADJUST EXISTING UTILITY TO FINISH GRADE.
 - REMOVE EXISTING 8" SANITARY LATERAL AND CONSTRUCT NEW 12" SANITARY LATERAL INSTALLED UNDER BUILDING PERMIT.
 - RE-INSTALL EXISTING STREET LIGHT. COORDINATE WITH PACIFIC POWER AND COP.
 - VEGETATED FLOW-THROUGH PLANTER. SEE SHEET ST4.1 FOR DETAIL.
 - RELOCATE EXISTING FIRE HYDRANT PER SEPARATE BDS PERMIT.
 - ATTACH OCS SUPPORT WIRES TO BUILDING BY OTHERS.

SW 4TH AVE - PROFILE
SCALE: HORIZ: 1" = 10'
VERT: 1" = 2'



SW 4TH AVE - PLAN
SCALE: 1" = 10'

DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER CHECKED BY: _____ BES REVIEWER CHECKED BY: _____ PBOT REVIEWER		APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE	BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER	PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER		CONCEPT NOT FOR CONSTRUCTION	PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) SW 4TH AVE PLAN & PROFILE	BES JOB NO. EP186 PBOT JOB NO. TH0251 SHEET NO. ST2.1 6 OF 8
		CONSTRUCTED BY: _____ PROJECT COMPLETED: _____ MAP CORRECTED BY: _____ CHECKED BY: _____ FINAL MAP DATA	REVISIONS: _____ APPD. _____ NO. DATE DESCRIPTION					

FILE: ST2.1 - 4TH AVE-P&P.DWG ST2.1 10/20/2015 4:23:05 PM - ABACKUS



Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

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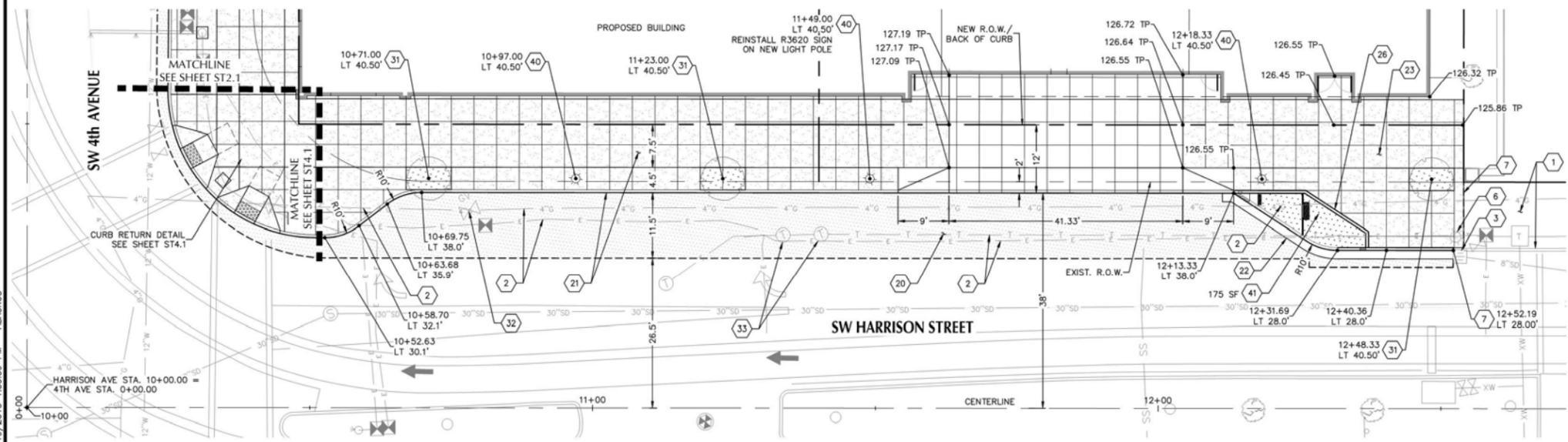
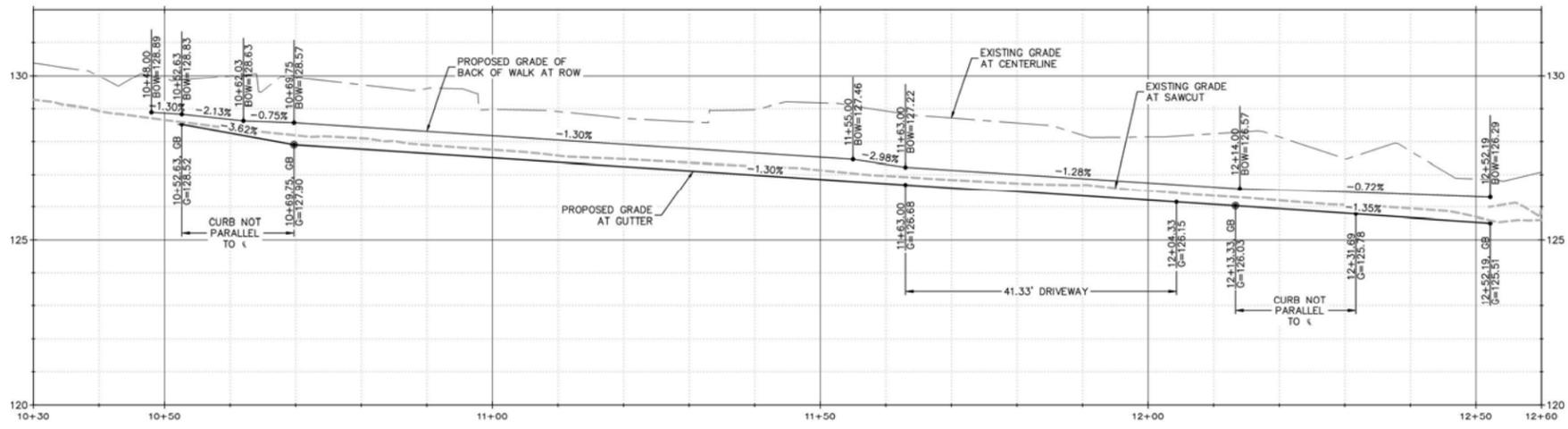
SW Harrison St. Plan & Profile

SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
2. ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE 2010 CITY OF PORTLAND STANDARD SPECIFICATIONS.
3. REPLACE ALL DAMAGED STRIPING PER PBOT STANDARDS.

KEY NOTES

1. PROTECT EXISTING CURB AND SIDEWALK
2. PROTECT EXISTING UTILITY
3. PROTECT EXISTING CATCH BASIN
6. PROTECT EXISTING STREET LIGHT
7. MATCH EXISTING CURB AND SIDEWALK AT NEAREST SCORE JOINT.
10. REMOVE EXISTING CURB AND SIDEWALK
11. SAWCUT AND REMOVE EXISTING PAVEMENT
20. PAVEMENT REPAIR PER PBOT STANDARD DTL P-506 AND TYPICAL SECTIONS ON SHEET ST1.1.
21. CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK PER PBOT STANDARD DTL P-551.
22. 18" THICK CURB AND GUTTER PER PBOT STANDARD DTL P-540.
23. SIDEWALK PER PBOT STANDARD DETAIL P-551.
25. CONSTRUCT 41.33' ALTERNATE DEPRESSED SEPARATED DRIVEWAY PER COP STD DETAIL P-529.
26. PLANTER WALL.
31. INSTALL STREET TREE PER PBOT STANDARD DTL P-581. TREE SHALL BE PER URBAN FORESTER'S APPROVAL.
32. ADJUST EXISTING UTILITY STRUCTURE TO FINISH GRADE.
33. ADJUST EXISTING VAULT LID AND MANHOLES.
34. SANITARY LATERAL INSTALLED UNDER BUILDING PERMIT.
40. RE-INSTALL EXISTING STREET LIGHT. COORDINATE WITH PACIFIC POWER AND COP.
41. VEGETATED FLOW-THROUGH PLANTER. SEE SHEET ST4.1 FOR DETAIL.



FILE: ST3.1 - HARRISON ST P&P.DWG ST3.1 10/19/2015 1:55:39 PM - ABACKUS

DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER CHECKED BY: _____ RES REVIEWER CHECKED BY: _____ PLOT REVIEWER			APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER			1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpff.com	CONCEPT NOT FOR CONSTRUCTION	PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) SW HARRISON ST. PLAN & PROFILE	BES JOB NO. EP186
CONSTRUCTED BY: _____ PROJECT COMPLETED: _____ MAP CORRECTED BY: _____ CHECKED BY: _____ FINAL MAP DATA			APPROVALS:		APPROVALS:		APPROVALS:						PBOT JOB NO. TH0251



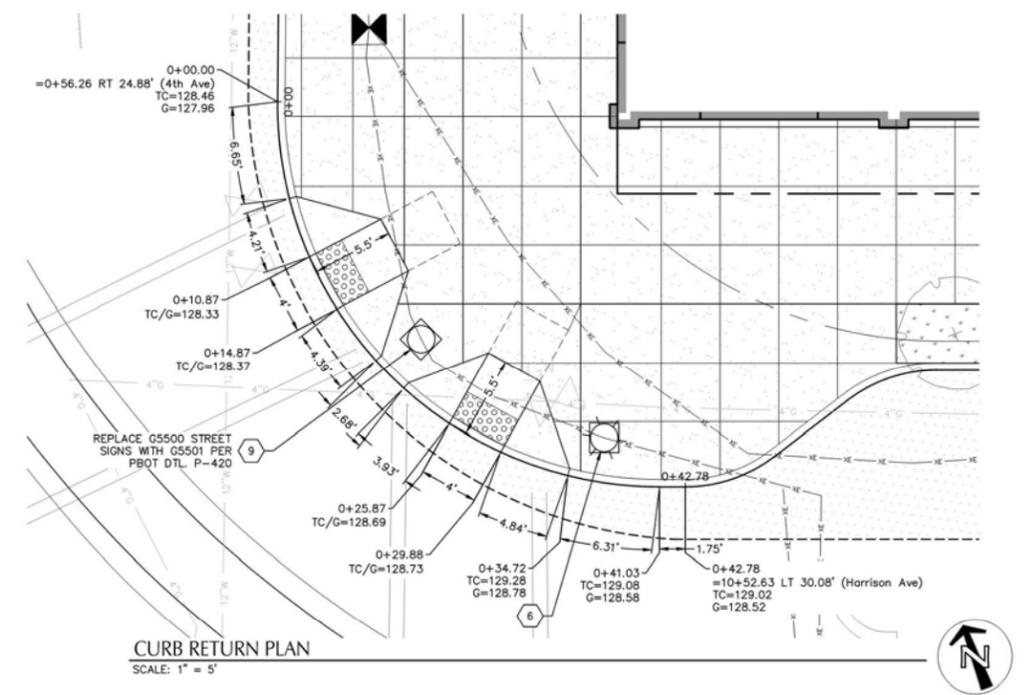
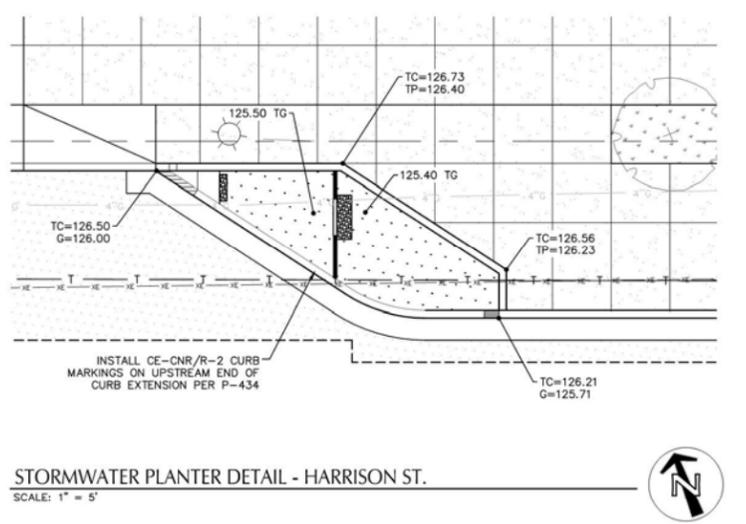
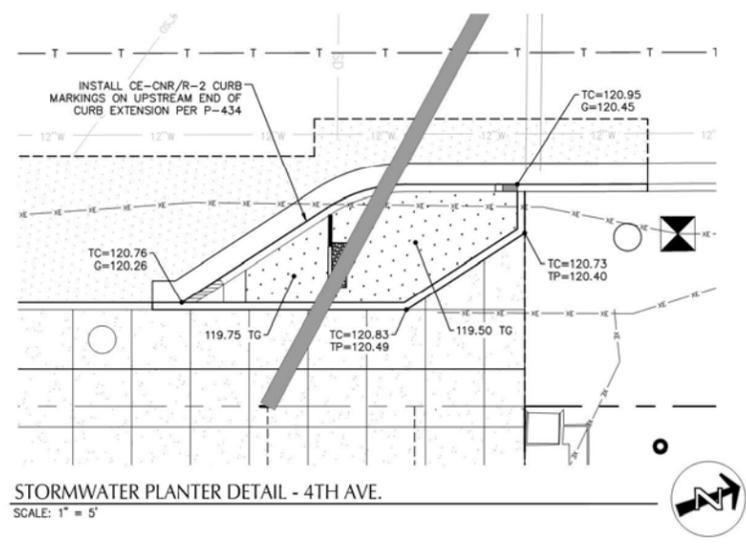
Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

LU 15-209034 DZM, AD
C.96

Curb Ramp and Stormwater Planter Details

- KEY NOTES**
- 6 PROTECT EXISTING STREET LIGHT
 - 9 PROTECT EXISTING CATENARY POLE



DESIGNED BY: _____ DATE APPROVED: _____ CAD BY: _____ DIV. ENGINEER CHECKED BY: _____ BES REVIEWER PLOT REVIEWER: _____			APPROVALS: BES CHIEF ENGINEER REG. PROF. ENGR. 16301PE PBOT PRINCIPAL ENGINEER REG. PROF. ENGR. 18914PE PBOT CITY ENGINEER REG. PROF. ENGR. 51538PE		BUREAU OF ENVIRONMENTAL SERVICES DAN SALTZMAN COMMISSIONER WILLIAM F. RYAN, P.E. CHIEF ENGINEER		PORTLAND OFFICE OF TRANSPORTATION SAM ADAMS MAYOR STEVE TOWNSEN, P.E. CITY ENGINEER		 <small>1201 Oak Street, Suite 100 Eugene, OR 97401 O: 541.684.4902 F: 541.684.4909 www.kpff.com</small>	CONCEPT NOT FOR CONSTRUCTION	PUBLIC IMPROVEMENTS SW 4TH AVE AND SW HARRISON ST (RESIDENTIAL DEVELOPMENT) CURB RAMP & STORMWATER PLANTER DETAILS		BES JOB NO. EP186 PBOT JOB NO. TH0251 SHEET NO. ST4.1 8 of 8
CONSTRUCTED BY: _____ PROJECT COMPLETED: _____ MAP CORRECTED BY: _____ CHECKED BY: _____ FINAL MAP DATA			NO. DATE DESCRIPTION APPD. REVISIONS										



Section V: Civil

NOTE: DRAWINGS HAVE BEEN REDUCED TO FIT PROVIDED SHEET SIZE

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C.97

KEY NOTES

- CONNECT TO EXISTING 8" STORM MAIN (NOT SURVEYED). POTHOLE PRIOR TO CONSTRUCTION TO CONFIRM PIPE'S SIZE, LOCATION AND ELEVATION.
- CONNECT TO EXISTING SANITARY SEWER MANHOLE PER THE REQUIREMENTS OF THE CITY OF PORTLAND. IE AS NOTED. CONNECTION TO BE POTHOLED PRIOR TO CONSTRUCTION TO CONFIRM EXACT ELEVATION AND LOCATION. POTHOLE RESULTS TO BE REPORTED TO KPFF.
- COORDINATE INSTALLATION OF THE NEW GAS SERVICE AND METER WITH NORTHWEST NATURAL.
- COORDINATE FIRE HYDRANT RELOCATION WITH PORTLAND WATER BUREAU.
- PORTLAND WATER BUREAU TO INSTALL 6" WET TAP AT EX. 8" MAIN, 6" WATER LINE AND METER. CONTRACTOR SHALL COORDINATE WITH CITY.
- PORTLAND WATER BUREAU TO INSTALL 8" WET TAP AT EX. 8" MAIN. CONTRACTOR SHALL COORDINATE WITH CITY.
- PORTLAND WATER BUREAU TO INSTALL 2" WET TAP AT EX. 8" MAIN, 2" WATER LINE AND METER. CONTRACTOR SHALL COORDINATE WITH CITY.
- REMOVE EXISTING 8" SANITARY SEWER LINE AND REPLACE WITH 12" LINE.

UTILITY LABEL LEGEND

STRUCTURE LABEL

UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP=FIRE PROTECTION)
 STRUCTURE TYPE CALLOUT
 ID NUMBER (WHERE APPLICABLE)

XX XX-XX
 X+XX.X RT X.X' — LOCATION (WHERE APPLICABLE)
 RIM= —
 IE IN = XX.X — STRUCTURE INFO (WHERE APPLICABLE)
 IE OUT = XX.X

PIPE LABEL

UTILITY LENGTH
 UTILITY SIZE
 UTILITY TYPE

XXLF - XX" XX

S=X.XXX

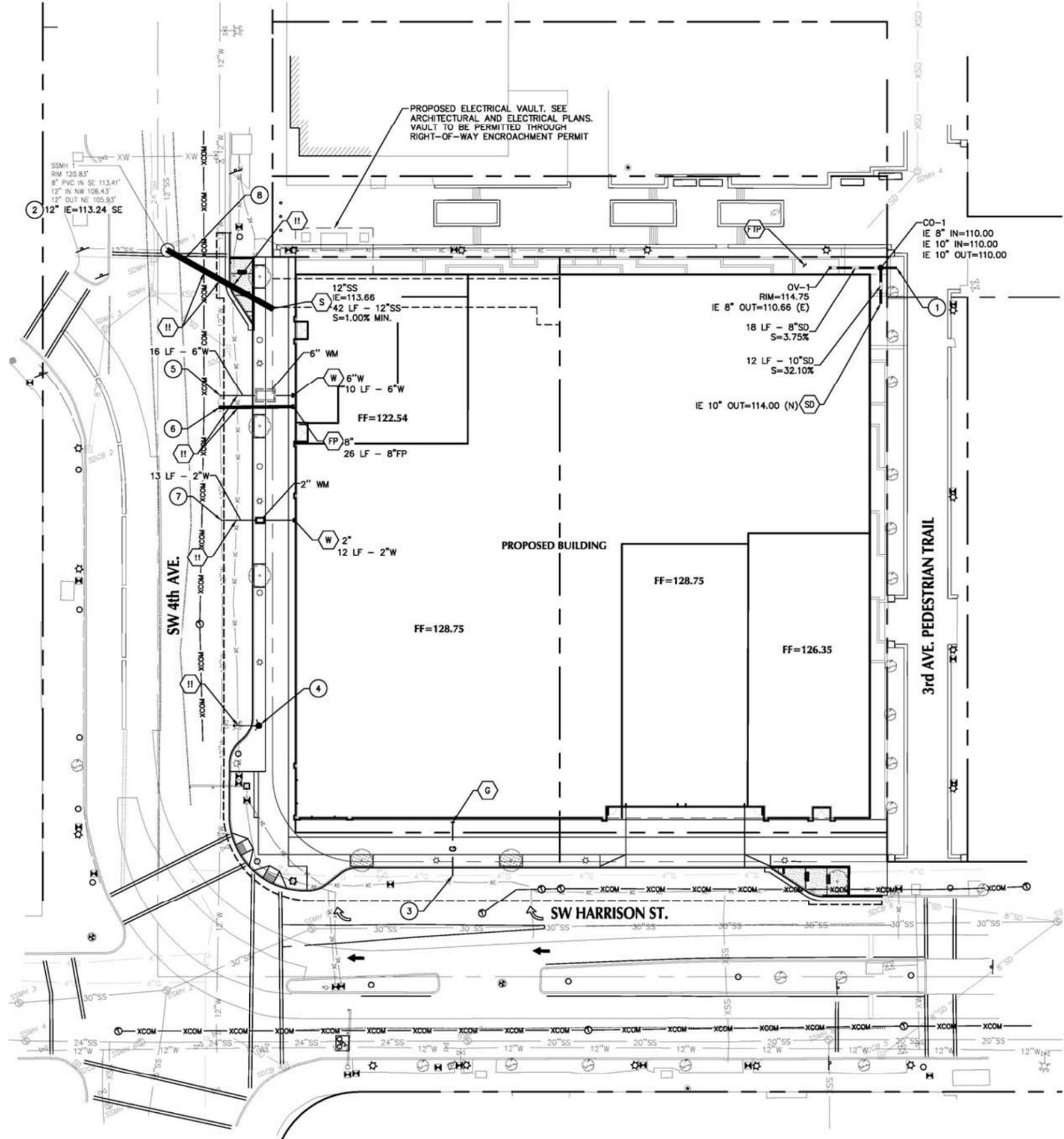
SLOPE (WHERE APPLICABLE)

STRUCTURE TYPE

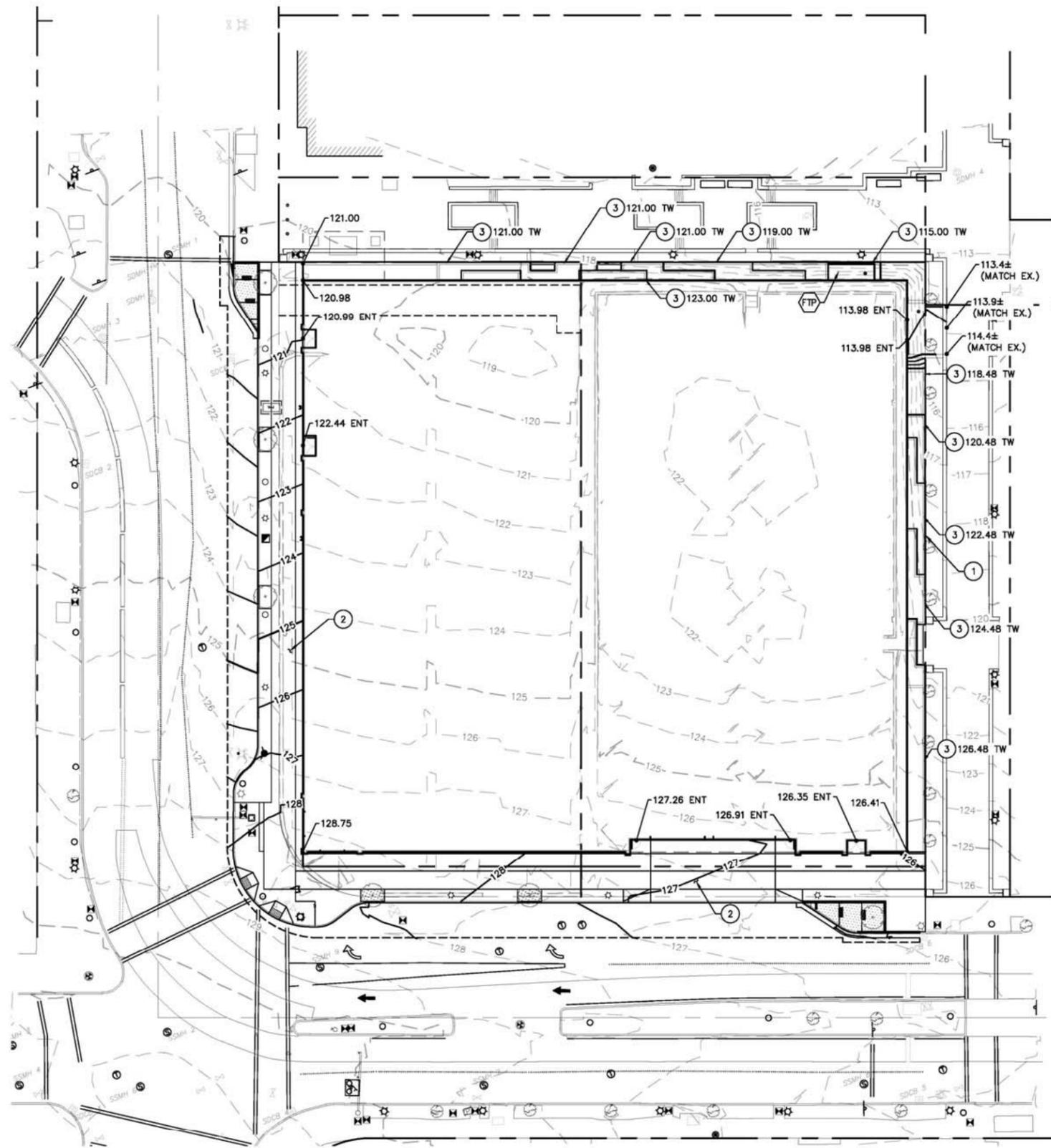
CALLOUT	DESCRIPTION	DETAIL REF.
AD	AREA DRAIN	
CO	CLEANOUT TO GRADE	
CONN	CONNECTION	
FD	FOUNDATION DRAINAGE POINT OF CONN.	
FDC	FIRE DEPARTMENT CONNECTION	
FH	FIRE HYDRANT	
OF	OUTFALL	
OV	OVERFLOW INLET	

SHEET LEGEND

- (G) CONNECT GAS LINE TO PROPOSED GAS SERVICE, SIZE AS NOTED. SEE PLUMBING PLANS CONTINUATION.
- (FP) CONNECT SPRINKLER SYSTEM TO PROPOSED FIRE PROTECTION SERVICE, SIZE AS NOTED. SEE FIRE PROTECTION PLANS FOR CONTINUATION AND DOUBLE DETECTOR ASSEMBLY LOCATED INSIDE THE BUILDING.
- (FTP) STORMWATER FLOW-THROUGH PLANTER. ID AS SHOWN.
- (S) CONNECT TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED. DESIGNED AND PERMITTED UNDER SEPARATE PBOT PERMIT.
- (SD) CONNECT TO ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.
- (W) CONNECT DOMESTIC WATER SYSTEM TO PROPOSED WATER SERVICE, SIZE AS NOTED. SEE PLUMBING PLANS FOR CONTINUATION AND BACKFLOW ASSEMBLY INSIDE THE BUILDING.
- (II) UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.



Grading Plan



SHEET NOTES

1. SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
2. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).

(X) KEY NOTES

1. PRESERVE EXISTING PEDESTRIAN ALLEYS. MATCH AT PROPERTY LINE UNLESS NOTED OTHERWISE.
2. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY UNDER SEPARATE PBOT PERMIT.
3. TOP OF WALL IS AT A CONSTANT ELEVATION.

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
XX.XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
BOS	BOTTOM OF SWALE
BOW	BACK OF WALK
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
EC	EXISTING GRADE
ENT	ENTRANCE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
TS	TOP OF STEP
TW	TOP WALL

SHEET LEGEND

(FTP)	FLOW-THROUGH PLANTER
→	DRAINAGE FLOW DIRECTION
- - -	GRADE BREAK
- - -	EX. CONTOUR MINOR
- - -	EX. CONTOUR MAJOR
—	CONTOUR MINOR (FG)
—	CONTOUR MAJOR (FG)



