

APPENDIX A BACKGROUND

Oregon Square
August 13, 2015

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- 2. Utility Plan/Civil Grading Plan*
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- 8. Oregon Square Development*
- 9. Street Design Details*
- 10. Autoturn Exhibits*

PHASE 1 OVERVIEW

- 1. *Ground Plan*
- 2. *Typical Plan*
- 3. *Overall Character – Phase 1*



- RESIDENTIAL - PUBLIC AREAS
- RESIDENTIAL
- RETAIL
- OFFICE (EXISTING)
- SERVICE/SUPPORT

657
For-rent housing units

592,000
GSF of housing

271,000
GSF of office

27,500
Specialty retail

30,000
Retail

1,200
Underground parking stalls

GROUND FLOOR - PHASE 1



- RESIDENTIAL - PUBLIC AREAS
- RESIDENTIAL
- RETAIL
- OFFICE (EXISTING)
- SERVICE/SUPPORT

657
For-rent housing units

592,000
GSF of housing

271,000
GSF of office

27,500
Specialty retail

30,000
Retail

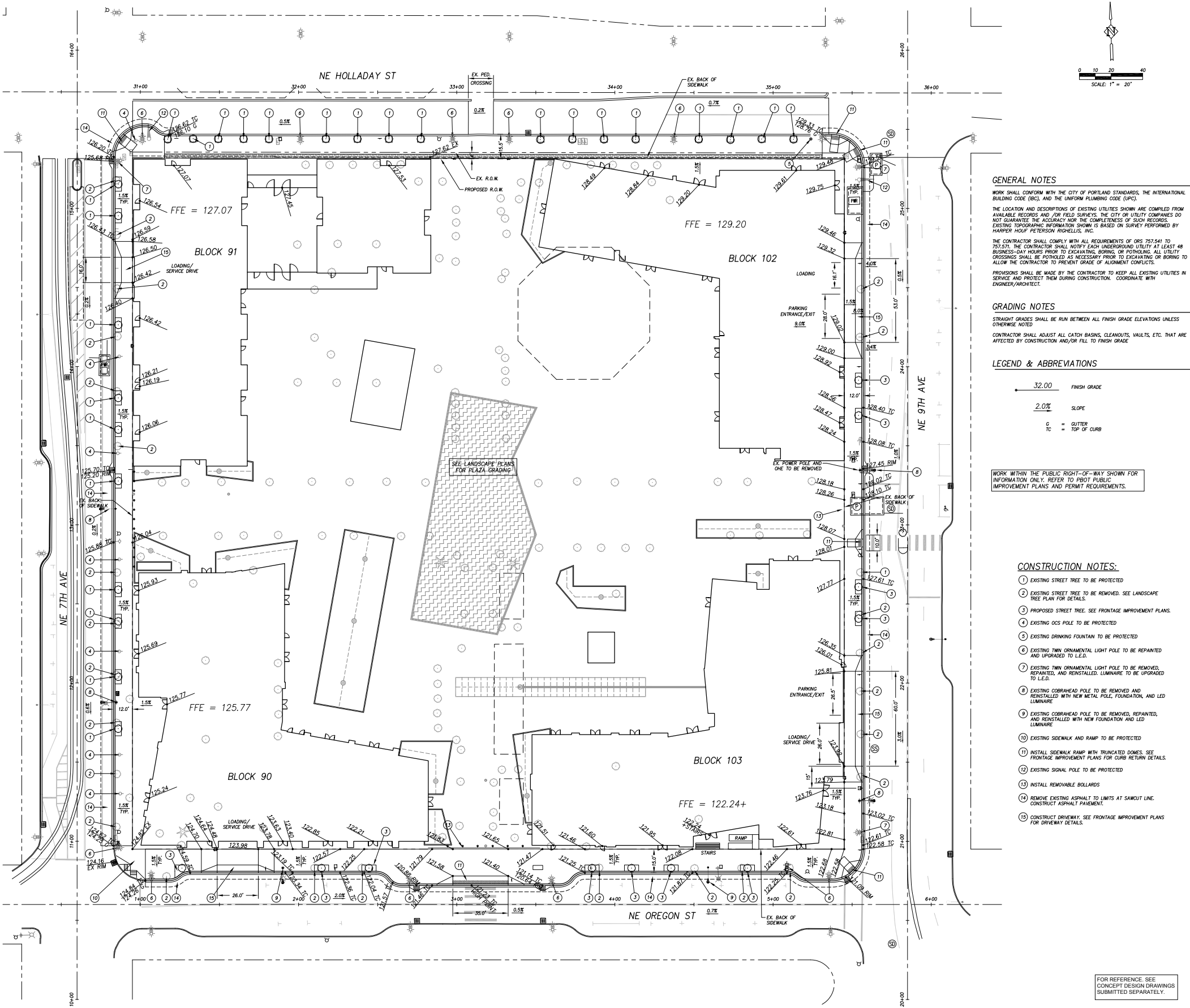
1,200
Underground parking stalls

TYPICAL - PHASE 1

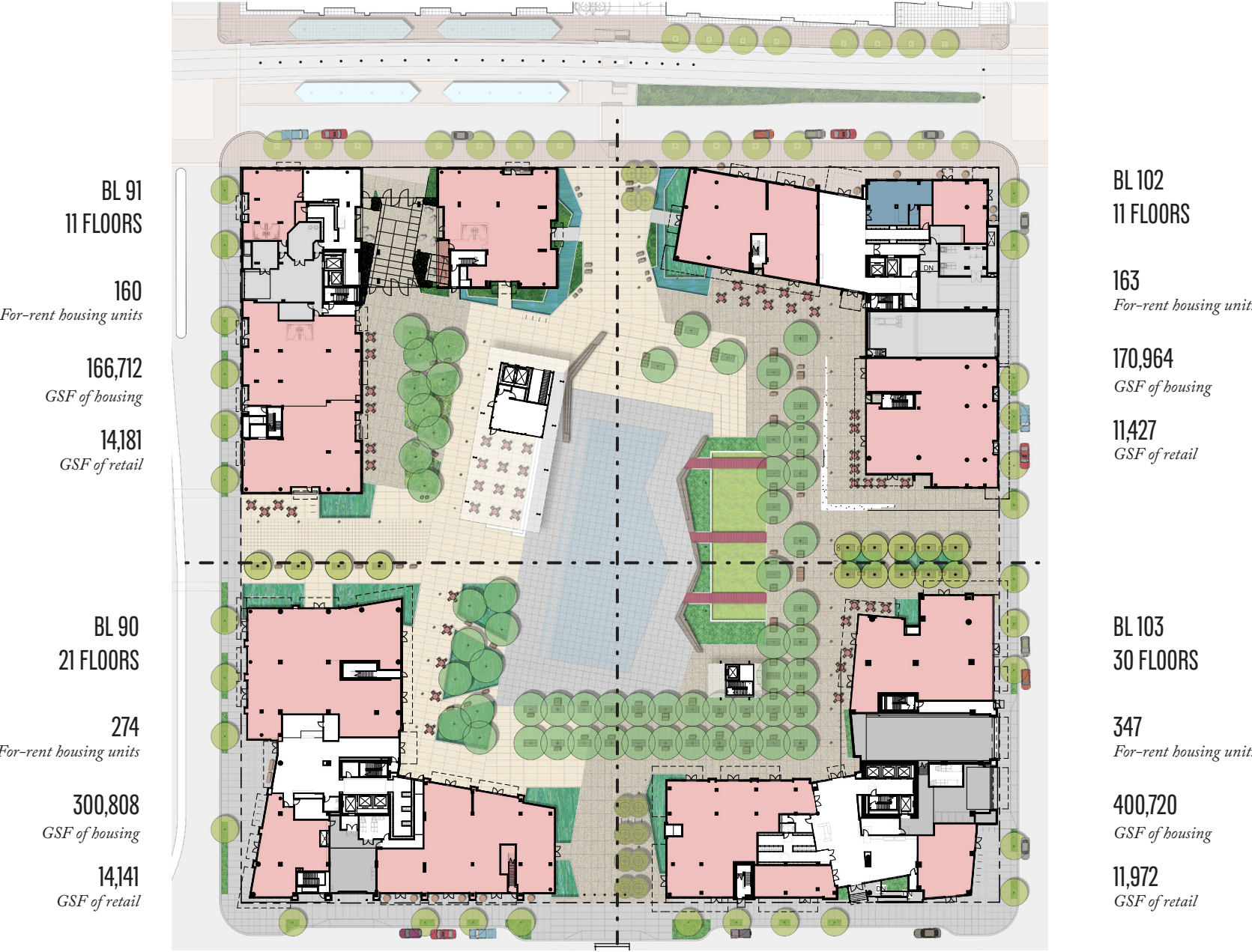


OVERALL CHARACTER - PHASE 1





CIVIL GRADING PLAN



	SITE AREA (SF)	BUILDING AREA (SF)	FAR RATIO (X:1)
BL. 90	49,050	314,949	6.42
BL. 91	49,050	180,893	3.69
BL. 102	49,050	183,778	3.75
BL. 103	49,050	413,779	8.44
TOTAL	196,200	1,093,399	5.57

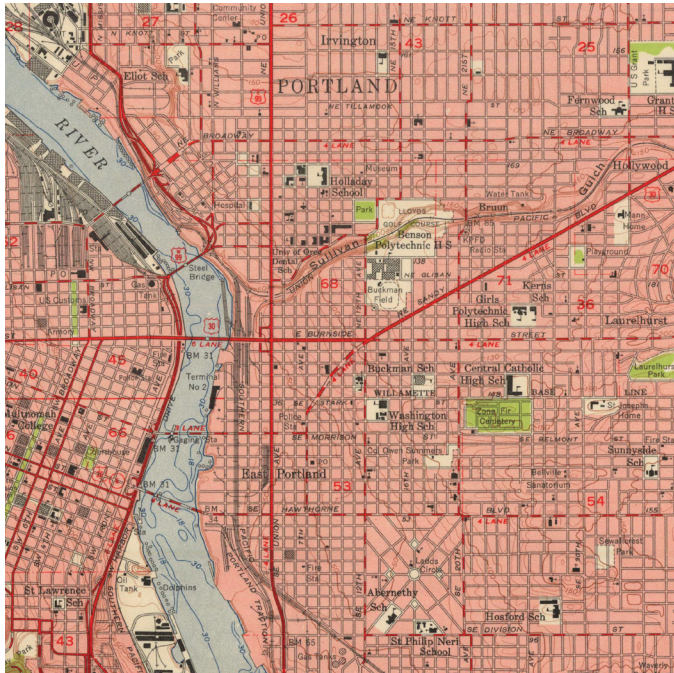
FAR CALCULATIONS

2. HISTORY

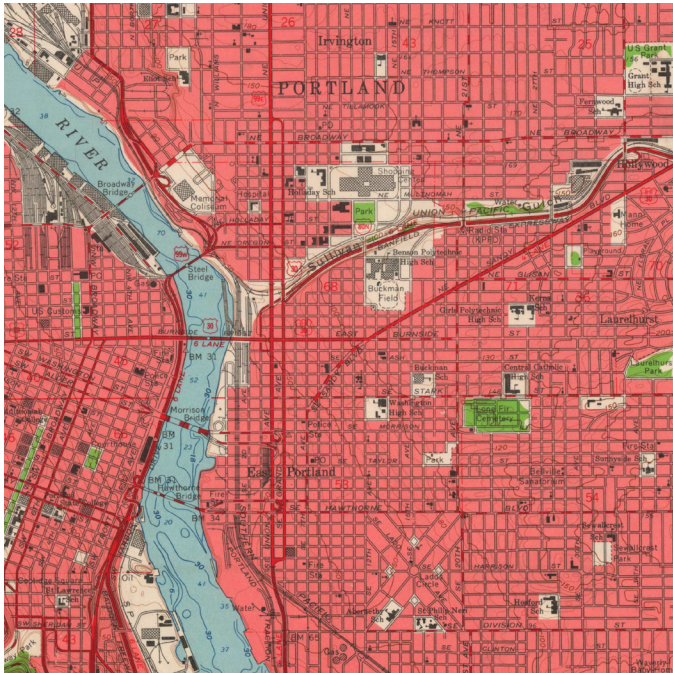
- 1. Plat of District*
- 2. Kaiser Building - 1974*
- 3. Lloyd 700 Building - 1970*
- 4. State Office Building - 1992*
- 5. BPA Building - 1954/1985*



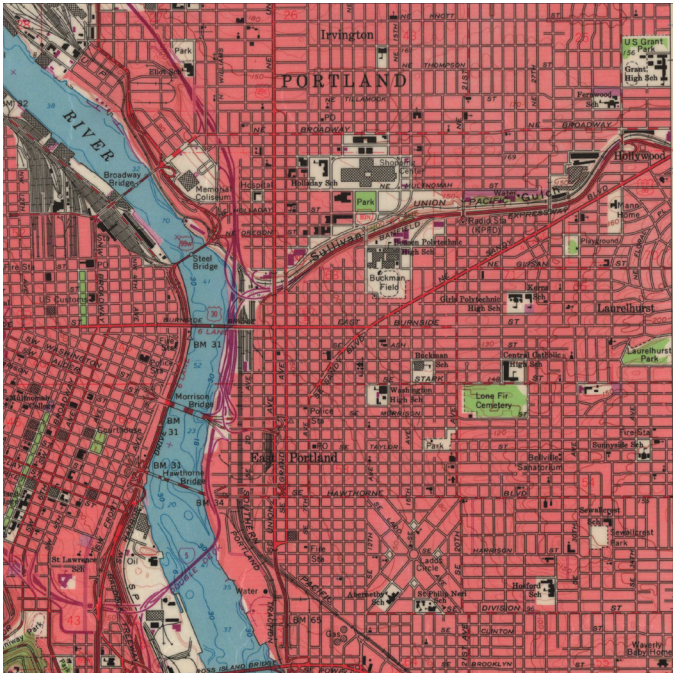
1905



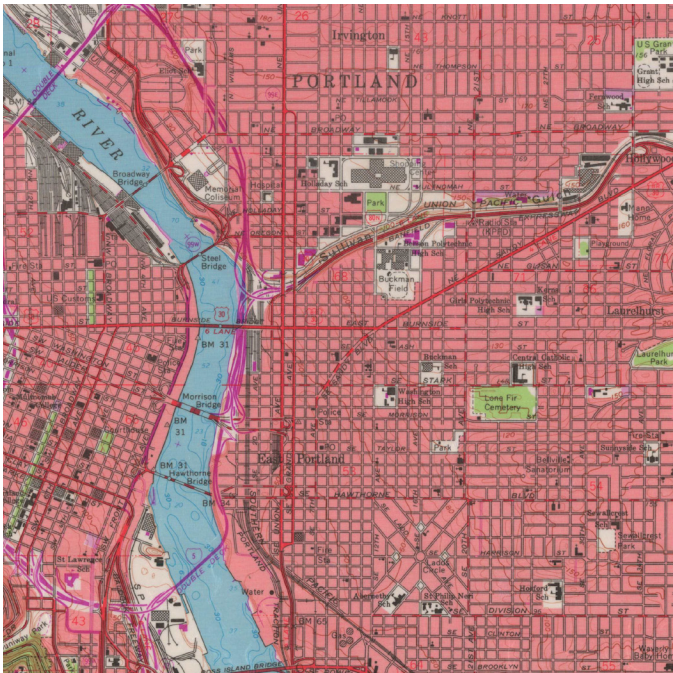
1954



1961



1970



1977

LLOYD DISTRICT TIMELINE



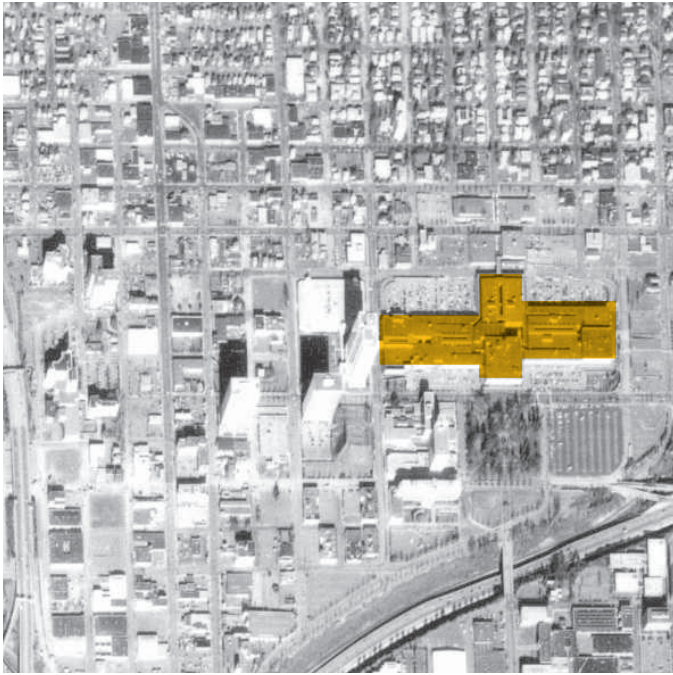
1955 *Golf course*



1963 *Lloyd Center Mall + Memorial Coliseum*



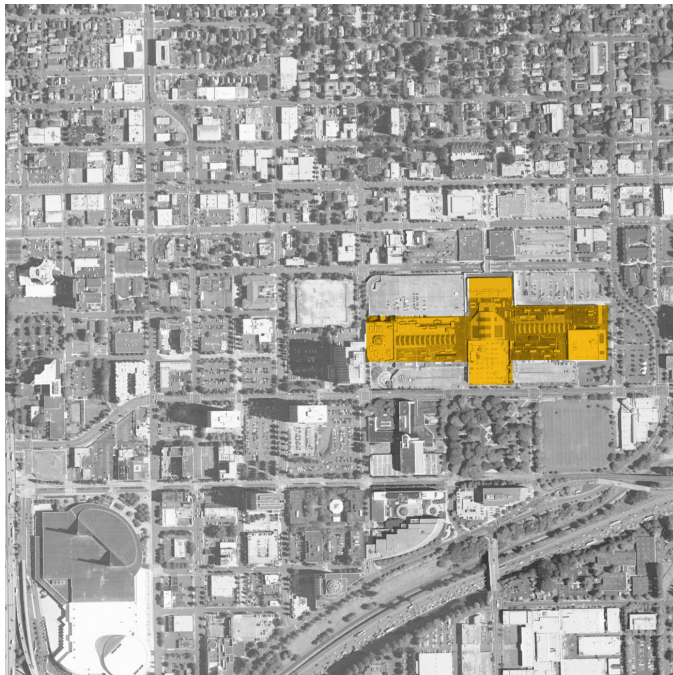
1970 *700 building*



1984 *Kaiser (500) + LCT*



1994 *Convention Center*



2006 *Moda / Rose Quarter and Convention Center expansion*

LLOYD DISTRICT TIMELINE

Simple massing/pure form

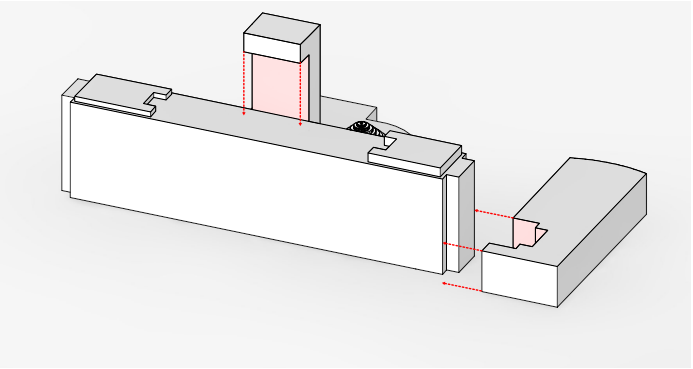
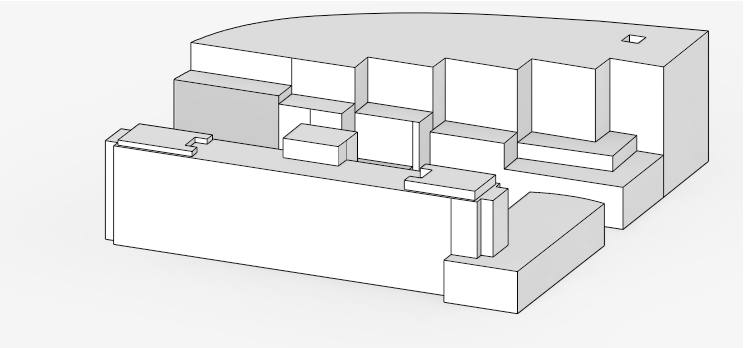
Setback @ property line

Single purpose

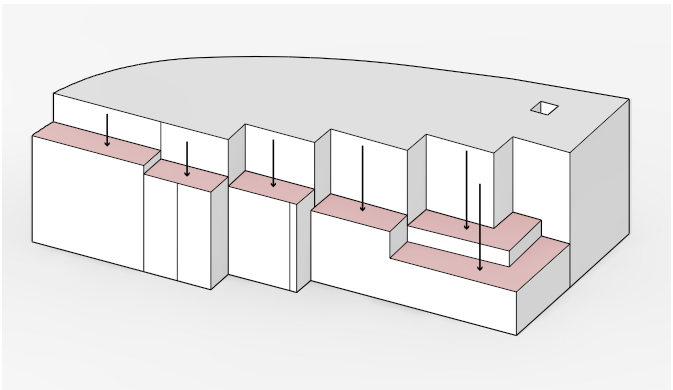
Fortified

Interlock

Notch/terrace



1954 - interlocking masses

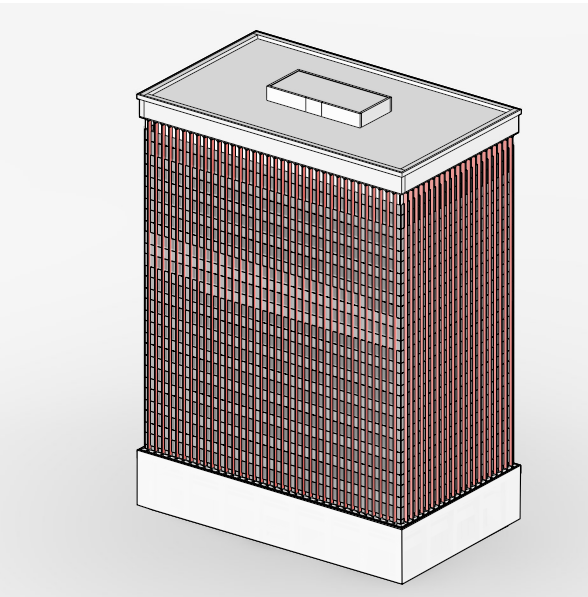


1985 addition - create reveals/solar access

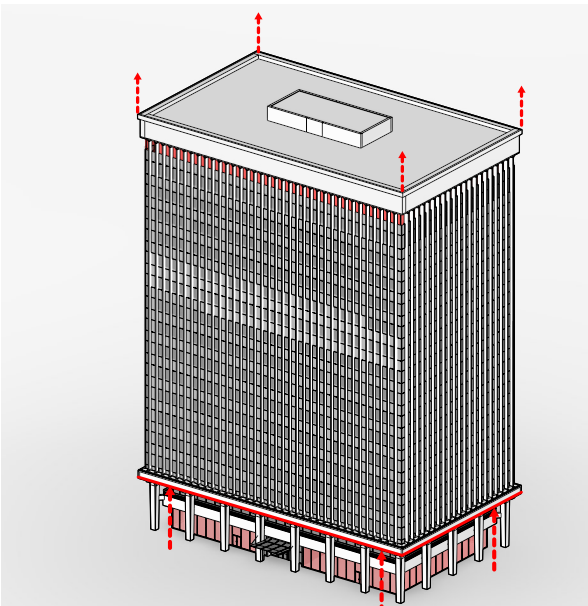


BPA BUILDING

- Pure object building*
- Surface parking*
- Setback @ property line*
- Dark glass @ ground level*
- Object scale*
- Strong verticality*



Strong vertical emphasis (no scale)



Lift tower/expose ground floor
Illuminate top



LLOYD 700 BUILDING - 1970

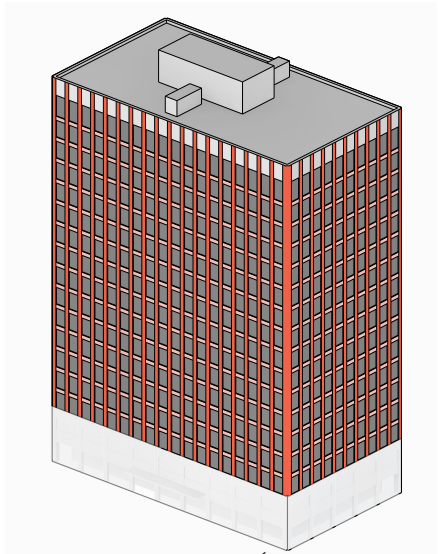
Surface parking

Setback @ property

No retail

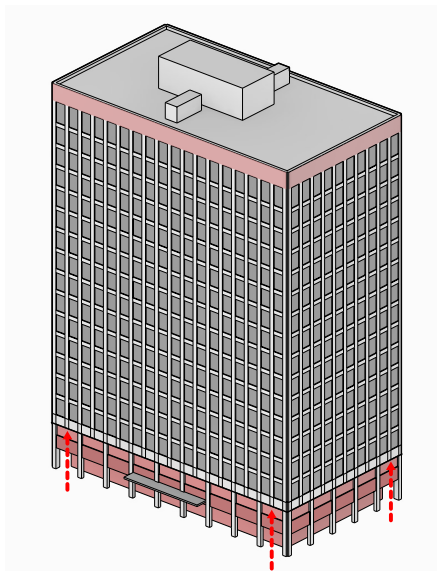
Single purpose

Strong grid/pure form



Strong patterning (grid repetition)

static



Lift tower / expose ground floor

Illuminate top



KAISER BUILDING - 1974

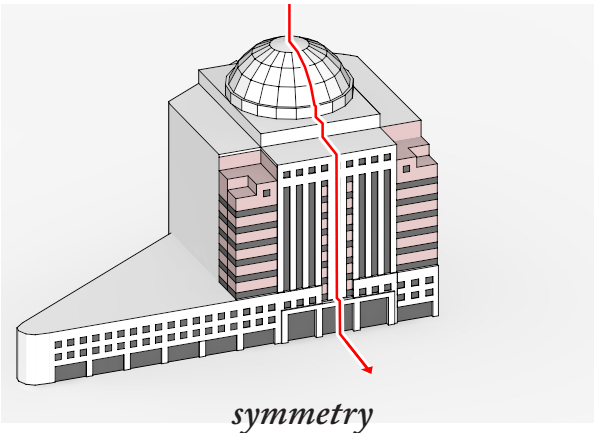
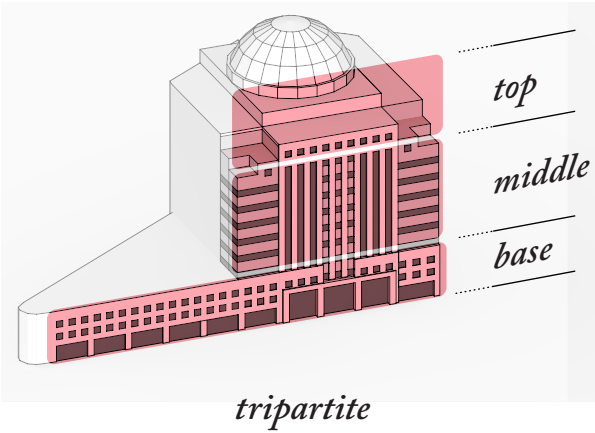
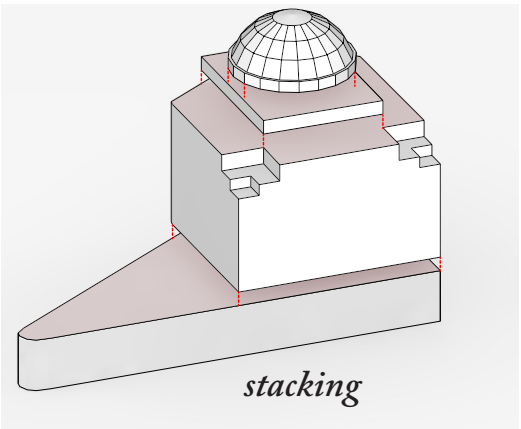
Strong axial relationship

Civic

Post modern

Symmetry

Variety of fenestration



STATE OFFICE BUILDING - 1992

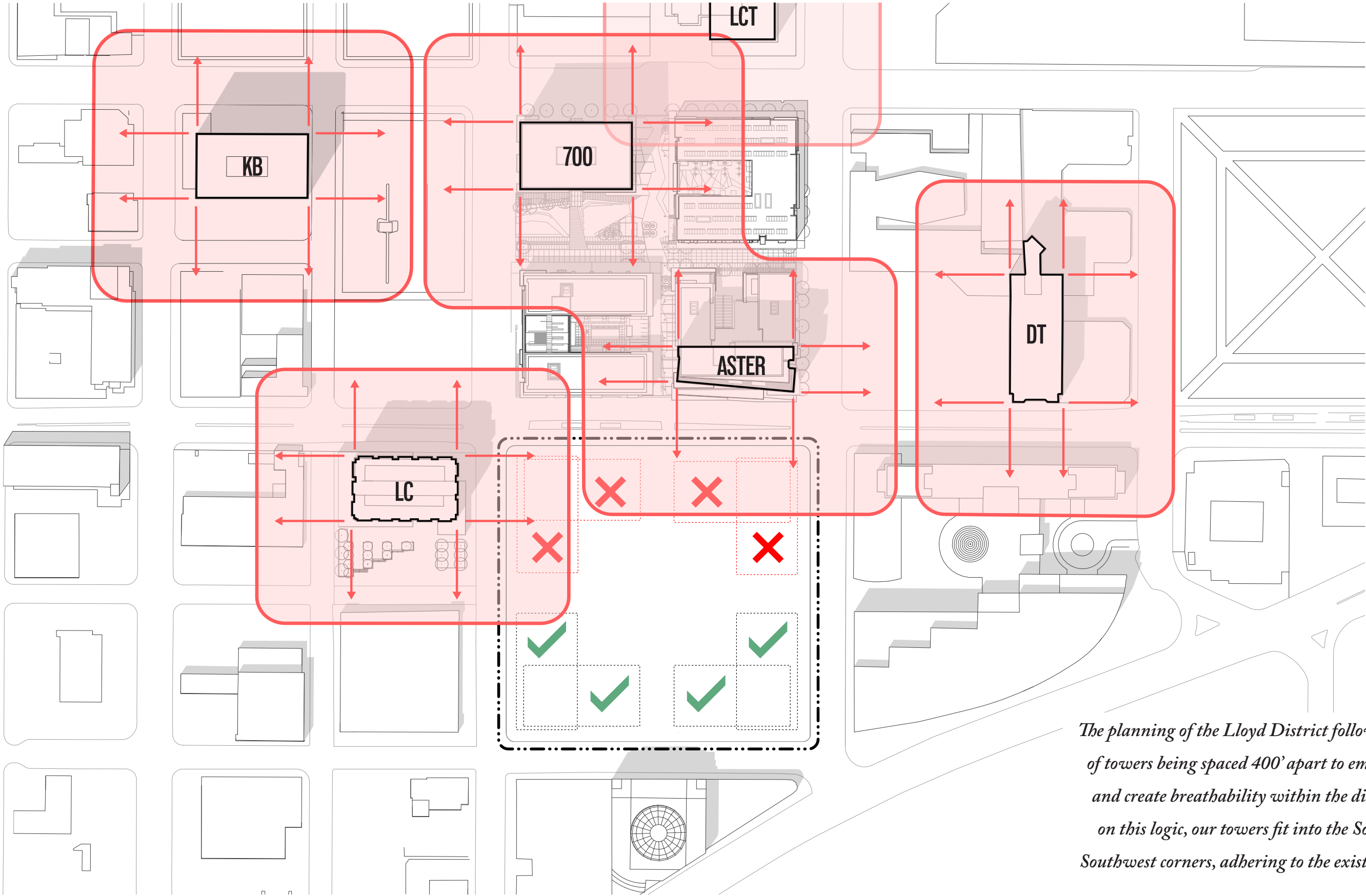
DISTRICT TAKEAWAY

- *Simple massing/pure form*
- *Interlock*
- *Develops strong axial relationship*
- *Pure object building*
- *Strong verticality*
- *Color/material – masonry /precast /stone + bronze/dark/light color*



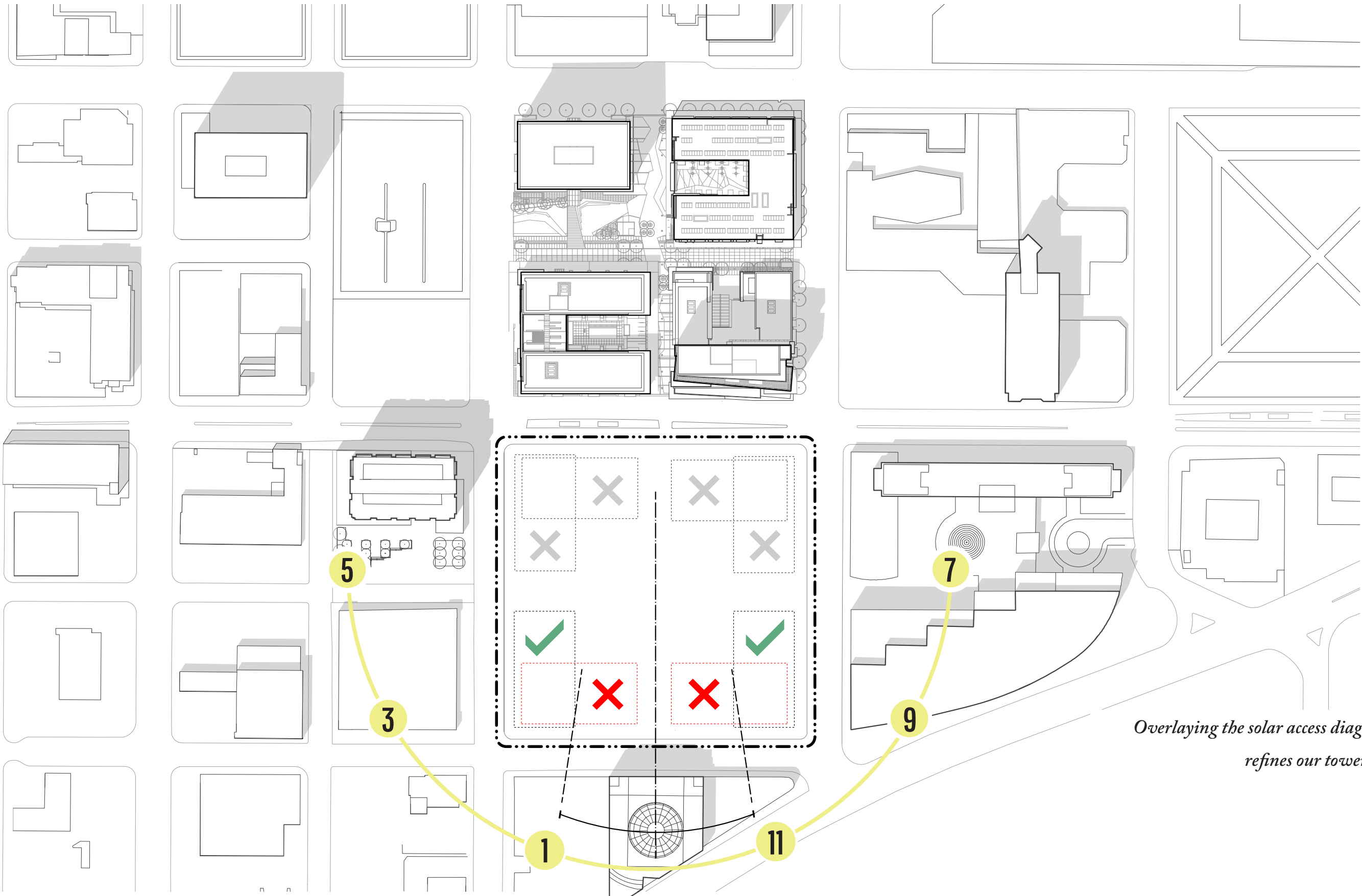
3. BUILDING PLACEMENT

- 1. Tower Separation*
- 2. Solar Overlay*
- 3. Optimization*



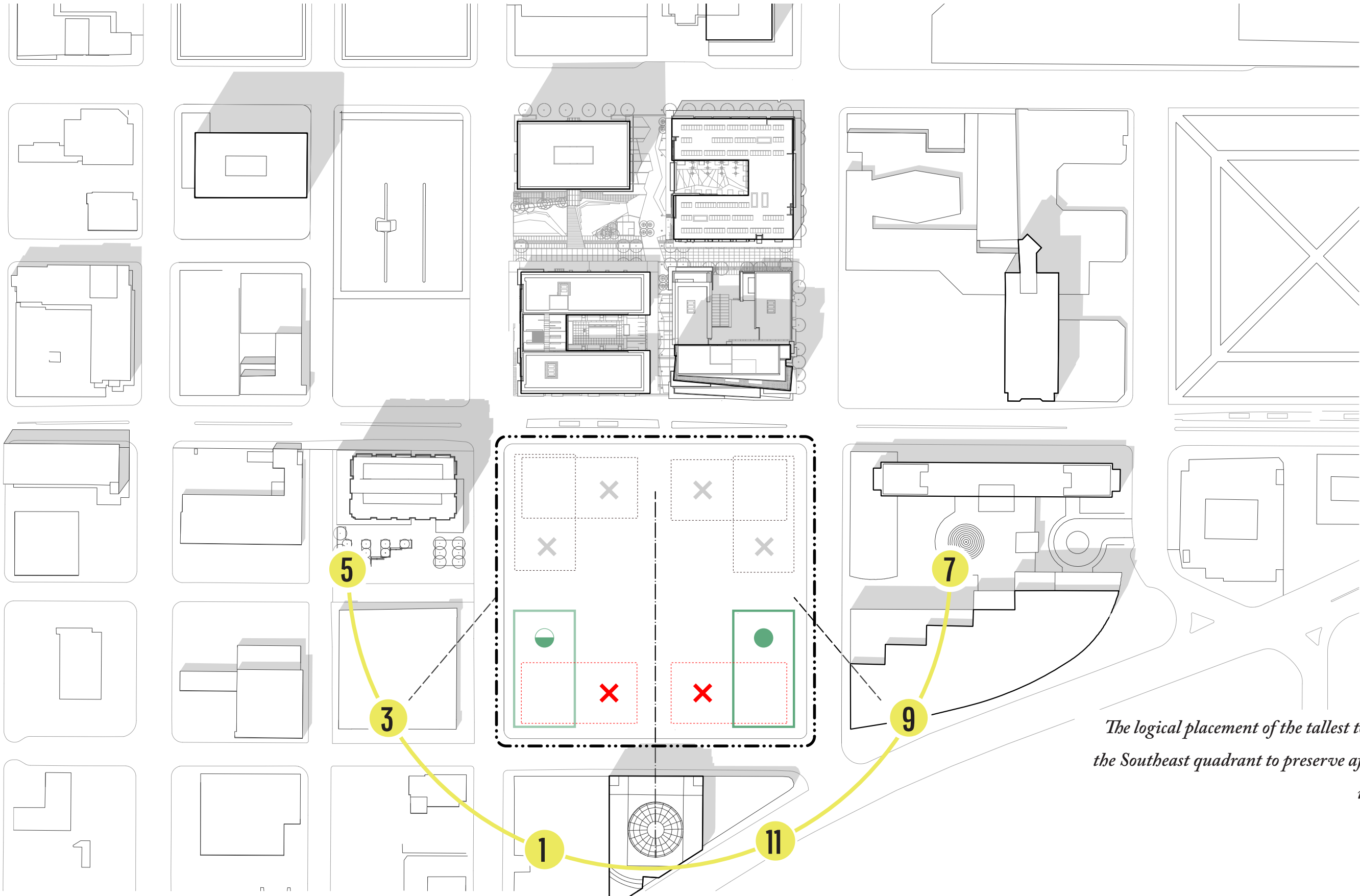
The planning of the Lloyd District follows a pattern of towers being spaced 400' apart to embrace views and create breathability within the district. Based on this logic, our towers fit into the Southeast and Southwest corners, adhering to the existing pattern.

SEPARATION



Overlaying the solar access diagram further refines our tower placement.

SOLAR OVERLAY



The logical placement of the tallest tower was in the Southeast quadrant to preserve afternoon sun in the plaza.

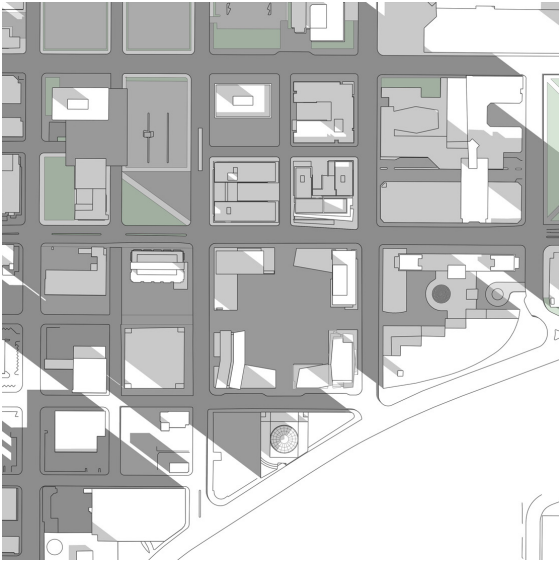
OPTIMIZATION

4. SHADOW STUDY

- 1. *Winter*
- 2. *Equinox*
- 3. *Summer*

SOLAR STUDY - WINTER

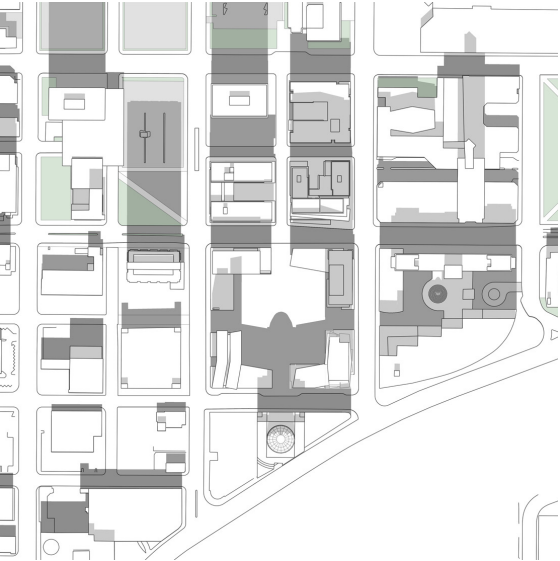
8AM



10AM



12PM



2PM

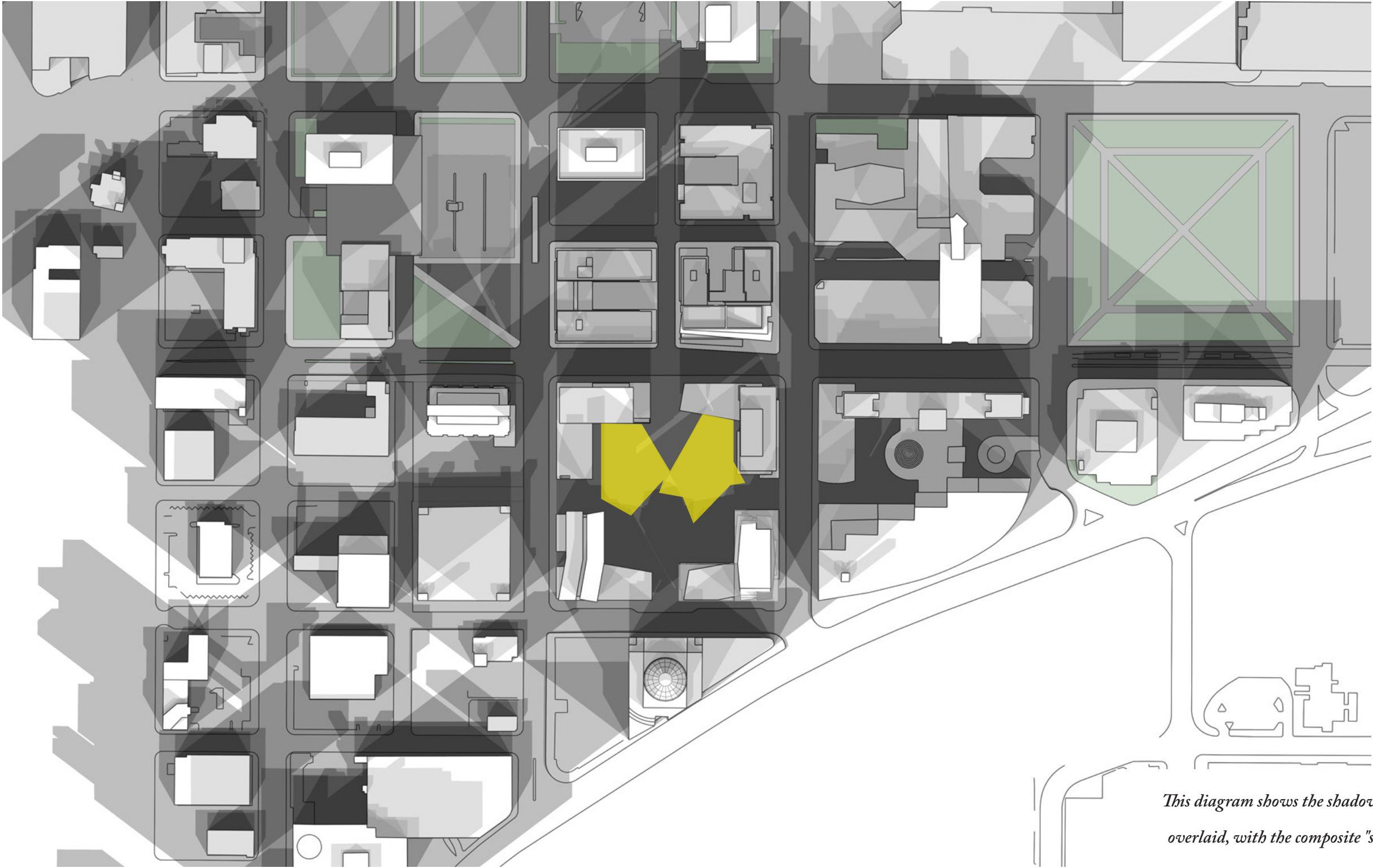


4PM



*This diagram shows the shadows cast by the buildings
of Oregon Square and its surrounding context on
December 22nd (the Winter Solstice)*

SOLAR STUDY - WINTER



This diagram shows the shadows cast on December 22nd overlaid, with the composite "sun spot" shown in yellow.

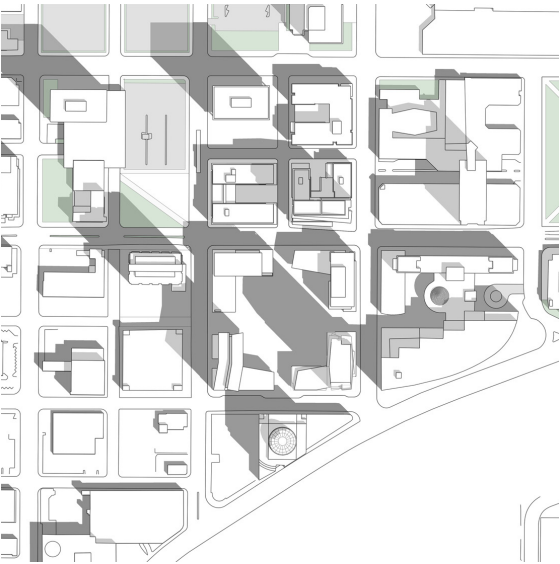
WINTER SHADOW SYNTHESIS

SOLAR STUDY - EQUINOX

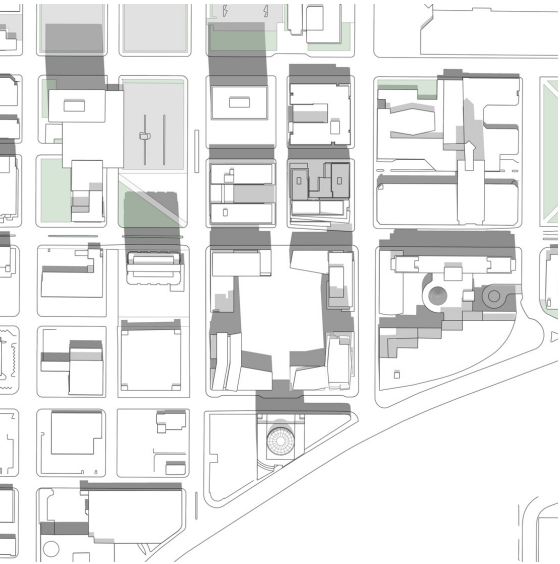
8AM



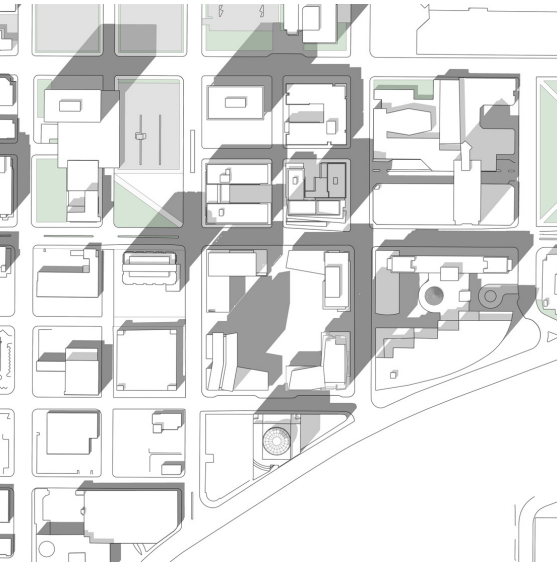
10AM



12PM



2PM



4PM



*This diagram shows the shadows cast by the buildings
of Oregon Square and its surrounding context on
September 22nd (the Equinox)*

SOLAR STUDY - EQUINOX

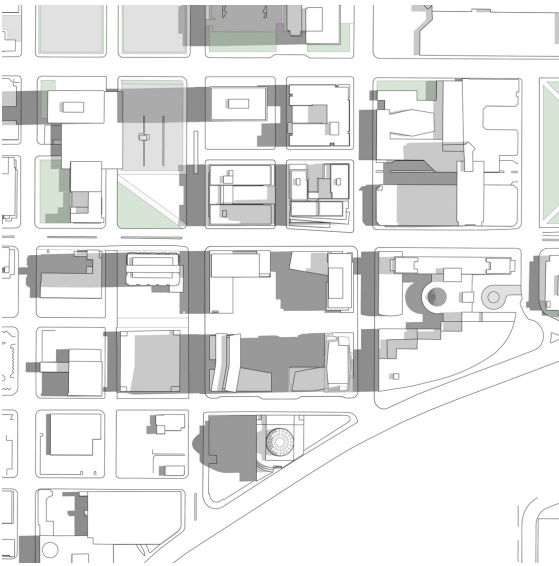


*This diagram shows the shadows cast on March 22nd/
September 22nd overlaid, with the composite "sun spot" shown
in yellow.*

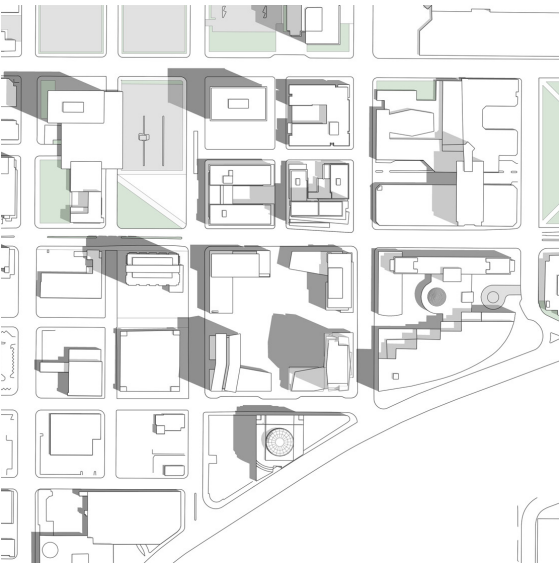
EQUINOX SHADOW SYNTHESIS

SOLAR STUDY - SUMMER

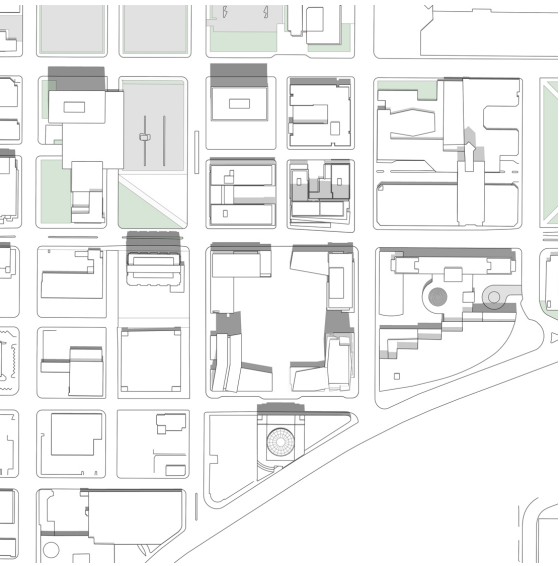
8AM



10AM



12PM



2PM



4PM



This diagram shows the shadows cast by the buildings of Oregon Square and its surrounding context on June 22nd (the Summer Solstice)

SOLAR STUDY - SUMMER

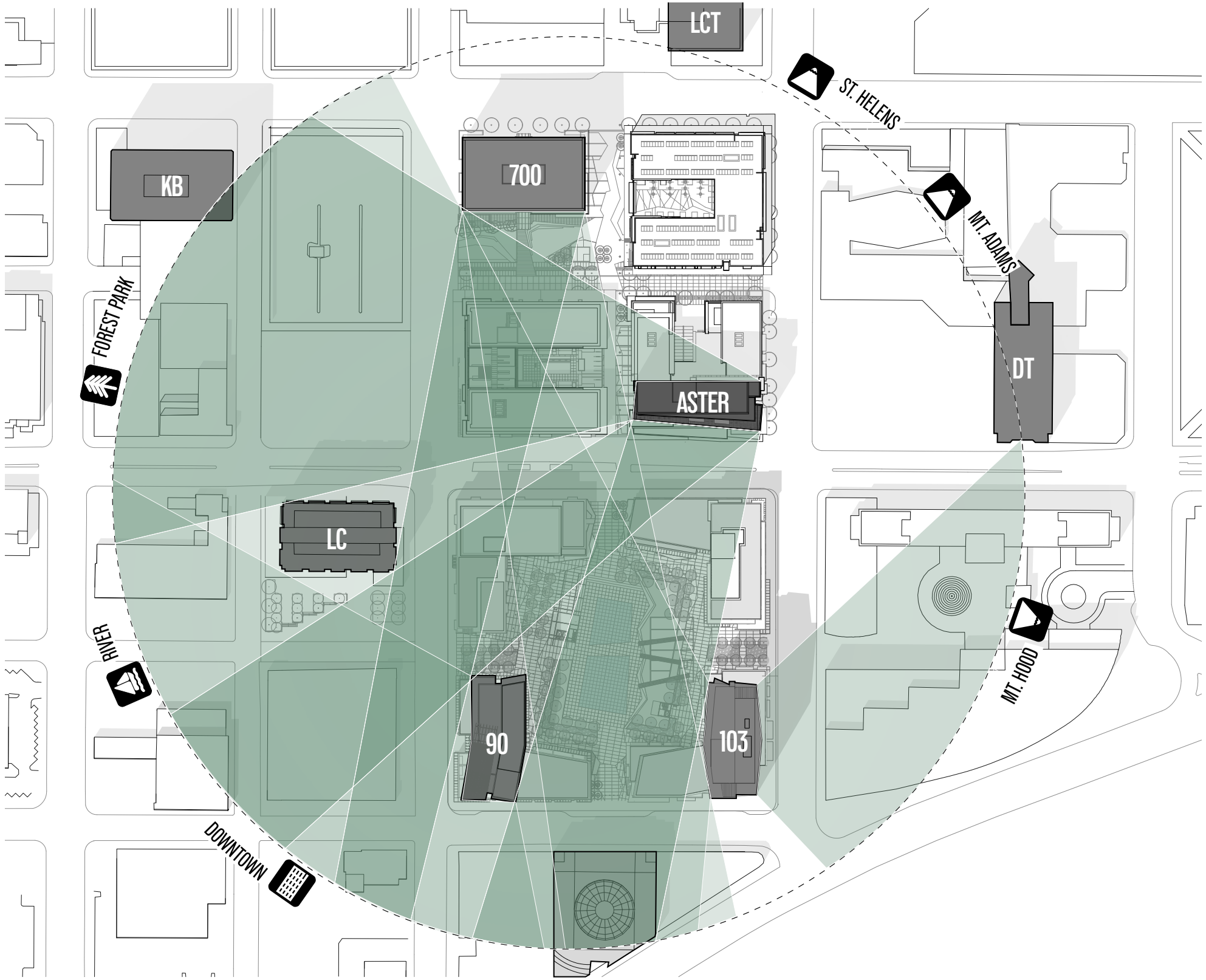


*This diagram shows the shadows cast on July 22nd overlaid,
with the composite "sun spot" shown in yellow.*

SUMMER SHADOW SYNTHESIS

5. SITE VIEWS

- 1. *View to the East*
- 2. *View to Northwest*
- 3. *View to Southwest*



SIGHT LINES



VIEW TO THE EAST



VIEW TO NORTHWEST



































VIEW TO SOUTHWEST

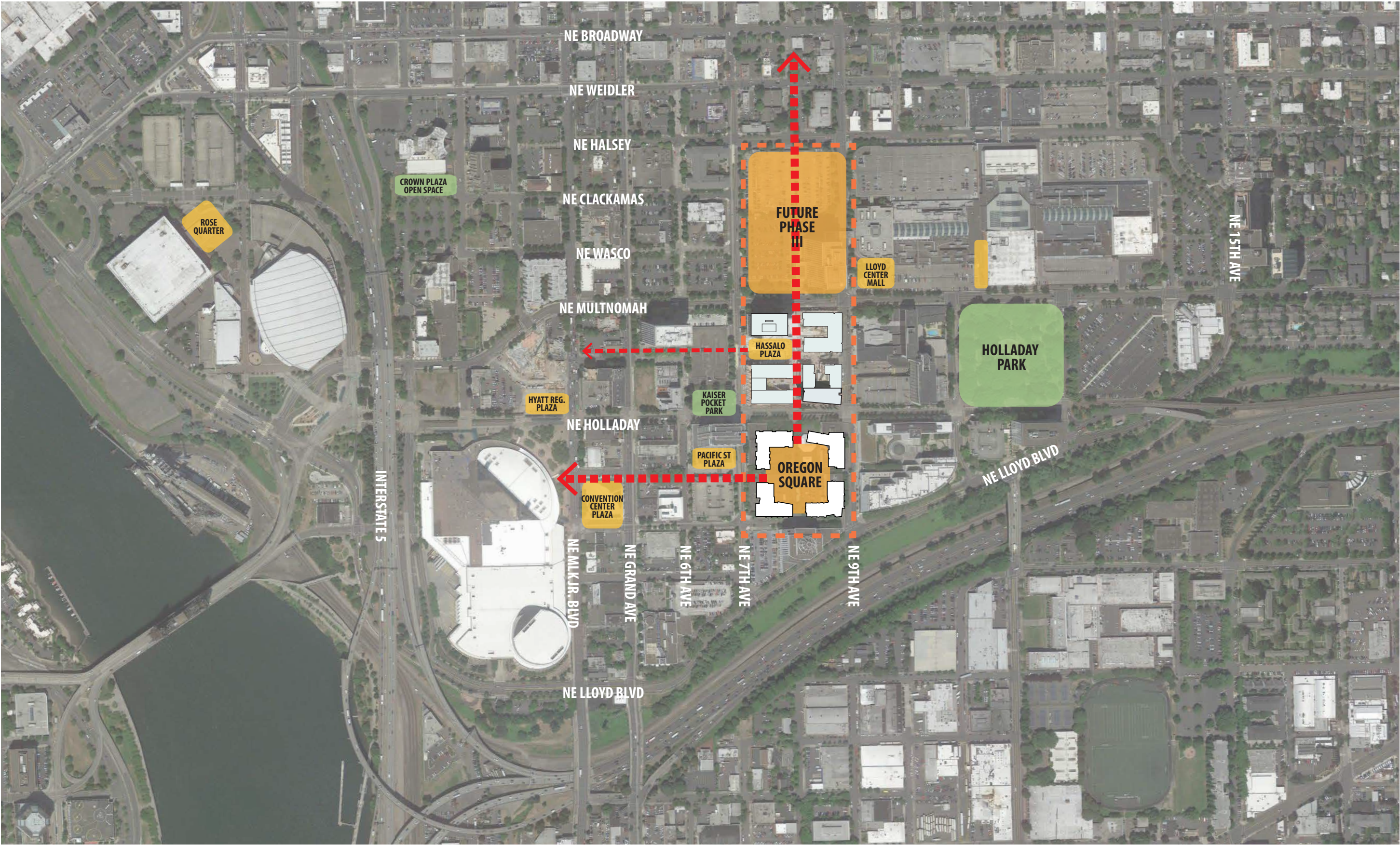
6. OREGON SQUARE DEVELOPMENT

- 1. Parks and Open Space System*
- 2. Master Plan District Connections*
- 3. Conversation with Parks*
- 4. Placemaking*
- 5. Stormwater Strategies*

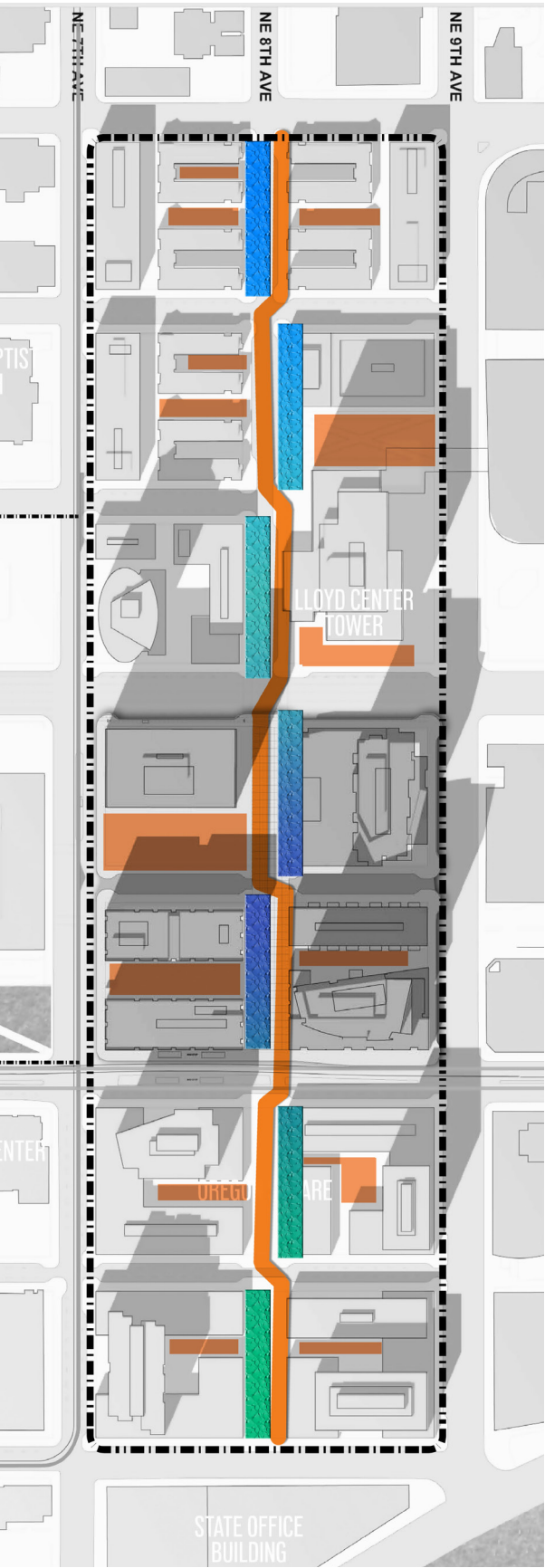
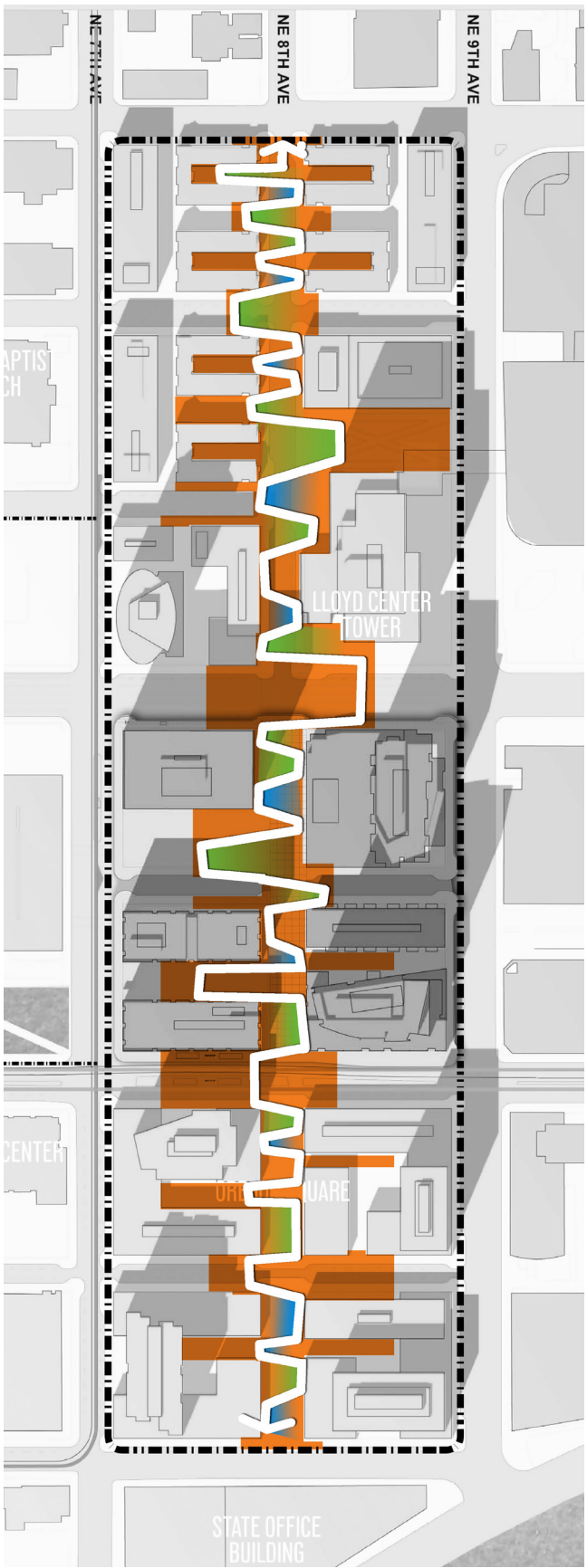
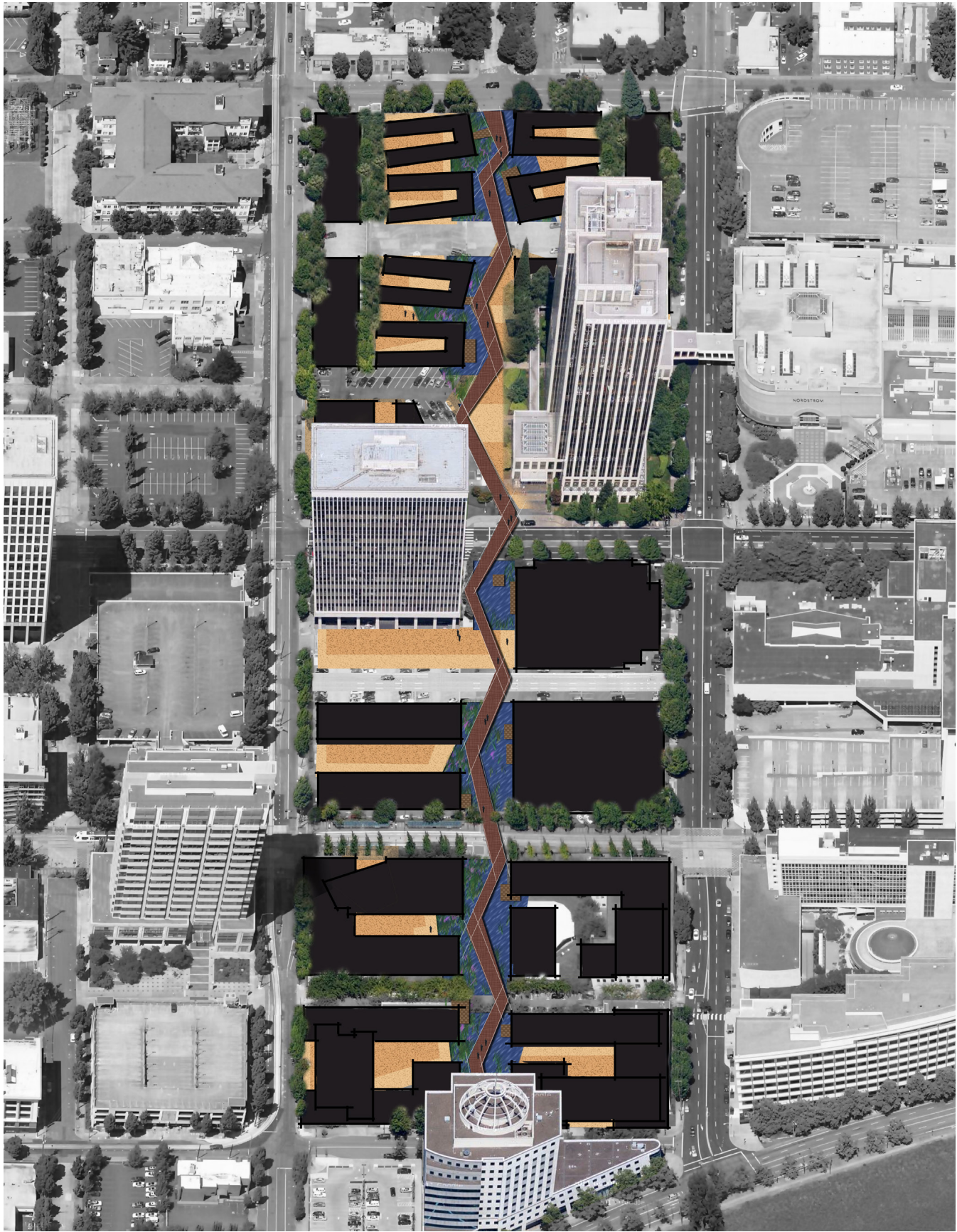


PARKS AND OPEN SPACE SYSTEM

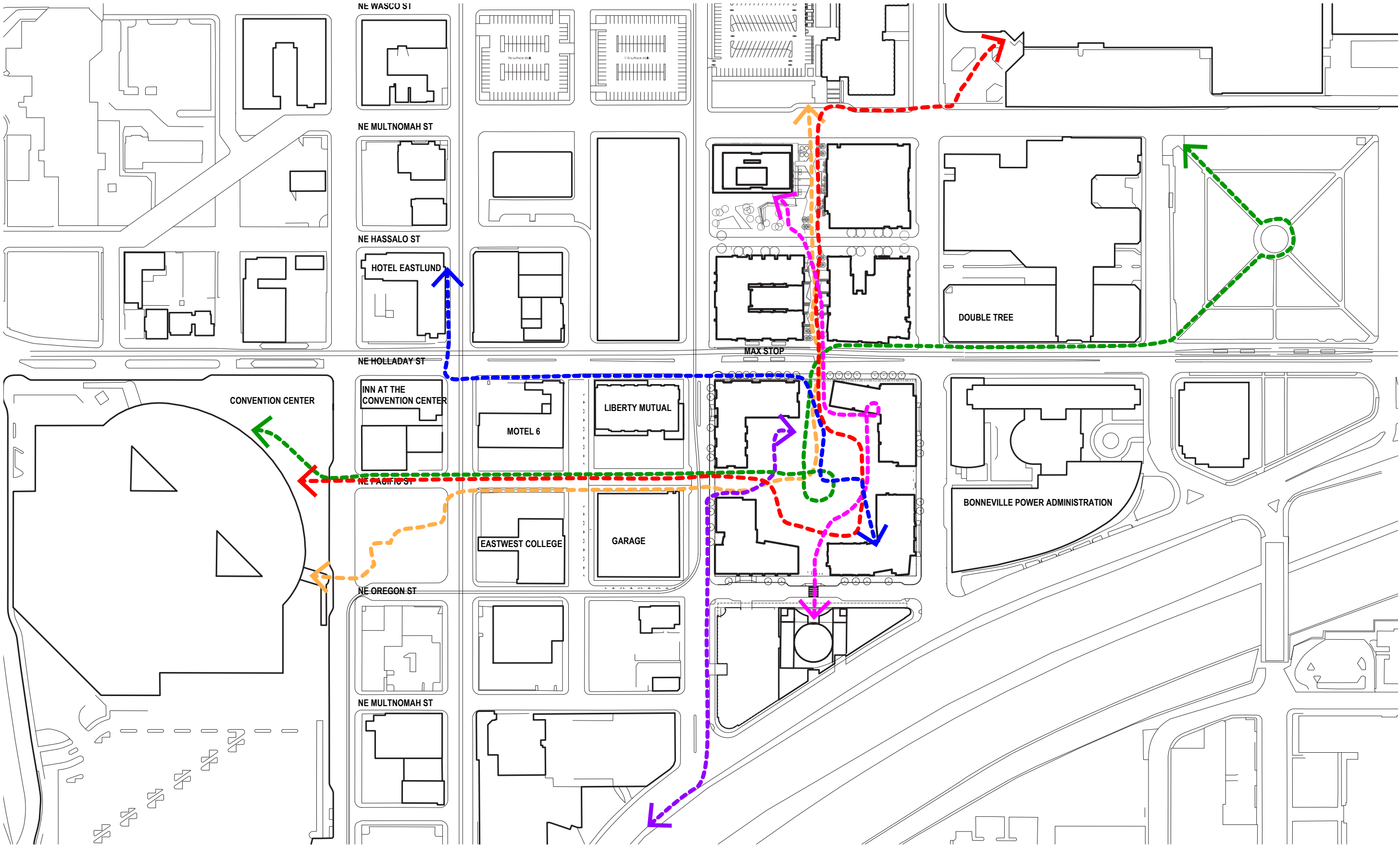
	CONVENTION CENTER PARK	HOLLADAY PARK	ROSE QUARTER	LLOYD CENTER MALL	KAISER POCKET PARK	HASSALO PLAZA	OREGON SQUARE
 ACTIVE RECREATION							
 PASSIVE RECREATION							
 CULTURAL							
 DOG WALKING							
 HABITAT							
 OUTDOOR MARKETS							
 PLAYGROUND							



MASTER PLAN DISTRICT CONNECTIONS



MASTER PLAN DISTRICT CONNECTIONS



MASTER PLAN DISTRICT CONNECTIONS



1 RESPOND TO SURROUNDING URBAN FABRIC

2 DEVELOP HIGHLY FLEXIBLE & PROGRAMMABLE PLACES

3 CREATE A VIBRANT STREETScape

4 ADDRESS PUBLIC-PRIVATE ZONES

5 CREATE A DISTINCT THREE DIMENSIONAL LANDSCAPE

6 INTEGRATE THE LANDSCAPE MACHINE

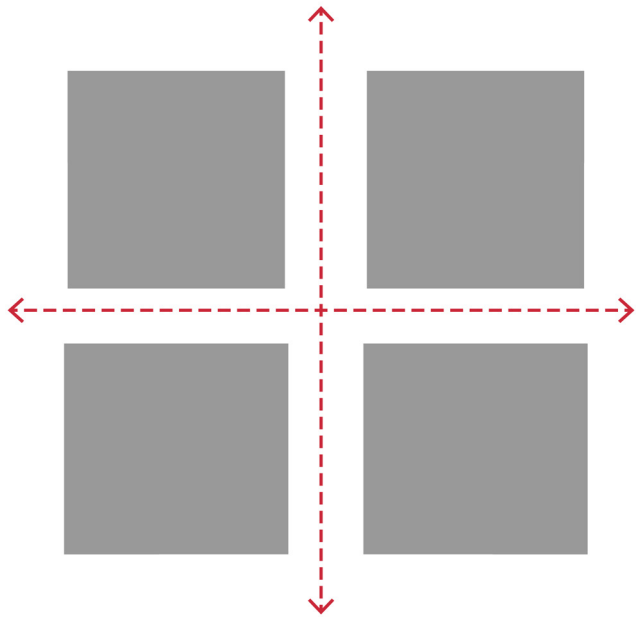
7 PROVIDE OUTDOOR COMFORT

8 ARTICULATE THE SIDEWALK-BUILDING INTERFACE

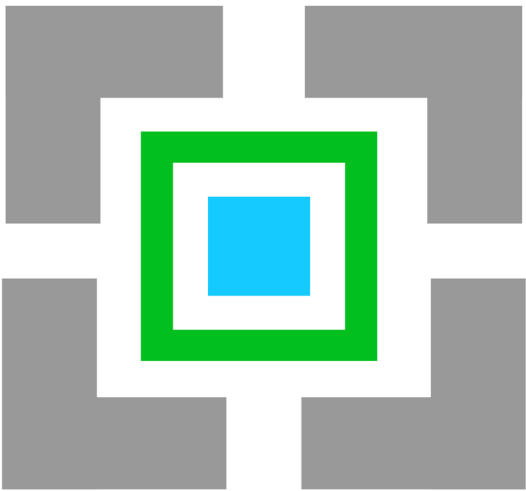
9 PROMOTE AWARENESS OF URBAN ECOLOGY

10 IDENTIFY OPPORTUNITIES FOR ART IMPLEMENTATION

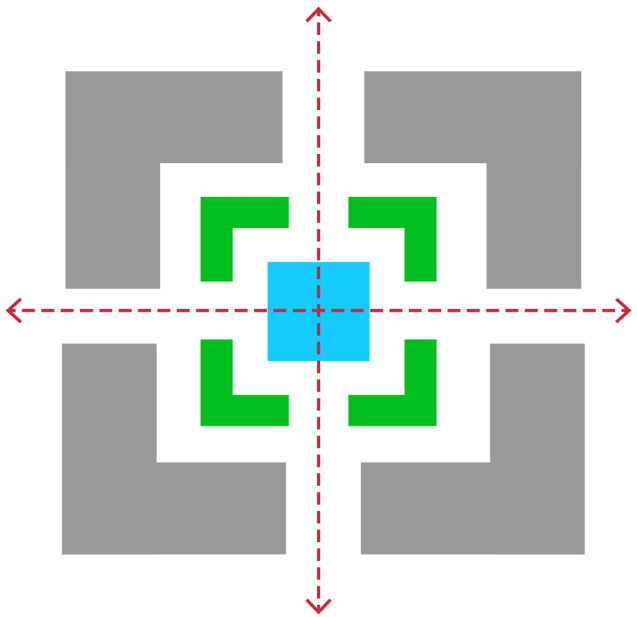
MASTER PLAN GOALS



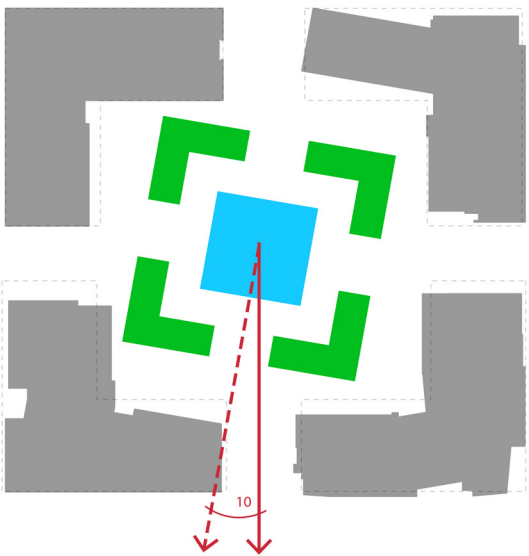
ACKNOWLEDGE CITY GRID



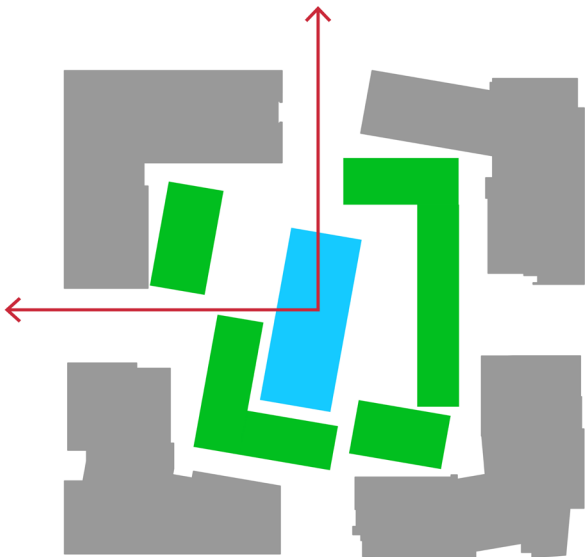
INTRODUCE CENTRAL SQUARE



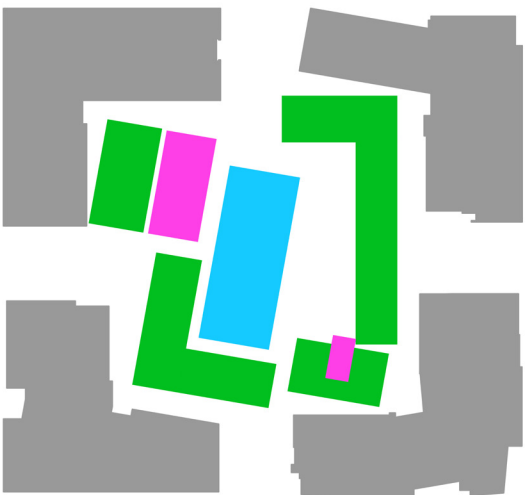
ENHANCE POROSITY



RESPOND TO SUN ASPECT

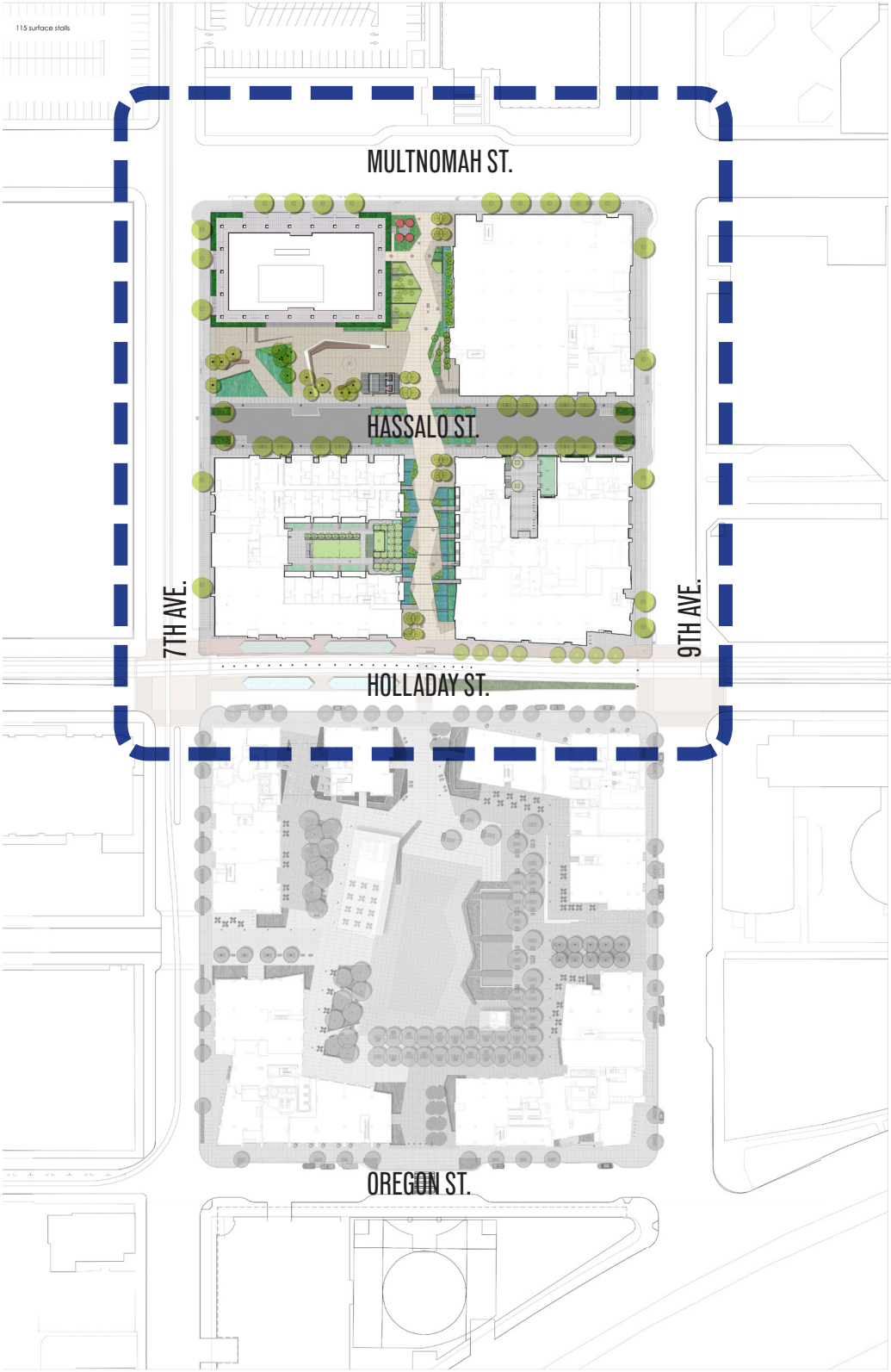
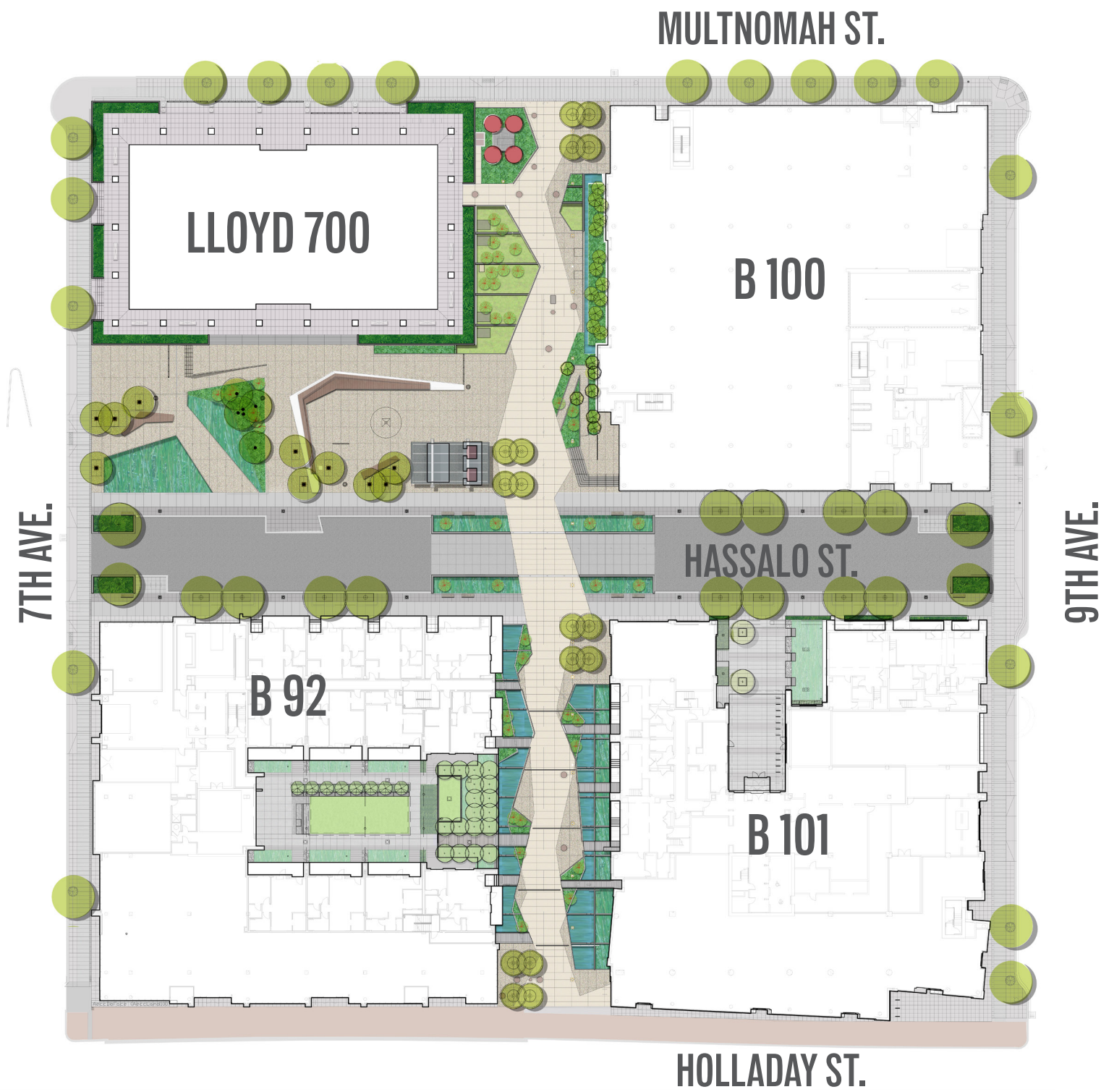


REINFORCE PRIMARY AXES



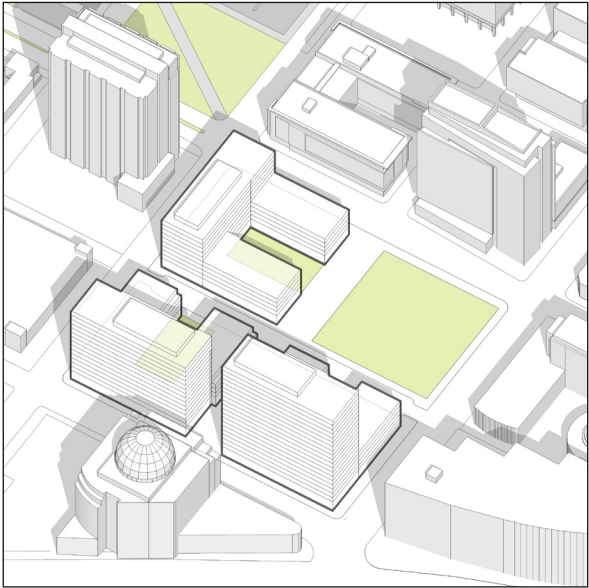
PROVIDE VARIETY OF USES

PLAZA DESIGN EVOLUTION

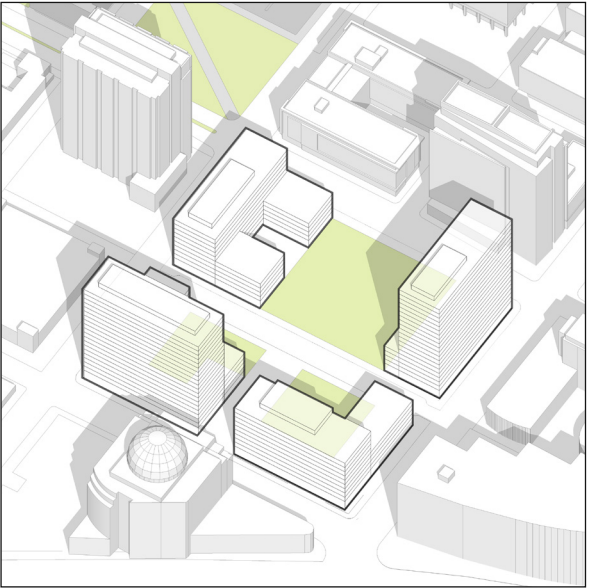


PHASE 1: SITE PLAN

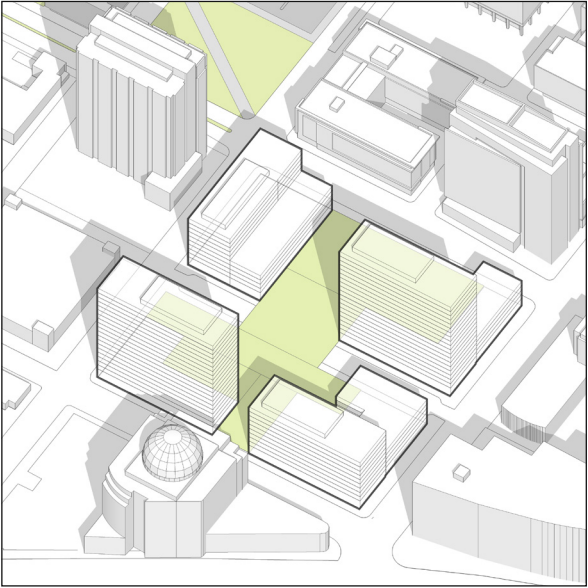
CONCEPT A : FULL BLOCK



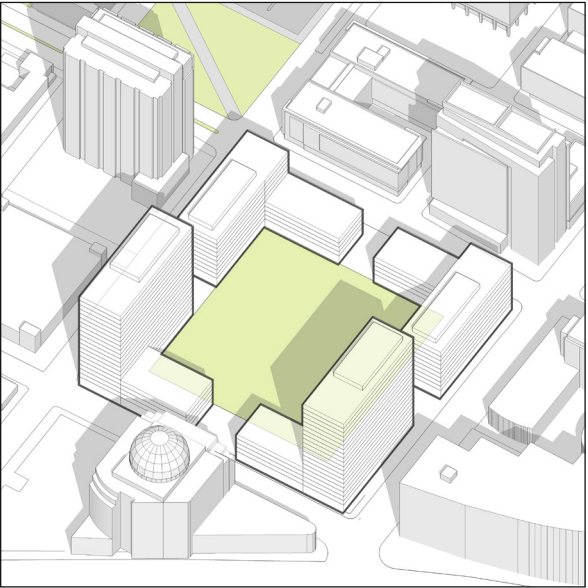
CONCEPT B : BIASED OPEN PARK



CONCEPT C : SHIFTED/OFFSET



CONCEPT D : PLAZA



EARLY MEETING WITH PORTLAND PARKS BUREAU

ADVANTAGES:

Creates clearly defined and porous edges

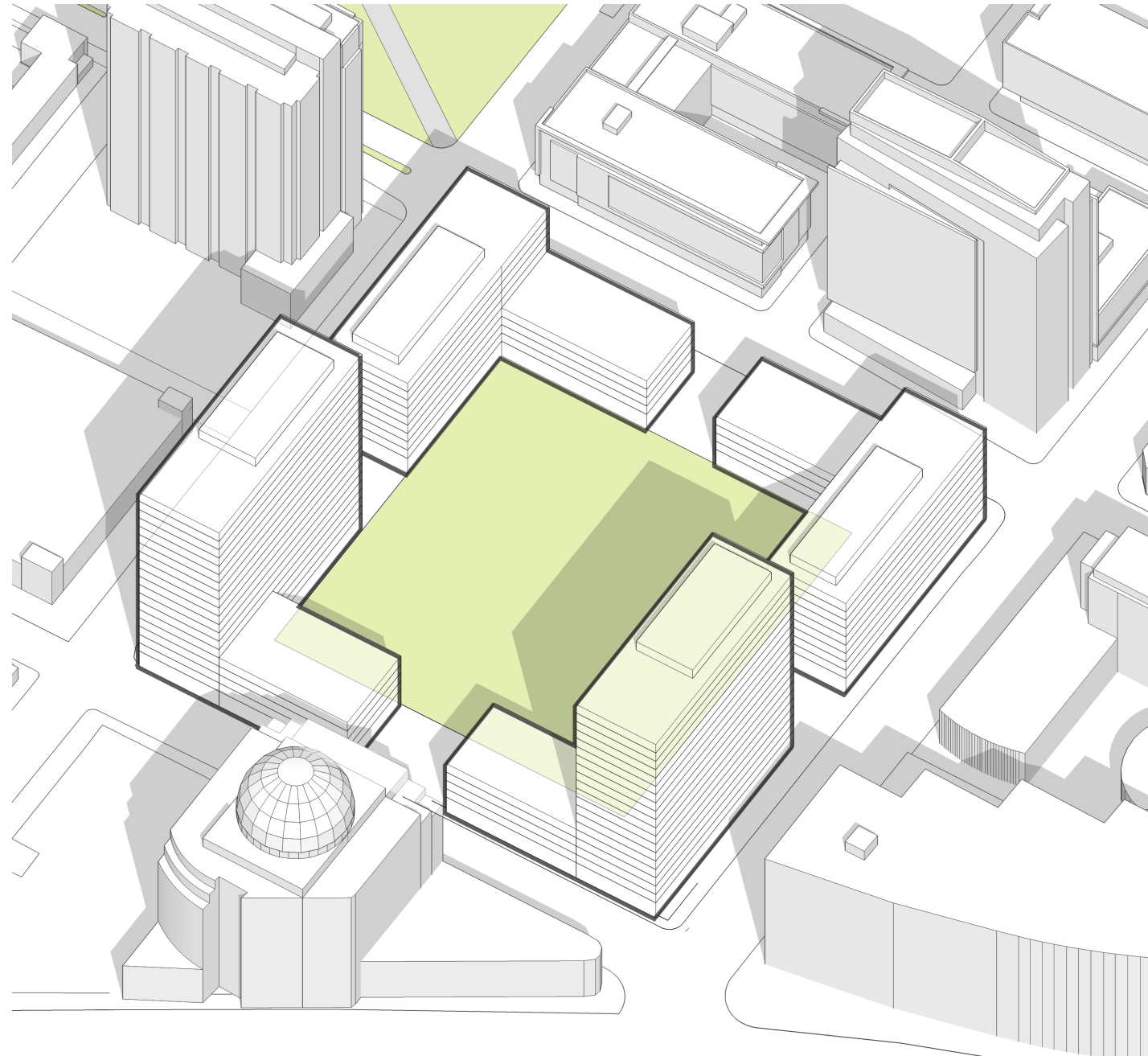
Provides an attractive sense of visual enclosure

Gateways orchestrate a sense of arrival, connecting street edges with the plaza

Defines a Metropolitan Civic Space that also allows for smaller-scale programs

Variety of uses

Complements existing spaces



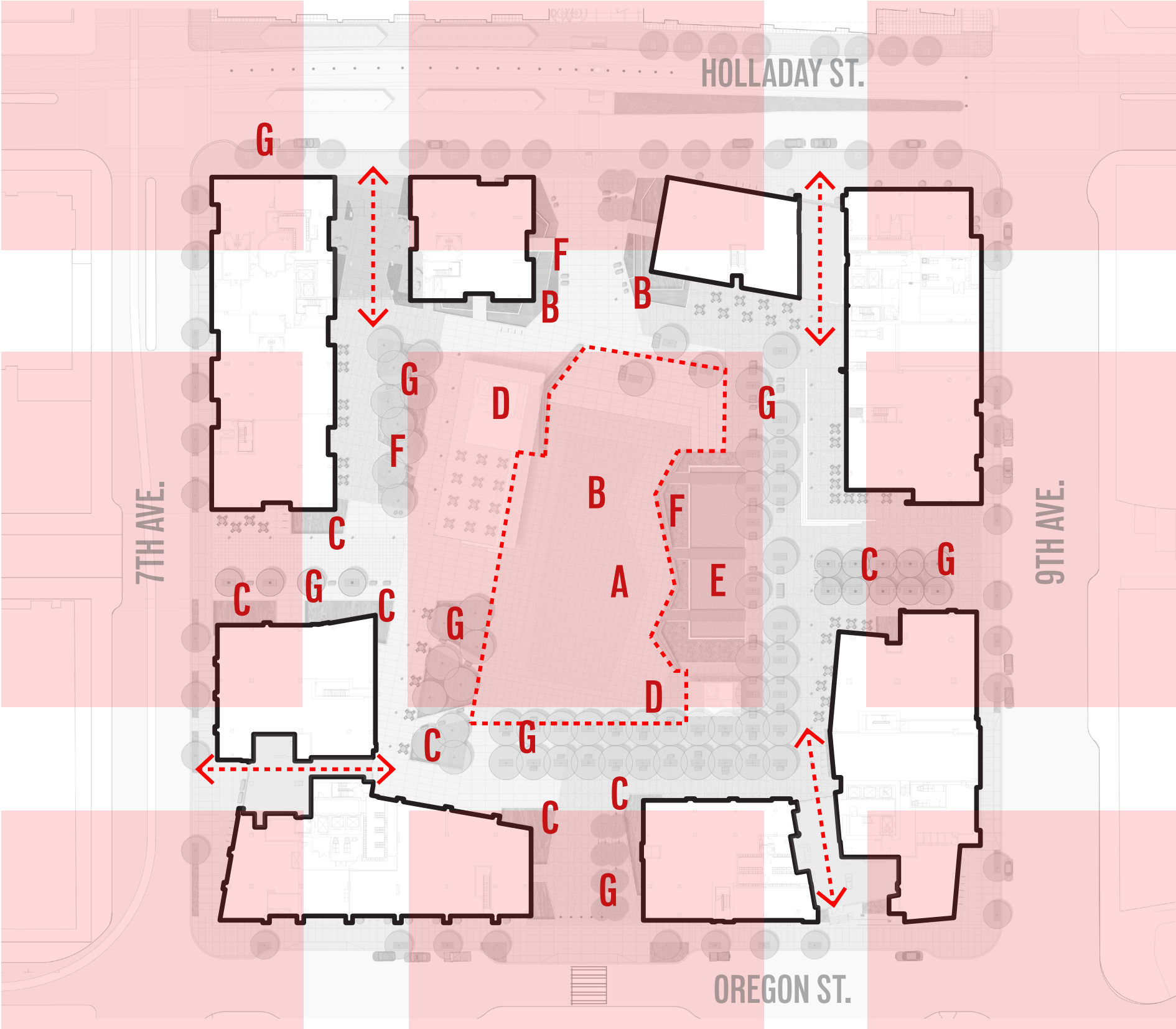
CONCEPT D: PLAZA



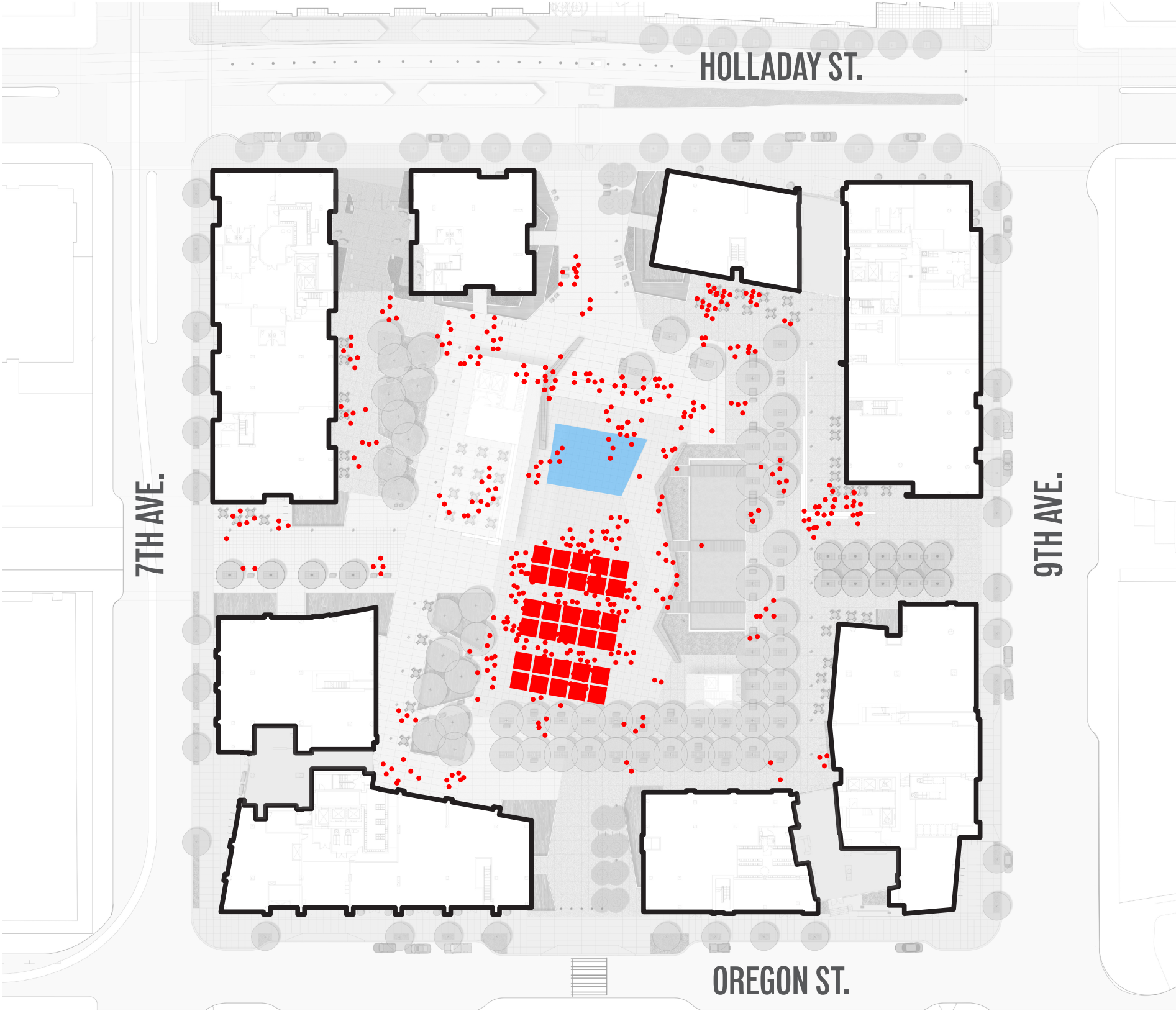
WEEKDAY / MORNING



PLACEMAKING: ACTIVATION AND PROGRAM



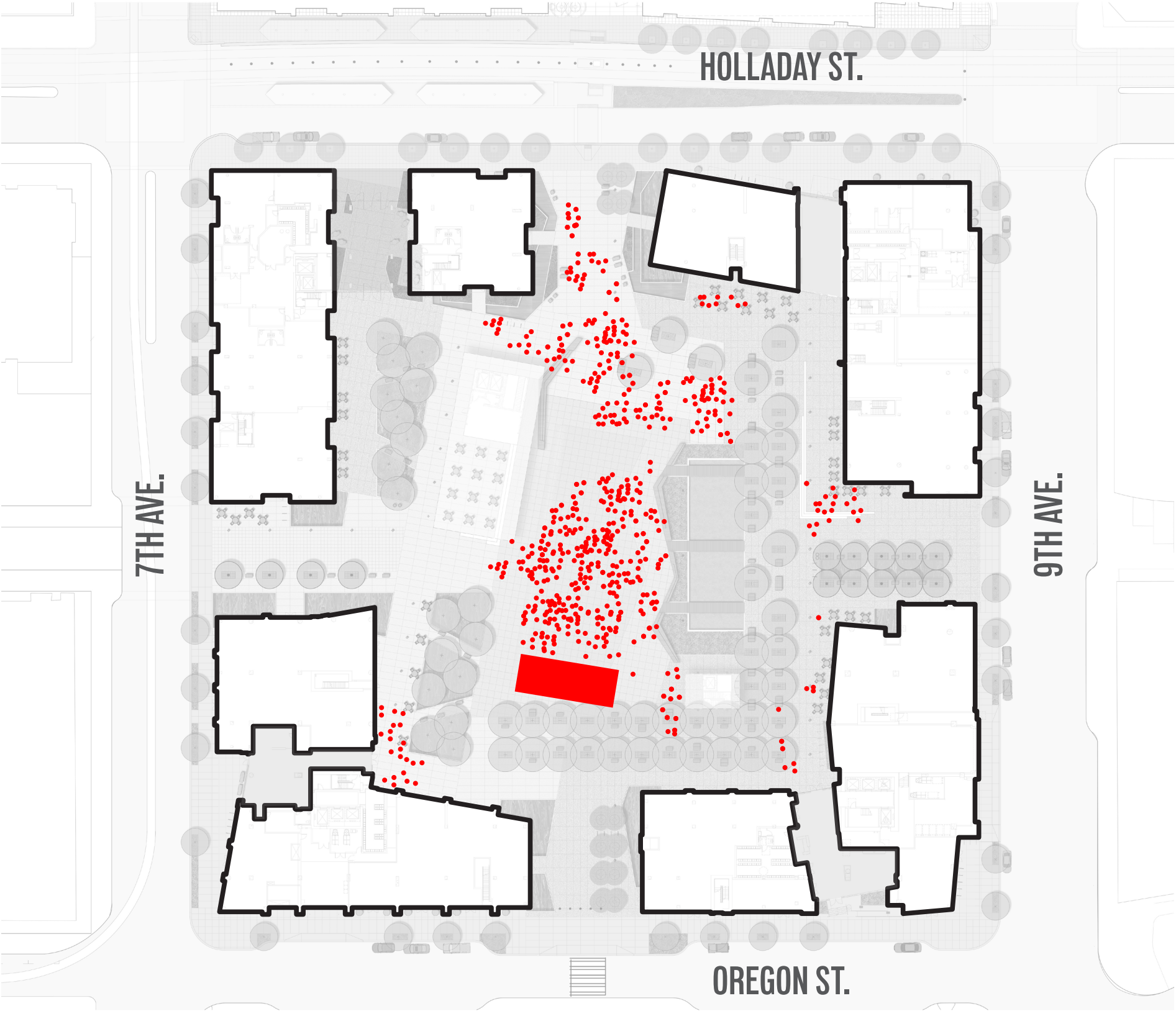
- A. 18,735 SQ. FT. CENTRAL OPEN SPACE
- B. 8,958 SQ. FT. WATER FEATURES
- C. 7,875 SQ. FT. STORM GARDENS
- D. 5,220 SQ. FT. ARCHITECTURAL CANOPY
- E. 2,885 SQ. FT. NORM WETLAND
- F. 4,826 SQ. FT. GARDENS
- G. 127 TREES (14 EXISTING)



WEEKEND / MARKET



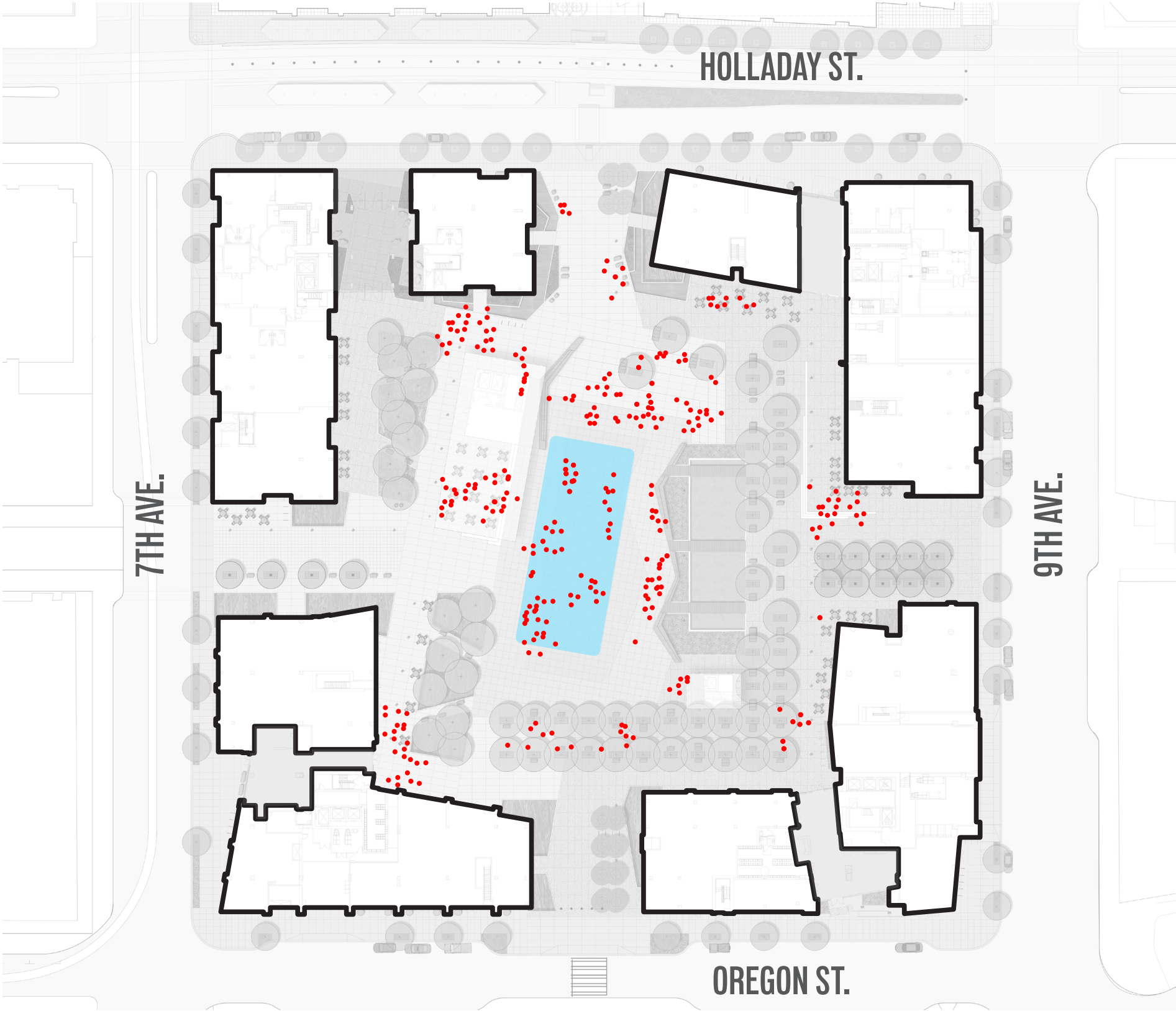
PLACEMAKING: ACTIVATION AND PROGRAM



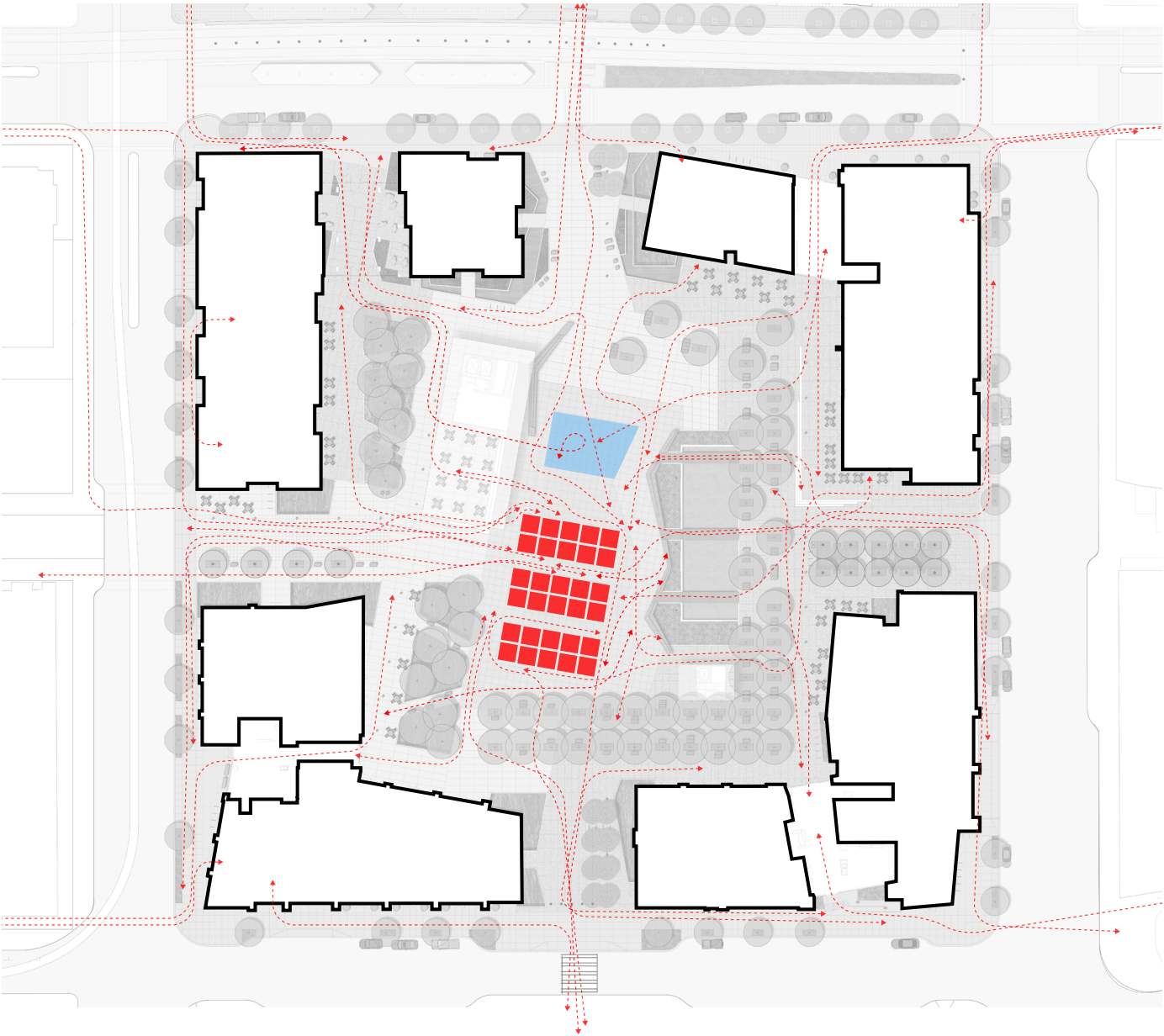
CONCERT / OUTDOOR MOVIE / EVENT



PLACEMAKING: ACTIVATION AND PROGRAM



PLACEMAKING: ACTIVATION AND PROGRAM



MARKET CIRCULATION PATTERNS

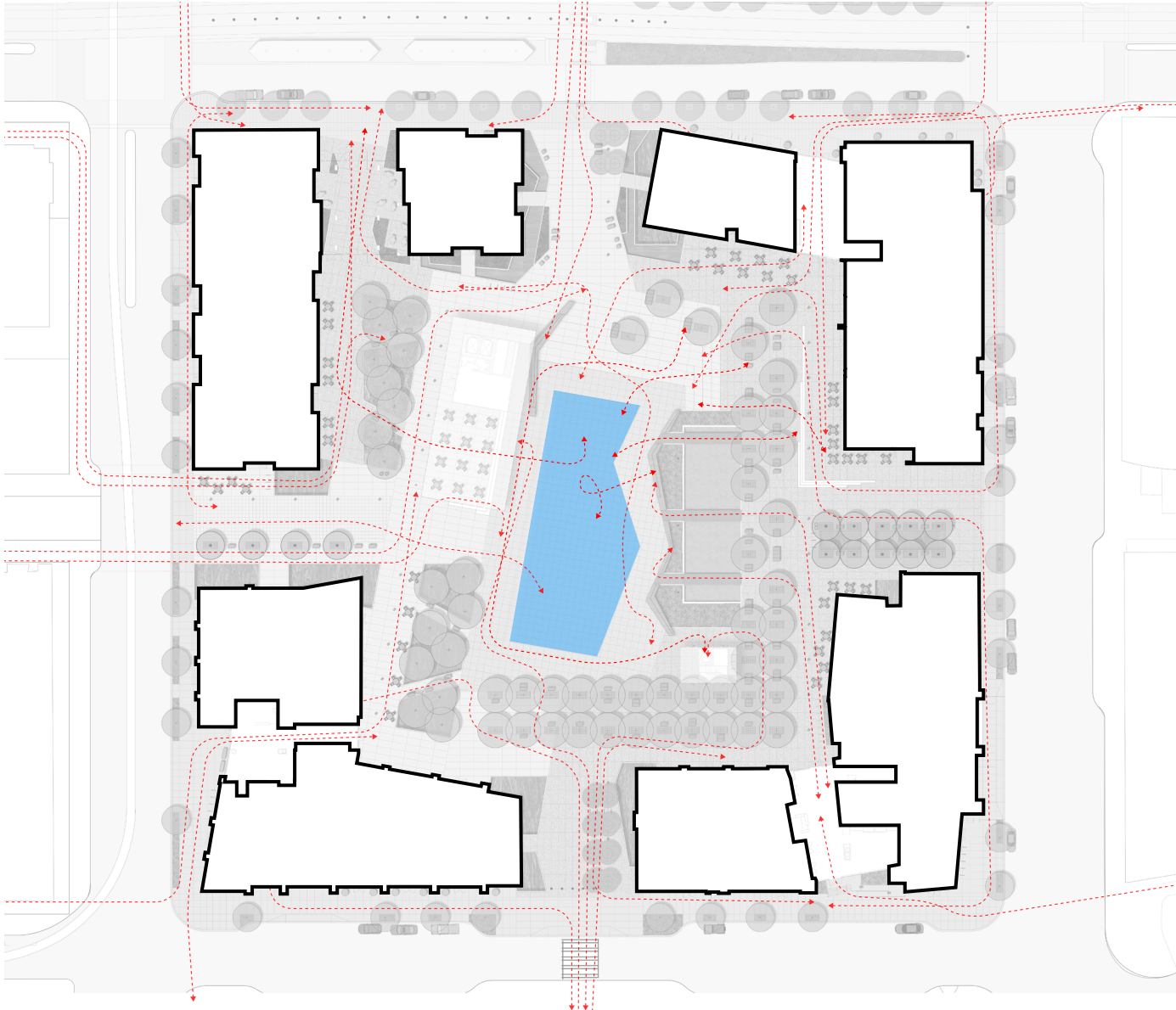


CONCERT / OUTDOOR MOVIE / EVENT CIRCULATION PATTERNS

CIRCULATION PATTERNS

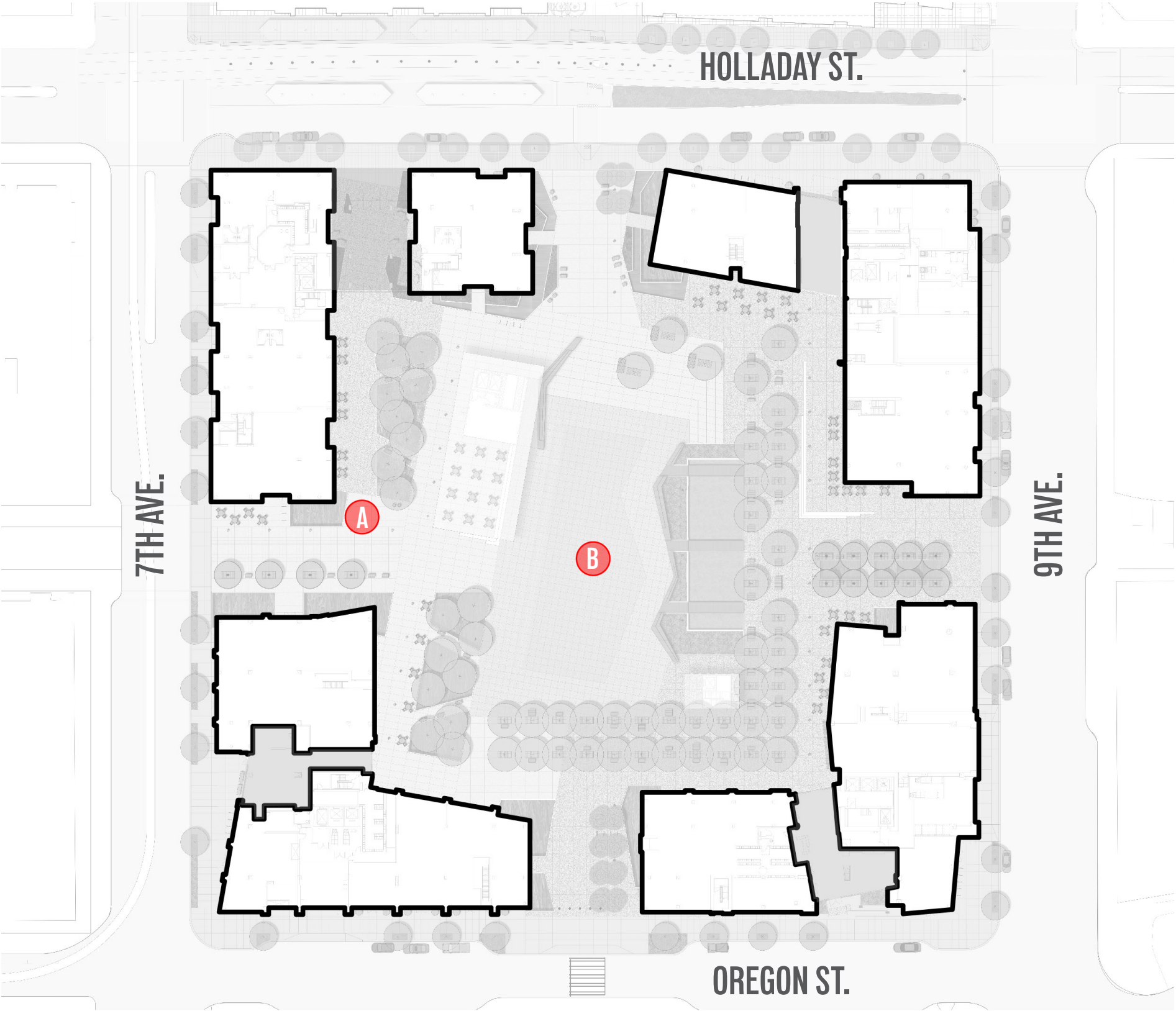


WEEKDAY CIRCULATION PATTERNS



WEEKEND CIRCULATION PATTERNS

CIRCULATION PATTERNS



ART LOCATIONS

CONCEPT/APPROACH:



Parque de las Luces
Medellin, Colombia
Juan Manuel Pelaez

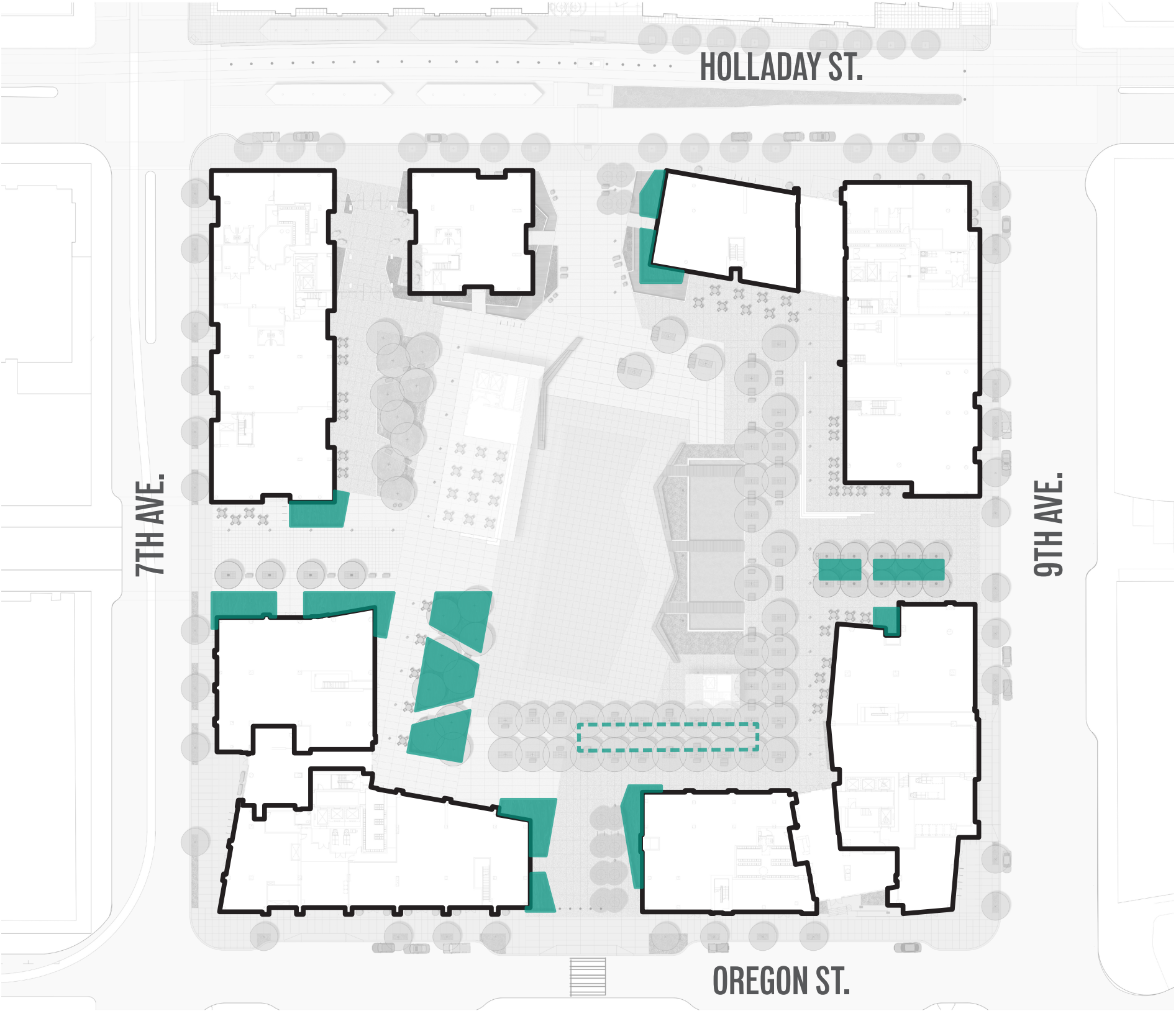


Her Secret is Patience
Phoenix, AZ
Janet Echelman

PLACEMAKING: ART OPPORTUNITIES



PLACEMAKING CONCEPT: ART OPPORTUNITIES



PROPOSED

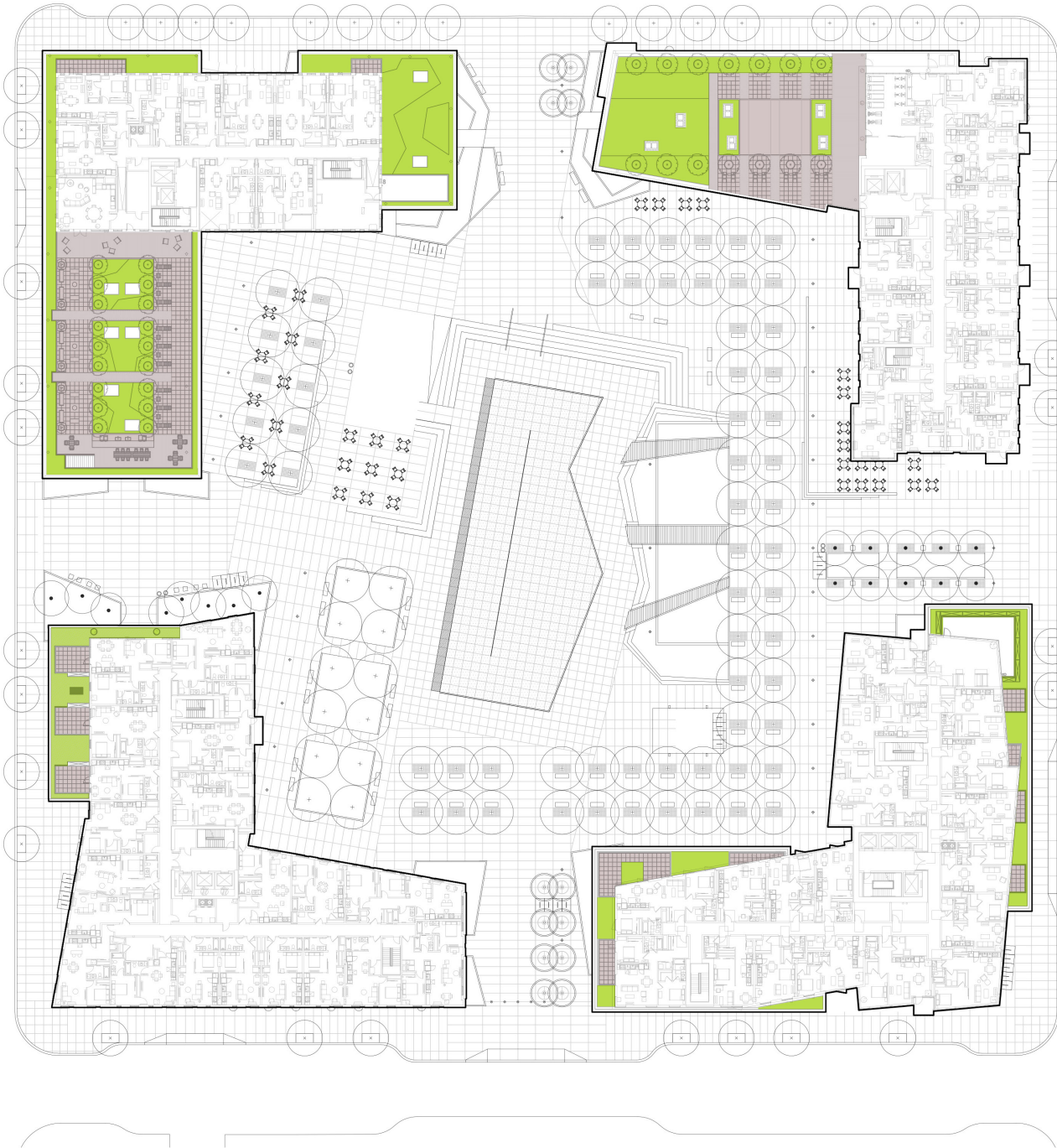
STORM GARDENS: 7,800 SF APPROX.
SILVA CELLS: 2,000 SF APPROX.

TOTAL: 9,800 APPROX.

STORMWATER STRATEGY: PLAZA LEVEL

BLOCK 91	PLANTING AREA	PAVED AREA
LEVEL 7	5,269.10	4,823.60
ROOF (12)	6,868.20	3,078.90
TOTALS	12,137.30	7,902.50

BLOCK 90	PLANTING AREA	PAVED AREA
LEVEL 5	963.00	707.00
LEVEL 6	3,081.00	3,784.00
LEVEL 21	370.00	2,644.00
ROOF (22)	-	10,688.00
TOTALS	4,414.00	17,823.00



BLOCK 102	PLANTING AREA	PAVED AREA
LEVEL 7	3,152.00	4,224.00
LEVEL 11	3,222.82	3,567.10
ROOF (12)	3,373.80	1,205.50
TOTALS	9,748.62	8,996.60

BLOCK 103	PLANTING AREA	PAVED AREA
LEVEL 5	1,861.00	1,465.00
LEVEL 6	4,046.00	2,848.00
LEVEL 29	214.00	1,840.00
ROOF (30)	-	9,524.00
TOTALS	6,121.00	15,677.00

STORMWATER STRATEGY: PODIUM LEVELS

BLOCK 91	PLANTING AREA	PAVED AREA
LEVEL 7	5,269.10	4,823.60
ROOF (12)	6,868.20	3,078.90
TOTALS	12,137.30	7,902.50

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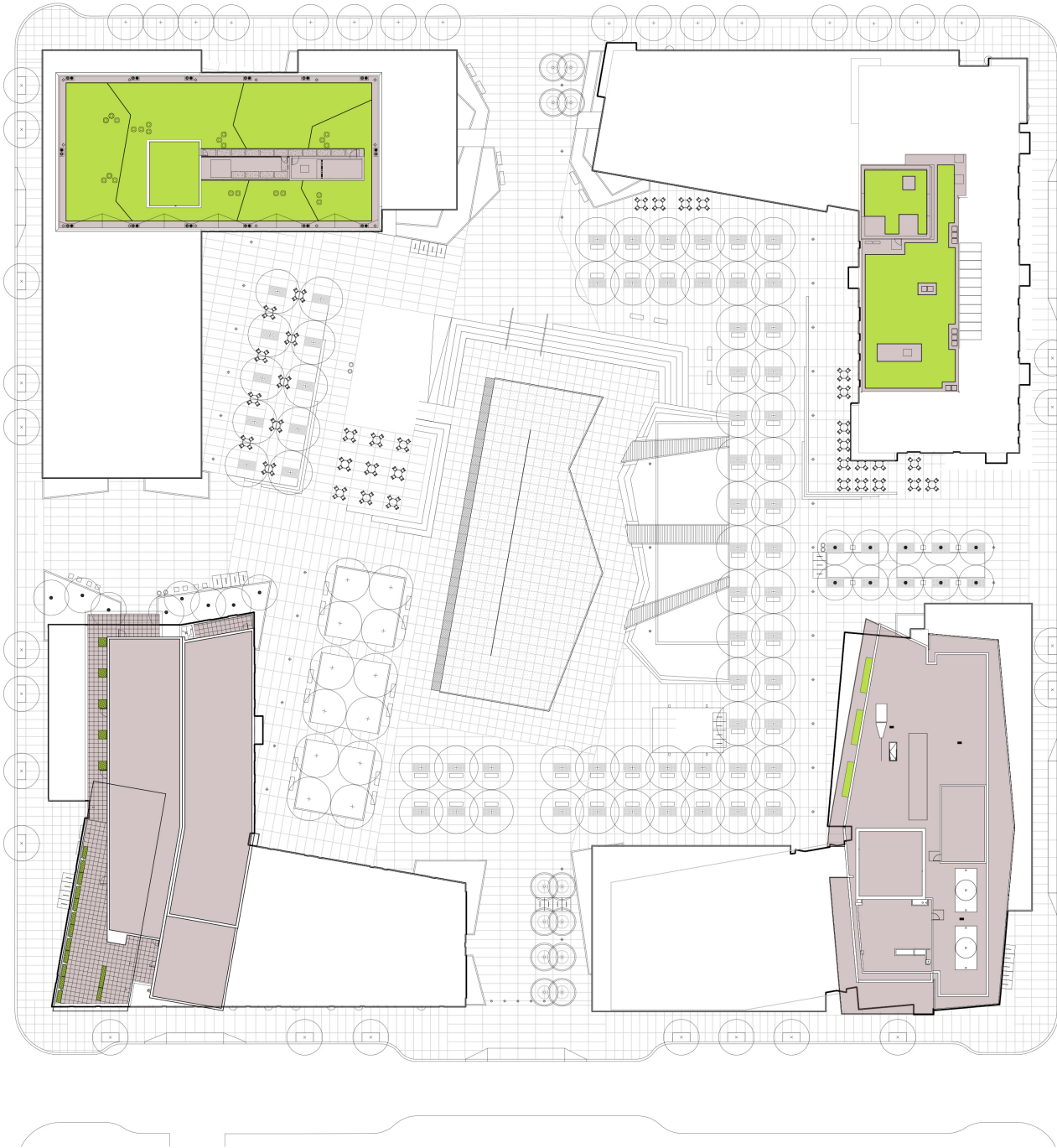
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LEVEL 29	214.00	1,840.00
ROOF (30)	-	9,524.00
TOTALS	6,121.00	15,677.00

STORMWATER STRATEGY: AMENITY LEVELS

BLOCK 91	PLANTING AREA	PAVED AREA
LEVEL 7	5,269.10	4,823.60
ROOF (12)	6,868.20	3,078.90
TOTALS	12,137.30	7,902.50

BLOCK 90	PLANTING AREA	PAVED AREA
LEVEL 5	963.00	707.00
LEVEL 6	3,081.00	3,784.00
LEVEL 21	370.00	2,644.00
ROOF (22)	-	10,688.00
TOTALS	4,414.00	17,823.00



BLOCK 102	PLANTING AREA	PAVED AREA
LEVEL 7	3,152.00	4,224.00
LEVEL 11	3,222.82	3,567.10
ROOF (12)	3,373.80	1,205.50
TOTALS	9,748.62	8,996.60

BLOCK 103	PLANTING AREA	PAVED AREA
LEVEL 5	1,861.00	1,465.00
LEVEL 6	4,046.00	2,848.00
LEVEL 29	214.00	1,840.00
ROOF (30)	-	9,524.00
TOTALS	6,121.00	15,677.00

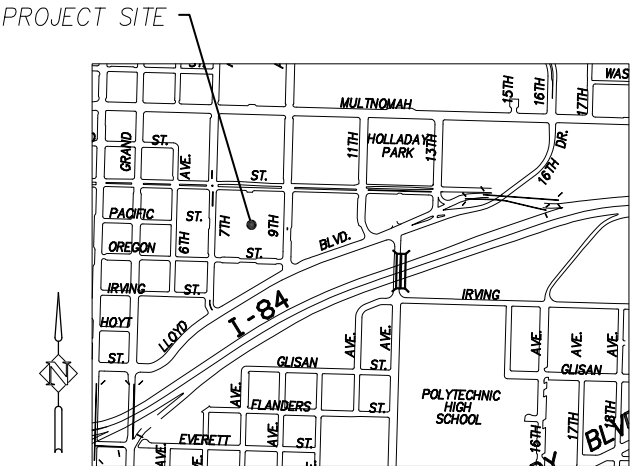
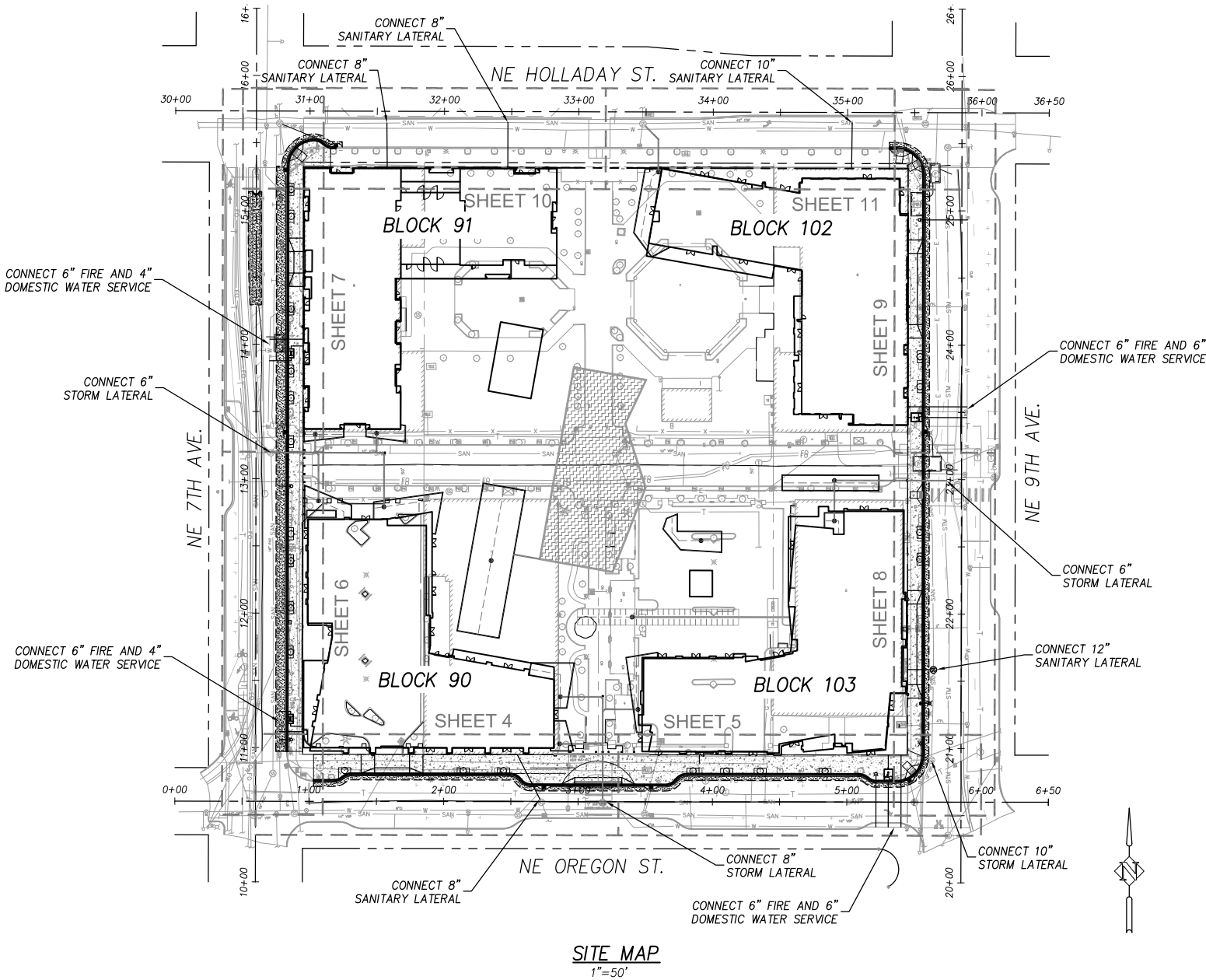
STORMWATER STRATEGY: ROOF LEVELS

7. STREET DESIGN DETAILS

- 1. *Typical Sections*
- 2. *NE Oregon St.*
- 3. *NE 7th Ave.*
- 4. *NE 9th Ave.*
- 5. *NE Holladay St.*

FRONTAGE IMPROVEMENTS

NE 7TH AVE, NE OREGON ST, NE 9TH AVE, AND NE HOLLADAY ST



VICINITY MAP
1"=600'

INDEX TO DRAWINGS

FRONTAGE STREET IMPROVEMENT PLANS
SHEET NO. TITLE

- | | |
|-----|-----------------------------------|
| 1. | COVER SHEET |
| 2. | NOTES AND LEGEND |
| 3. | TYPICAL SECTIONS |
| 4. | NE OREGON ST - PLAN AND PROFILE |
| 5. | NE OREGON ST - PLAN AND PROFILE |
| 6. | NE 7TH AVE - PLAN AND PROFILE |
| 7. | NE 7TH AVE - PLAN AND PROFILE |
| 8. | NE 9TH AVE - PLAN AND PROFILE |
| 9. | NE 9TH AVE - PLAN AND PROFILE |
| 10. | NE HOLLADAY ST - PLAN AND PROFILE |
| 11. | NE HOLLADAY ST - PLAN AND PROFILE |

PROJECT LOCATION

SOUTHWEST ONE-QUARTER OF NORTHWEST ONE-QUARTER
SECTION 35, TOWNSHIP 1 NORTH, RANGE 1 EAST
CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

DEVELOPER

AMERICAN ASSETS TRUST
11455 EL CAMINO REAL #200
SAN DIEGO, CA 92130

ENGINEER

HARPER HOUF PETERSON RIGHELLI INC.
205 SE SPOKANE STREET
PORTLAND, OREGON 97202
(503) 221-1131
CONTACT: KIM SHERA, P.E.

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
SUBMITTED SEPARATELY.

NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU
TO FOLLOW RULES ADOPTED BY THE
OREGON UTILITY NOTIFICATION CENTER.
THOSE RULES ARE SET FORTH IN OAR
952-001-0010 THROUGH OAR
952-001-0090. YOU MAY OBTAIN
COPIES OF THE RULES BY CALLING THE
CENTER. (NOTE: THE TELEPHONE NUMBER
FOR THE OREGON UTILITY NOTIFICATION
CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely.








Call the Oregon One-Call Center
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS



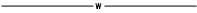
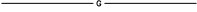
























NW NATURAL GAS	
M-F 7am-6pm	503-226-4211 Ext.4313
AFTER HOURS	503-226-4211
PGE	503-464-7777
QWEST	1-800-573-1311
CITY BUREAU OF MAINTENANCE	503-823-1700
CITY WATER	503-823-4874
VERIZON	1-800-483-1000

LEGEND:





































PROPOSED

	SMART METER
	CURB LINE
	CONSTRUCT NEW A.C. PER TYPICAL SECTIONS
	CONSTRUCT NEW CONCRETE PER TYPICAL SECTIONS
	TWIN ORNAMENTAL STREET LIGHT
	SINGLE ORNAMENTAL STREET LIGHT
	STREET TREE

EXISTING

	STORM SEWER LINE
	SANITARY SEWER LINE
	WATER LINE
	GAS LINE
	OVERHEAD WIRE
	FENCE LINE, TYPE AS NOTED
	FIBER OPTIC LINE
	TELEPHONE LINE
	ELECTRIC LINE
	BUILDING LINE
	UTILITY LINE IS BELIEVED TO CONTINUE, CONNECTION NOT LOCATED OR UNKNOWN
	SANITARY SEWER MANHOLE
	CLEANOUT
	STORM SEWER MANHOLE
	CATCH BASIN
	AREA DRAIN
	WATER VALVE
	FIRE HYDRANT
	FIRE DEPT. CONNECTION
	WATER METER
	WATER VAULT
	IRRIGATION BOX
	GAS VALVE
	GAS METER
	POWER MANHOLE
	POWER METER
	POWER STAND PIPE
	POWER VAULT

EXISTING CONT'D

	ELECTRIC BOX
	TELEPHONE BOX
	TELEPHONE MANHOLE
	TELEPHONE RISER
	TELEPHONE STAND PIPE
	TELEPHONE VAULT
	PARKING METER
	UNKNOWN UTILITY BOX
	UNKNOWN UTILITY MANHOLE
	UNKNOWN UTILITY VAULT
	GUY WIRE
	LIGHT POLE
	STREET LIGHT
	STREET LIGHT BOX
	UTILITY POLE
	UTILITY POLE W/ UNDERGROUND UTILITIES
	UTILITY POLE "OCS"
	UTILITY POLE W/ STREET LIGHT
	UTILITY POLE W/ UNDERGROUND UTILITIES AND STREET LIGHT
	STREET JUNCTION BOX
	SINGLE POST SIGN
	DOUBLE POST SIGN
	FLAG POLE
	UTILITY-OIL
	GATE POST
	BOLLARD
	MAIL-BOX
	HANDI-CAP PARKING SPACE
	CONIFEROUS TREE (APPROXIMATE DIAMETER BREAST HIGH AS NOTED)
	DECIDUOUS TREE (APPROXIMATE DIAMETER BREAST HIGH AS NOTED)
	SIGNAL CABINET
	TRAFFIC SIGNAL BOX
	POLE WITH PEDESTRIAN PUSH BUTTON
	SIGNAL POLE
	SIGNAL POLE WITH PEDESTRIAN PUSH BUTTON
	FOUND MONUMENT PROTECT.

LIST OF ABBREVIATIONS

ELEV.	ELEVATION
L.T.	LEFT
R.T.	RIGHT
TOP	TOP OF CURB
C.B.	CATCH BASIN
MH	MANHOLE
E.P.	EDGE OF PAVEMENT
R.O.W.	RIGHT-OF-WAY
GUT	GUTTERLINE
STD.	STANDARD
A.C.	ASPHALT CONCRETE
E.J.	EXPANSION JOINT
D.I.	DUCTILE IRON
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
BVCS	BEGINNING OF VERTICAL CURVE STATION
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION
PI	POINT OF VERTICAL INTERSECTION
EVCS	END OF VERTICAL CURVE STATION
EVCE	END OF VERTICAL CURVE ELEVATION
ST. STA	STREET STATION
C.L.	CENTERLINE
BOW	BACK OF SIDEWALK
C.R.	CURB RETURN
P.Z.	PEDESTRIAN ZONE
T.O.W.	TOP OF VAULT WALL

GENERAL

1. ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE "ENGINEER OF RECORD". IF ERRORS OR OMISSIONS ARE FOUND AFTER THE PERMIT HAS BEEN ISSUED, THE PERMITTEE OR ITS CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD (KIM SHERA, P.E., HHPR INC 503-221-1131) TO HAVE THE CORRECTIONS MADE. ALL CHANGES WILL REQUIRE THE APPROVAL OF THE CITY ENGINEER PRIOR TO THE WORK BEGINNING.
 2. THE CONTRACTOR SHALL HAVE AT ALL TIMES ON-SITE, THE APPROVED CONSTRUCTION DRAWINGS & SPECIAL SPECIFICATIONS, CITY OF PORTLAND STANDARD SPECIFICATIONS & STANDARD DRAWINGS, AND ALL OTHER APPLICABLE SPECIFICATIONS BOOKS AND MANUALS.
 3. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE DRAWINGS AND THE APPLICABLE REQUIREMENTS OF THE 2010 EDITION OF THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS AND ALL REVISIONS AND SPECIAL SPECIFICATIONS.
 4. ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING [503.232.1987]. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL [811 OR 1.800.332.2344].
 5. REMOVE AND DISPOSE (AT A PROPER LOCATION OR LANDFILL) ALL MATERIALS EXCAVATED FROM WORK IN THE RIGHT-OF-WAY. FOR DISPOSAL ON PRIVATE PROPERTY, SECURE A FILL PERMIT, PRIOR TO BEGINNING WORK FROM THE BUREAU OF DEVELOPMENT SERVICES (BDS). PROVIDE A COPY OF THE APPROVED FILL PERMIT TO THE STREET CONSTRUCTION INSPECTOR.
- FOR UNANTICIPATED CONTAMINATED MEDIA ENCOUNTERED, THE PERMITTEE/APPLICANT OR IT'S AGENT SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE MANAGEMENT, AND DISPOSAL OF CONTAMINATED MEDIA ENCOUNTERED. THE PERMITTEE IS ALSO RESPONSIBLE FOR ALL RESULTANT DELAYS.
- THE PERMITTEE OR IT'S AGENT SHALL PROVIDE THE CITY (ENGINEERING AND INSPECTION) WITH COPIES OF ALL DISPOSAL PERMITS FROM THE PERMITTED DISPOSAL FACILITY, ANALYTICAL RESULTS USED TO GAIN ACCEPTANCE OF THE CONTAMINATED MEDIA, AND DISPOSAL RECEIPTS/DAILY WEIGH SLIPS. DAILY WEIGH SLIP AMOUNTS SHALL BE CHECKED AGAINST INSPECTOR'S DAILY REPORTS. THE PERMITTEE MUST USE AN OREGON FACILITY FOR DISPOSAL OF THE CONTAMINATED MEDIA
6. UTILITIES SHOWN ON THESE PLANS ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY AND ARE NOT AUTHORIZED FOR INSTALLATION UNDER THE PUBLIC STREET IMPROVEMENT PERMIT. PRIVATE AND PUBLIC UTILITY COMPANIES ARE REQUIRED TO SECURE SEPARATE UTILITY PERMITS FROM THE PBOT FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 7. STREET FURNISHINGS ARE SHOWN FOR REFERENCE ONLY. THE INSTALLATION OF ALL STREET FURNITURE INCLUDING BUT NOT LIMITED TO BENCHES, NON CITY INSTALLED BIKE RACKS, GARBAGE CANS, ELECTRICAL SYSTEMS (CONDUIT, CONDUCTORS, OUTLETS), AND PUBLIC ART, ARE NOT AUTHORIZED UNDER THIS PERMIT. A SEPARATE REVOCABLE PERMIT IS REQUIRED.
 8. THE PERMITTEE OR IT'S AGENT SHALL SCHEDULE AN IN-FIELD PRE-CONSTRUCTION MEETING WITH THE OWNER, DESIGN ENGINEER, STREET PERMIT MANAGER, STREET INSPECTOR, AND AFFECTED UTILITY REPRESENTATIVES BEFORE COMMENCING WORK. NOTIFY THE STREET PERMIT MANAGER 4 BUSINESS DAYS PRIOR TO MEETING (SEE PERMIT COVER SHEET FOR CONTACT INFORMATION).
 9. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM FROM BENCH MARK NO. 4569, ELEVATION = 115.277' LOCATED AT THE EAST CURB, CENTERLINE OF IRVING STREET EXTENDED AT THE CORNER OF N.E. 7TH AVENUE AND N.E. IRVING STREET. SURVEY COMPLETED ON SEPTEMBER 2014.

STREET PAVEMENT

10. STATIONING IS BASED UPON STREET CENTERLINE UNLESS OTHERWISE SPECIFIED.
11. ALL MANHOLE LIDS AND VALVE BOXES SHALL BE ADJUSTED TO FINISHED STREET OR SIDEWALK GRADE.
12. THE PDOT INSPECTOR WILL DETERMINE THE EXACT LIMITS OF SKINPATCHING - LEVEL 2 ASPHALT CONCRETE (SEE PERMIT BOOK FOR APPROVED ASPHALT MIXES).
13. ALL SAWCUTS SHALL BE STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING PAVEMENT AND NEW PAVEMENT AND ALL NEW PAVEMENT JOINTS SHALL BE SAND SEALED.
14. EXISTING PAVEMENT SECTION WIDTHS OF 2 FEET OR LESS BETWEEN PROPOSED SAWCUT AND EXISTING PAVEMENT EDGE (I.E. UTILITY TRENCH REPAIR), SHALL BE RESTORED PER STD. DWG. P-505
15. PAVEMENT SECTION SHALL BE AS SHOWN ON THE STREET TYPICAL SECTION(S) OR MATCH EXISTING PAVEMENT IF EXISTING HAS A THICKER SECTION.

CURBS, SIDEWALKS, AND DRIVEWAYS

16. UTILITY LIDS, MANHOLE COVERS, VALVE COVERS ARE NOT ALLOWED IN THE THROUGH PEDESTRIAN ZONE. THEY MAY BE PLACED IN THE SIDEWALK FURNISHING OR BUILDING ZONE IF THE PROPER UTILITY PERMIT HAS BEEN SECURED FROM PBOT.

GENERAL NOTES

17. FULL HEIGHT CURBS SHALL BE CONSTRUCTED AT ALL LOCATIONS UNLESS A NEW DRIVEWAY IS CONSTRUCTED AT THE SAME TIME AS THE CURB. THE STREET INSPECTOR MAY ALLOW EGRESS AND INGRESS OVER THE CURB IF WOODEN CURB RAMPS ARE USED.
18. ALL SIDEWALK CONTRACTION JOINTS SHALL BE TO THE 1/3 OF THE DEPTH OF THE SIDEWALK AND TO A NOMINAL WIDTH OF 1/8" AS PER SECTION 00759.49 - "CONTRACTION JOINTS" OF THE STANDARD CONSTRUCTION SPECIFICATION . THE JOINTS SHALL HAVE A NOMINAL RADIUS OF ¼".
19. APPROVED CONCRETE MIXES AND SUPPLIERS WILL BE SUPPLIED TO THE CONTRACTOR AT THE PRE-CONSTRUCTION CONFERENCE.
20. USE ONLY APPROVED DETECTABLE WARNING DEVICES. THESE CAN BE FOUND IN THE CITY'S CONSTRUCTION PRODUCTS LIST.
21. THE ACCEPTABLE INLET LEAD PIPE MATERIALS ARE AS FOLLOWS:
 - a. C.S.P. ASTM C-14, CLASS 3 WITH CLASS 'B' BEDDING AND BACKFILL
 - b. HDPE D 3035 SDR 26 WITH FLEXIBLE PIPE BEDDING AND GRANULAR BACKFILL
 - c. PVC ASTM D 3034 SDR 35 WITH FLEXIBLE PIPE BEDDING AND GRANULAR BACKFILL
 - d. PIPE BEDDING AND BACKFILL PER STANDARD PLAN NOS. P-100 AND P-101.
 - e. SURFACING PER STD. DWG. P-515, P-516 AND P-517.
22. FOR PLUGGING OF ABANDONED SEWER PIPES, AND FILLING ABANDONED PIPES, MANHOLES, AND CATCH BASINS, SEE SECTIONS 00490.43 AND 00490.44 RESPECTIVELY OF THE STANDARD SPECIFICATION.

TRAFFIC AND PARKING CONTROL

23. THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN FOR WORK IN THE RIGHT-OF-WAY TO THE STREET PERMIT MANAGER FOR APPROVAL 10 CALENDAR DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL NOT REMOVE OR COVER ANY TRAFFIC CONTROL SIGNS, PAVEMENT STRIPING OR MARKINGS, OR BARRIERS THAT ARE NOT IDENTIFIED ON THE APPROVED TEMPORARY TRAFFIC CONTROL PLAN.
24. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY TEMPORARY TRAFFIC CONTROL DEVICES (INCLUDING BUT NOT LIMITED TO THE FOLLOWING - SIGNS, STRIPING, AND BARRICADES) UNTIL THE PERMANENT TRAFFIC CONTROL DEVICES ARE INSTALLED.
25. SIGNS AND SIGN POSTS REMOVED BY THE PERMITEE OR IT'S AGENT SHALL BE DELIVERED TO THE BUREAU OF MAINTENANCE, ALBINA YARD. CONTACT JIM BUHLER AT 503-823-4056 TO ARRANGE A DELIVERY TIME. REMOVE ALL SIGNS, CONCRETE AND DEBRIS FROM THE POST PRIOR TO DELIVERY.
26. WHEN WORK INTERFERES WITH THE OPERATION OF A TRIMET BUS OR BUS STOP, CONTACT TRIMET (SHIRLEY BLOCK OR KELLEY BURNES, TRI-MET OPERATIONS AT 503-962-8117) A MINIMUM OF 10 CALENDAR DAYS PRIOR TO CLOSING OR DISRUPTING TRIMET'S OPERATION.
27. NOTIFY THE TRAFFIC ENGINEER, JENNIE TOWER AT 503-823-7738 TEN (10) CALENDAR DAYS PRIOR TO INSTALLING PERMANENT TRAFFIC CONTROL SIGNING, PAVEMENT STRIPING & MARKINGS, AND BARRIERS.
28. THE CONTRACTOR SHALL INSTALL OR REINSTALL ALL TRAFFIC CONTROL SIGNING, PAVEMENT STRIPING AND MARKINGS, AND PERMANENT BARRICADES. THE FOLLOWING ODOT AND CITY OF PORTLAND STANDARD DRAWINGS ARE APPLICABLE TO THE SIGNING AND STRIPING: P-400, P-406, P-410, P-412, P-420, P-434.
29. ALL NEW SIGN MATERIALS SHALL COMPLY WITH SECTION 2910 OF THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS. ALL SIGNS SHALL BE TYPE III OR IV BACKGROUND SHEETING ON ALUMINUM SIGN BLANKS. SIGN TYPES FOR EACH SIGN, AS SPECIFIED IN SECTION 2910.02, ARE NOTED ON THE IMPROVEMENT PLAN & PROFILE SHEETS. FOR CONFIRMATION OR CLARIFICATION OF SIGN MATERIALS, CONTACT JENNIE TOWER (503-823-7738).
30. ALL STRIPING AND MARKING MATERIALS SHALL BE ON THE CITY'S APPROVED CPL. ALL MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURERS APPROVED APPLICATION PROCEDURE. CURB PAINT TO BE INSTALLED PER 861.45 OF COP 2010 STANDARD CONSTRUCTION SPECIFICATIONS.
31. STREET NAME SIGNS SHALL BE REPLACED WITH NEW CITY STANDARD STREET NAME SIGNS, PER PBOT STANDARD DRAWING P-420.
32. ALL PARKING CONTROL SIGNING, METERS, POSTS AND PAVEMENT STRIPING & MARKINGS WILL BE INSTALLED BY CITY FORCES. NOTIFY PARKING CONTROL: TOM DELEPHINE, PHONE NO. 503-823-4193. ALL COSTS ASSOCIATED WITH THIS WORK WILL BE CHARGED TO THE PERMIT.

STREET LIGHTING

33. IF UNDERGROUND CONDUITS AND WIRES FOR STREET LIGHT INSTALLATION IS REQUIRED OR IS DESIRED, THE PERMITTEE IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, AND COORDINATION OF INSTALLATION WITH THE APPROPRIATE UTILITY.

TREES

34. ALL TREE REMOVAL SHALL COMPLY WITH THE FEDERAL MIGRATORY BIRD TREATY ACT. SEE THE SPECIAL PROVISIONS FOR REQUIREMENTS PRIOR TO CUTTING OF ANY TREE.
35. TREE ROOT INSPECTION IS REQUIRED!! CONTACT LUKE MILLER WITH URBAN

- FORESTRY AT (503) 823-4025 PRIOR TO ANY EXCAVATION ADJACENT TO TREES. A TREE INSPECTION SHALL BE MADE BEFORE CUTTING OF ANY ROOTS.
36. FOR ALTERNATE TREE SPECIES OR ALTERNATE TREE PLANTING LOCATION APPROVAL (PRIOR TO PLANTING), CONTACT LUKE MILLER WITH URBAN FORESTRY AT 503-823-4025.

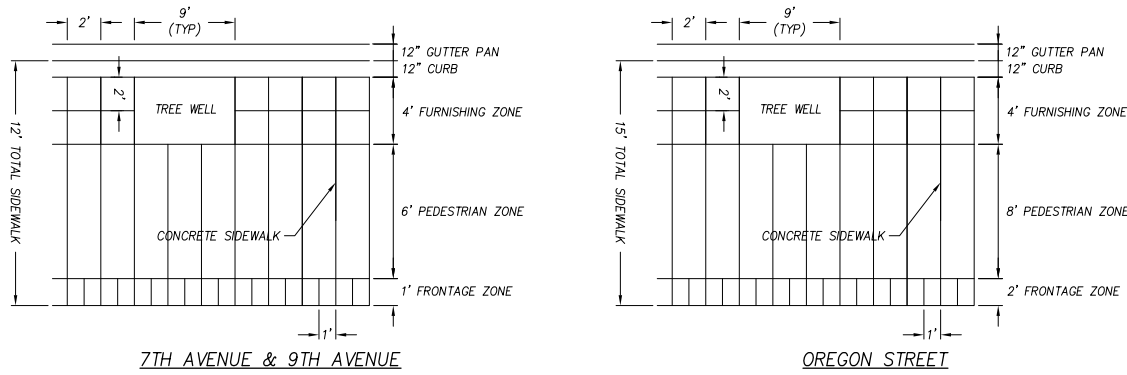
EROSION CONTROL

37. EROSION/SEDIMENTATION CONTROL (ESC) IS REQUIRED ON THIS PROJECT. IMPLEMENTATION OF THE ESC AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE OR IT'S AGENT UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED. THE PERMITTEE OR IT'S AGENT SHALL PROVIDE INLET PROTECTION TO DOWNSTREAM INLETS FROM THE SITE PER THE EROSION CONTROL MANUAL [MARCH 2008]. CATCH BASIN AND STORM DRAIN INLET PROTECTION SHALL BE INSTALLED PER DETAIL DRAWINGS 4.3-B AND 4.3-G.
38. THE PERMITTEE OR IT'S AGENT SHALL RETAIN THE SERVICES OF A GEOTECHNICAL ENGINEER TO MAKE ALL INSPECTIONS, TO PROVIDE MATERIAL TESTING SERVICES, AND TO CERTIFY THAT THE PLACED STRUCTURAL FILLS MEET THE EMBANKMENT SPECIFICATION RECOMMENDED IN THE GEOTECHNICAL REPORT, AND SECTION 00330 - "EARTHWORK" OF THE STANDARD CONSTRUCTION SPECIFICATION.

FOR GRADING PERMITS AND STRUCTURAL FILLS [ON BUREAU OF DEVELOPMENT SERVICES (BDS)]

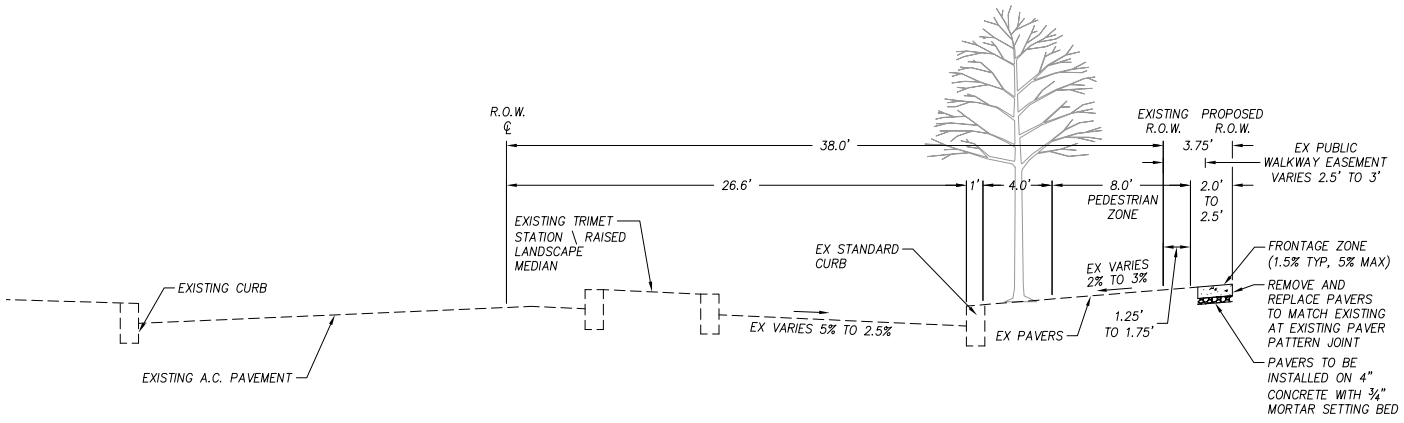
39. THE PERMITTEE OR IT'S AGENT SHALL ADHERE TO THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT PREPARED BY GEODESIGN DATED NOVEMBER 21, 2012.
40. SCHEDULE AN IN-FIELD PRE-EARTHWORK MEETING WITH CITY STREET CONSTRUCTION INSPECTOR (PDOT), BUREAU OF DEVELOPMENT SERVICES (BDS) REPRESENTATIVE, GEOTECHNICAL ENGINEER, AND OTHER APPROPRIATE PARTIES PRIOR TO COMMENCING WORK. NOTIFY STREET CONSTRUCTION/INSPECTION 4 CALENDAR DAYS PRIOR TO THE MEETING. [503.823.7012]
41. PREPARE SUBGRADE BY REMOVING ALL SURFACE VEGETATION, DEBRIS, AND TOPSOIL PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL IN A FUTURE RIGHT-OF-WAY AREA.
42. THE GEOTECHNICAL ENGINEER SHALL SEND TEST AND INSPECTION RESULTS TO BRIAN OBERDING, BUREAU OF TRANSPORTATION ENGINEERING, 1120 SW 5TH AVENUE, SUITE 800, PORTLAND, OR 97204-1971 [FAX 503.823.7371 OR E-MAIL: BRIAN.OBERDING@PORTLANDOREGON.GOV]
43. DISPOSE OF ALL SEWER TRENCH SPOIL MATERIAL AT A PROPER LANDFILL, OR SHALL OBTAIN A PERMIT FROM THE BUREAU OF DEVELOPMENT SERVICES BEFORE BEING DISPOSED OF ON-SITE. A COPY OF THE GRADING PERMIT AND PLAN SHALL BE PROVIDED TO THE BUREAU OF ENVIRONMENTAL SERVICES FOR CONSTRUCTION INSPECTION AT THE PRE-CONSTRUCTION MEETING. ALL WORK OUTSIDE THE PUBLIC RIGHT-OF-WAY, INCLUDING CUTS, FILLS, GRADING, AND CLEARING MAY REQUIRE PERMITS FROM THE BUREAU OF DEVELOPMENT SERVICES.
44. FOUNDATION STABILIZATION MAY BE NECESSARY AS PER CITY OF PORTLANDS STANDARD CONSTRUCTION SPECIFICATIONS AND APPROVED BY BES.
45. MARK THE ENDS OF ALL STUB OUTS AND LATERALS WITH CONTINUOUS PRESSURE TREATED 2" X4" LUMBER. THE TOP 12" SHALL BE PAINTED WHITE AND STENCILED WITH BLACK "ST" FOR STORM OR PAINTED GREEN AND STENCILED BLACK "SS" FOR SANITARY, AND WITH PIPE SIZE, MATERIAL TYPE, AND PIPE DEPTH. BURY THE 2" X 4" LUMBER TO THE STUB OR LATERAL.
46. PROPERLY SHORE AND BRACE ALL SEWER TRENCH LINES AND EXCAVATIONS TO PREVENT CAVING AS REQUIRED BY OREGON OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OR-OSHA) AND SECTION 00510 - "STRUCTURE EXCAVATION AND BACKFILL" OF THE STANDARD CONSTRUCTION SPECIFICATIONS.

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
SUBMITTED SEPARATELY.



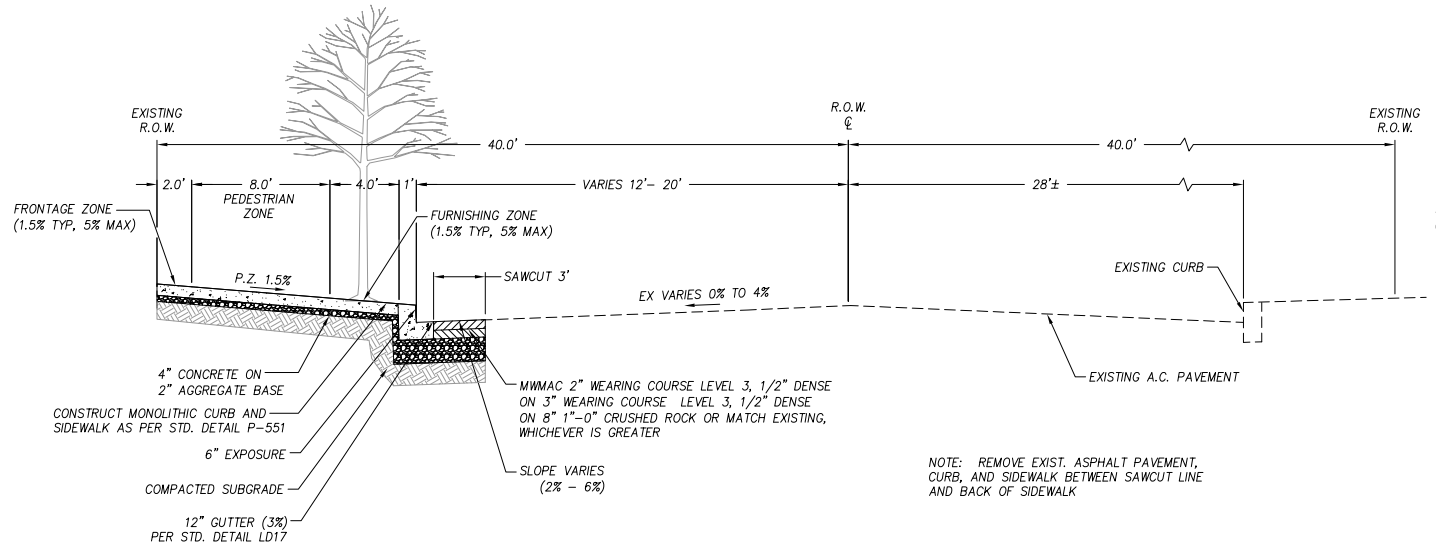
SIDEWALK LAYOUT/SCORING

N.T.S.



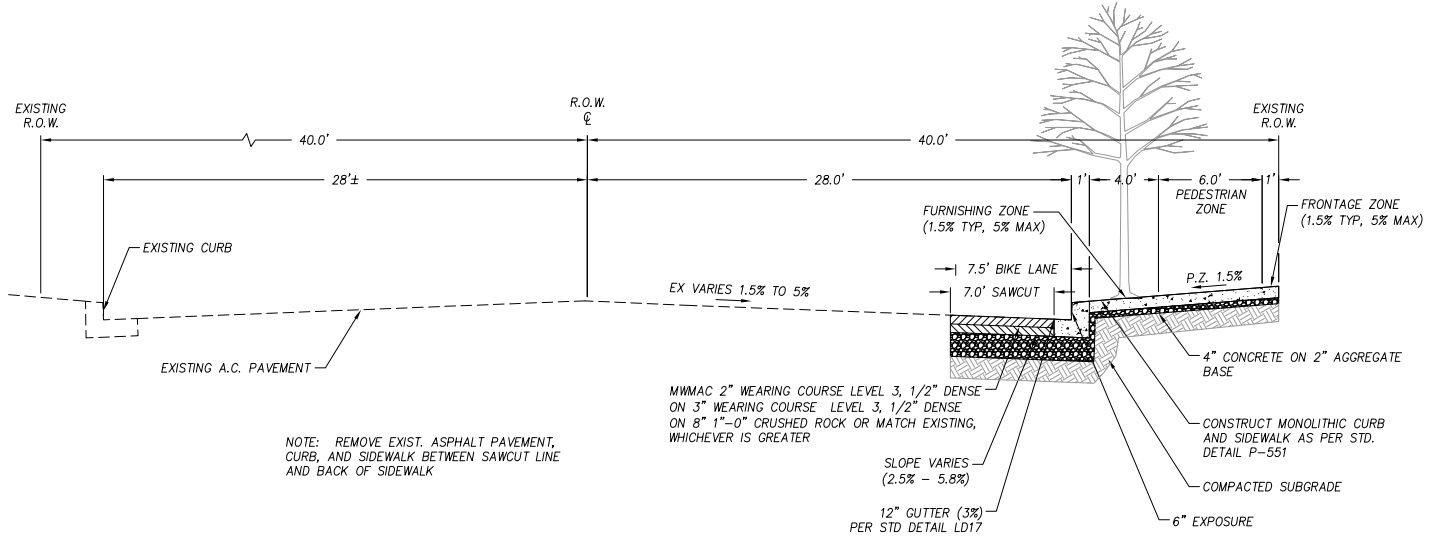
NE HOLLADAY STREET—TYPICAL SECTION

N.T.S. — EASTERLY



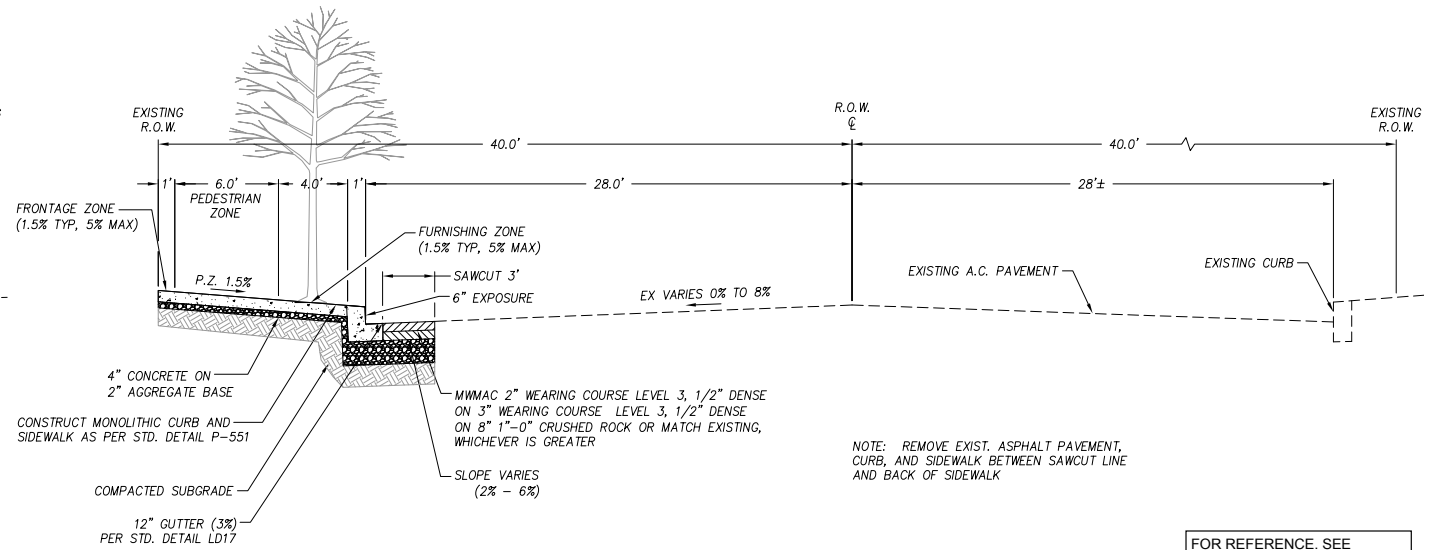
NE OREGON STREET—TYPICAL SECTION

N.T.S. — EASTERLY



NE 7TH AVENUE—TYPICAL SECTION

N.T.S. — NORTHERLY

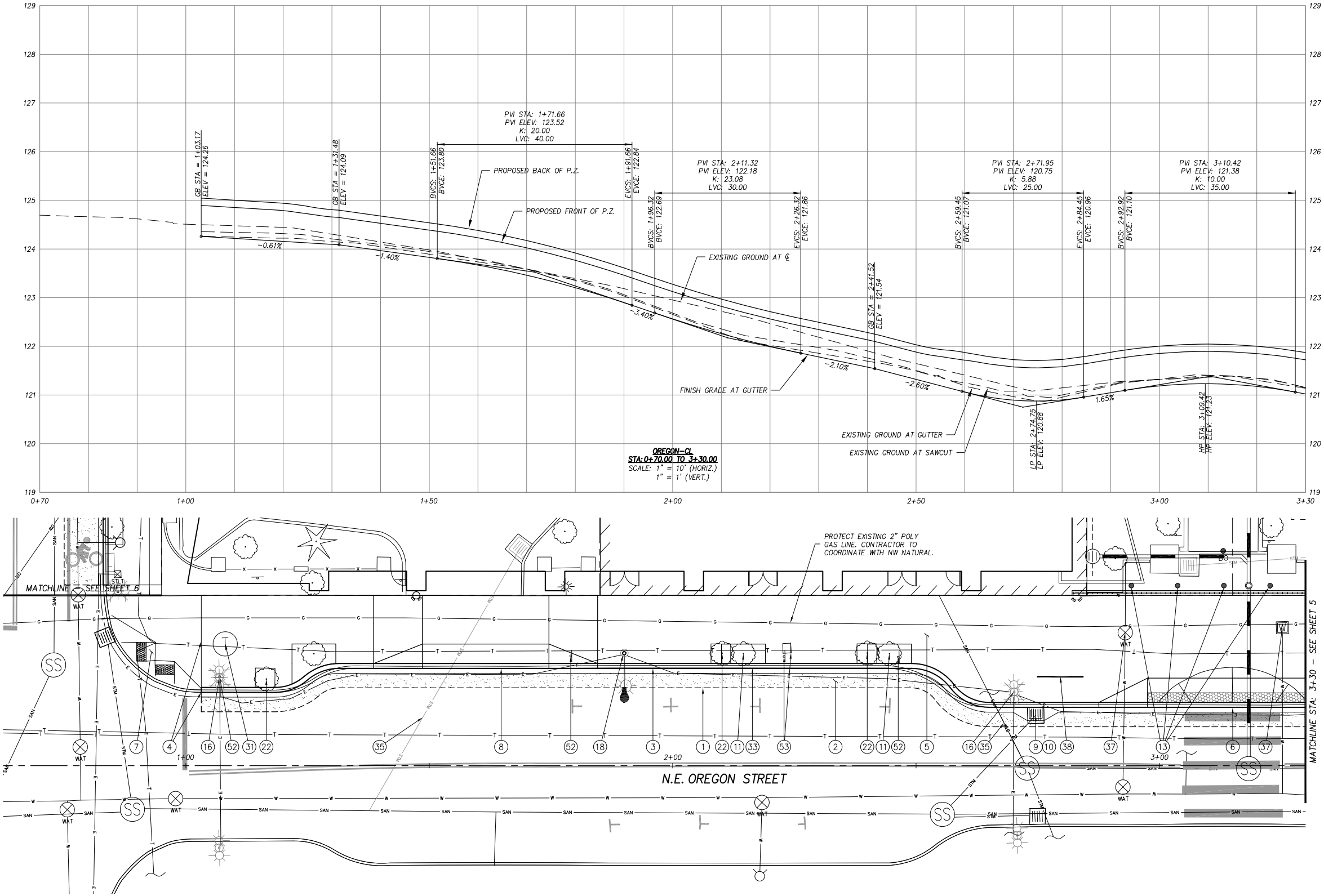


NE 9TH AVENUE—TYPICAL SECTION

N.T.S. — NORTHERLY

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
SUBMITTED SEPARATELY.

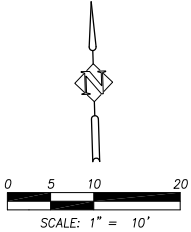
STREET DESIGN DETAILS - TYPICAL SECTIONS



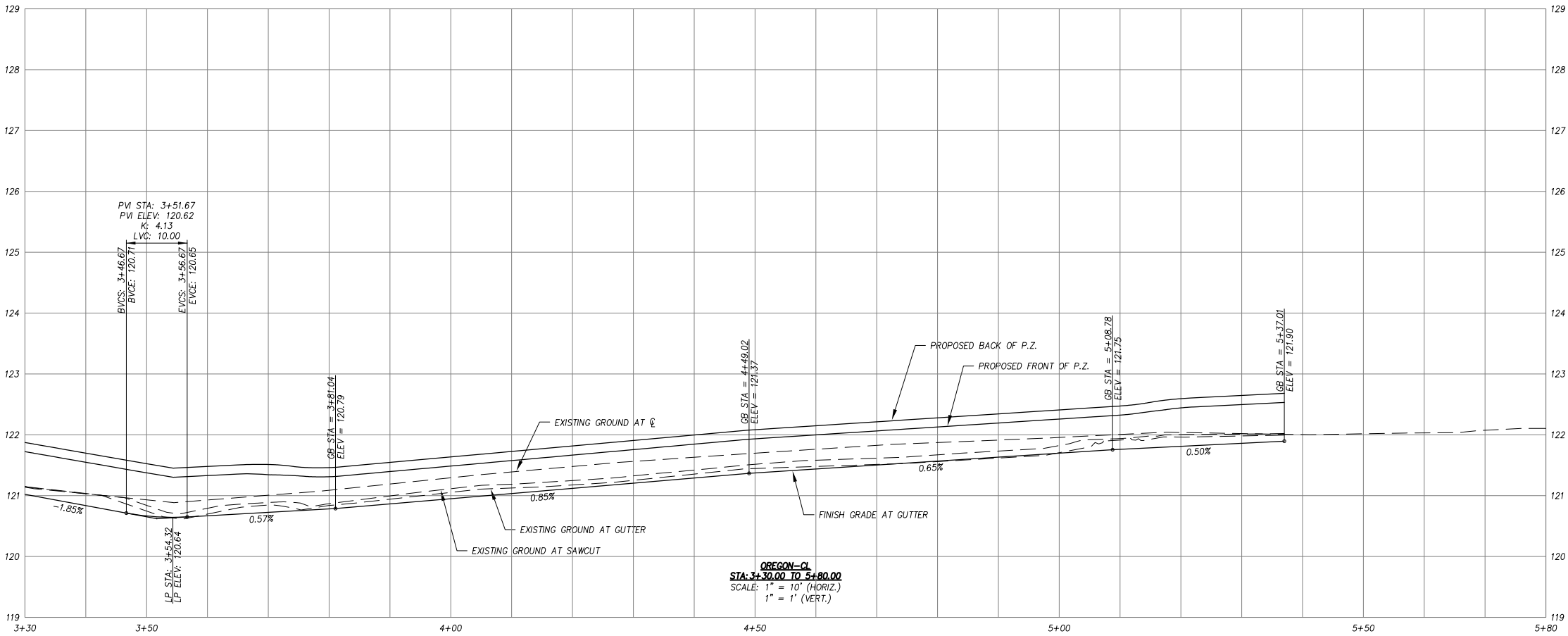
CONSTRUCTION NOTES

- 1 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, CURB AND CONCRETE SIDEWALK AS SHOWN ON PLANS AND PER TYPICAL SECTION.
- 2 CONSTRUCT ASPHALT PAVEMENT PER TYPICAL SECTION.
- 3 CONSTRUCT CONCRETE CURB AND GUTTER PER TYPICAL SECTION AND COP STD DETAIL P-540.
- 4 MATCH EXISTING CURB AND/OR SIDEWALK ELEVATION.
- 5 CONSTRUCT CONCRETE SIDEWALK PER COP STD DETAIL P-551. CONSTRUCT JOINTS AND SCORING PER DETAIL SHEET.
- 6 CONSTRUCT CONCRETE CURB RAMP WITH DETECTABLE WARNING. INSTALL DETECTABLE WARNING PER CITY OF PORTLAND SPECIAL SPECIFICATIONS.
- 7 PROTECT EXISTING CONCRETE SIDEWALK AND CURB RAMP.
- 8 CONSTRUCT COMMERCIAL DRIVEWAY PER COP DETAIL P-528.
- 9 CONSTRUCT CG-2 DOUBLE INLET PER ODOT STANDARD DRAWING RD366.
- 10 REMOVE EXISTING INLET.
- 11 INSTALL STREET TREE. SEE LANDSCAPE PLANS FOR TYPE OF TREE AND PLANTING DETAILS.
- 13 INSTALL REMOVABLE BOLLARD ON PRIVATE PROPERTY.
- 16 EXISTING TWIN ORNAMENTAL LIGHT POLE TO BE REMOVED, REPAINTED, REINSTALLED AND UPGRADED TO LED LUMINAIRES. REFER TO STREET LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- 18 EXISTING COBRAHEAD LIGHT POLE TO BE REMOVED, REPAINTED AND INSTALLED ON NEW FOUNDATION AND LED LUMINAIRE.
- 22 EXISTING STREET TREE TO BE REMOVED.
- 31 PROTECT EXISTING TELEPHONE VAULT/MANHOLE. ADJUST RIM.
- 33 REMOVE EXISTING CURB.
- 35 CONTRACTOR TO VERIFY LOCATION OF EXISTING STORM/SANITARY LATERAL. CONTRACTOR TO ABANDON EXISTING LATERALS IN PLACE. CAPPING PERMIT, FROM BDS REQUIRED.
- 37 EXISTING WATER SERVICE TO BE KILLED BY WATER BUREAU UNDER SEPARATE PERMIT PRIOR TO CONSTRUCTION.
- 38 REMOVE AND REINSTALL/RELOCATE BIKE RACK.
- 52 EXISTING SIGN. SEE SIGNING AND STRIPING PLAN.
- 53 EXISTING 'SMART METER' AND PARKING METER SIGN TO BE REMOVED AND REINSTALLED.

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
SUBMITTED SEPARATELY.



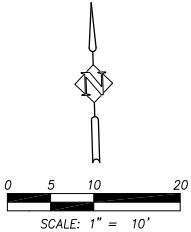
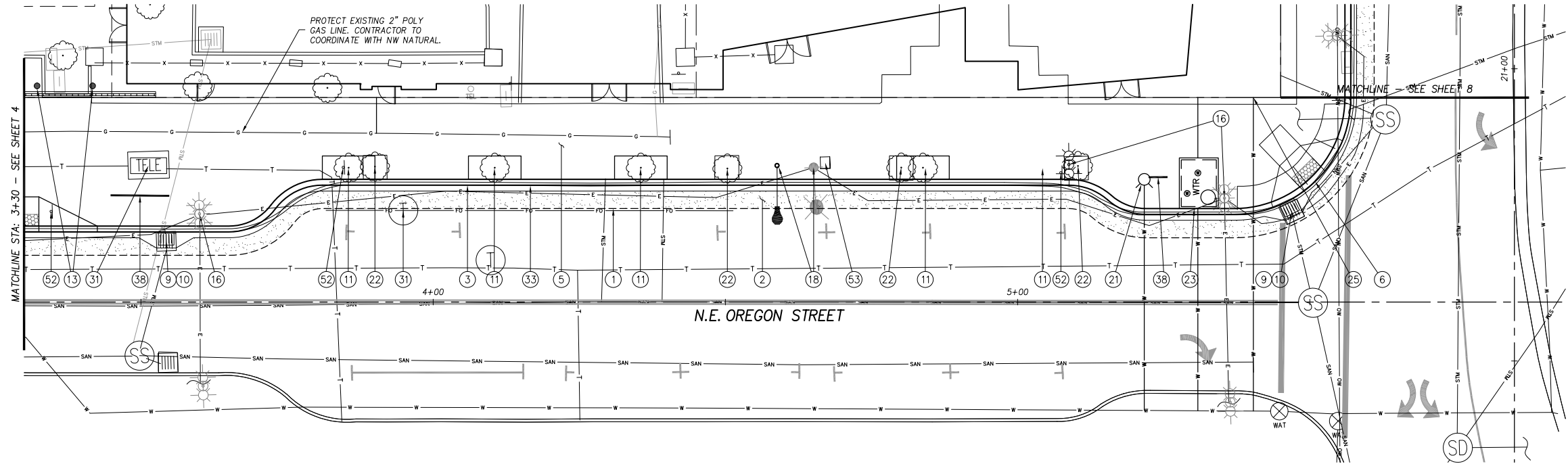
STREET DESIGN DETAILS - NE OREGON ST.



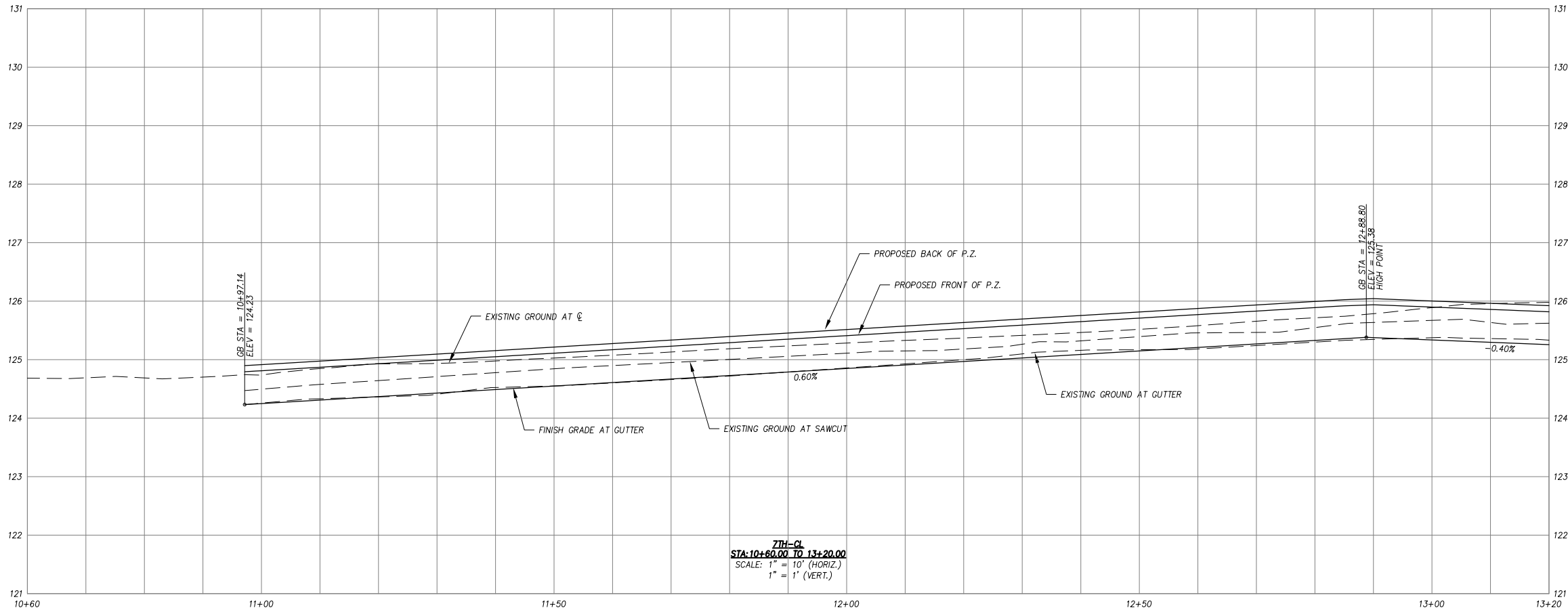
CONSTRUCTION NOTES

- ① SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, CURB AND CONCRETE SIDEWALK AS SHOWN ON PLANS AND PER TYPICAL SECTION.
- ② CONSTRUCT ASPHALT PAVEMENT PER TYPICAL SECTION.
- ③ CONSTRUCT CONCRETE CURB AND GUTTER PER TYPICAL SECTION AND COP STD DETAIL P-540.
- ⑤ CONSTRUCT CONCRETE SIDEWALK PER COP STD DETAIL P-551. CONSTRUCT JOINTS AND SCORING PER DETAIL SHEET.
- ⑥ CONSTRUCT CONCRETE CURB RAMP WITH DETECTABLE WARNING. INSTALL DETECTABLE WARNING PER CITY OF PORTLAND SPECIAL SPECIFICATIONS.
- ⑨ CONSTRUCT CG-2 DOUBLE INLET PER ODOT STANDARD DRAWING RD366.
- ⑩ REMOVE EXISTING INLET.
- ⑪ INSTALL STREET TREE. SEE LANDSCAPE PLANS FOR TYPE OF TREE AND PLANTING DETAILS.
- ⑬ INSTALL REMOVABLE BOLLARD ON PRIVATE PROPERTY.
- ⑯ EXISTING TWIN ORNAMENTAL LIGHT POLE TO BE REMOVED, REPAINTED, REINSTALLED AND UPGRADED TO LED LUMINAIRES. REFER TO STREET LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- ⑱ EXISTING COBRAHEAD LIGHT POLE TO BE REMOVED, REPAINTED AND INSTALLED ON NEW FOUNDATION AND LED LUMINAIRE.
- ⑳ INSTALL NEW HYDRANT AND HYDRANT LEAD TO MAIN BY WATER BUREAU UNDER SEPARATE PERMIT.
- ㉒ EXISTING STREET TREE TO BE REMOVED.
- ㉓ PROPOSED 6" WATER METER FOR DOMESTIC WATER SERVICE BY WATER BUREAU UNDER SEPARATE PERMIT.
- ㉕ PROPOSED 6" FIRE WATER SERVICE BY WATER BUREAU UNDER SEPARATE PERMIT.
- ㉗ PROTECT EXISTING TELEPHONE VAULT/MANHOLE. ADJUST RIM.
- ㉙ REMOVE EXISTING CURB.
- ㉛ REMOVE AND REINSTALL/RELOCATE BIKE RACK.
- ㉝ EXISTING SIGN. SEE SIGNING AND STRIPING PLAN.
- ㉞ EXISTING 'SMART METER' AND PARKING METER SIGN TO BE REMOVED AND REINSTALLED.

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
SUBMITTED SEPARATELY.

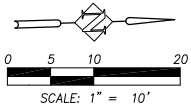
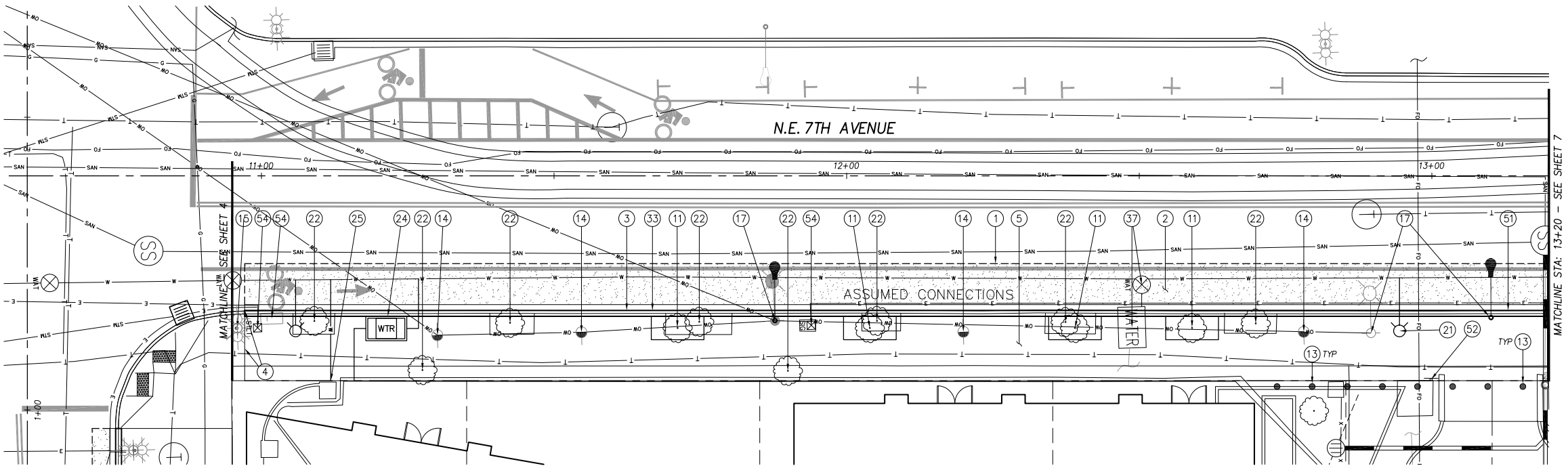


STREET DESIGN DETAILS - NE OREGON ST.

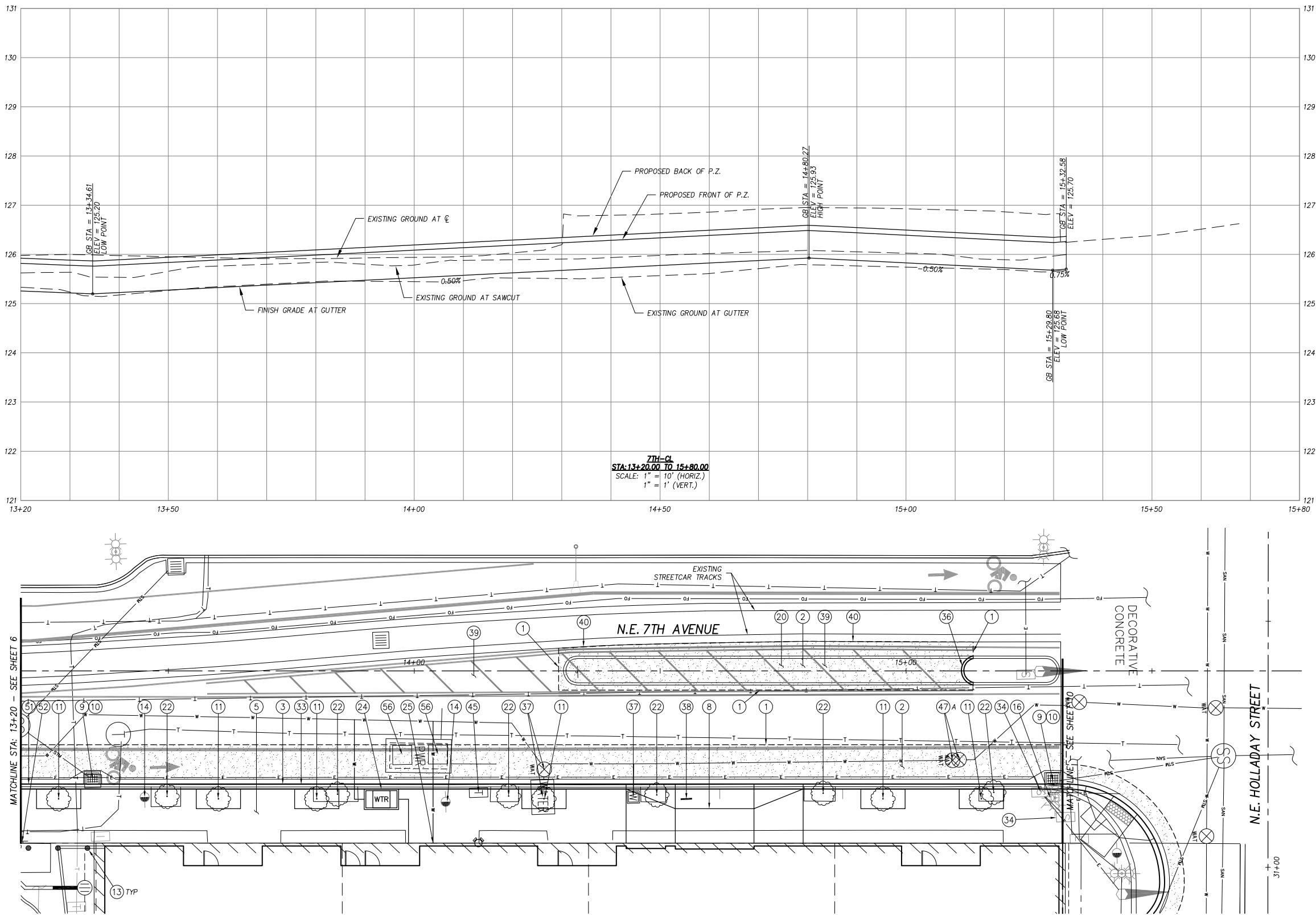


- CONSTRUCTION NOTES**
- ① SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, CURB AND CONCRETE SIDEWALK AS SHOWN ON PLANS AND PER TYPICAL SECTION.
 - ② CONSTRUCT ASPHALT PAVEMENT PER TYPICAL SECTION.
 - ③ CONSTRUCT CONCRETE CURB AND GUTTER PER TYPICAL SECTION AND COP STD DETAIL P-540.
 - ④ MATCH EXISTING CURB AND/OR SIDEWALK ELEVATION.
 - ⑤ CONSTRUCT CONCRETE SIDEWALK PER COP STD DETAIL P-551. CONSTRUCT JOINTS AND SCORING PER DETAIL SHEET.
 - ⑪ INSTALL STREET TREE. SEE LANDSCAPE PLANS FOR TYPE OF TREE AND PLANTING DETAILS.
 - ⑬ INSTALL REMOVABLE BOLLARD ON PRIVATE PROPERTY.
 - ⑭ EXISTING OCS POLE TO BE PROTECTED.
 - ⑮ EXISTING TWIN ORNAMENTAL LIGHT POLE TO BE REPAINTED AND UPGRADED TO LED LUMINAIRES. REFER TO STREET LIGHTING PLANS FOR ADDITIONAL INFORMATION.
 - ⑰ EXISTING COBRAHEAD LIGHT POLE TO BE REMOVED AND INSTALLED ON NEW METAL POLE, FOUNDATION AND LED LUMINAIRE.
 - ⑲ INSTALL NEW HYDRANT AND HYDRANT LEAD TO MAIN BY WATER BUREAU UNDER SEPARATE PERMIT.
 - ⑳ EXISTING STREET TREE TO BE REMOVED.
 - ㉔ PROPOSED 4" WATER METER FOR DOMESTIC WATER SERVICE BY WATER BUREAU UNDER SEPARATE PERMIT.
 - ㉕ PROPOSED 6" FIRE WATER SERVICE BY WATER BUREAU UNDER SEPARATE PERMIT.
 - ㉗ REMOVE EXISTING CURB.
 - ㉘ EXISTING WATER SERVICE TO BE KILLED BY WATER BUREAU UNDER SEPARATE PERMIT PRIOR TO CONSTRUCTION.
 - ㉙ INSTALL MOUNTABLE CURB FOR EMERGENCY ACCESS TO PLAZA.
 - ㉚ EXISTING SIGN. SEE SIGNING AND STRIPING PLAN.
 - ㉜ EXISTING STREET LIGHTING JUNCTION BOX. SEE STREET LIGHTING PLANS

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
SUBMITTED SEPARATELY.



STREET DESIGN DETAILS - NE 7TH AVE.

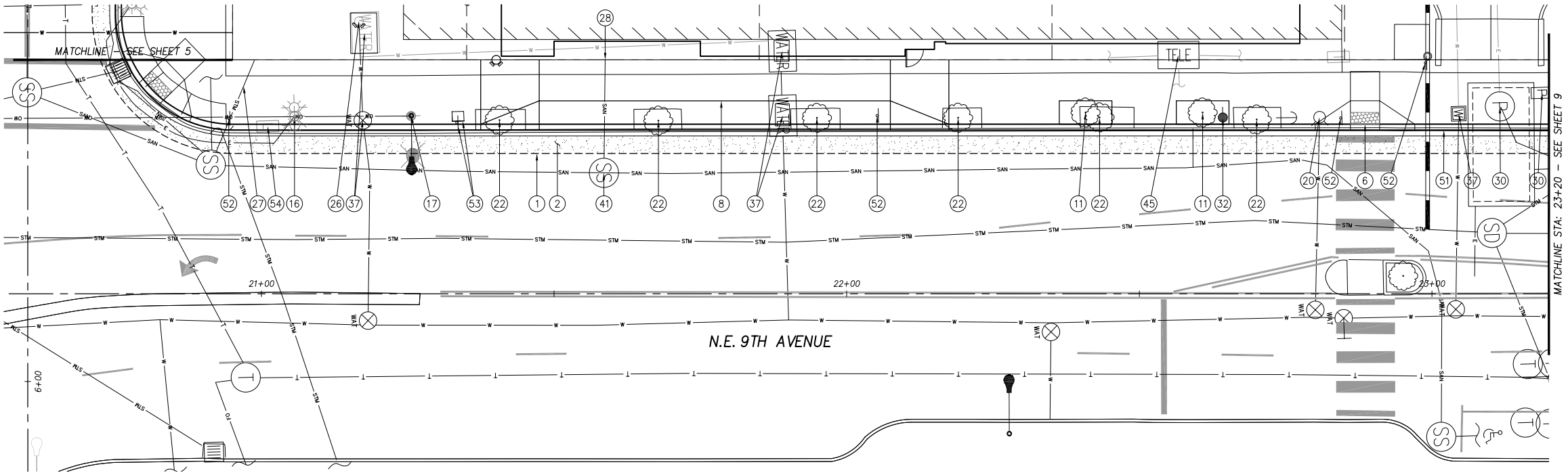
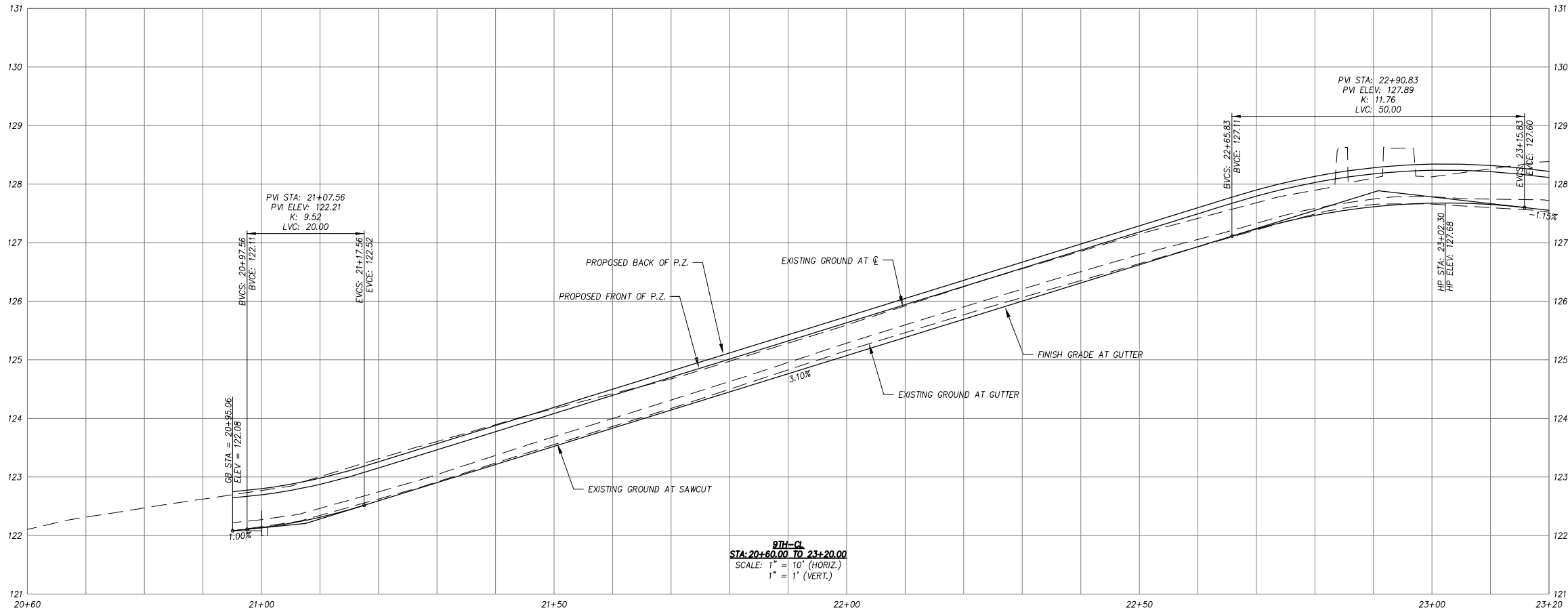


CONSTRUCTION NOTES

- 1 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, CURB AND CONCRETE SIDEWALK AS SHOWN ON PLANS AND PER TYPICAL SECTION.
- 2 CONSTRUCT ASPHALT PAVEMENT PER TYPICAL SECTION.
- 3 CONSTRUCT CONCRETE CURB AND GUTTER PER TYPICAL SECTION AND COP STD DETAIL P-540.
- 5 CONSTRUCT CONCRETE SIDEWALK PER COP STD DETAIL P-551. CONSTRUCT JOINTS AND SCORING PER DETAIL SHEET.
- 8 CONSTRUCT COMMERCIAL DRIVEWAY PER COP DETAIL P-528.
- 9 CONSTRUCT CG-2 DOUBLE INLET PER ODOT STANDARD DRAWING RD366.
- 10 REMOVE EXISTING INLET.
- 11 INSTALL STREET TREE. SEE LANDSCAPE PLANS FOR TYPE OF TREE AND PLANTING DETAILS.
- 13 INSTALL REMOVABLE BOLLARD ON PRIVATE PROPERTY.
- 14 EXISTING OCS POLE TO BE PROTECTED.
- 16 EXISTING TWIN ORNAMENTAL LIGHT POLE TO BE REMOVED, REPAINTED, REINSTALLED AND UPGRADED TO LED LUMINAIRES. REFER TO STREET LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- 20 REMOVE EXISTING CONCRETE MEDIAN AND STRIPING.
- 22 EXISTING STREET TREE TO BE REMOVED.
- 24 PROPOSED 4" WATER METER FOR DOMESTIC WATER SERVICE BY WATER BUREAU UNDER SEPARATE PERMIT.
- 25 PROPOSED 6" FIRE WATER SERVICE BY WATER BUREAU UNDER SEPARATE PERMIT.
- 33 REMOVE EXISTING CURB.
- 34 EXISTING SIGNAL JUNCTION BOX.
- 36 CONSTRUCT STANDARD CURB FOR CONCRETE MEDIAN PER COP DETAIL P-540. MATCH EXISTING AT ENDS.
- 37 EXISTING WATER SERVICE TO BE KILLED BY WATER BUREAU UNDER SEPARATE PERMIT PRIOR TO CONSTRUCTION.
- 38 REMOVE AND REINSTALL/RELOCATE BIKE RACK.
- 39 INSTALL PAVEMENT MARKINGS AT ISLAND PER COP DETAIL P-434. BLOCK TWL-ISL/R2.
- 40 SAWCUT AT EDGE OF CONCRETE AT STREETCAR TRACKS.
- 45 EXISTING TELEPHONE VAULT TO BE REMOVED.
- 47 PROTECT (P), RELOCATE (R), OR ADJUST (A) EXISTING WATER METER/VALVE ASSEMBLY. RELOCATION TO BE COMPLETED BY UTILITY PRIOR TO CONSTRUCTION. ADJUSTMENTS TO BE MADE DURING CONSTRUCTION.
- 52 EXISTING SIGN. SEE SIGNING AND STRIPING PLAN.
- 56 EXISTING PACIFIC POWER VAULT TO BE REMOVED.

FOR REFERENCE. SEE CONCEPT DESIGN DRAWINGS SUBMITTED SEPARATELY.

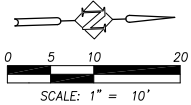
STREET DESIGN DETAILS - NE 7TH AVE.



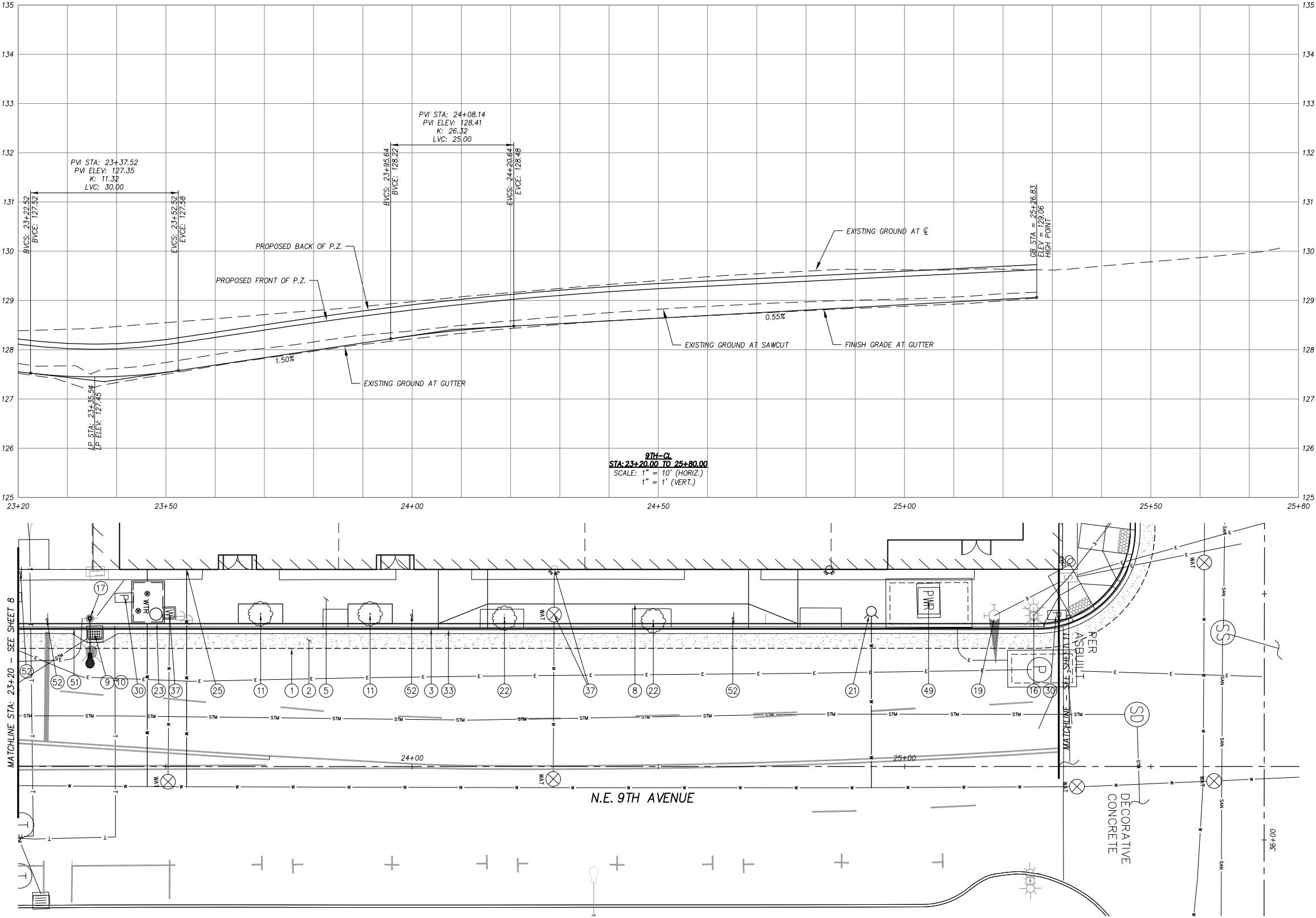
CONSTRUCTION NOTES

- 1 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, CURB AND CONCRETE SIDEWALK AS SHOWN ON PLANS AND PER TYPICAL SECTION.
- 2 CONSTRUCT ASPHALT PAVEMENT PER TYPICAL SECTION.
- 6 CONSTRUCT CONCRETE CURB RAMP WITH DETECTABLE WARNING. INSTALL DETECTABLE WARNING PER CITY OF PORTLAND SPECIAL SPECIFICATIONS.
- 8 CONSTRUCT COMMERCIAL DRIVEWAY PER COP DETAIL P-528.
- 11 INSTALL STREET TREE. SEE LANDSCAPE PLANS FOR TYPE OF TREE AND PLANTING DETAILS.
- 16 EXISTING TWIN ORNAMENTAL LIGHT POLE TO BE REMOVED, REPAINTED, REINSTALLED AND UPGRADED TO LED LUMINAIRES. REFER TO STREET LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- 17 EXISTING COBRAHEAD LIGHT POLE TO BE REMOVED AND INSTALLED ON NEW METAL POLE, FOUNDATION AND LED LUMINAIRE.
- 20 REMOVE EXISTING CONCRETE MEDIAN AND STRIPING.
- 22 EXISTING STREET TREE TO BE REMOVED.
- 26 REMOVE EXISTING FIRE HYDRANT.
- 27 PROPOSED STORM SEWER LATERAL FOR BUILDING UNDER SEPARATE PERMIT.
- 28 PROPOSED SANITARY SEWER LATERAL FOR BUILDING UNDER SEPARATE CONNECTION PERMIT.
- 30 PROTECT EXISTING PACIFIC POWER ELECTRICAL VAULT.
- 32 PROTECT EXISTING POWER POLE.
- 37 EXISTING WATER SERVICE TO BE KILLED BY WATER BUREAU UNDER SEPARATE PERMIT PRIOR TO CONSTRUCTION.
- 41 CONSTRUCT SANITARY MANHOLE FOR BUILDING SERVICE. CONNECT TO EXISTING SANITARY SEWER UNDER SEPARATE PERMIT.
- 45 EXISTING TELEPHONE VAULT TO BE REMOVED.
- 51 INSTALL MOUNTABLE CURB FOR EMERGENCY ACCESS TO PLAZA.
- 52 EXISTING SIGN. SEE SIGNING AND STRIPING PLAN.
- 53 EXISTING 'SMART METER' AND PARKING METER SIGN TO BE REMOVED AND REINSTALLED.
- 54 EXISTING STREET LIGHTING JUNCTION BOX. SEE STREET LIGHTING PLANS.

FOR REFERENCE. SEE CONCEPT DESIGN DRAWINGS SUBMITTED SEPARATELY.



STREET DESIGN DETAILS - NE 9TH AVE .

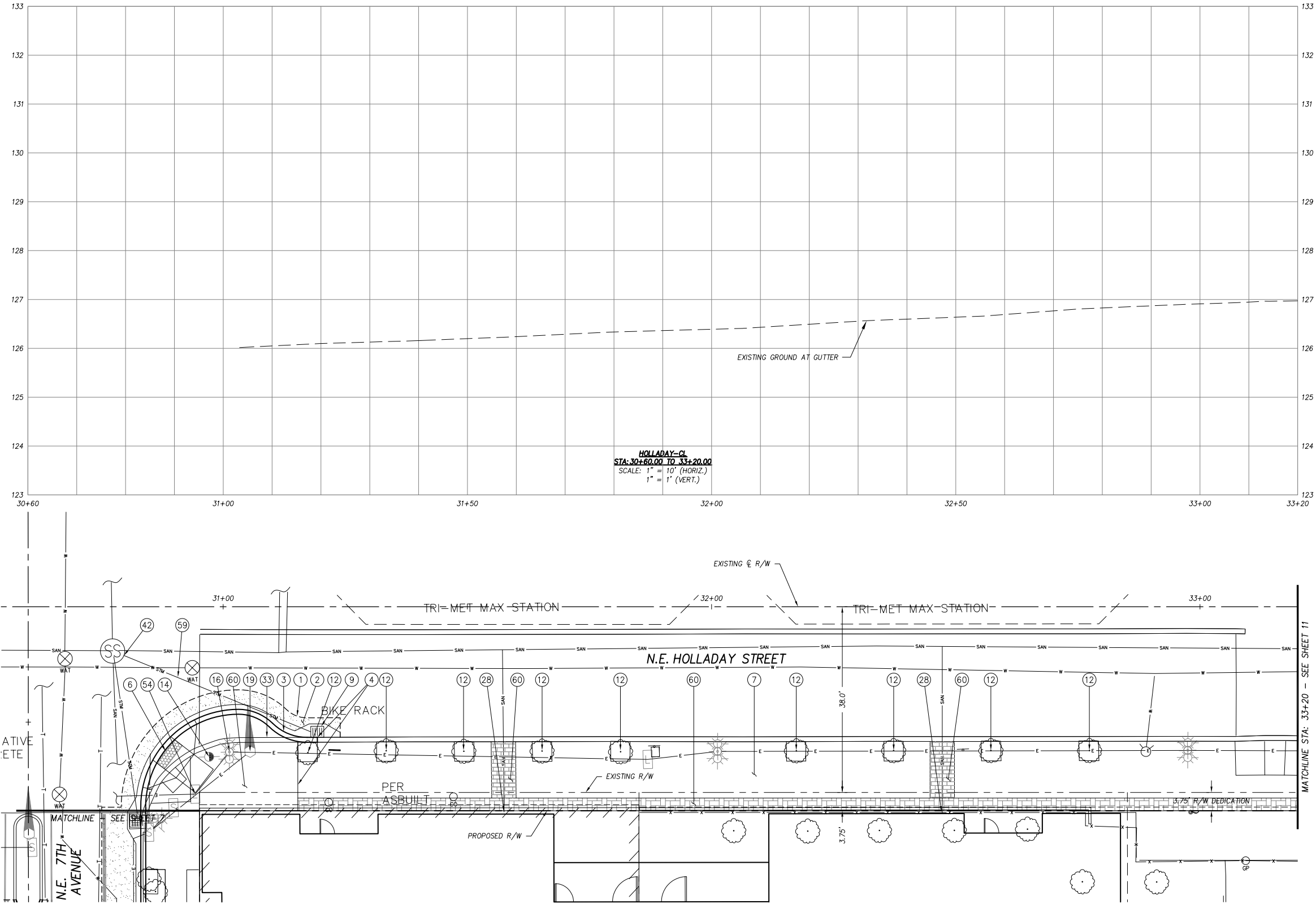


CONSTRUCTION NOTES

- 1 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, CURB AND CONCRETE SIDEWALK AS SHOWN ON PLANS AND PER TYPICAL SECTION.
- 2 CONSTRUCT ASPHALT PAVEMENT PER TYPICAL SECTION.
- 3 CONSTRUCT CONCRETE CURB AND GUTTER PER TYPICAL SECTION AND COP STD DETAIL P-540.
- 5 CONSTRUCT CONCRETE SIDEWALK PER COP STD DETAIL P-551. CONSTRUCT JOINTS AND SCORING PER DETAIL SHEET.
- 8 CONSTRUCT COMMERCIAL DRIVEWAY PER COP DETAIL P-528.
- 9 CONSTRUCT CG-2 DOUBLE INLET PER ODOT STANDARD DRAWING RD366.
- 10 REMOVE EXISTING INLET.
- 11 INSTALL STREET TREE. SEE LANDSCAPE PLANS FOR TYPE OF TREE AND PLANTING DETAILS.
- 16 EXISTING TWIN ORNAMENTAL LIGHT POLE TO BE REMOVED, REPAINTED, REINSTALLED AND UPGRADED TO LED LUMINAIRES. REFER TO STREET LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- 17 EXISTING COBRAHEAD LIGHT POLE TO BE REMOVED AND INSTALLED ON NEW METAL POLE, FOUNDATION AND LED LUMINAIRE.
- 19 EXISTING SIGNAL POLE TO BE PROTECTED.
- 21 INSTALL NEW HYDRANT AND HYDRANT LEAD TO MAIN BY WATER BUREAU UNDER SEPARATE PERMIT.
- 22 EXISTING STREET TREE TO BE REMOVED.
- 23 PROPOSED 6" WATER METER FOR DOMESTIC WATER SERVICE BY WATER BUREAU UNDER SEPARATE PERMIT.
- 25 PROPOSED 6" FIRE WATER SERVICE BY WATER BUREAU UNDER SEPARATE PERMIT.
- 30 PROTECT EXISTING PACIFIC POWER ELECTRICAL VAULT.
- 33 REMOVE EXISTING CURB.
- 37 EXISTING WATER SERVICE TO BE KILLED BY WATER BUREAU UNDER SEPARATE PERMIT PRIOR TO CONSTRUCTION.
- 49 ELECTRICAL VAULT LOCATION TO BE COORDINATED WITH PACIFIC POWER.
- 51 INSTALL MOUNTABLE CURB FOR EMERGENCY ACCESS TO PLAZA.
- 52 EXISTING SIGN. SEE SIGNING AND STRIPING PLAN.

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
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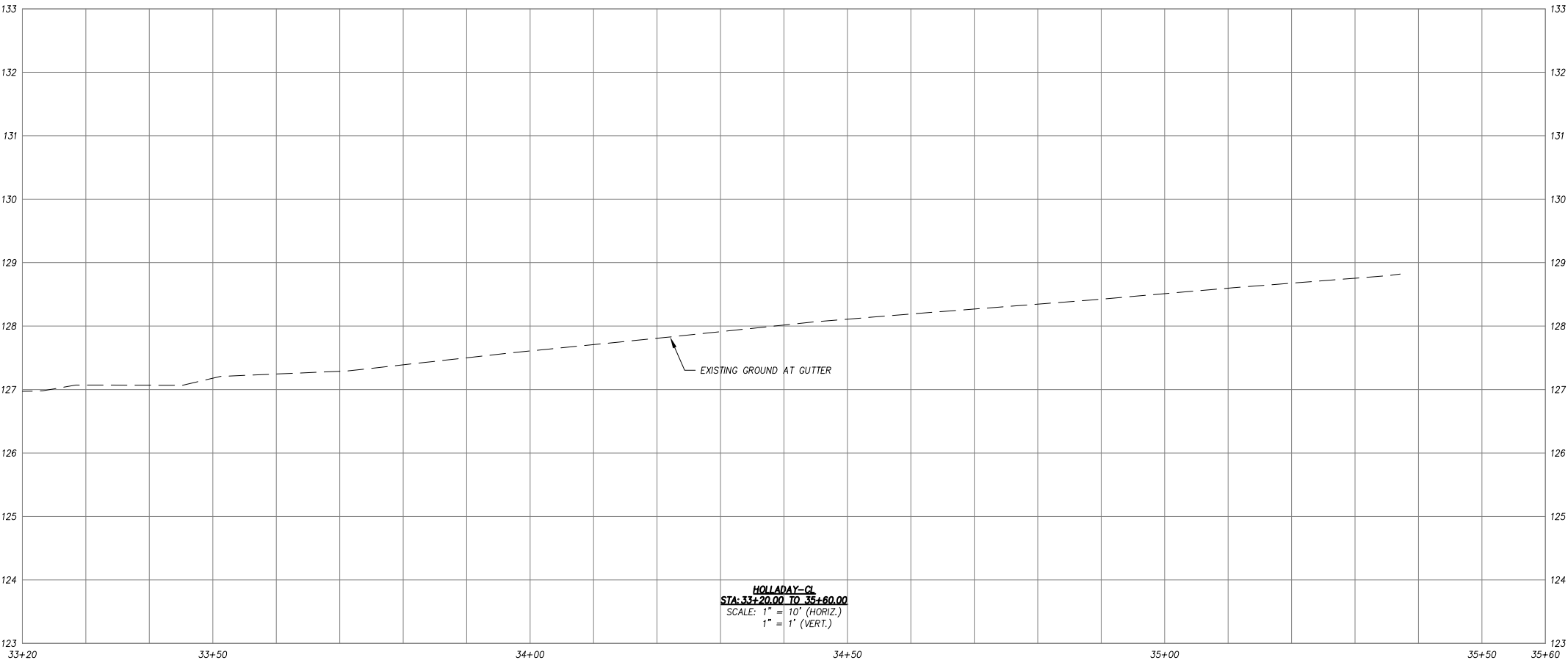
STREET DESIGN DETAILS - NE 9TH AVE .



- CONSTRUCTION NOTES**
- 1 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, CURB AND CONCRETE SIDEWALK AS SHOWN ON PLANS AND PER TYPICAL SECTION.
 - 2 CONSTRUCT ASPHALT PAVEMENT PER TYPICAL SECTION.
 - 3 CONSTRUCT CONCRETE CURB AND GUTTER PER TYPICAL SECTION AND COP STD DETAIL P-540.
 - 4 MATCH EXISTING CURB AND/OR SIDEWALK ELEVATION.
 - 6 CONSTRUCT CONCRETE CURB RAMP WITH DETECTABLE WARNING. INSTALL DETECTABLE WARNING PER CITY OF PORTLAND SPECIAL SPECIFICATIONS.
 - 7 PROTECT EXISTING CONCRETE SIDEWALK AND CURB RAMP.
 - 9 CONSTRUCT CG-2 DOUBLE INLET PER ODOT STANDARD DRAWING RD366.
 - 12 PROTECT EXISTING STREET TREE.
 - 14 EXISTING OCS POLE TO BE PROTECTED.
 - 16 EXISTING TWIN ORNAMENTAL LIGHT POLE TO BE REMOVED, REPAINTED, REINSTALLED AND UPGRADED TO LED LUMINAIRES. REFER TO STREET LIGHTING PLANS FOR ADDITIONAL INFORMATION.
 - 19 EXISTING SIGNAL POLE TO BE PROTECTED.
 - 28 PROPOSED SANITARY SEWER LATERAL FOR BUILDING UNDER SEPARATE CONNECTION PERMIT.
 - 33 REMOVE EXISTING CURB.
 - 42 CONNECT TO EXISTING PIPE, INLET OR MANHOLE.
 - 54 EXISTING STREET LIGHTING JUNCTION BOX. SEE STREET LIGHTING PLANS.
 - 59 INSTALL 10" PVC ASTM D 3034 SDR 35 STORM INLET LEAD.
 - 60 REMOVE AND REPLACE EXISTING PAVERS. MATCH EXISTING PAVEMENT LAYOUT AND MATERIAL.

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
SUBMITTED SEPARATELY.

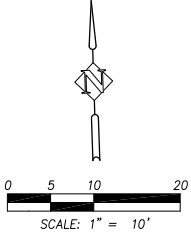
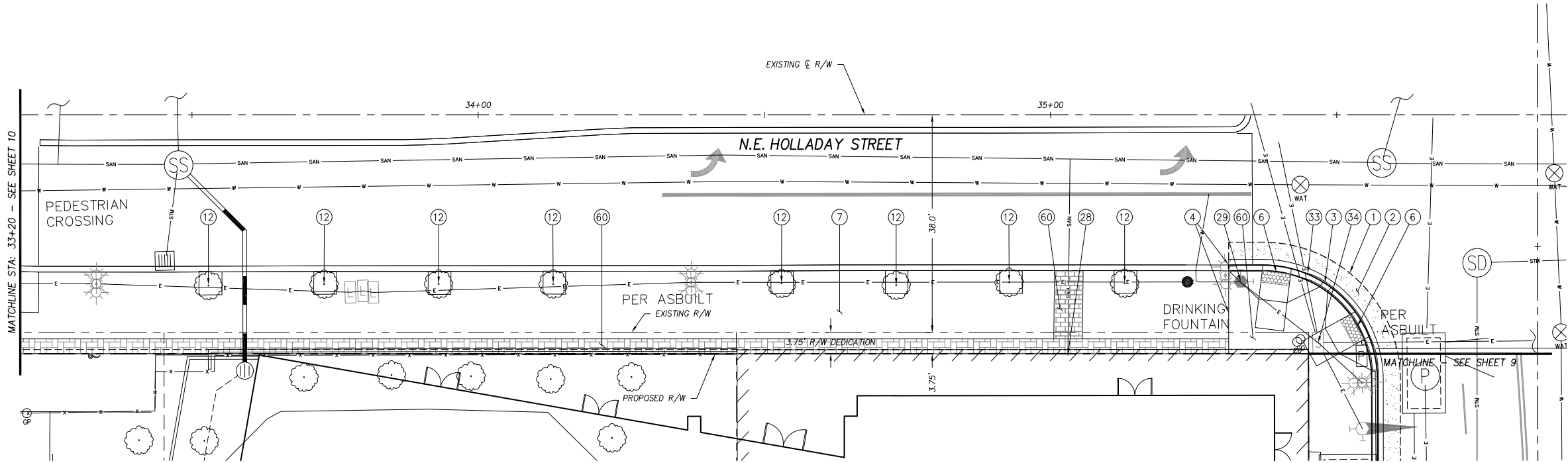
STREET DESIGN DETAILS - NE HOLLADAY ST.



CONSTRUCTION NOTES

- 1 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, CURB AND CONCRETE SIDEWALK AS SHOWN ON PLANS AND PER TYPICAL SECTION.
- 2 CONSTRUCT ASPHALT PAVEMENT PER TYPICAL SECTION.
- 3 CONSTRUCT CONCRETE CURB AND GUTTER PER TYPICAL SECTION AND COP STD DETAIL P-540.
- 4 MATCH EXISTING CURB AND/OR SIDEWALK ELEVATION.
- 6 CONSTRUCT CONCRETE CURB RAMP WITH DETECTABLE WARNING. INSTALL DETECTABLE WARNING PER CITY OF PORTLAND SPECIAL SPECIFICATIONS.
- 7 PROTECT EXISTING CONCRETE SIDEWALK AND CURB RAMP.
- 12 PROTECT EXISTING STREET TREE.
- 28 PROPOSED SANITARY SEWER LATERAL FOR BUILDING UNDER SEPARATE CONNECTION PERMIT.
- 29 PROTECT EXISTING PED POLE.
- 33 REMOVE EXISTING CURB.
- 34 EXISTING SIGNAL JUNCTION BOX.
- 60 REMOVE AND REPLACE EXISTING PAVERS. MATCH EXISTING PAVER LAYOUT AND MATERIAL.

FOR REFERENCE. SEE
CONCEPT DESIGN DRAWINGS
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STREET DESIGN DETAILS - NE. HOLLADAY ST.

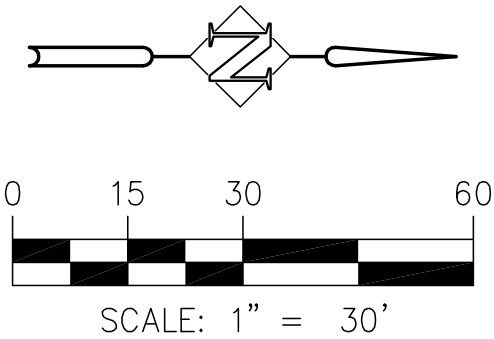
8. AUTOTURN EXHIBITS

- 1. Block 103*
- 2. Block 90*
- 3. Plaza*

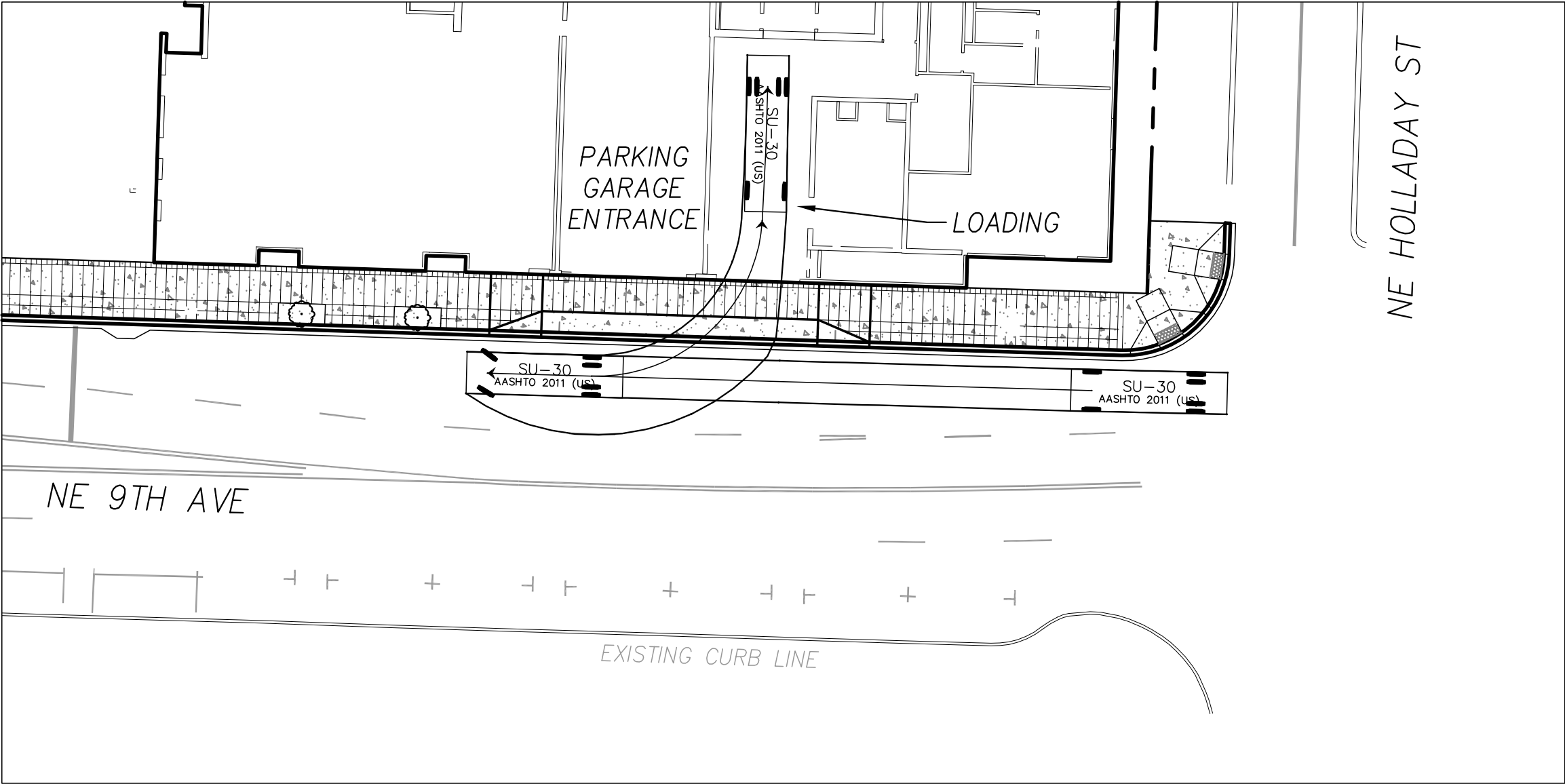
AUTOTURN EXHIBITS

PROJECT: TH0207

VEHICLE: SU-30

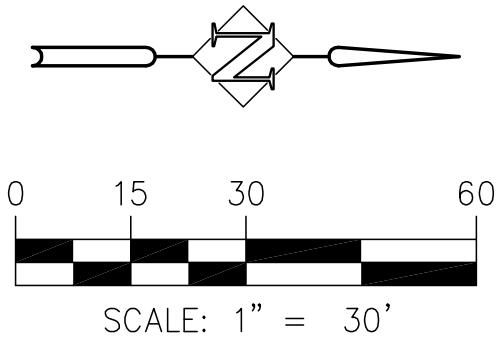


BLOCK 102
SOUTHBOUND BACK-IN

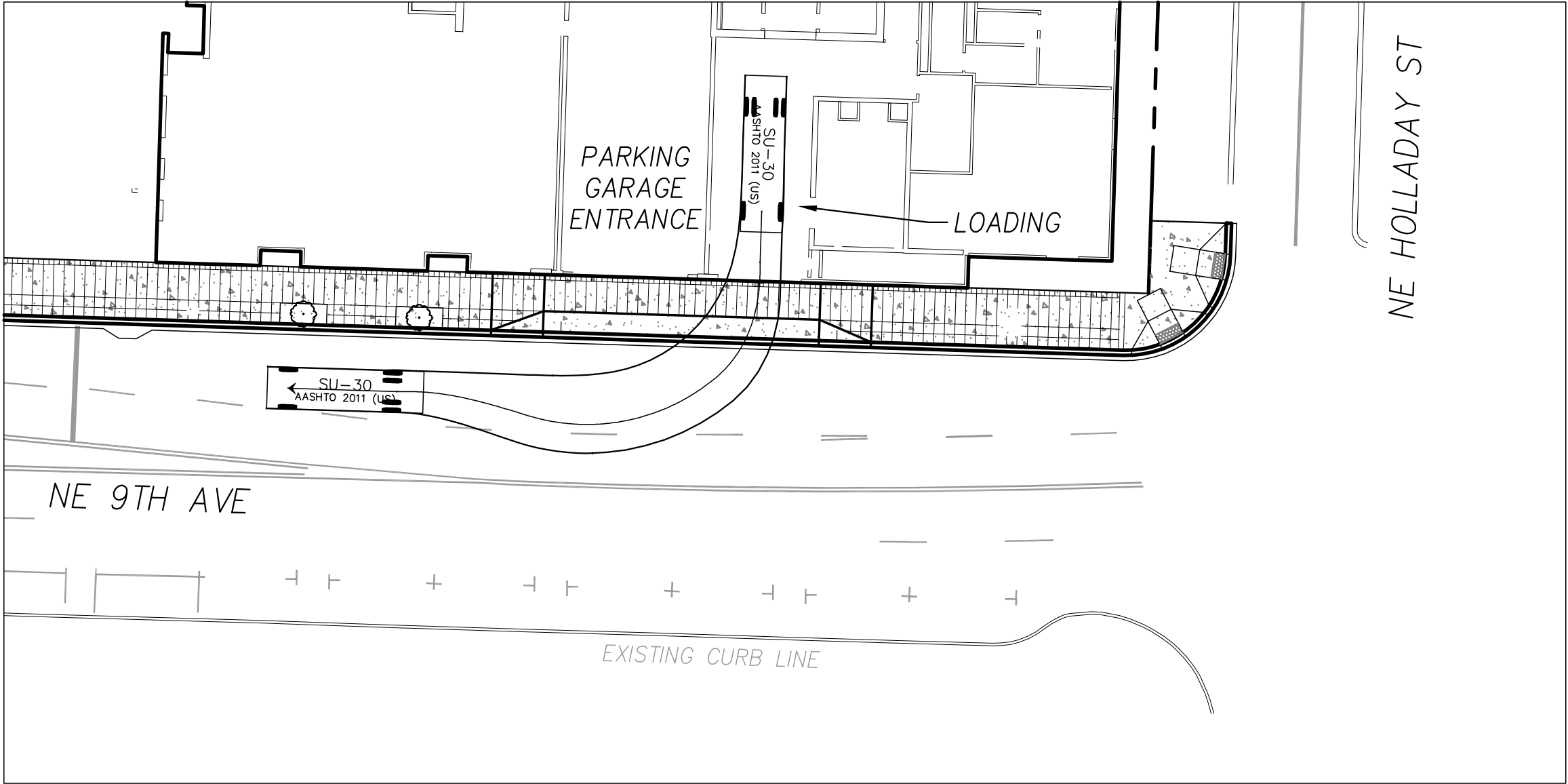


AUTOTURN EXHIBITS

PROJECT: TH0207
VEHICLE: SU-30



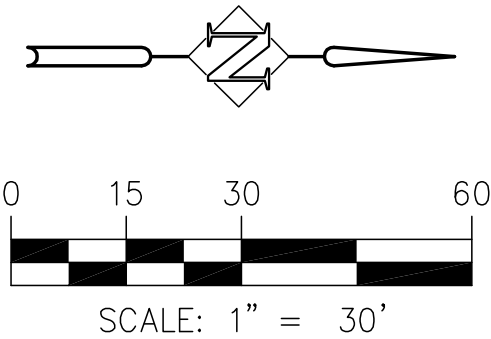
BLOCK 102
SOUTHBOUND OUT



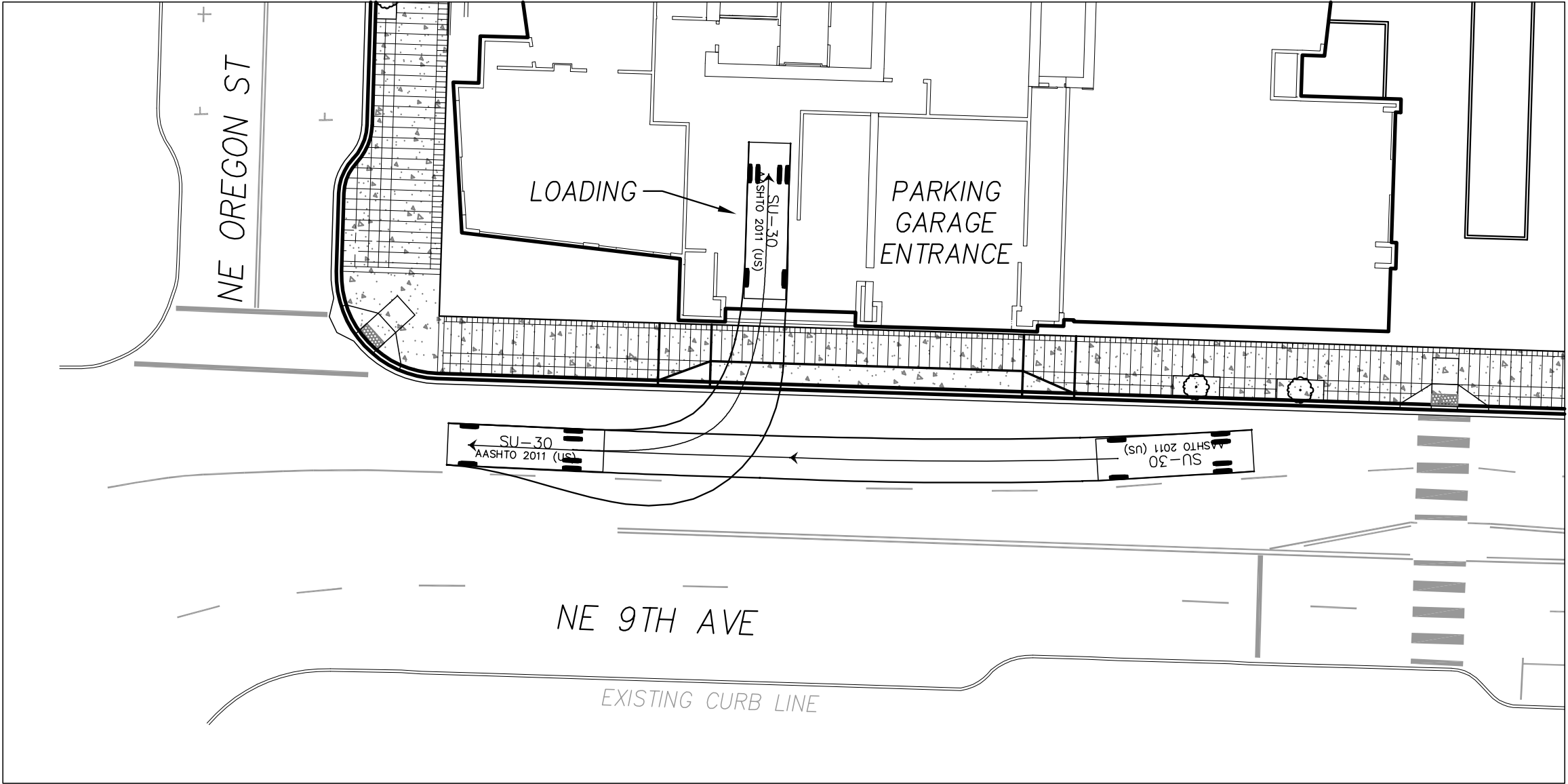
AUTOTURN EXHIBITS

PROJECT: TH0207

VEHICLE: SU-30

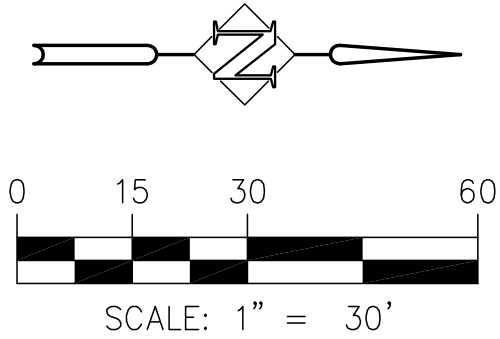


BLOCK 103
SOUTHBOUND BACK-IN

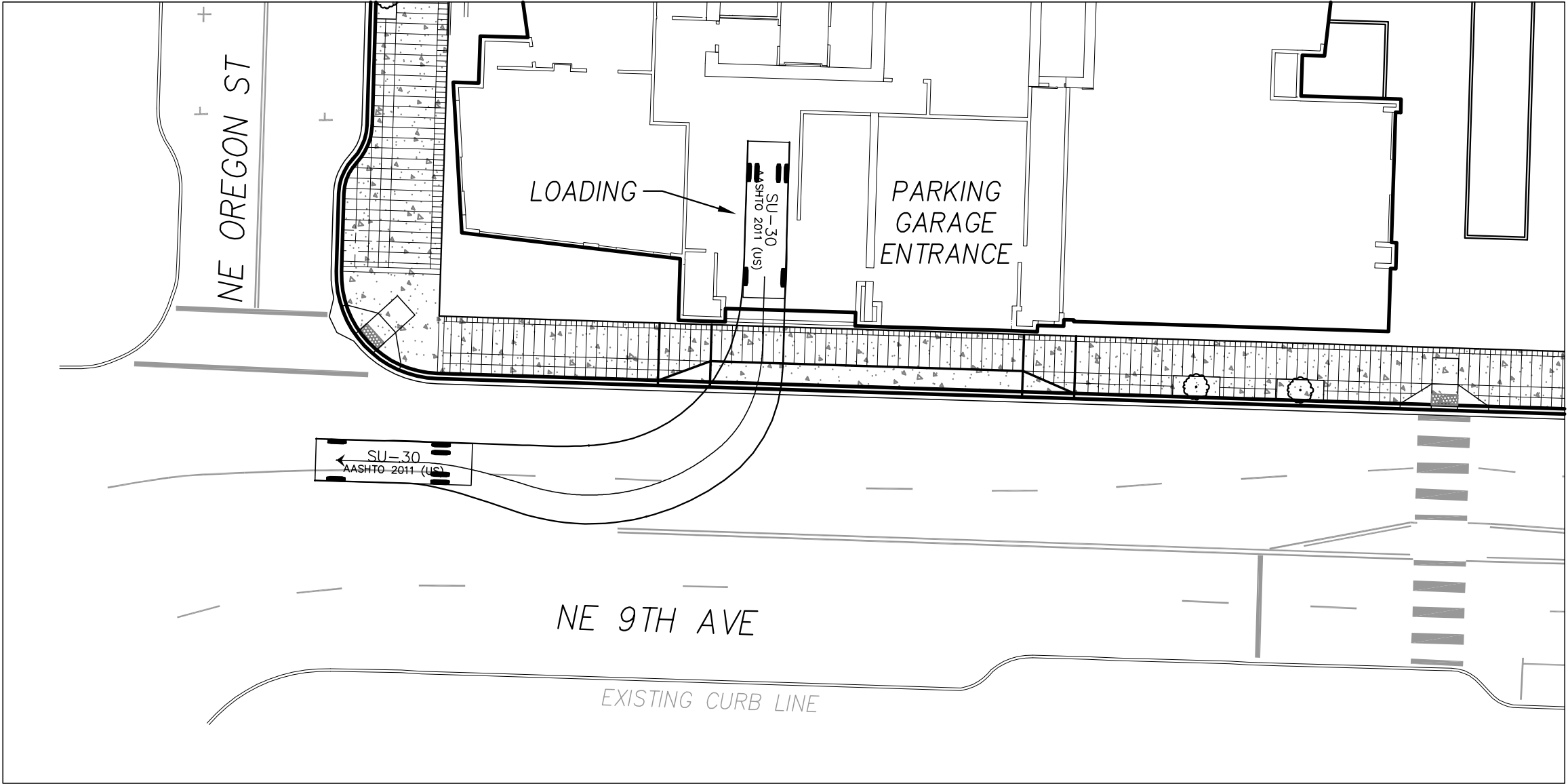


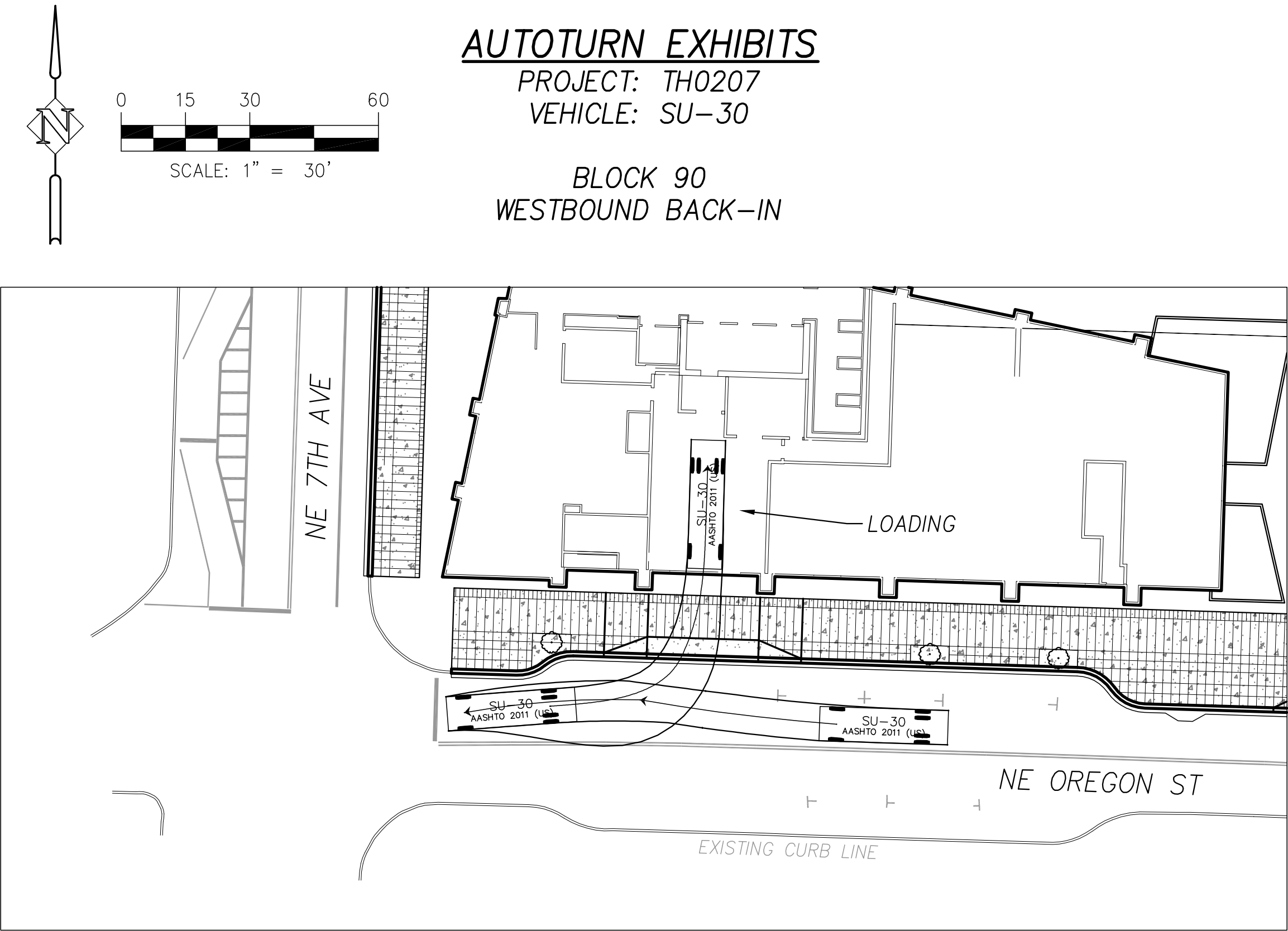
AUTOTURN EXHIBITS

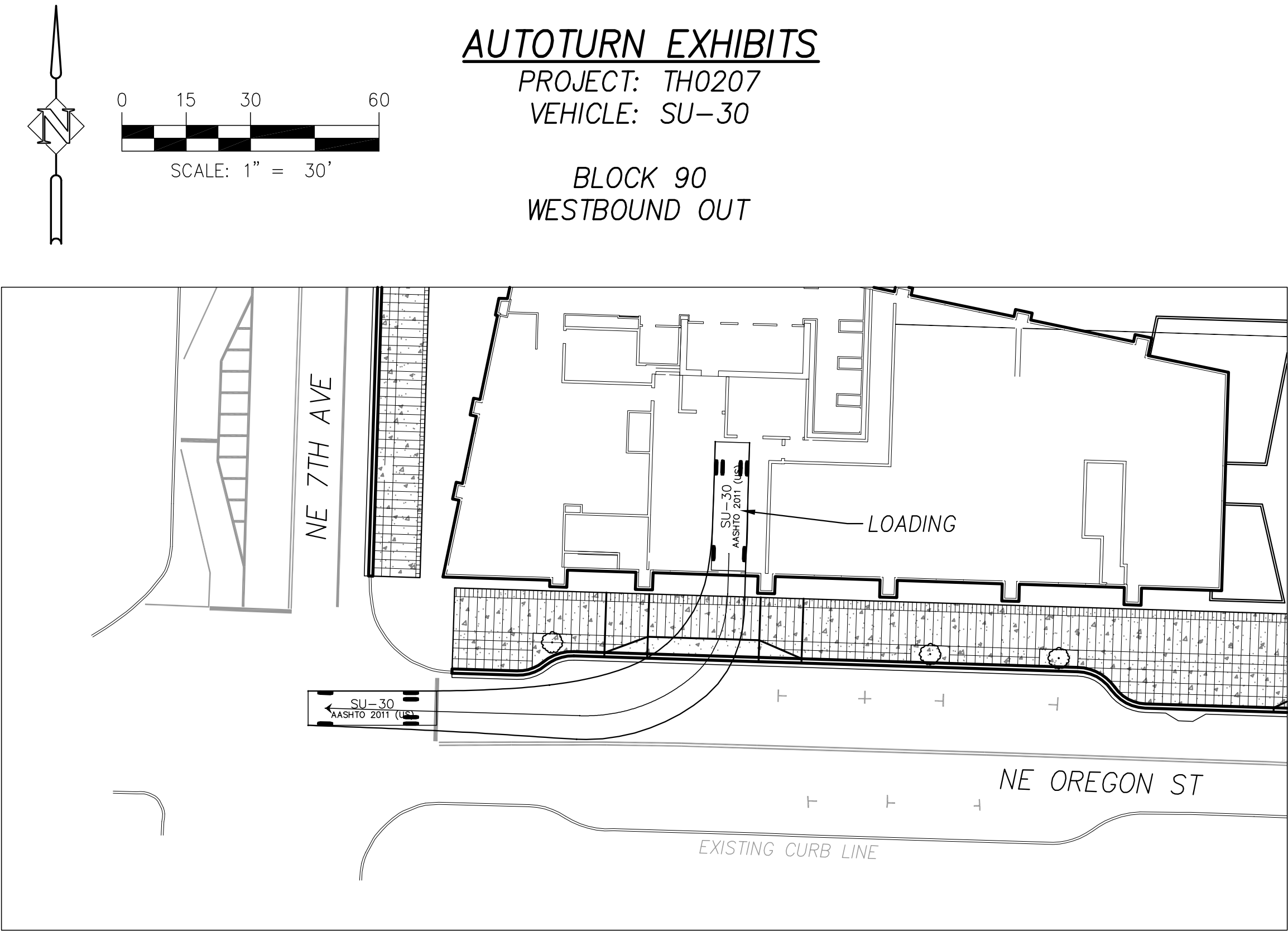
PROJECT: TH0207
VEHICLE: SU-30

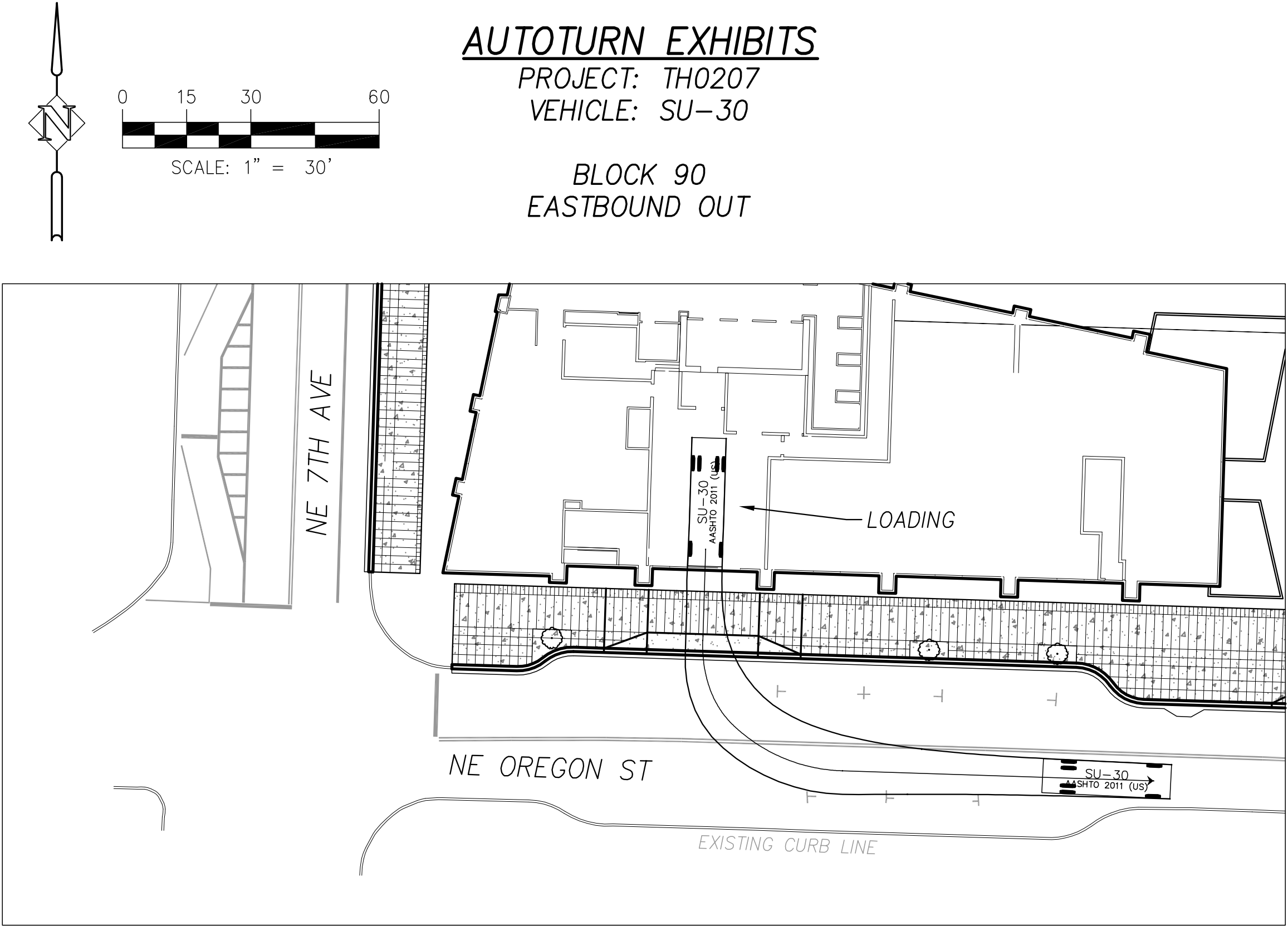


BLOCK 103
SOUTHBOUND OUT

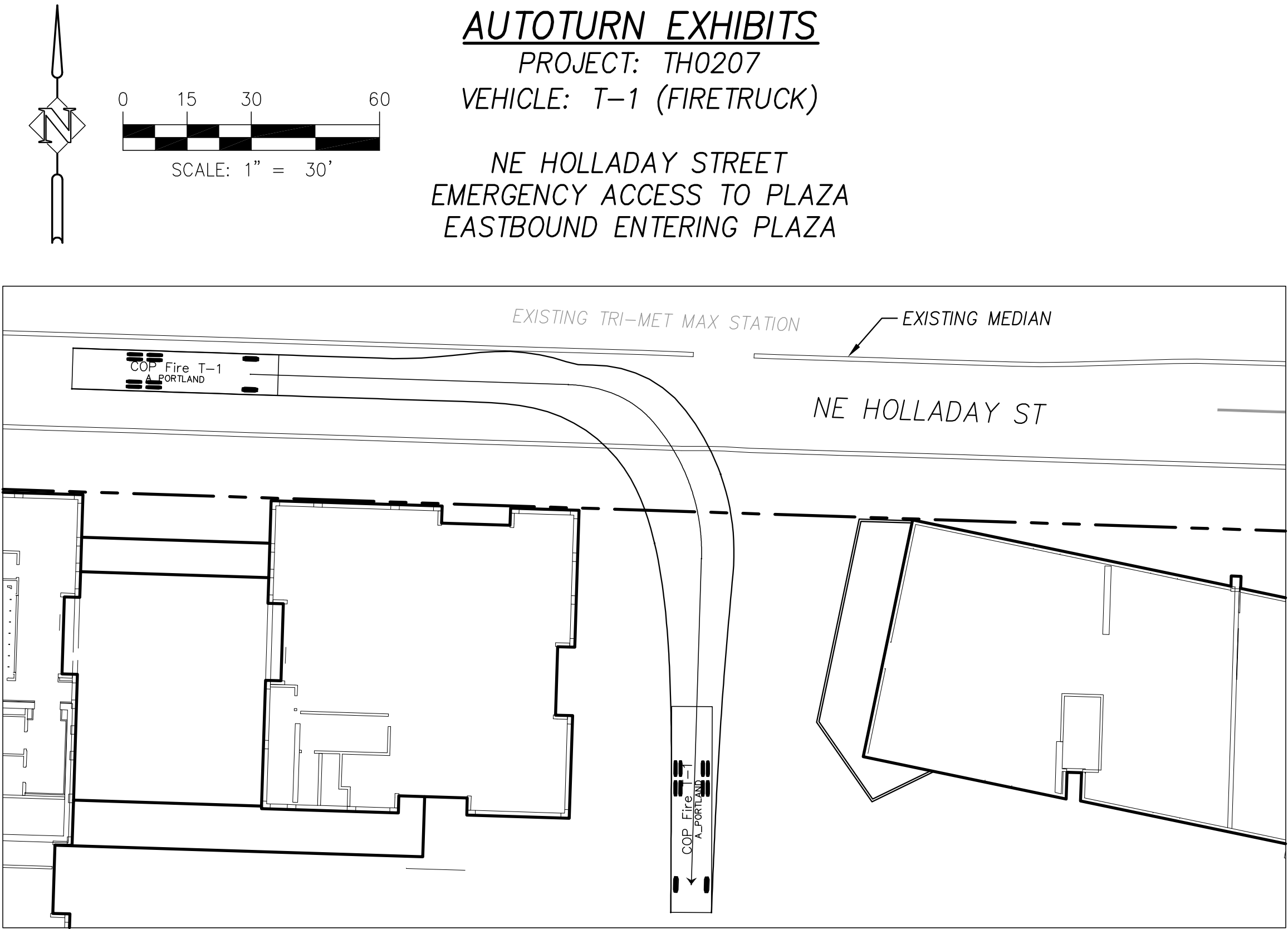




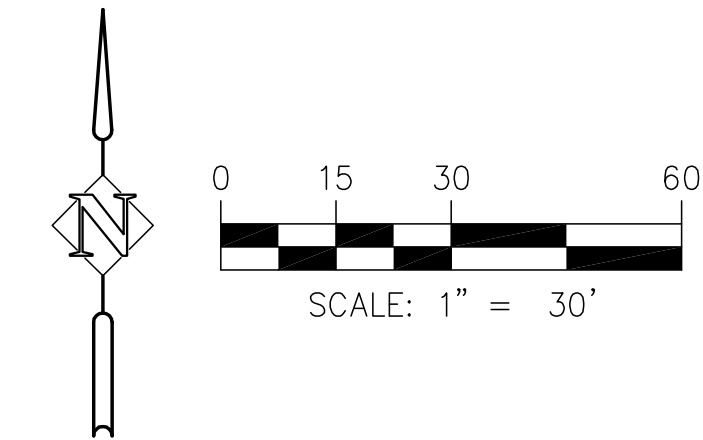




AUTOTURN EXHIBIT - BLOCK 90

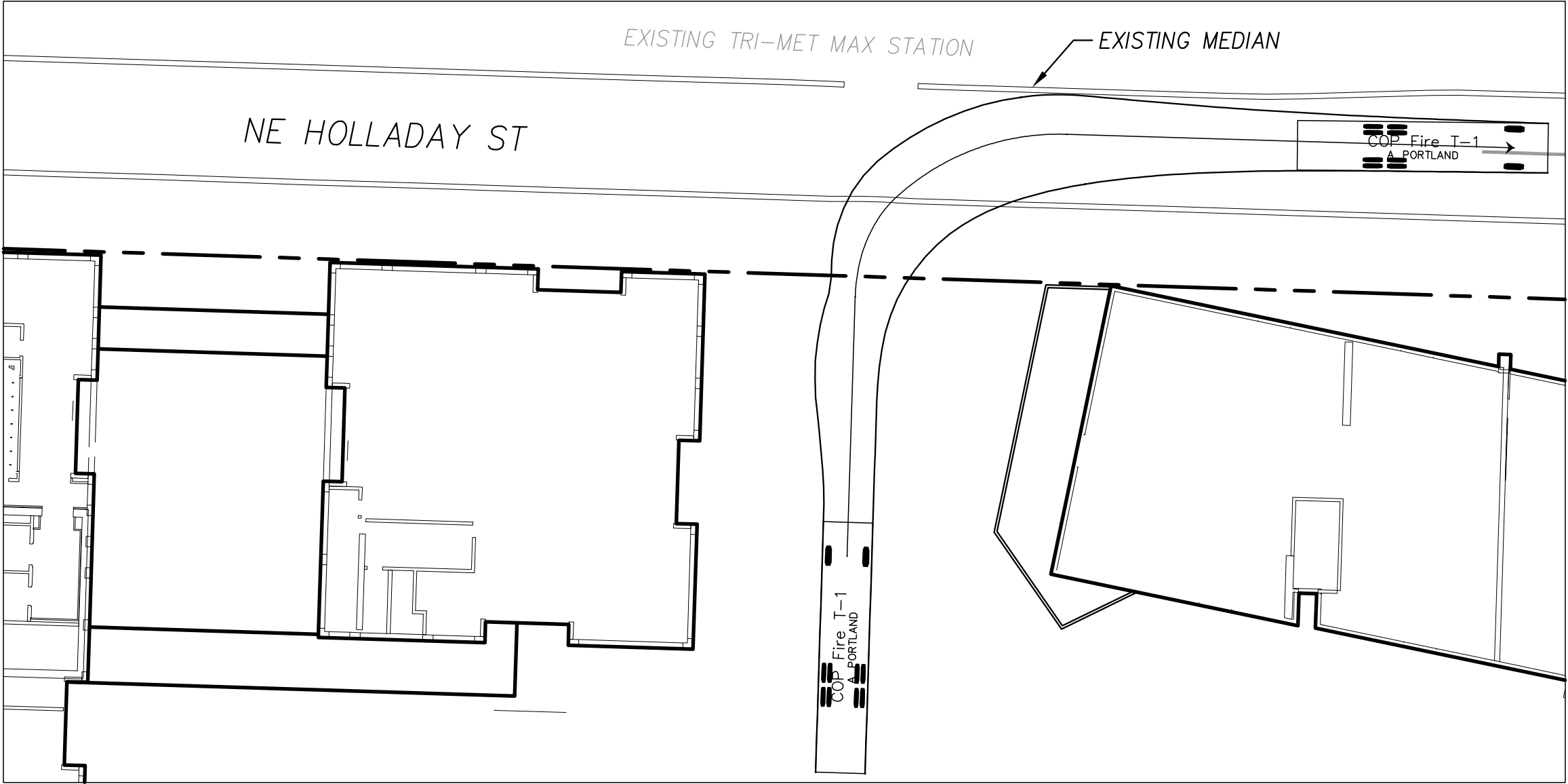


AUTOTURN EXHIBIT - NE HOLLADAY ST.

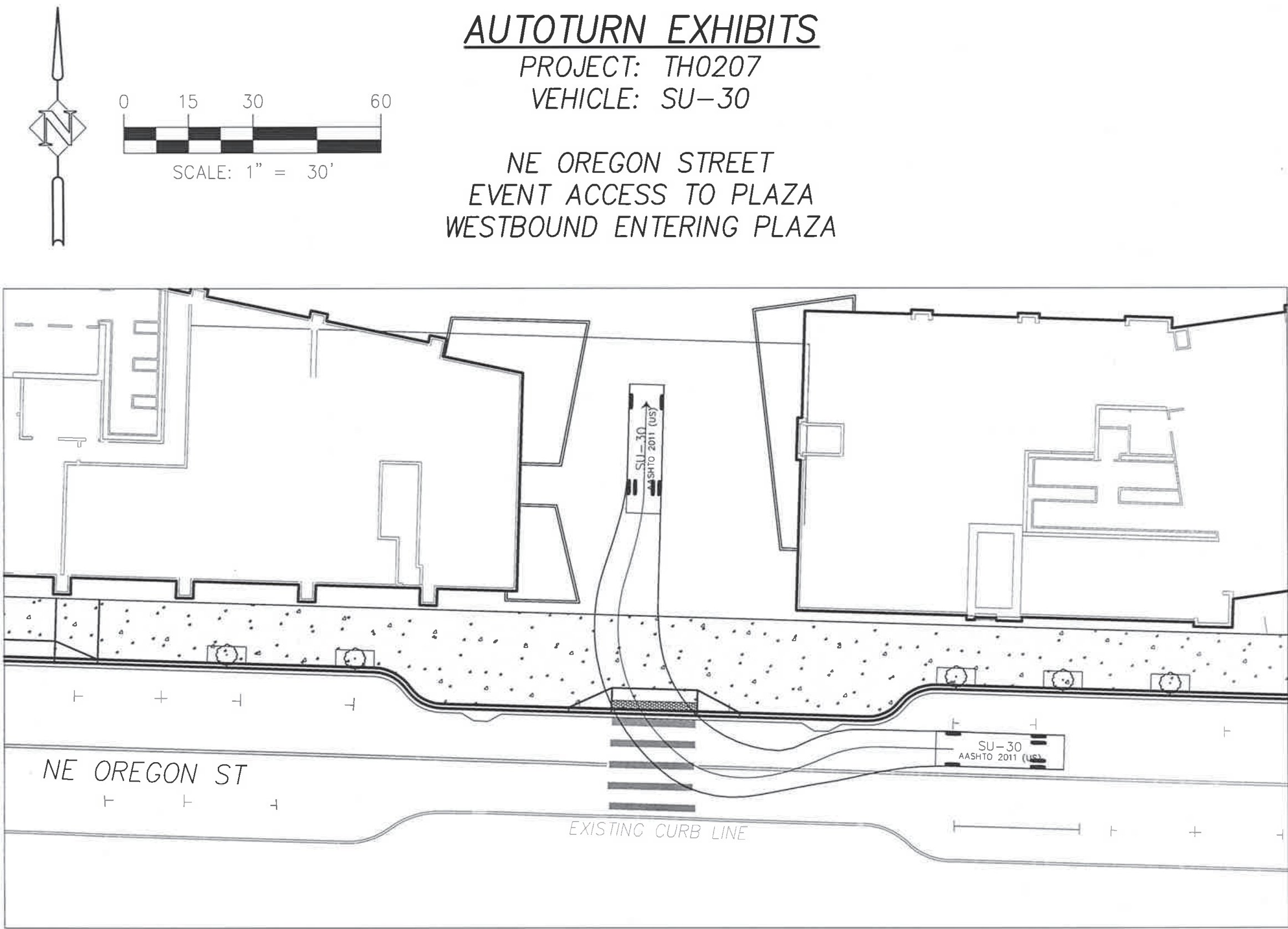


AUTOTURN EXHIBITS
PROJECT: TH0207
VEHICLE: T-1 (FIRETRUCK)

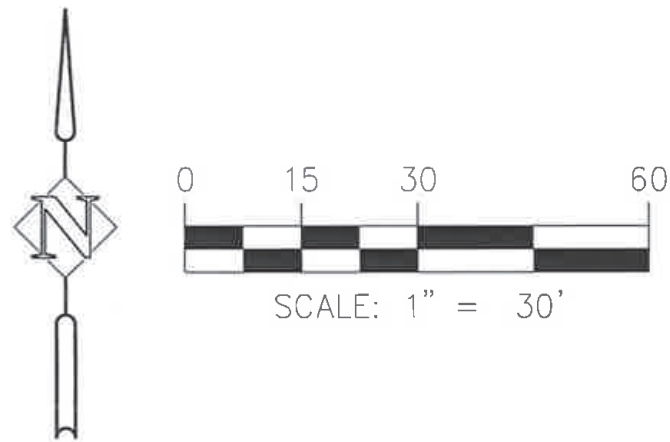
NE HOLLADAY STREET
EMERGENCY ACCESS TO PLAZA
EASTBOUND EXITING PLAZA



AUTOTURN EXHIBIT - NE HOLLADAY ST.



AUTOTURN EXHIBIT - NE OREGON ST.

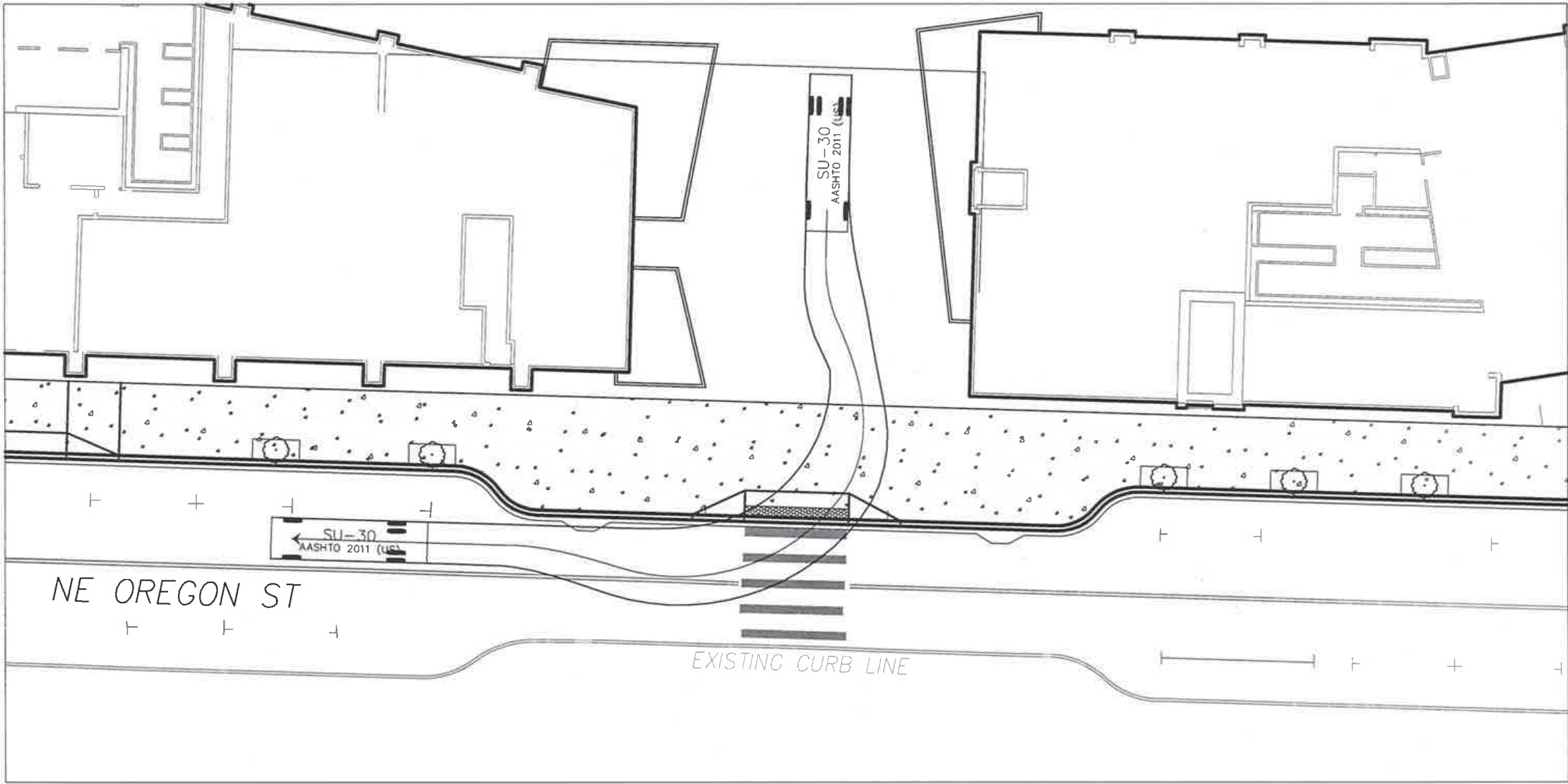


AUTOTURN EXHIBITS

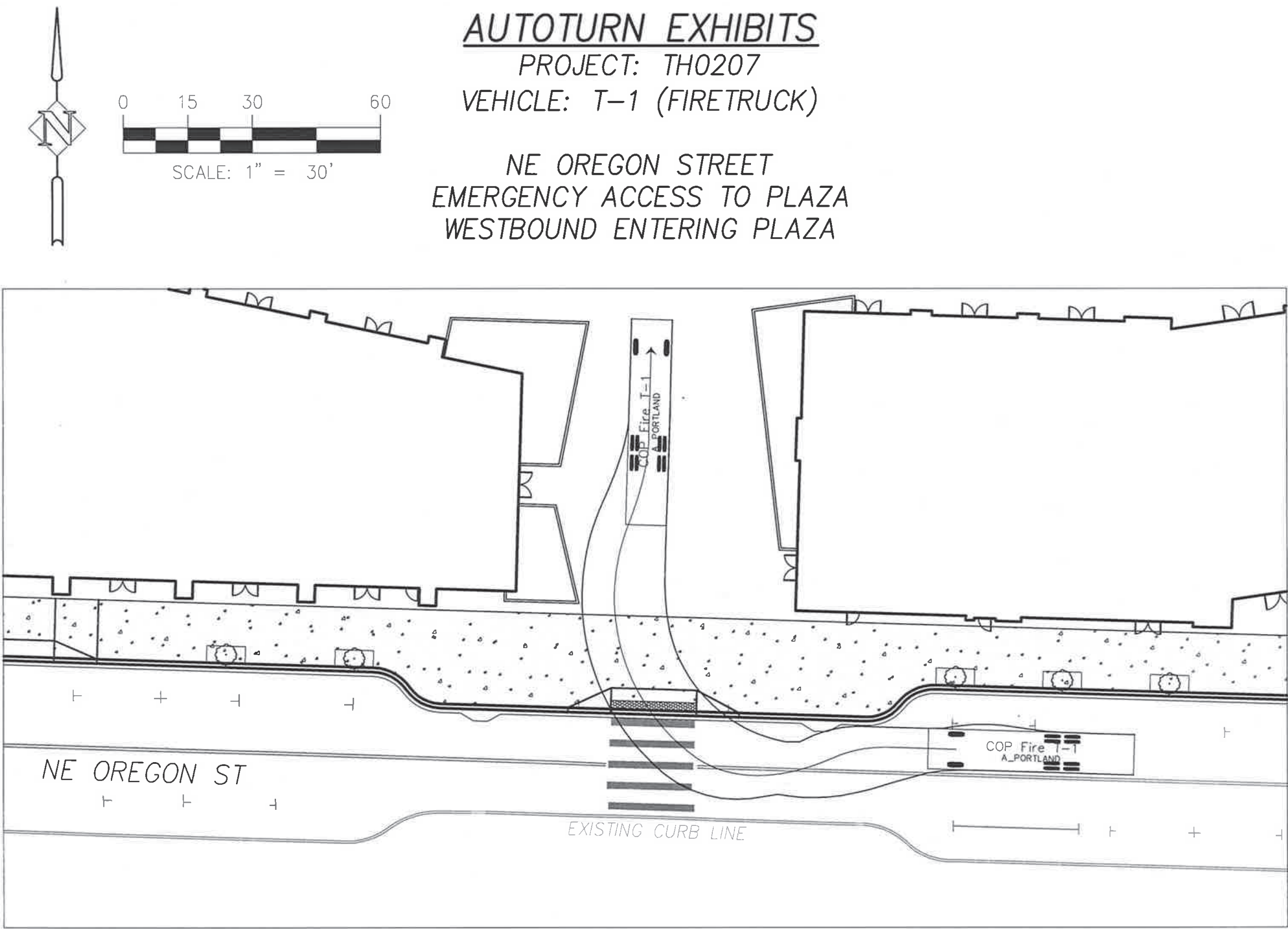
PROJECT: TH0207

VEHICLE: SU-30

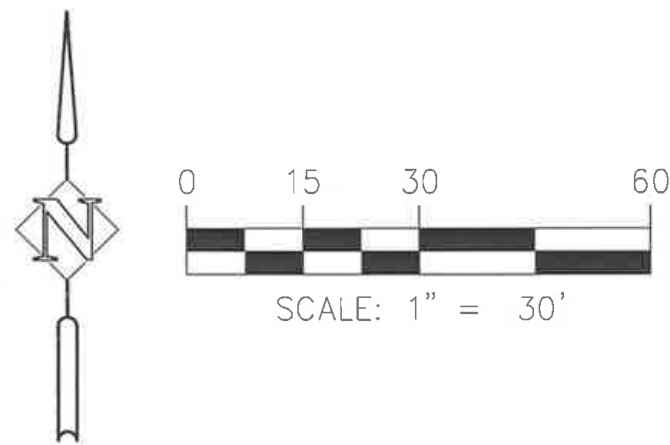
NE OREGON STREET
EVENT ACCESS TO PLAZA
WESTBOUND EXITING PLAZA



AUTOTURN EXHIBIT - NE OREGON ST.



AUTOTURN EXHIBIT - NE OREGON ST.

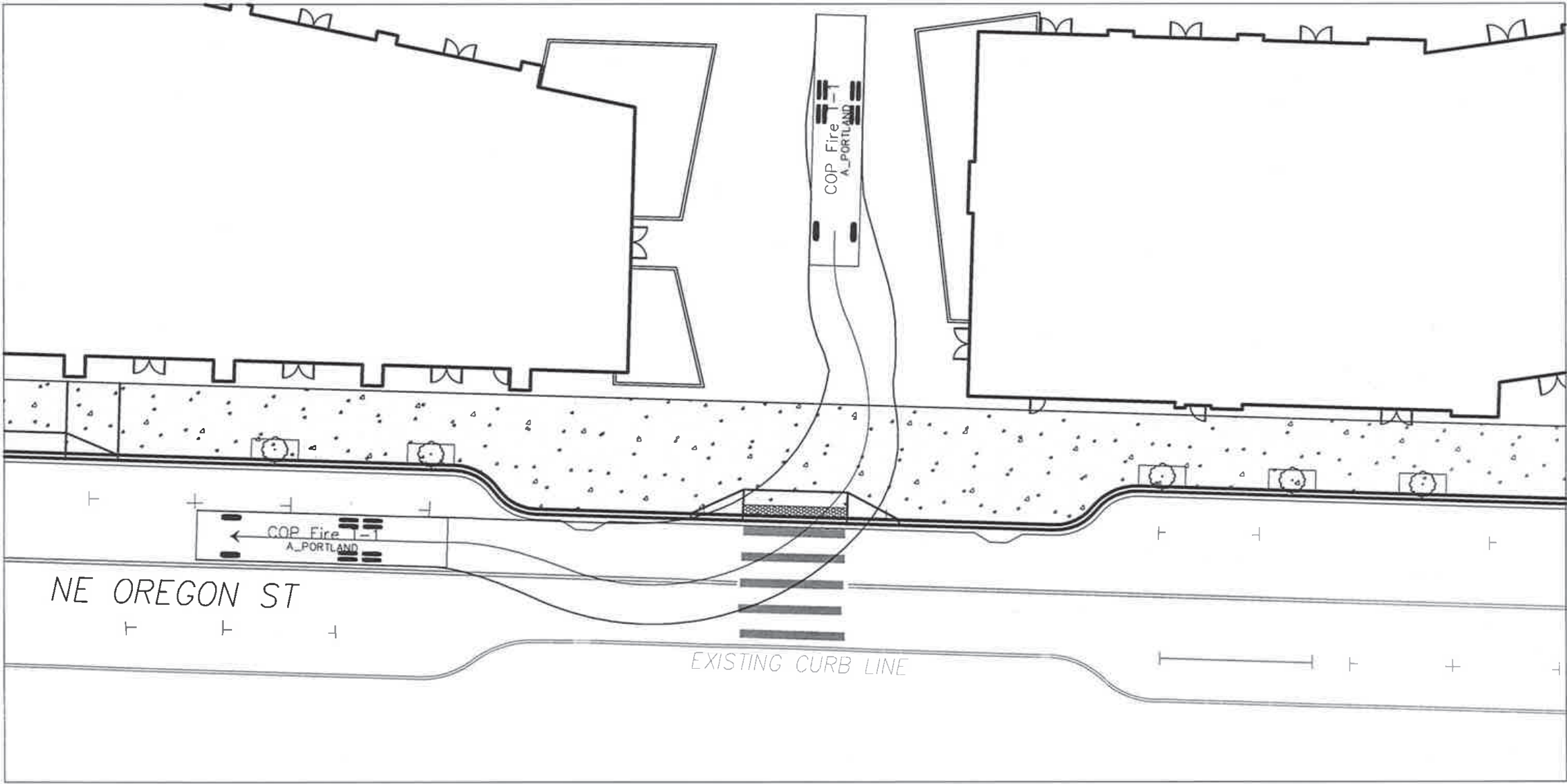


AUTOTURN EXHIBITS

PROJECT: TH0207

VEHICLE: T-1 (FIRETRUCK)

NE OREGON STREET
EMERGENCY ACCESS TO PLAZA
WESTBOUND EXITING PLAZA



AUTOTURN EXHIBIT - NE OREGON ST.