



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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STAFF REPORT AND RECOMMENDATION TO THE DESIGN COMMISSION

CASE FILE: LU 14-251633 DZM
PC # 14-231712
The International School - Classroom Building

REVIEW BY: Design Commission

WHEN: Thursday April 2, 2015 at 1:30 PM

WHERE: 1900 SW Fourth Ave., Room 2500A
Portland, OR 97201

Bureau of Development Services Staff: Chris Caruso 503-823-5747 /
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GENERAL INFORMATION

Applicant: Seth Moran, Mahlum (503-548-2260)
1231 NW Hoyt Street Ste. 102/Portland, OR 97209

Owner's Representative: Robert Woods/The International School
025 SW Sherman Street/Portland, OR 97201

Engineer: Matt Lewis, Cardno WRG
5415 SW Westgate Drive Ste. 100/Portland, OR 97221

Site Address: 2305 SW WATER AVE

Legal Description: BLOCK D W 1/2 OF LOT 1&2, CARUTHERS ADD; BLOCK D E 1/2 OF LOT 3&4, CARUTHERS ADD; BLOCK D W 1/2 OF LOT 3&4, CARUTHERS ADD; BLOCK G LOT 1&2 LOT 3&4 EXC W 3', CARUTHERS ADD; BLOCK G W 3' OF LOT 3&4 E 22' OF LOT 5&6, CARUTHERS ADD; BLOCK G W 25' OF E 47' OF LOT 5&6, CARUTHERS ADD; BLOCK G W 53' OF LOT 5&6, CARUTHERS ADD; BLOCK D&G TL 1301, CARUTHERS ADD

Tax Account No.: R140908250, R140908260, R140908270, R140908470, R140908540, R140908550, R140908560, R140908280

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Quarter Section: 3229

Neighborhood: Portland Downtown, contact Rani Boyle at 503-725-9979.

Business District: None

District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - Downtown

Zoning: CXd - Central Commercial with Design overlay
Case Type: DZM – Design Review with Modifications
Procedure: Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

Proposal:

The applicant seeks Design Review approval for a new three story classroom building and landscape features on the International School campus. The new building will front SW Caruthers Street. Exterior materials include metal siding systems, aluminum-clad wood windows, aluminum storefront, vinyl windows, and various metal elements such as canopies, guardrails, and screens. One new transformer installed above-grade and screened with plate steel. Nonconforming site upgrades include installation of long-term bicycle parking and new mechanical equipment screening for one on-grade unit along SW Sherman.

The following two Modification approvals are also being requested:

1. 33.130.230 Ground Floor Windows – To reduce the total length fronting SW Caruthers Street from the required 56 linear feet to 29 linear feet and the area from the required 50% to 23.5%.
2. 33.130.240.B.2a Pedestrian Standards – To reduce the width of one new elevated wood pedestrian connection from the new building plaza to the existing large modular building, from the required 6 feet to 5 feet.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- 33.825 Design Review
- 33.825.040 Modifications That Will Better Meet Design Review Requirements
- Central City Fundamental Design Guidelines

ANALYSIS

Site and Vicinity: The 52,200 SF site is located at the far southern end of the Downtown District of the Central City Plan District. The area is upslope from the developing South Waterfront District and downslope from the intersection of two major traffic thoroughfares, I-405 and SW Naito Parkway. The overall area has limited pedestrian and vehicle access as well as limited traffic, and the building site is part of a larger complex of adjacent sites owned by the International School. This new classroom building is part of a long-term master plan recently developed for the International School. This new building is the first in a series of buildings expected to be developed for the school. The immediate area is comprised of one and two-story commercial and educational buildings. SW Caruthers Street is designated by the City's Transportation System Plan as a Local Service Bikeway and Local Service Walkway. The site is also within the Downtown Pedestrian District.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together.

The Design Overlay Zone [d] promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review.

Land Use History: City records indicate that prior land use reviews including:

1. LU 05-104196 DZM - Approval of the main school building and parking lot with modifications to long-term bicycle parking.
2. LU 10-113888 DZM – Approval of a modular classroom building, bike parking building, and parking lot landscape upgrades. Never constructed.
3. LU 11-119214 DZM – Approval of International School modular classroom expansion.

Agency Review: A “Notice of proposal in Your Neighborhood” was mailed **March 11, 2015**. The following Bureaus have responded with no issue or concerns:

- Water Bureau (Exhibit E-1)
- Fire Bureau (Exhibit E-2)
- Bureau of Parks-Forestry Division (Exhibit E-3)
- Site Development Section of BDS (Exhibit E-4)
- Life Safety Review Section of BDS (Exhibit E-5)
- Bureau of Environmental Services (Exhibit E-6)
- Bureau of Transportation Engineering and Development Review (Exhibit E-7)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on **March 11, 2015**.

No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed below, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CX Base Zone Development Standards (33.130)

The CX zone is intended to provide for commercial development within Portland’s most urbane and intense areas. A broad range of uses is allowed to reflect Portland’s role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

Central City Plan District Development Standards (33.510)

The Central City plan district implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Downtown Parking and Circulation Policy. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area.

Central Residential Zone Primary Uses (Table 130-1)

Development Standard

Schools are allowed by right in the CX zone. The standard is met.

Floor Area Ratios (33.510.200 Map 510-2)

Development Standard

Maximum FAR 4:1 allowed in this area of the Downtown Central City Plan District.

Proposal

- The proposal has a floor area ratio of 1.94:1 based on a net site area of 56,200 SF and a combined new and existing building area of 29,000 SF. The standard is met.

Maximum Height (Table 130-3, 33.510.205 & Map 510-3)

Development Standard

Maximum height 75 feet.

Proposal

- Height has been measured per Height Measurement of Base Point 2 in the PZC 33.930, Figure 930-7, with the base point set 10 feet above the lowest grade. The building is therefore 34'-6" tall. The standard is met.

Minimum and Maximum Setbacks (Table 130-3 & 33.130.215)

Development Standard

The maximum building setback is 10 feet for 100% (Standard 1) of the ground-level street-facing facades facing one street and 10 feet for 50% (Standard 2) on one intersecting street as this is a lot with 2 or more frontages, no transit streets, and two or more intersecting streets in a Pedestrian District.

Proposal

- The maximum building setback is 0'-0" along SW Water Avenue so Standard 1 is met.
- The 50% maximum building setback is met along intersecting SW Sherman Avenue by existing buildings so Standard 2 is also met.

Building Coverage (Table 130-3)

Development Standard

No limit.

Proposal

- The new and existing buildings will cover less than 100% of the site. The standard is met.

Minimum Landscaped Area (Table 130-3)

Development Standard

None.

Proposal

- Landscaping is being provided around the new building but it is not required. The standard is met.

Ground Floor Windows (33.130.230.B.2, 33.510.220 & Map 510-12)

Development Standard

In CX zone, all exterior walls on the ground level which face a street lot line, sidewalk, plaza, or other public open space or right-of-way must meet the general window standard in Paragraph 3.

General Standard. The windows must be at least 50% of the length and 25% of the ground level wall area. Ground level wall areas include all exterior wall areas up to 9 feet above the finished grade. The requirement does not apply to the walls of residential units, and does not apply to the walls of parking structures when set back at least 5 feet and landscaped to at least the L2 standard.

Proposal

- A Modification is requested for the SW Caruthers Street frontage to not meet the standard. *See the Modifications section of this report.*

Screening (33.130.235)

Development Standard

All exterior garbage and recycling areas must be screened from the street and any adjacent properties. Mechanical equipment on the roof must be screened if within 50 feet of an R zone.

Proposal

- Garbage/recycling areas are located entirely within the building. The standard is met.
- There are no R zoned sites within 50 feet of this proposal, so this standard does not apply.

Pedestrian Standards (33.130.240)

Development Standard

These pedestrian standards implement the State Transportation Planning Rule. Under the pedestrian standards, the site must contain a pedestrian circulation system connecting all adjacent streets to the main entrance and provide connections to other areas of the site.

The internal circulation system must be 6 feet wide.

The area between a building and the street lot line must either be landscaped to the L1 standard or hard-scaped for use by pedestrians.

Proposal

- The building contains direct access to all entrances via the public and private sidewalks and the area between the building and the public and private street lot lines are hardscaped for use by pedestrians. This standard is met.
- A Modification is requested to reduce the pedestrian connection from the large modular building to the new building's internal plaza from 6 feet to 5 feet. *See the Modifications section of this report.*

Parking (33.266, 33.510.261 & Map 510-8)

Development Standard

There is no required parking in the CX zone in the Central City Plan District. School parking is allowed with a maximum of 1.5 spaces per classroom or per Conditional Use or Impact Mitigation Plan approval.

Proposal

- No parking is proposed with this development. The standard is met.

Bicycle Parking (33.266.210 & Table 266-6)

Development Standard

The project consists of 10 new homerooms bringing the total rooms on the site to 24:

Proposal

- Classrooms Long-Term Spaces 32 req'd 18 new 14 existing
- Classrooms Short-Term Spaces none req'd

The standard is met.

Loading Spaces (33.266.310 & Map 510-9)

Development Standard

No on-site loading is required for a building with less than 20,000 SF of floor area that contains no dwelling units.

Proposal

- Not applicable.

Signs (33.130.295 & Title 32] The one sign that is shown on the new classroom building is less than 32 SF in area and is therefore exempt from Design Review.

Street Trees (33.130.300) Street Trees will be provided as required by the City Forester in Exhibit E-3.

ZONING CODE APPROVAL CRITERIA

(1) DESIGN REVIEW (33.825)

33.825.010 Purpose

Design Review ensures:

- That development conserves and enhances the recognized special design values of a site or area;
- The conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district;
- That certain types of infill development will be compatible with the neighborhood and enhance the area; and
- High design quality of public and private projects.

33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

It is important to emphasize that design review goes beyond minimal design standards and is viewed as an opportunity for applicants to propose new and innovative designs. The design guidelines are not intended to be inflexible requirements. Their mission is to aid project designers in understanding the principal expectations of the city concerning urban design.

The review body conducting design review may waive individual guidelines for specific projects should they find that one or more fundamental design guidelines is not applicable to the circumstances of the particular project being reviewed.

The review body may also address aspects of a project design which are not covered in the guidelines where the review body finds that such action is necessary to better achieve the goals and objectives of design review in the Central City.

Findings: The site is designated with design overlay zoning (d). Therefore the proposal requires Design Review approval. Because the site is within the Central City Plan District Downtown Subdistrict, the applicable approval criteria are listed in the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A3. Respect the Portland Block Structures. Maintain and extend the traditional 200-foot block pattern to preserve the Central City's ratio of open space to built space. Where superblock exist, locate public and/or private rights-of-way in a manner that reflects the 200-foot block pattern, and include landscaping and seating to enhance the pedestrian environment.

Findings: The project is a partial development of a full block and will maintain the block pattern present throughout this southern portion of the Downtown Subdistrict of the Central City Plan District. The block pattern of this area has been altered over the past century by freeway ramps, bridges, and new roadways which in turn created some roads around this site that end in cul-de-sacs. Neither SW Caruthers nor SW Sherman Street can be connected to upper SW Naito Parkway due to site slope, utility corridor requirements, and transportation system constraints. These streets also cannot be connected south to SW Harbor Drive, again due to transportation system design constraints. While the streets around this block will remain as designed today, the pedestrian environment will be enhanced by the installation of street trees and a landscaped area along SW Caruthers Street between the building and the sidewalk. *This guideline is therefore met.*

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings for A4, A5 & C4: The project utilizes some building elements from the surrounding area and also introduces a new palette of materials for The International School site. The current campus buildings are a mix of re-purposed utilitarian concrete structures and prefabricated modular buildings. Other buildings in the area are some distance away from this site due to the street

system but they are a mix of multi-family housing, commercial uses, and hotels in a wide variety of materials such as brick, glass, metal panels, wood, plaster, and concrete. The pattern of punched windows around this new building, the metal canopies, architectural concrete ground floor walls, aluminum storefront, and multiple landscaped outdoor areas are all features found on buildings within the district, which helps this project fit into the surrounding built environment. *This guideline is therefore met.*

A7. Establish and Maintain a Sense of Urban Enclosure. Define public rights-of-way by creating and maintaining a sense of urban enclosure.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B4. Provide Stopping and Viewing Places. Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

Findings for A7, A8 & B4: The proposal is close to the sidewalk on SW Caruthers Street with building wall and outdoor plaza seating at the ground floor which helps to define the public right-of-way as separate from the development site. This strong building base and two stories of classrooms above that are also close to the sidewalk, creates a sense of urban enclosure. The combination of strong building walls, distinct entry plazas, plantings, concrete seats, and new street trees, successfully develop this lot's urban edge. The two plazas and entries at the east and west sides of the building also provide open areas for people to gather just off of the SW Caruthers Street sidewalk.

Active spaces such as lobbies, classrooms, and a shared student common area are visually connected to the adjacent sidewalk and on-site plazas by the use of large windows at portions of the ground level and the upper floors. Plantings located adjacent to the SW Caruthers sidewalk and around both plazas will add visual depth and motion to the streetscape, further softening this edge of the pedestrian realm.

The building incorporates human scale design elements that provide visual interest to the surrounding pedestrian environment and encourage social interaction. These elements include art tiles at the ground floor concrete wall, seating in both plazas, textural ribbed metal siding, and lush landscaping. The recessed main ground level entrance also provides sheltered gathering space for students and their families. *These guidelines are therefore met.*

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

B3. Bridge Pedestrian Obstacles. Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings

and consistent sidewalk designs.

Findings for B1, B2 & B3: The primary pedestrian circulation paths in the vicinity of the site include City sidewalks on three of four frontages. These sidewalks will remain in place and will continue to connect this site, up to SW Naito Parkway via sets of stairs, as well as down to the Riverplace area and South Waterfront which in turn leads to public transit options.

One above-grade transformer will be located in the back corner of the adjacent surface parking lot. This site is unable to locate this transformer below-grade due to major electrical utility supply lines that run under the streets as well as thru areas of the site. This new transformer will be partially buried behind the new stormwater planter concrete retaining walls due to the site's slope and will be screened from view by a steel plate enclosure. This location and obscuring steel enclosure keeps this transformer from having an adverse impact on pedestrians.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings for B6 & B7: Street trees will be added along SW Sherman and SW Caruthers as required, providing shading and some weather protection. Addition on-site weather protection is being provided by a deeply recessed ground level entry and a projecting metal canopy at the upper plaza entry. All areas of the site are designed for accessibility. At-grade entrances are provided at multiple floor levels, and on-site walkways are connected to the public circulation system. *These guidelines are therefore met.*

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

Findings: The site is on a high slope above SW Water Avenue and has good views toward the river which will be visible through the windows on the classroom floors. The proposed development takes advantage of other available views towards South Waterfront, area bridges, and the South Auditorium area by providing large windows on all the floors. There are no view designated view corridors through this site but the modest height of the building will help maintain existing views of the river and South Waterfront from properties across SW Naito Parkway. *This guideline is therefore met.*

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C2, C4 & C5: The proposal includes a number of different materials including smooth architectural-finished concrete, metal railings and canopies, two colors of ribbed vertical metal panels, two colors of backed flat metal panels, light-colored vinyl windows, dark-colored aluminum-clad wood windows, dark-colored storefront, and concrete plazas, retaining walls, and seats/steps. These materials

are all of a high quality and are located on the building in ways that allow them to be durable and long-lasting. These materials work their way around all sides of the building in a simple and clear manner, with the two colors of ribbed metal panels delineating the strong building forms while architectural concrete creates the building base and designates the open areas. The three types of windows are also used in a consistent manner around the building. The vinyl windows designate classroom spaces while the storefront designates public entry areas, and the aluminum-clad wood windows designate a shared student area.

The building form is a simple set of intersecting bars with regular window openings, all sitting on a one-story concrete base that is partially dug into the slope. The window patterns occur around the building until they are broken on the north façade by a more open system of aluminum-clad wood windows. This portion of the building is also differentiated by its projection along the façade which creates an independent mass that opens to views of the stormwater landscaping and Hill Climb area. This area is very important for future campus integration and activities and therefore deserves this special treatment. Both public entries are differentiated as special by the plazas in front and the recessed soffits and canopies. The use of consistent colors and materials around the building, from roof to sidewalk, creates an interesting and coherent design with quality materials that invoke a sense of permanence. *These guidelines are therefore met.*

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

C9. Develop Flexible Sidewalk-Level Spaces. Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

Findings for C8 & C9: The building is designed as intersecting bars on a concrete base. The upper stories are differentiated from the sidewalk-level by the use of concrete and storefront on the ground floor, and metal panels with vinyl or aluminum-clad wood windows on the upper stories. Further differentiation is achieved by the projecting canopy, recessed entry area, and the art tile installation on the ground level, none of which are repeated on the upper stories. The ground level entry spaces are designed to accommodate small gatherings of students and their families and can be used for a variety of school-oriented activities. The current layout of the interior spaces places active areas along all four building edges. Stairs and elevator towers are located inside the building and will not interrupt the building corners. *These guidelines are therefore met.*

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

Findings: The rooftop itself is very simple in form and works with the overall massing of the proposed building. Its height is kept low so that the new building will not block views from other buildings or vantage points, and will therefore have no negative impact on the city skyline. Rooftop mechanical equipment will be screened by extended height parapet walls. No equipment will project above the top of the parapets. *This guideline is therefore met.*

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building’s overall design concept. Use exterior lighting to highlight the building’s architecture, being sensitive to its impacts on the skyline at night.

Findings: Illumination of the development consists of light fixtures recessed into the entry soffits and canopies and landscape lighting. This lighting fits into the overall site plan and architecture of this development and will not adversely impact the skyline at night. All of the light fixtures are appropriately scaled to their location and will focus illumination in ways that improve safety for pedestrians while preventing light spillover. *This guideline is therefore met.*

(2) MODIFICATION REQUESTS (33.825)

33.825.040 Modifications That Will Better Meet Design Review Requirements:

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. Better meets design guidelines.** The resulting development will better meet the applicable design guidelines; and
- B. Purpose of the standard.** On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.

Modification #1: Ground Floor Windows (33.130.230). To reduce the total length fronting SW Caruthers Street from the required 56 linear feet to 29 linear feet and the area from the required 50% to 23.5%.

Purpose Statement: The ground floor active use standards are intended to reinforce the continuity of pedestrian-active ground-level building uses. The standards are also to help maintain a healthy urban district through the interrelationship of ground-floor building occupancy and street level accessible public uses and activities. Active uses include but are not limited to: lobbies, retail, residential, commercial, and office.

Standard: 33.130.230.B.2. In CX zone, all exterior walls on the ground level which face a street lot line, sidewalk, plaza, or other public open space or right-of-way must meet the general window standard of 50% of the length and 25% of the ground level wall area, or the option for artwork.

- A. Better meets design guidelines.** *The resulting development will better meet the applicable design guidelines; and*
- B. Purpose of the standard.** *On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.*

Findings for A & B: The classroom building provides ground floor windows into interior active use areas around the entire building. The north façade, which faces SW Sherman Street, has an extensive amount of glazing which actually exceeds

what is required by this section of the Zoning Code. The south façade facing SW Caruthers Street has the burden of the severe slope of this site which creates a condition where many of the window sills are 4 feet or more above grade and therefore cannot be counted as ground floor windows. If the site were less sloped, the building would easily meet the ground floor window requirements along SW Caruthers with the proposed design which does provide views into active use areas and out to the street.

In order to provide additional visual interest along SW Caruthers, one section of concrete foundation wall will have student-created decorative tiles attached to it. The tiles will also wrap around the corner onto the east façade adjacent to the lower entry plaza. This decorative element will provide color and texture to this wall and can expand or change over time as new tiles are made by the students. While this is a site-specific solution dictated by the severe downward slope from west to east, the proposed windows and art tiles better meets design guidelines *A7 Establish and Maintain a Sense of Urban Enclosure; A8 Contribute to a Vibrant Streetscape; C1 Enhance View Opportunities; and C5 Design for Coherency.*

The modification request is consistent with the purpose of the standard. The classroom building provides surveillance opportunities along the entire south building façade with views directly out and down to the adjacent sidewalk. Pedestrians will have views into active areas within the structure, and the concrete foundation wall will be decorated with art tiles and fronted with landscaping to create a visually dynamic pedestrian environment.

This modification meets the approval criteria and therefore merits approval.

Modification #2 Pedestrian Standards (33.130.240.B.2a). To reduce the width of one new pedestrian connection from the new building plaza to the existing large modular building, from the required 6 feet to 5 feet.

Purpose Statement: The pedestrian standards encourage a safe, attractive, and usable pedestrian circulation system in all developments. They ensure a direct pedestrian connection between abutting streets and buildings on the site, and between buildings and other activities within the site. In addition, they provide for connections between adjacent sites, where feasible.

Development Standard: The standards of this Section apply to all development except houses, attached houses, and duplexes. An on-site pedestrian circulation system must be provided. The system must meet all standards of this Subsection. The circulation system must be hard-surfaced, and be at least 6 feet wide.

- A. Better meets design guidelines.** *The resulting development will better meet the applicable design guidelines; and*
- B. Purpose of the standard.** *On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.*

Findings for A & B: The proposal better meets design guidelines *B1 Reinforce and Enhance the Pedestrian System; and B7 Integrate Barrier Free Design* by connecting this new building to other areas of the campus via an existing 5 foot wide walkway from SW Sherman Street. Other existing buildings and service areas will be fully ADA accessible from the new 5 foot wide elevated wood walkway that will run from the lower plaza to the large modular classroom building.

The modification request is consistent with the purpose of the standard by providing a safe, visually attractive, usable piece of the pedestrian circulation system that directly connects abutting streets and campus buildings. Existing and new classroom building windows provide surveillance opportunities along this walkway. The new elevated wood walkway will be wide enough to accommodate students moving between buildings. It will also providing a safe and level exit pathway to the street.

This modification meets the approval criteria and therefore merits approval.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The overall design results in a composition that is interesting to view and enhances this important site on The International School's campus. Building elements and site design features such as high quality materials, multiple plazas, and landscaping creates an environment that will enhance the surrounding area. The modifications to ground floor windows and pedestrian connections recognize the sloping site and other constraints present in this area. The proposal meets the applicable design guidelines and modification criteria and therefore warrants approval.

TENTATIVE STAFF RECOMMENDATION

(May be revised upon receipt of new information at any time to the Design Commission decision)

Staff recommends Design Review approval for a new three story classroom building and landscape features on The International School's campus to include the following:

- Two colors of ribbed metal panels;
- Two colors of flat backed metal panels;
- Smooth architectural-grade concrete;
- Aluminum-clad wood windows;
- Aluminum storefront;
- Vinyl windows;
- Rooftop mechanical equipment screened behind extended parapets;
- Metal gutters, canopies, and guardrails;
- One new transformer installed at the back corner of the adjacent surface parking lot, above-grade and screened with plate steel;
- Site work includes concrete retaining walls, concrete plazas with seats and lighting, a concrete Hill Climb sequence with steps, seats and lighting, and landscaping around the new building; and
- Nonconforming site upgrades of long-term bicycle parking and installing mechanical equipment screening for one on-grade unit along SW Sherman.

Approval of the following two Modifications:

1. 33.130.230 Ground Floor Windows – To reduce the total length fronting SW Caruthers Street from the required 56 linear feet to 29 linear feet and the area from the required 50% to 23.5% and provide art tiles in a designated area.
2. 33.130.240.B.2a Pedestrian Standards – To reduce the width of one new elevated wood pedestrian connection from the new building plaza to the existing large modular building, from the required 6 feet to 5 feet.

A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.43. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 14-251633 DZM. No field changes allowed."

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Procedural Information. The application for this land use review was submitted on December 19, 2014, and was determined to be complete on February 13, 2015.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on December 19, 2014.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant waived the 120-day review period, as stated with Exhibit A-2.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the recommendation of the Bureau of Development Services with input from other City and public agencies.

This report is not a decision. The review body for this proposal is the Design Commission who will make the decision on this case.

This report is a recommendation to the Design Commission by the Bureau of Development Services. The review body may adopt, modify, or reject this recommendation. The Design Commission will make a decision about this proposal at the hearing or will grant a continuance. Your comments to the Design Commission can be mailed, c/o the Design Commission, 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201 or faxed to 503-823-5630.

You will receive mailed notice of the decision if you write a letter received before the hearing or testify at the hearing, or if you are the property owner or applicant. You may review the file on this case by appointment at our office at 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201. Please call the file review line at 503-823-7617 to schedule an appointment.

Appeal of the decision. The decision of the Design Commission may be appealed to City Council, who will hold a public hearing. If you or anyone else appeals the decision of the Design Commission, City Council will hold an evidentiary hearing, one in which new evidence can be submitted to them. Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing.

Who can appeal: You may appeal the decision only if you write a letter which is received before the close of the record for the hearing, if you testify at the hearing, or if you are the property owner/applicant. **Appeals must be filed within 14 days of the decision. An appeal fee of \$5,000.00 will be charged.**

Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services in the Development Services Center, 1900 SW Fourth Ave., First Floor. Neighborhood associations recognized by the Office of Neighborhood Involvement may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chair person or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization's bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the city.

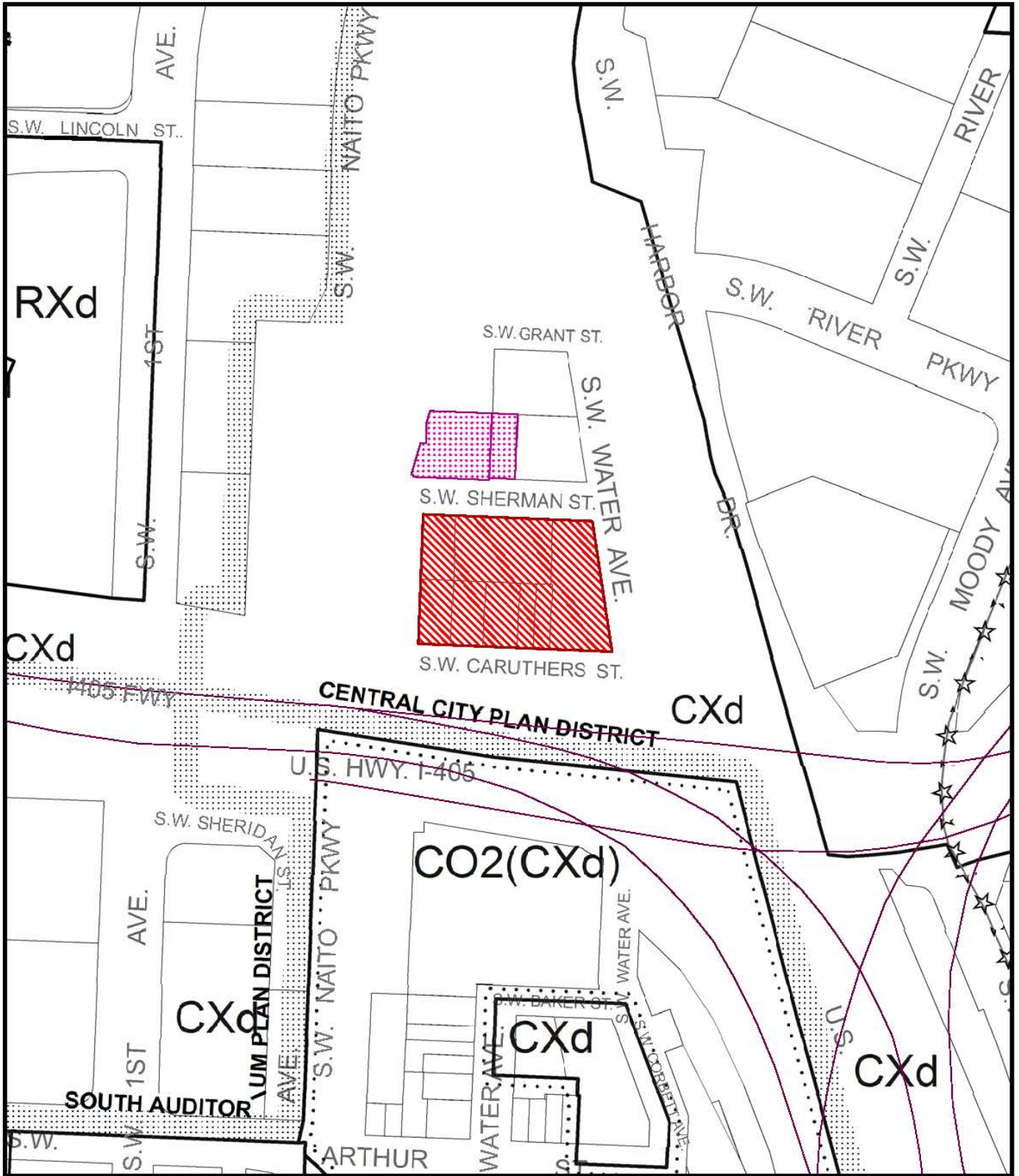
The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Chris Caruso
March 23, 2015

EXHIBITS – NOT ATTACHED UNLESS INDICATED

- A. Applicant’s Information
 - 1. Written Narrative
 - 2. 120-Day Waiver
 - 3. Memo 9 February 2015
- B. Zoning Map (attached)
- C. Plan & Drawings
 - 1. Context Photographs
 - 2. Context Photographs
 - 3. Context Photographs
 - 4. Panorama P1
 - 5. Panorama P2
 - 6. Panorama P3
 - 7. Panorama P4
 - 8. Panorama P5
 - 9. Panorama P6 & P7
 - 10. Section E: Drawing Index
 - 11. District Map and Campus Vision Plan
 - 12. Existing Conditions – Stearns Block
 - 13. Existing Conditions – Hilltop Block
 - 14. Overall Site Plan (attached)
 - 15. Landscape Plan (attached)
 - 16. Landscape Sections
 - 17. Landscape Materials
 - 18. Landscape Details (1 of 2)
 - 19. Landscape Details (2 of 2)
 - 20. Floor Plan-Level 1

21. Floor Plan-Level 2
 22. Floor Plan-Level 3
 23. Roof Plan
 24. Artist Illustration-Activity Area
 25. Artist Illustration-Building and Hill Climb
 26. Vignettes-Overall (attached)
 27. Vignettes-Detail
 28. Overall Line Elevations
 29. South (SW Caruthers St) Elevation
 30. West (Uphill) Elevation
 31. West Partial Elevation
 32. North (Campus Interior) Elevation
 33. East (Downhill) Elevation
 34. Enlarged Entry Court Elevation
 35. Building Sections
 36. Wall Sections
 37. Building Details-Cladding
 38. Building Details-Level One and Classroom Windows
 39. Building Details-Activity Elevations
 40. Materials-Cladding
 41. Materials-Windows
 42. Nonconforming Development Upgrades
 43. Drainage Report (not included in the Commission packets)
- D. Notification information:
1. Request for response
 2. Posting letter sent to applicant
 3. Notice to be posted
 4. Applicant's statement certifying posting
 5. Mailed notice
 6. Mailing list
- E. Agency Responses:
1. Water Bureau
 2. Fire Bureau
 3. Bureau of Parks, Forestry Division
 4. Site Development Section of BDS
 5. Life Safety Review Section of BDS
 6. Bureau of Environmental Services
 7. Bureau of Transportation Engineering and Development Review
- F. Letters – none received
- G. Other
1. Original LUR Application
 2. Incomplete Letter



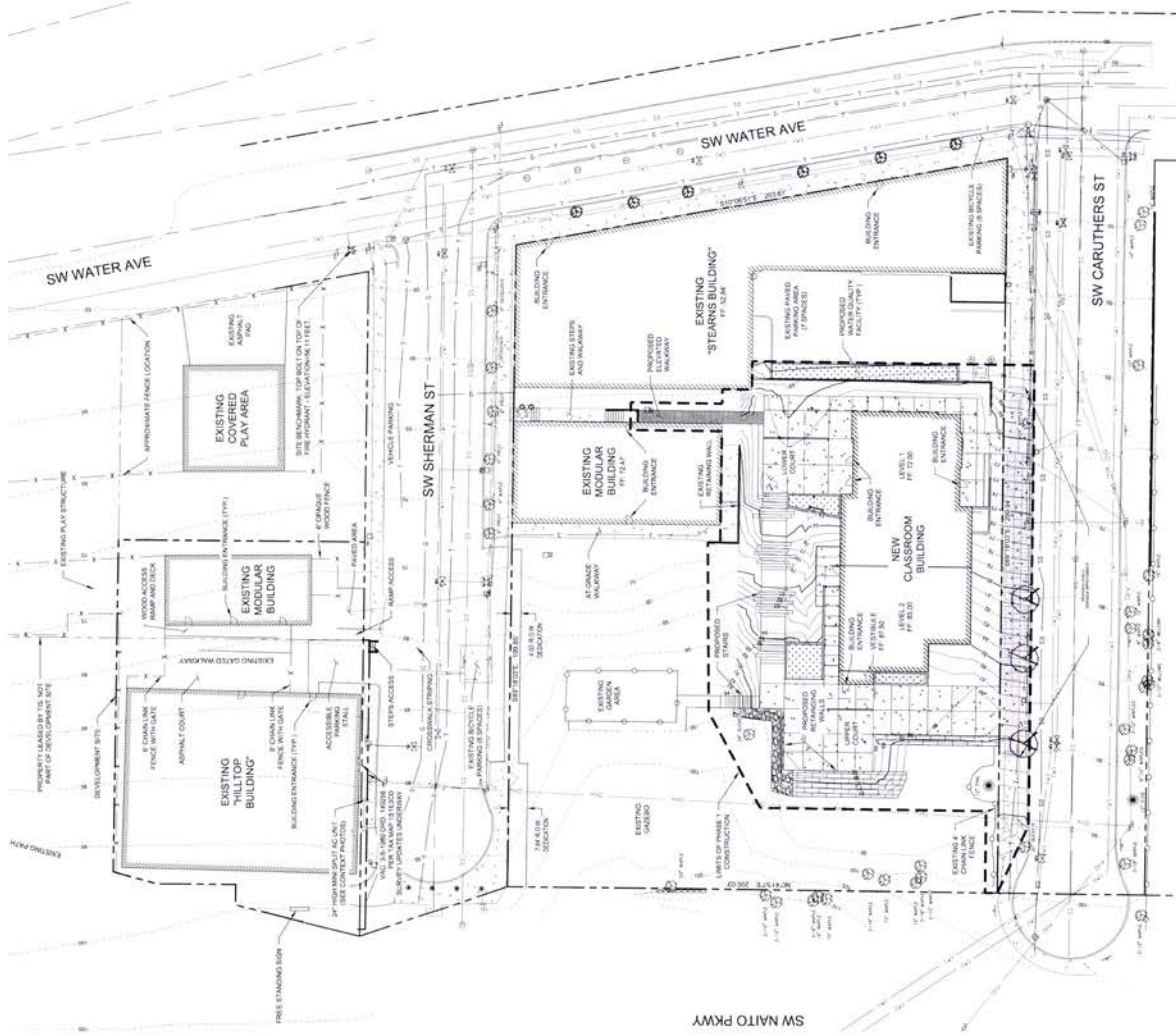
ZONING

-  Site
-  Also Owned
-  Recreational Trail



This site lies within the:
CENTRAL CITY PLAN DISTRICT
DOWNTOWN SUBDISTRICT

File No.	LU 14-251633 DZM
1/4 Section	3229
Scale	1 inch = 200 feet
State_Id	1S1E03CD 1800
Exhibit	B (Dec 30, 2014)



OVERALL SITE PLAN

LEGEND

	PROPERTY LINE		WATER METER
	EXISTING BUILDING		FIRE HYDRANT
	PROPOSED BUILDING		EJECTA CONTROL BOX
	EXISTING WALL		SANITARY SEWER MANHOLE
	PROPOSED WALL		STORM MANHOLE
	EXISTING FOUNDATION		METER VALVE
	PROPOSED FOUNDATION		GAS VALVE
	EXISTING CONCRETE RETAINING WALL		UTILITY POLE
	PROPOSED CONCRETE RETAINING WALL		ELECTRIC METER
	EXISTING SIDEWALK		GAS METER
	PROPOSED SIDEWALK		TELEPHONE CABINET
	EXISTING DRIVEWAY		YELLOW MARKED AREA
	PROPOSED DRIVEWAY		TRAFFIC SIGN
	EXISTING RAMP		ISLAND
	PROPOSED RAMP		
	EXISTING STAND		
	PROPOSED STAND		



PORTLAND
 1500 NE 10TH AVE, SUITE 200
 PORTLAND, OR 97232
 TEL: 503.944.2000 FAX: 503.944.2000



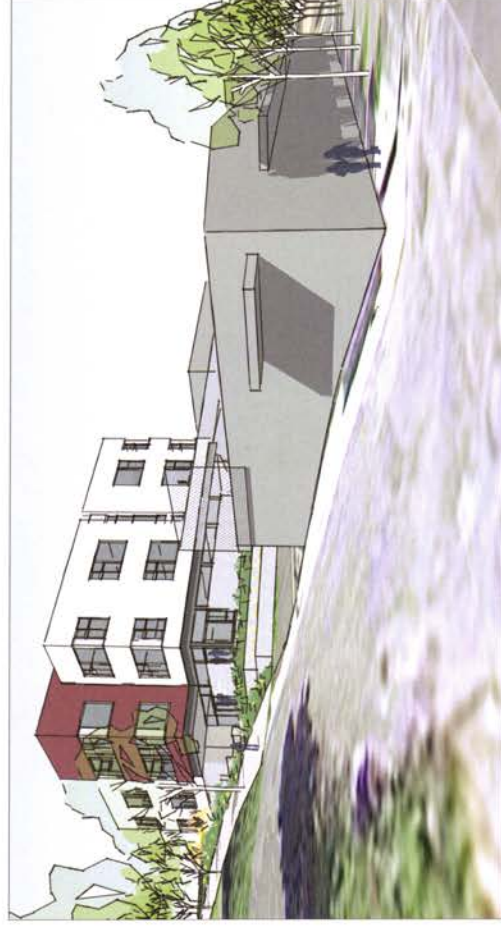
LEGEND

- (W1) Concrete wall
- (W2) Concrete seat wall, see detail
- (W3) Concrete block seat walls, see detail
- (W4) Boulder wall
- (L1) Planting area
- (L2) Stormwater planter
- (L3) Rain path boulders & vegetation
- (B1) Concrete steps with steel handrails, see detail
- (R2) Steel guardrail, see details
- (B3) Concrete and opaque steel surround for new PGE transformer, see details
- (R4) Elevated wood walkway with guardrail, see details
- (R5) Existing chain link fence
- (R6) Existing concrete steps and walk
- (R7) Flush vault for fire double check assembly (DCDA)
- (B1) Covered bicycle parking, see building plans for number of provided spaces
- (T1) 24" Existing Maple Tree to be retain & protected during construction per city standard
- (T2) 12" Existing Pine Tree to be retain & protected during construction per city standard
- (T3) 26" Existing Buckeye Tree to be retain & protected during construction
- (T4) 30" Existing Buckeye Tree to be retain & protected during construction per city standard
- (T5) Proposed Street Tree
- ◆ 12' Tall LED Pole-Top Luminaire

LANDSCAPE PLAN



AERIAL VIEW



VIEW FROM CORNER OF SW WATER AND SW CARUTHERS



DOWNHILL CARUTHERS VIEW

VIGNETTES - OVERALL



UPHILL CARUTHERS VIEW