



City of Portland

Bureau of Development Services

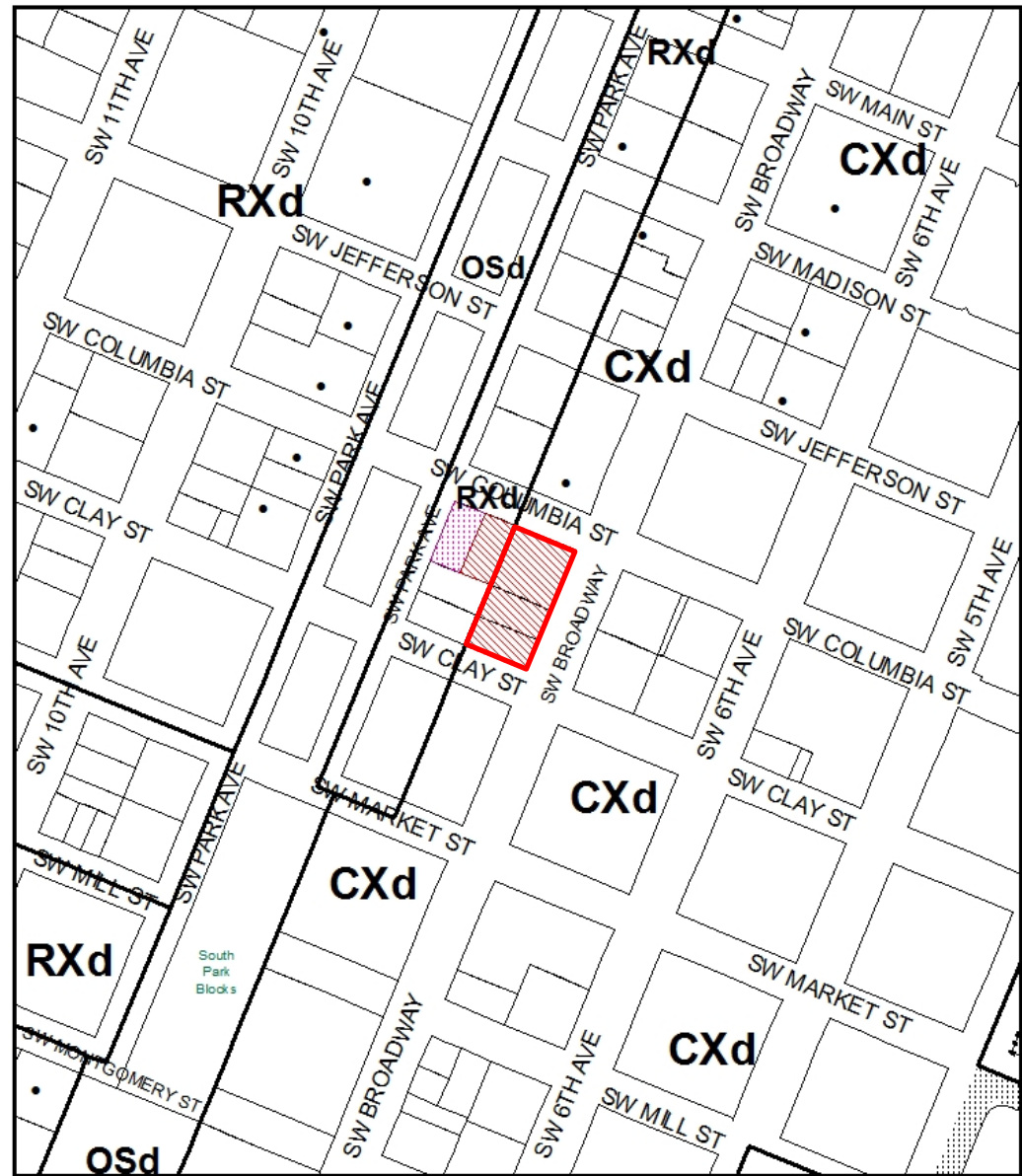
*Staff Presentation to the
Portland Design Commission*

Design Advice Request
EA 15-203240 DA
710 SW Columbia

November 5, 2015

Zoning

- CXd – Central Commercial & Central Residential with Design overlay
- Central City Plan District
- Height: 300' in CXd; 100' in RXd
- 9:1 FAR in CXd; 6:1 in RXd
- Central City Fundamental Design Guidelines
- 33.510.255 [Central City Master Plan] Approval Criteria
- 33.825.040 Modifications That Will Better Meet Design Review Requirements



ZONING

- ▨ Site
- ▤ Also Owned Parcels
- Historical Landmarks

File No.	EA 15-203240 DAR
1/4 Section	3128
Scale	1 inch = 200 feet
State_Id	1S1E04AD 3500
Exhibit	B (Jul 21, 2015)

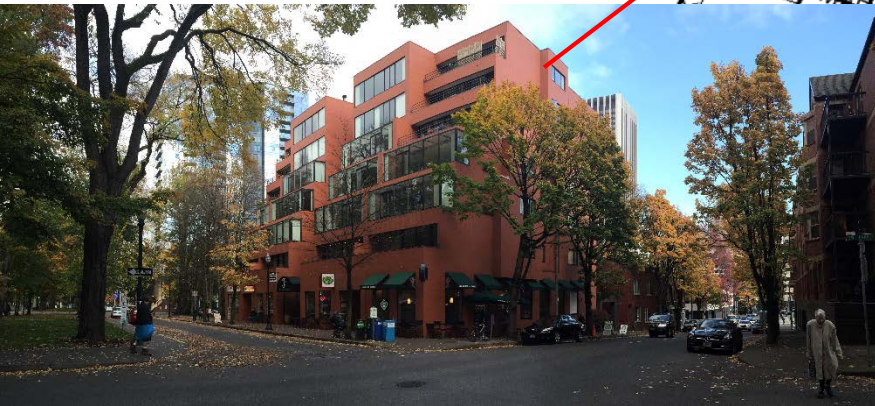


This site lies within the:
CENTRAL CITY PLAN DISTRICT
DOWNTOWN SUBDISTRICT

Neighborhood Context



Neighborhood Context



Site Photos



Proposal Summary

New 1/2-block Hotel/Office Building

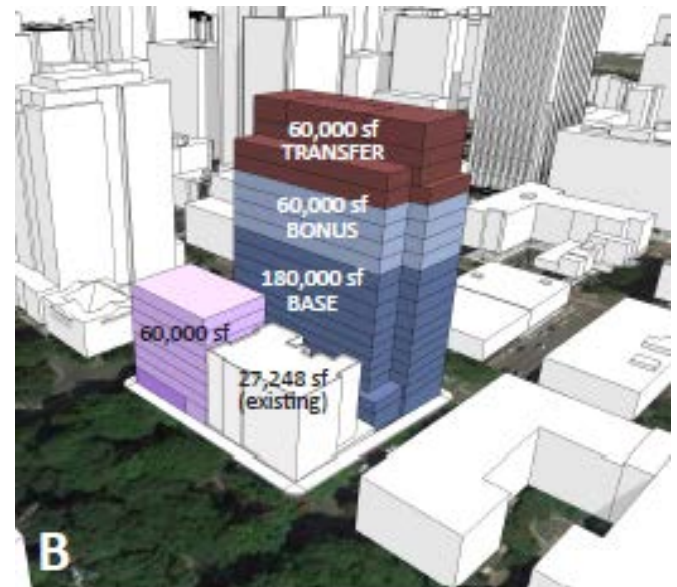
- 8 floors for hotel use; 11 floors for office use; ground floor retail and lobbies
- 4 levels of below-grade parking
- Approximately 270' tall

Central City Master Plan

- To obtain 60,000 sf of additional floor area
- 15:1 total FAR (9:1 base + 3:1 bonus + 3:1 CCMP)
- Two options described; Option A is not allowed.
- Must demonstrate a public benefit

Potential Modification Requests

- Reduce the Size of 1 of 2 Standard A loading spaces
- Ground Floor Windows on Clay and Columbia



Areas for Discussion

Specific design advice requested for:

1. Central City Master Plan to Increase Maximum FAR

Option A requires transfer to RX zone – not allowed

Option B retains full development potential of RX-zoned property for residential development

Case History indicates that a tangible public benefit must be provided in order to exceed the maximum allowed FAR through a Central City Master Plan; this public benefit should be proportional to the request.

2. Ground Level Treatment

Ground Level Windows Standards on Clay and Columbia

Expected quality and preferred type of material

Scale of Hotel entrance vs. Office entrance

3. West Wall Materials

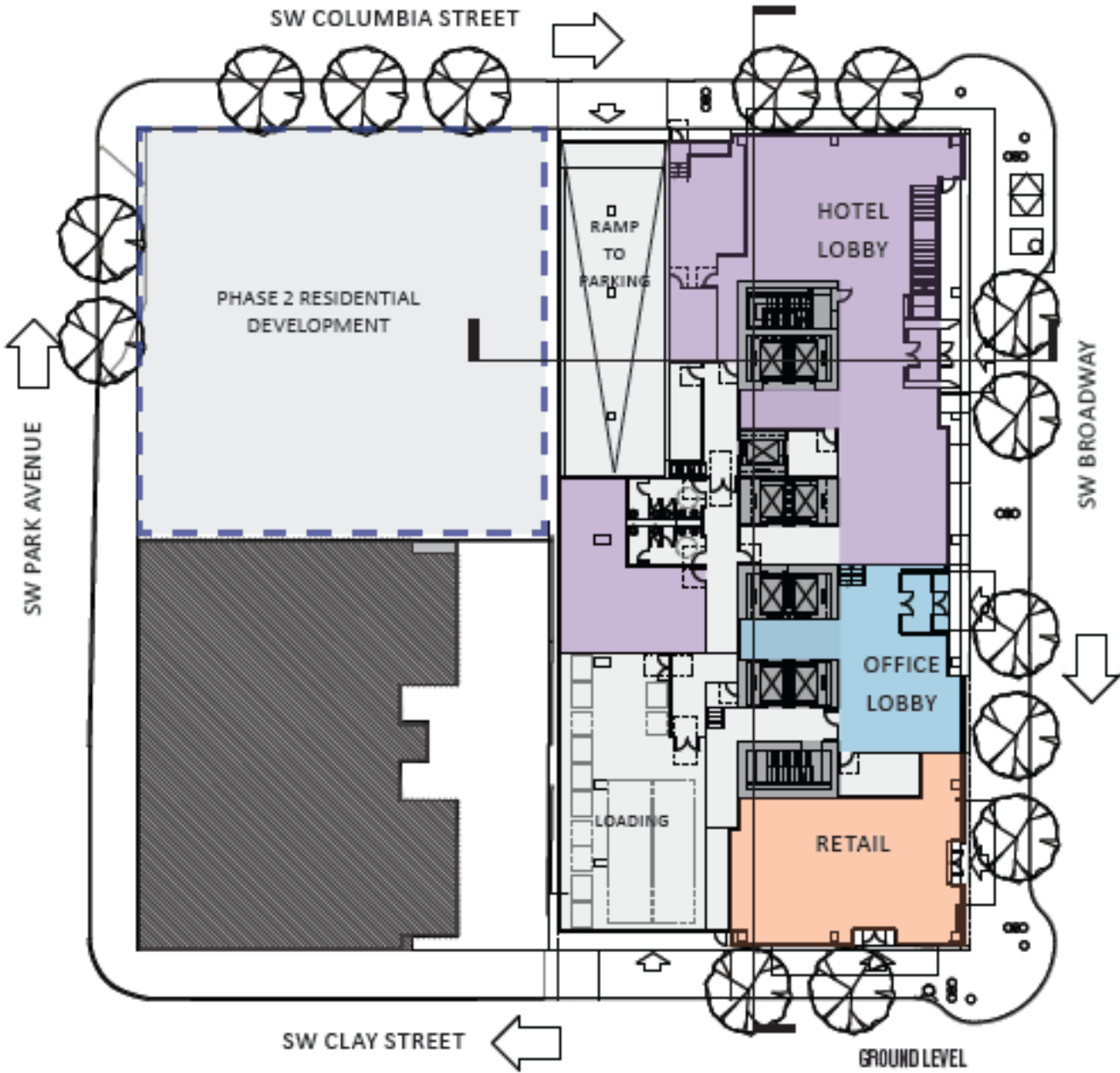
Aluminum and glazed curtain wall vs. terra cotta or pre-cast concrete

Buildings on Park Blocks are primarily brick

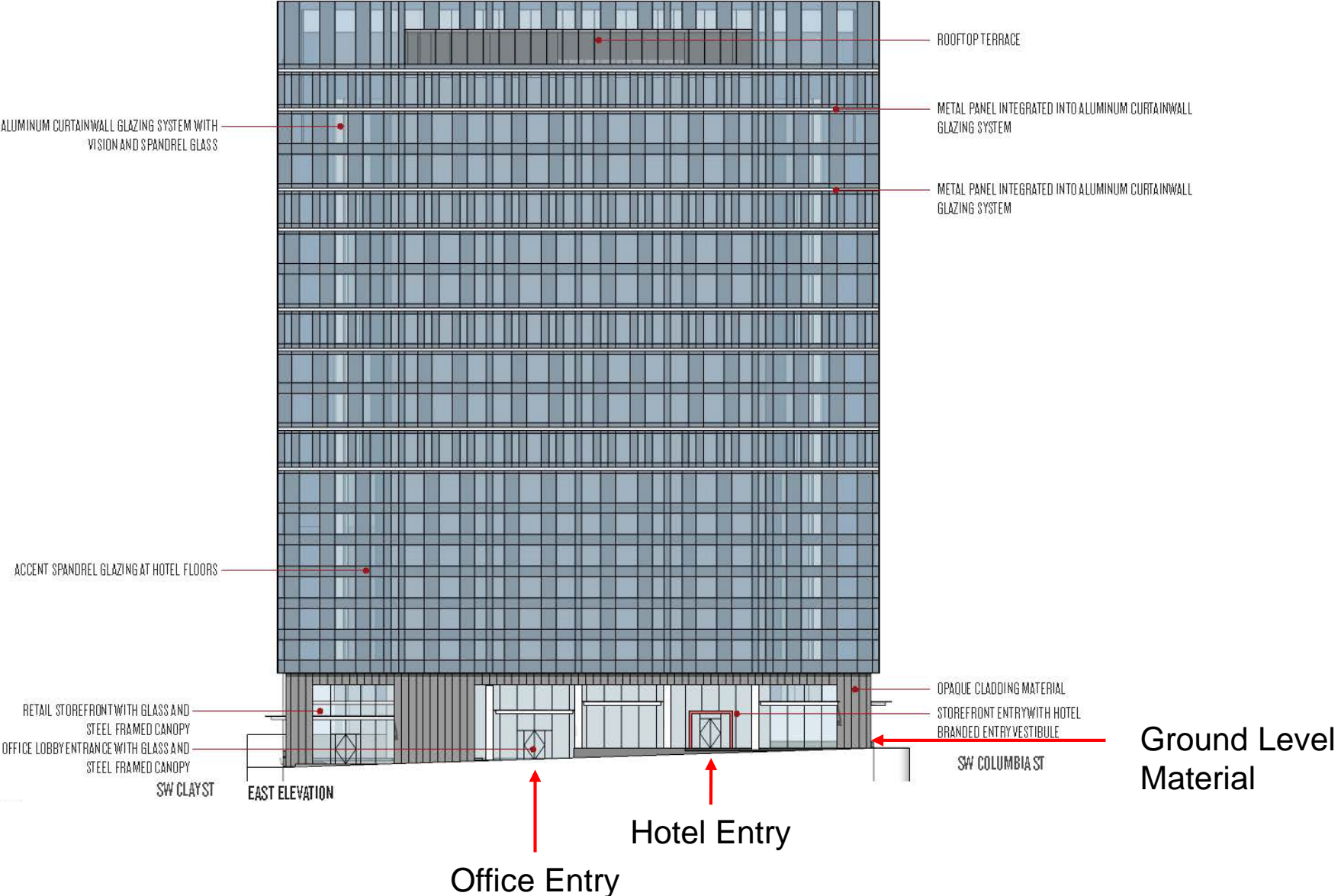
4. Loading Space Modification

Loading Analysis may be required

Ground Floor Plan



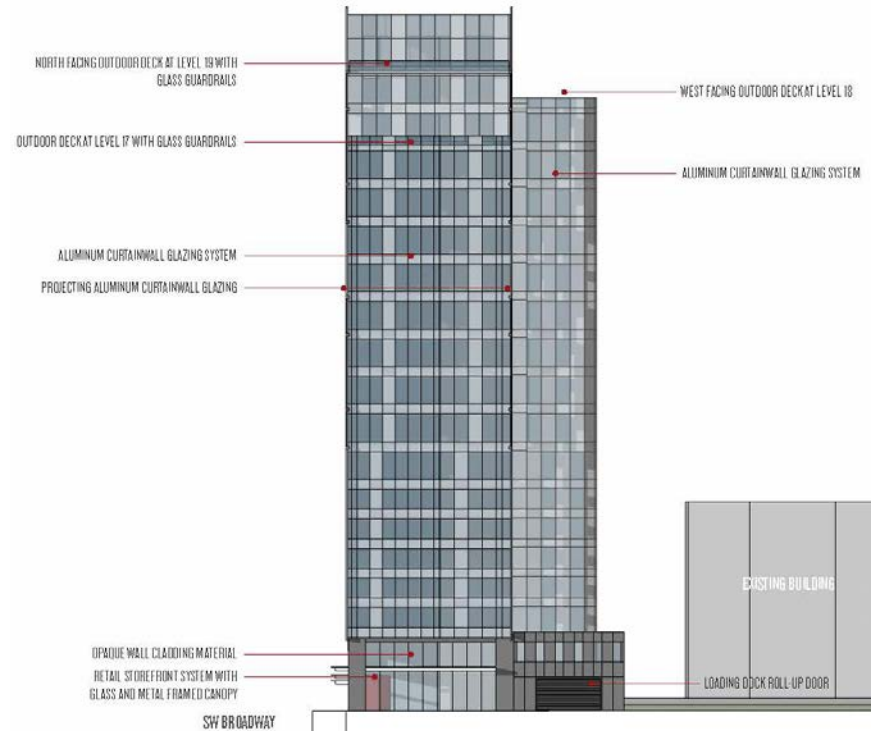
Front (East) Elevation



South & North Elevations



South Elevation



North Elevation

Potential Ground Floor Windows Modifications

Rendering of Proposed Building in Context



Central City Master Plan Precedents



The Allegro
2006

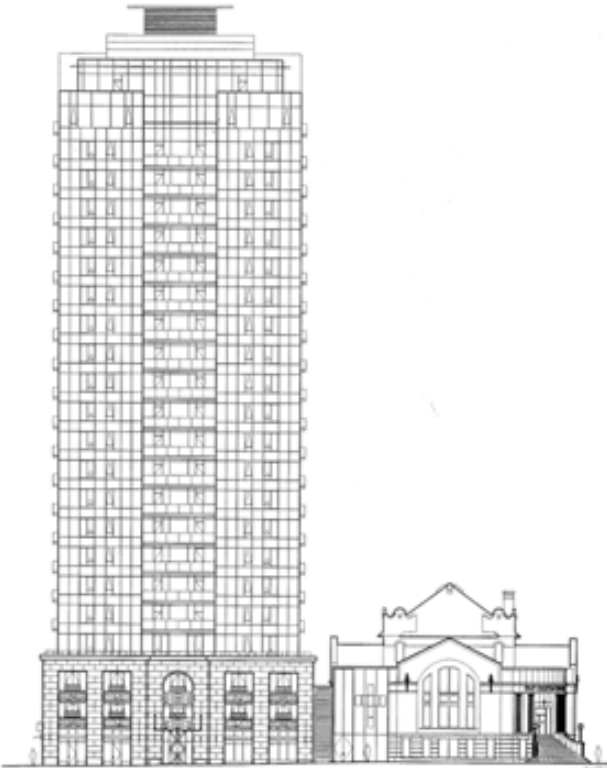
- Transfer 155,000 SF from two properties
- By right 6:1 base with 3:1 residential bonus
- Increased FAR from 9:1 to 13.3:1
- 21- & 16-story tower at 250' in height
- CCMP denied by City Council (upheld an appeal) stating design merit alone was not a public benefit to justify the large transfer of FAR



Park Avenue West Tower
2007

- Transfer 117,100 SF from Park Block 5
- By right 9:1 base with 3:1 bonus FAR
- Increase FAR from 12:1 to 23.7:1
- 33-story tower at 460' in height
- CCMP approved with the donation of Park Block 5 for the new Director Park, which was deemed a significant public benefit.

Central City Master Plan Precedents



Ladd Tower
2007

- By right 6:1 base with 3:1 bonus FAR
- Increased FAR in RX to 8.78:1 and in CX to 9.22:1
- 23-story tower at 240' in height
- CCMP approved with the Ladd Carriage House restoration.



University Pointe
2010

- Transfer 79,245 SF from Trimet's South Terminus
- By right 6:1 base with 3:1 bonus FAR
- Increased FAR from 8:1 to 10.19:1
- 16-story tower at 168' in height
- CCMP approved with several physical & visual public benefits beyond the development itself, including RACC art and landscape treatments.

end of staff presentation